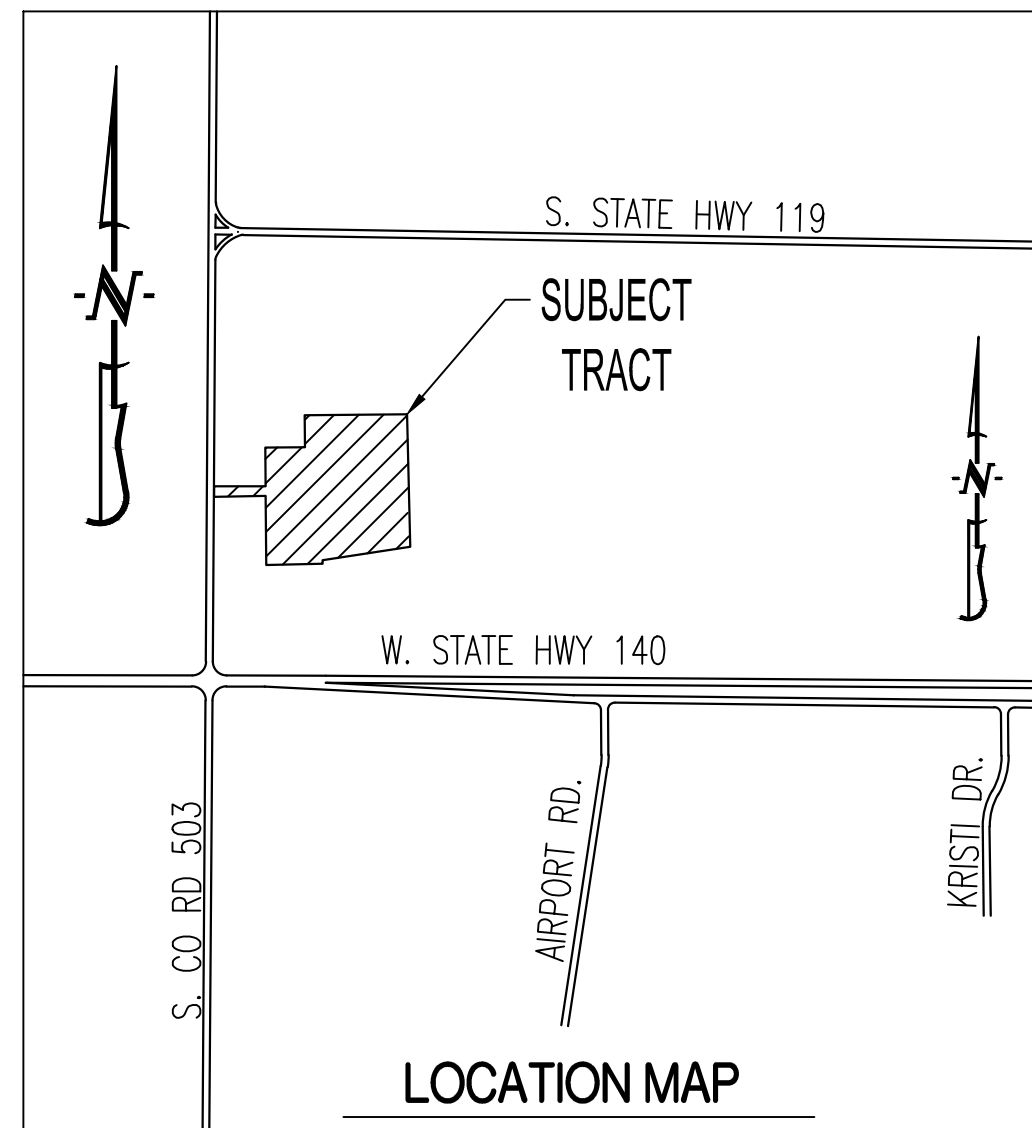


# PINES COTTAGES

## LOCATION MAP



LOCATION MAP

NOT TO SCALE

## PROJECT BENCHMARK:

TBM #1 - EXISTING SANITARY SEWER MANHOLE LID LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY  
ELEVATION = 235.5

TBM #2 - EXISTING SANITARY SEWER MANHOLE LID LOCATED 145' NORTH OF THE SOUTHEAST CORNER OF THE PROPERTY  
ELEVATION = 235.2

## FLOOD PLAIN STATEMENT:

NO PART OF THIS TRACT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AS PER THE MISSISSIPPI COUNTY FIRM MAP #05093C0425E DATED JUNE 18, 2010.

## LEGAL DESCRIPTION:

PINES COTTAGES

## UTILITY COMPANIES:

### LOCATES:

ARKANSAS ONE CALL INC.  
2120 MAPLE RIDGE CIRCLE  
CONWAY, AR 72034  
1-800-482-8998

### WATER/ELECTRIC:

CITY OF OSCEOLA  
303 W. HALE AVE.  
WATER & LIGHT DEPARTMENT  
OSCEOLA, AR 72730  
870-563-5245

### TELEPHONE/TELEVISION:

AT&T  
6630 S. CHURCH, RM 120  
JONESBORO, AR 72401  
870-972-7851

### SANITARY SEWER:

CITY OF OSCEOLA  
303 W. HALE AVE.  
STREET & SANITATION DEPARTMENT  
OSCEOLA, AR 72730  
870-563-2612

### NATURAL GAS:

BLACK HILLS ENERGY  
655 E. MILLSAP ROAD #104  
FAYETTEVILLE, AR 72703  
888-890-5554

## GENERAL NOTES:

CONTRACTOR WILL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TRAFFIC CONTROL DEVICES NECESSARY TO COMPLETE THEIR PORTION OF WORK. THE DEVICES AND METHODS EMPLOYED WILL COMPLY WITH THE CURRENT VERSION OF THE MANUAL ON UNIFIED TRAFFIC CONTROL DEVICES.

THIS PLAT CONTAINS APPROXIMATELY 15.14 ACRES.

THIS TRACT IS ZONED R-3.

EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE LOCATES (HORIZONTAL AND VERTICAL) PRIOR TO ANY EXCAVATION.

ALL EXCAVATION TO BE IN ACCORDANCE WITH STATUTES OF THE STATE OF ARKANSAS. SUCH COMPLIANCE SHALL NOT, HOWEVER, EXCUSE ANY PERSON MAKING ANY EXCAVATION FROM DOING SO IN A CAREFUL AND PRUDENT MANNER, NOR SHALL IT EXCUSE SUCH PERSON FROM LIABILITY FOR ANY DAMAGE OR INJURY TO UNDERGROUND UTILITIES RESULTING FROM THE EXCAVATION.

A GEOTECHNICAL EVALUATION OF THE SUBSURFACE SOIL, GROUNDWATER CONDITIONS, AND A SLOPE STABILITY ANALYSIS HAS NOT BEEN PERFORMED BY THIS ENGINEER. THE OWNER SHALL SATISFY THEMSELVES OF ALL GEOTECHNICAL CONDITIONS PRIOR TO ANY CONSTRUCTION.

REFER TO STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR NARRATIVE REPORT AND BMP DESCRIPTIONS AND DETAILS.

ALL SLOPES ARE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

ALL DISTURBED AREAS WITHIN THE "LIMITS OF DISTURBANCE" SHALL BE FINE GRADED, SEED, AND MULCHED.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES AND REMOVING THEM ONCE THE SITE IS STABILIZED.

A 5' SIDEWALK WILL BE CONSTRUCTED ADJACENT TO ALL STREETS.

ALL SERVICE LATERALS SHALL BE INSTALLED AT 1.0% (MIN.) GRADE WHEN CROSSING STREETS.

ALL EXCAVATION WITHIN THE STREET RIGHT-OF-WAY SHALL BE BACKFILLED PER CURRENT CITY OF COLUMBIA SPECIFICATIONS.

ALL SEWERLINES SHALL BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY, EDGE TO EDGE, FROM ANY WATERLINE AND AT LEAST 24 INCHES VERTICALLY BETWEEN THE OUTSIDE LIMITS OF THE SANITARY SEWER AND WATERLINE. FOR CONDITIONS OTHER THAN THOSE IDENTIFIED ABOVE, CONTACT THE ENGINEER FOR SPECIFIC INSTRUCTIONS.

ALL PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL FOR PIPE BEDDING REQUIREMENTS.

LAND DISTURBANCE SITES SHOULD BE INSPECTED ON A REGULAR SCHEDULE AND WITHIN A REASONABLE TIME PERIOD (NOT TO EXCEED 48 HOURS) FOLLOWING HEAVY RAINS. REGULARLY SCHEDULED INSPECTIONS SHALL BE AT A MINIMUM OF ONCE PER WEEK. ANY DEFICIENCIES SHALL BE NOTED IN A WEEKLY REPORT OF THE INSPECTION AND CORRECTED WITHIN SEVEN CALENDAR DAYS OF THE REPORT. CONTRACTORS ARE REQUIRED TO SUBMIT TO CITY INSPECTION STAFF COPIES OF THEIR INSPECTION REPORTS REQUIRED BY THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ON A MONTHLY BASIS.

REVISION KEY			COVER	CE 1	CE 2	CE 3	CE 4	CE 5	CE 6	CE 7	CE 8	CE 9	CE 10	CE 11
REV #	DATE	COMMENTS												
1	11/30/2017	ORIGINAL SUBMITTAL	X	X	X	X	X	X	X	X	X	X	X	X

## SHEET INDEX:

- CE 1 - EROSION CONTROL PLAN
- CE 2 - GRADING PLAN
- CE 3 - UTILITY PLAN
- CE 4 - STORM SEWER PROFILE - LINES 1 & SANITARY SEWER PROFILE - LINES A, & B
- CE 5 - SITE PLAN
- CE 6 - INTERSECTION SPOT ELEVATIONS
- CE 7 - STREET PROFILES

- CE 8 - JOINT, CROSS SECTION, SIDEWALK, AND PAVEMENT DETAILS
- CE 9 - EROSION CONTROL, STORM SEWER, ADA, AND PIPE EMBEDMENT DETAILS
- CE 10 - SANITARY SEWER DETAILS
- CE 11 - ALTA SURVEY

## LEGEND OF SYMBOLS:

----	EXISTING CURB	FF-XXXX	MINIMUM FINISH FLOOR OF STRUCTURE
-----	PROPOSED CURB	XXXX.XX TC	PROPOSED TOP OF CURB ELEVATION
▨	RIP RAP	XXXX.XX TP	PROPOSED TOP OF PAVEMENT ELEVATION
▭	EXISTING STRUCTURE	XXXX.XX FD	PROPOSED FINISH GRADE ELEVATION
~~~~~	EXISTING TREELINE	XXXX.XX TW	PROPOSED TOP OF WALL
~~~~~	PROPOSED TREELINE	XX	LOT NUMBER
—○—○—	EDGE OF WATERWAY	⊗	STORM SEWER STRUCTURE LABEL
---W---	EXISTING WATERLINE	⊗	SANITARY SEWER STRUCTURE LABEL
---W---	PROPOSED WATERLINE	HP.	HIGH POINT
---G---	EXISTING GAS LINE	LP.	LOW POINT
---G---	PROPOSED GAS LINE	—	EXISTING SIGNS
---UT---	EXISTING UNDERGROUND TELEPHONE	⊗	EXISTING POWER POLE
---UTV---	EXISTING UNDERGROUND CABLE TELEVISION	⊗	EXISTING GAS VALVE
---HVE---	EXISTING HIGH VOLTAGE ELECTRIC	⊗	EXISTING WATER VALVE
---OE---	EXISTING OVERHEAD ELECTRIC	⊗	EXISTING GAS METER
---UE---	EXISTING UNDERGROUND ELECTRIC	⊗	EXISTING WATER METER
---OETV---	EXISTING OVERHEAD ELEC. & TV	⊗	EXISTING FIRE HYDRANT
---OETV---	EXISTING OVERHEAD ELEC., TV & TELE.	⊗	MANHOLE
---S---	EXISTING SANITARY SEWER	→	EXISTING SANITARY SEWER LATERAL
---S---	PROPOSED SANITARY SEWER	→	PROPOSED SANITARY SEWER LATERAL
.....XXX	EXISTING MINOR CONTOUR	⊗	PROPOSED TRACER WIRE TEST STATION BOX
---XXX---	EXISTING MAJOR CONTOUR	⊗	EXISTING AIR CONDITIONER
---XXX---	PROPOSED MINOR CONTOUR	⊗	EXISTING TELEPHONE PEDESTAL
---XXX---	PROPOSED MAJOR CONTOUR	⊗	EXISTING ELECTRICAL TRANSFORMER
TTTTTTTT	100 YEAR FLOOD PLAN	⊗	EXISTING ELECTRIC METER
TTTTTTTT	FLOODWAY	⊗	EXISTING LIGHT POLE
.....	ORDINARY HIGH WATER MARK	→	EXISTING GUY WIRE
---	STREAM SIDE BUFFER		
-----	OUTER STREAM BUFFER		

OWNER:  
PINES COTTAGES HOUSING  
PARTNERS, LP  
1900 E. LARK LANE  
NIXA, MO 65714

## PREPARED BY:

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY

PRELIMINARY  
NO FOR  
CONSTRUCTION

TIMOTHY DAVID CROCKETT  
AR LICENSE - 15089

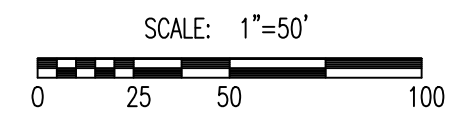
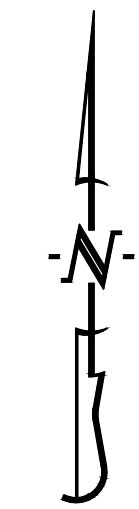
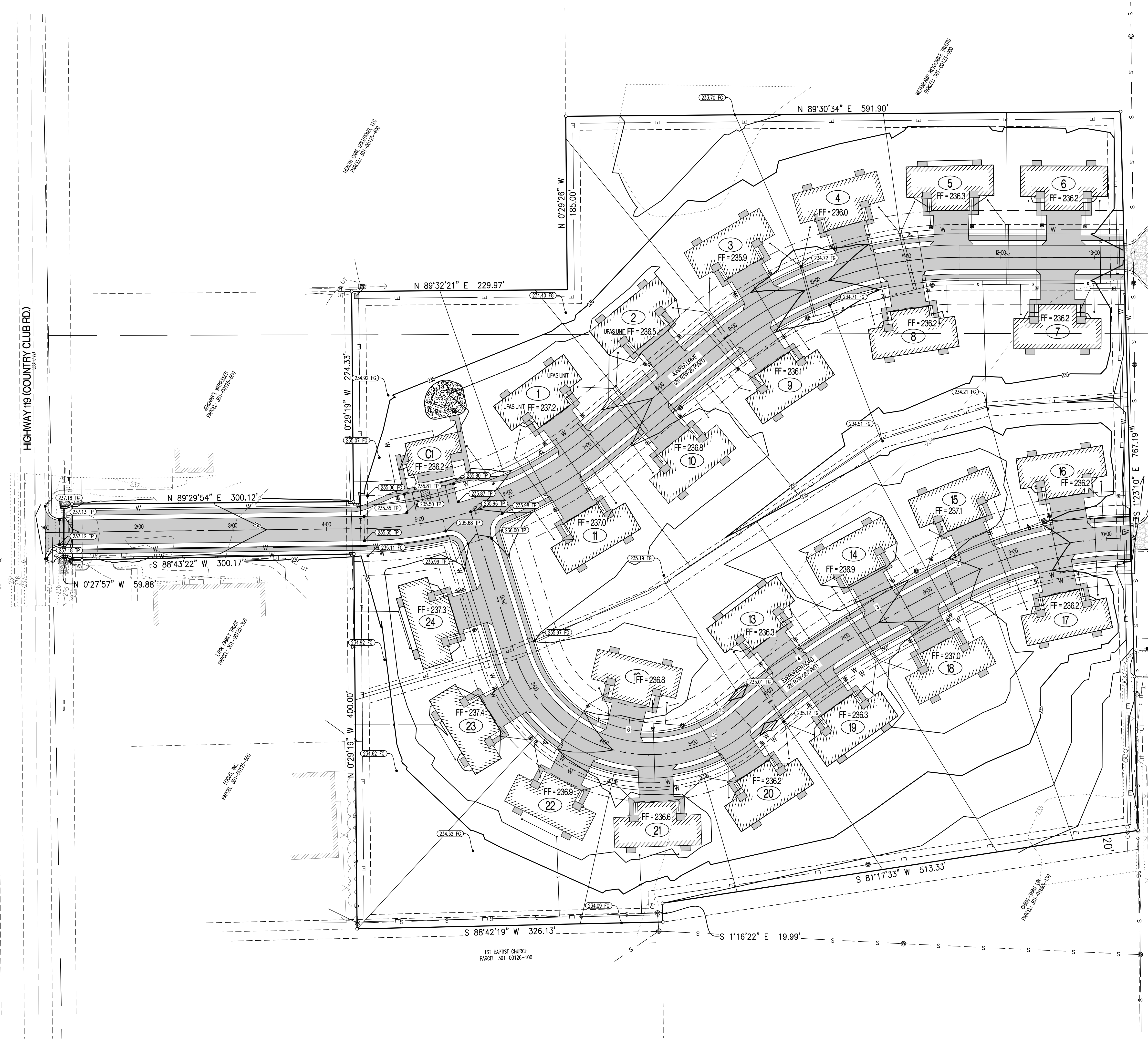
## SITE/CIVIL ENGINEER:

**CROCKETT**  
ENGINEERING CONSULTANTS  
1000 W. Nifong Blvd., Bldg. 1  
Columbia, Missouri 65203  
(573) 447-0292

www.crockettengineering.com

Crockett Engineering Consultants, LLC  
Arkansas Certificate of Authority  
#2394





**STREETS LEGEND:**

- A STREET 1 (50' R/W-26' PAVT.) (RESIDENTIAL CROSS SECTION)
- B STREET 2 (50' R/W-26' PAVT.) (RESIDENTIAL CROSS SECTION)
- C S. STATE HIGHWAY 119 Y (COUNTRY CLUB RD) (80' R/W) (STATE HIGHWAY)

**NOTES:**

THE 100-YEAR STORM OVERFLOW SYSTEM FOR THIS PROJECT WILL BE HANDLED BY OVERLAND FLOW. THESE SYSTEMS ARE SHOWN WITH THE 100-YR. SYMBOL.

**LEGEND OF SYMBOLS:**

- 88--- EXISTING 2 FT CONTOUR
- 80--- EXISTING 10 FT CONTOUR
- 88--- PROPOSED 2 FT CONTOUR
- 80--- PROPOSED 10 FT CONTOUR
- FF-XXXX FINISHED FLOOR OF STRUCTURE
- XXXX.XX TC PROPOSED TOP OF CURB ELEVATION
- XXXX.XX TP PROPOSED TOP OF PAVEMENT ELEVATION
- XXXX.XX FG PROPOSED FINISH GRADE ELEVATION
- XXXX.XX TW PROPOSED TOP WALL ELEVATION

**NOTES:**

- A FINE GRADE AS SHOWN BY PROPOSED CONTOURS. PLACE MINIMUM OF 6" TOP SOIL ON ALL LOTS 1-24 & C1 AFTER ALL STRUCTURES ARE CONSTRUCTED. ALL AREAS ARE TO BE SEEDED AND MULCHED AFTER FINE GRADING.
- B GRADE ACCESSIBLE PARKING STALLS AND ROUTES AS SHOWN. SLOPE OF THE PAVEMENT AT ALL ACCESSIBLE PARKING STALLS SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS. ALL ACCESSIBLE ELEMENTS SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.
- C ALL BUILDINGS ARE TYPICAL. ALL GARAGES HAVE A 0.4' DROP FROM BUILDING FF TO END OF GARAGE SLOPE ADJACENT TO DRIVEWAY. ALL BACK PATIOS HAVE A 0.3' DROP FROM BUILDING FF (EXCEPT ACCESSIBLE UNITS ARE FLUSH). REFER TO ARCHITECTURAL PLANS FOR FURTHER INFORMATION.
- D UNIT 1A, 1B AND 2A WILL SERVE AS AN UFAS UNIT
- E ALL STREETS TO HAVE A MINIMUM GRADE OF 0.5%
- F ALL YARDS TO BE GRADED TO HAVE A MINIMUM GRADE OF 0.25%

<b>REVISIONS:</b>	
NO.	DATE
ORIGINAL	11/30/2017
THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY	
PRELIMINARY (NOT FOR CONSTRUCTION)	
TIMOTHY D. CROCKETT AR LICENSE - 15089	
SITE/CIVIL ENGINEER	<b>CROCKETT</b> ENGINEERING CONSULTANTS 1000 W. Wilson Blvd., Suite 1 Commerce, MS 38931 (662) 467-0292 <a href="http://www.crockettengineering.com">www.crockettengineering.com</a> Crockett Engineering Consultants, LLC Licensed Professional Engineer of Mississippi #22284
OWNER:	PINES COTTAGES HOUSING PARTNERS, LP 800 E. LARK LANE MOBILE, AL 36684
PINES COTTAGES	
A SUBDIVISION LOCATED IN SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS	
<b>DRAWING INCLUDES:</b>	
GRADING PLAN	
DESIGNED:	TDC
DRAWN:	KRM
PROJECT NO.:	170467
SHEET:	CE X



REVISIONS:

NO.	DATE
ORIGINAL	11/30/2017

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**PRELIMINARY**  
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT  
AR LICENSE - 15089

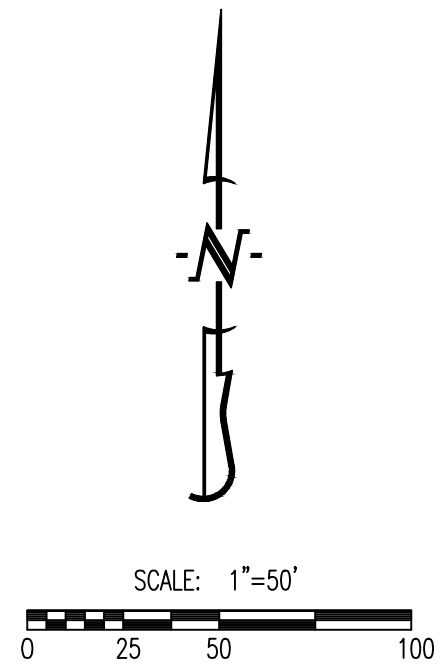
**CROCKETT**  
ENGINEERING CONSULTANTS  
1000 W. Wilson Blvd., Suite 1  
Commerce, MO 64601  
Phone: (636) 467-0292  
www.crockettengineering.com  
Crockett Engineering Consultants, LLC  
A Licensed Professional Engineering Firm  
#22284

OWNER:  
PINES COTTAGES HOUSING PARTNERS, LP  
800 E. LAKE LANE  
MOA, MO 65754

**PINES COTTAGES**  
A SUBDIVISION LOCATED IN  
SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST  
OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS

DRAWING INCLUDES:  
  
UTILITY PLAN

DESIGNED: TDC  
DRAWN: KRM  
PROJECT NO.: 170467  
SHEET:  
CE 3

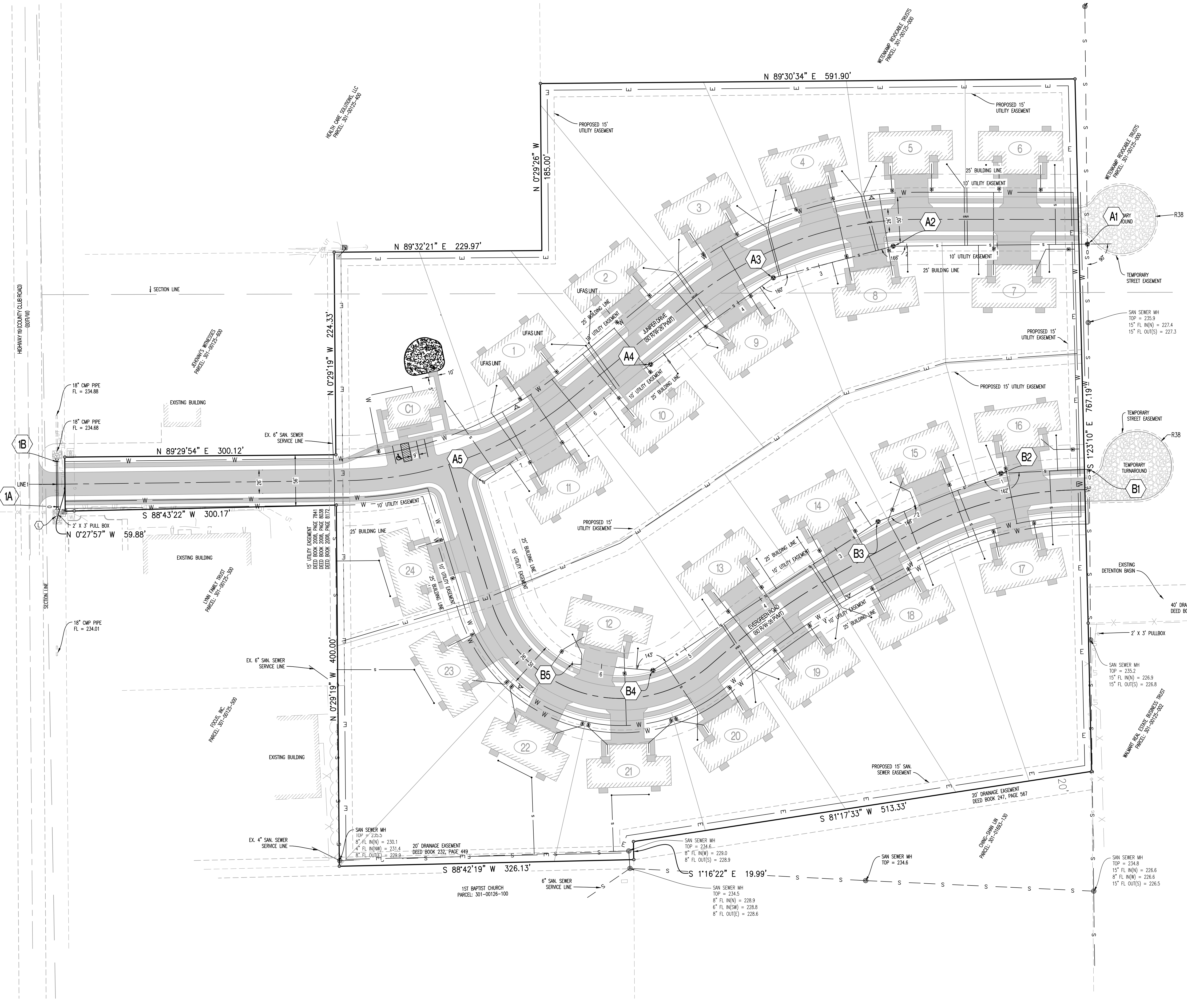


- STREETS LEGEND:**
- A JUNIPER DRIVE (50' R/W-26' PAVT.) (RESIDENTIAL CROSS SECTION)
  - B EVERGREEN ROAD (50' R/W-26' PAVT.) (RESIDENTIAL CROSS SECTION)
  - C S. STATE HIGHWAY 119 Y (COUNTRY CLUB RD) (80' R/W) (STATE HIGHWAY)

	PLAT 1
8" SEWER	1373 LF.
DOGHOUSE MANHOLE	2 EA.
STD. MANHOLE	6 EA.
STD. CLEANOUT	2 EA.
WYES	45 EA.

PLAT 1	24 LOTS x 2 UNITS A LOT x 3.7/UNIT x 100 GPCD = 17,760 GPD
--------	--

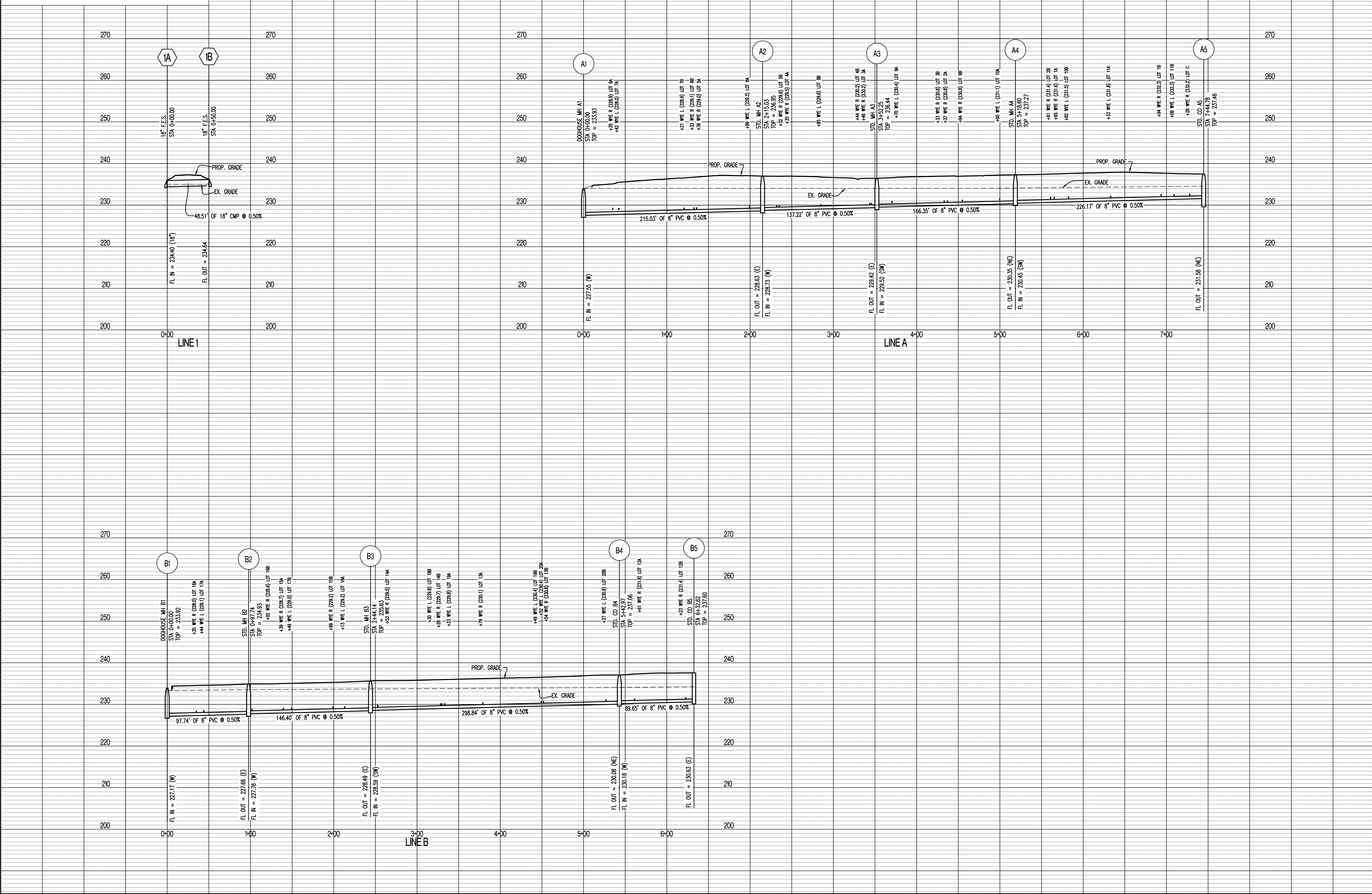
- LEGEND OF LABELS**
- (A) PLACE RIP-RAP AS SHOWN. REFER TO DETAIL 530.03 ON CE 9.
  - (B) INSTALL RIP-RAP BETWEEN THE NEW AND EXISTING STORM PIPE. FOLLOW REQUIRED WIDE AS INDICATED ON DETAIL 530.03 ON CE 9.
  - (C) PROPOSED SERVICE WYE. REFER TO DETAIL ON CE 10. TYPICAL FOR ALL 48 UNITS. COORDINATE WITH CITY OF OSCEOLA ON TAPPING FEES.
  - (D) INSTALL 6" WATERLINE AS SHOWN. COORDINATE WITH THE CITY OF OSCEOLA.
  - (E) TAP EXISTING 6" WATERLINE NEAR HIGHWAY 119. COORDINATE WITH THE CITY OF OSCEOLA.
  - (F) INSTALL 3" SERVICE LINE TAP TO UNIT. COORDINATE WITH CITY OF OSCEOLA ON INSTALLATION OF METER AND TAPPING FEES. TYPICAL FOR ALL 48 UNITS.
  - (G) INSTALL 6" FIRE HYDRANT ASSEMBLY (INCLUDES FIRE HYDRANT, 6" GATE VALVE WITH VALVE BOX TO SURFACE, AND TEE WHERE APPLICABLE).
  - (H) INSTALL UNDERGROUND ELECTRIC AS SHOWN. COORDINATE WITH CITY OF OSCEOLA. SECONDARY TRENCHING AND CONDUIT TO BE PERFORMED BY SITE CONTRACTOR. CITY ELECTRIC WILL INSTALL SECONDARY LINES AND TRANSFORMERS.
  - (I) TAP EXISTING OVERHEAD ELECTRIC AND EXTEND TO TRANSFORMER. COORDINATE WITH CITY OF OSCEOLA. PRIMARY INSTALLATION TO BE PERFORMED BY CITY ELECTRIC.
  - (J) INSTALL 5'x5'x4" TRANSFORMER PAD. COORDINATE WITH CITY OF OSCEOLA.
  - (K) EXACT DEPTH AND LOCATION OF UTILITIES ARE UNKNOWN. CONTRACTOR SHALL POT HOLE AND FIND ALL UTILITIES IN AREA OF LABEL BEFORE ANY GRADING BEGINS. CONTRACTOR TO VERIFY PROPER COVERAGE OF ALL UTILITIES OR RELOCATE DEPTH AS NEEDED.
  - (L) RELOCATE AT&T PULL BOX APPROPRIATELY 8-FOOT TO THE EAST OUT OF THE PROPOSED DRAINAGE DITCH.



MANHOLE	TOP	8" FL IN(N)	8" FL IN(W)	8" FL IN(S)	8" FL OUT(S)
SAN SEWER MH 1	235.5	230.1	231.4	229.9	229.9
SAN SEWER MH 2	234.6	229.0	228.8	228.8	228.6
SAN SEWER MH 3	234.5	228.9	228.8	228.8	228.6
SAN SEWER MH 4	234.6	229.0	228.8	228.8	228.6
SAN SEWER MH 5	234.8	228.6	228.6	228.6	228.5



SCALE:  
HORIZ 1" = 50'  
VERT 1" = 10'



REVISIONS:

NO.	DATE
ORIGINAL	11/29/2017

THIS SHEET HAS BEEN SIGNED, SEALED AND DATED ELECTRONICALLY

**PRELIMINARY**  
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT  
AR LICENSE - 5089

**CROCKETT**  
ENGINEERING CONSULTANTS  
1000 E. LARK LANE  
NWA, MO 65714  
www.crockettengineering.com  
Crockett Engineering Consultants, LLC  
Arkansas Certificate of Authority #2394

**OWNER:**  
PINES COTTAGES HOUSING PARTNERS, LP  
800 E. LARK LANE  
NWA, MO 65714

**PINES COTTAGES**  
A SUBDIVISION LOCATED IN  
SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST  
OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS

**DRAWING INCLUDES:**  
STORM SEWER PROFILE  
LINE 1 &  
SANITARY SEWER PROFILE  
LINES A, B & C

**DESIGNED:** TDC

**DRAWN:** KRM

**PROJECT NO.:** 170467

**SHEET:**  
CE 4



REVISIONS:

NO.	DATE
ORIGINAL	11/30/2017

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**PRELIMINARY**  
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT  
AR LICENSE - 65089

**CROCKETT**  
ENGINEERING CONSULTANTS, LLC  
1000 W. MILWAUKEE BLVD  
COLUMBIA, MISSOURI 65203  
(314) 447-0092  
www.crockettengineering.com  
Crockett Engineering Consultants, LLC  
Arkansas Certificate of Authority  
0434

OWNER:  
PINES COTTAGES HOUSING PARTNERS LP  
1800 E LARK LANE  
NWA, MO 65774

**PINES COTTAGES**  
A SUBDIVISION LOCATED IN  
SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST  
OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS

DRAWING INCLUDES:  
SITE PLAN

DESIGNED: TDC  
DRAWN: KRM

PROJECT NO.: 170467

SHEET:  
CE 5

STREETS LEGEND:

- [A] JUNIPER DRIVE (50' R/W-26' PVMT.) (RESIDENTIAL CROSS SECTION)
- [B] EVERGREEN ROAD (50' R/W-26' PVMT.) (RESIDENTIAL CROSS SECTION)
- [C] S. STATE HIGHWAY 119 Y (COUNTRY CLUB RD) (80' R/W) (STATE HIGHWAY)

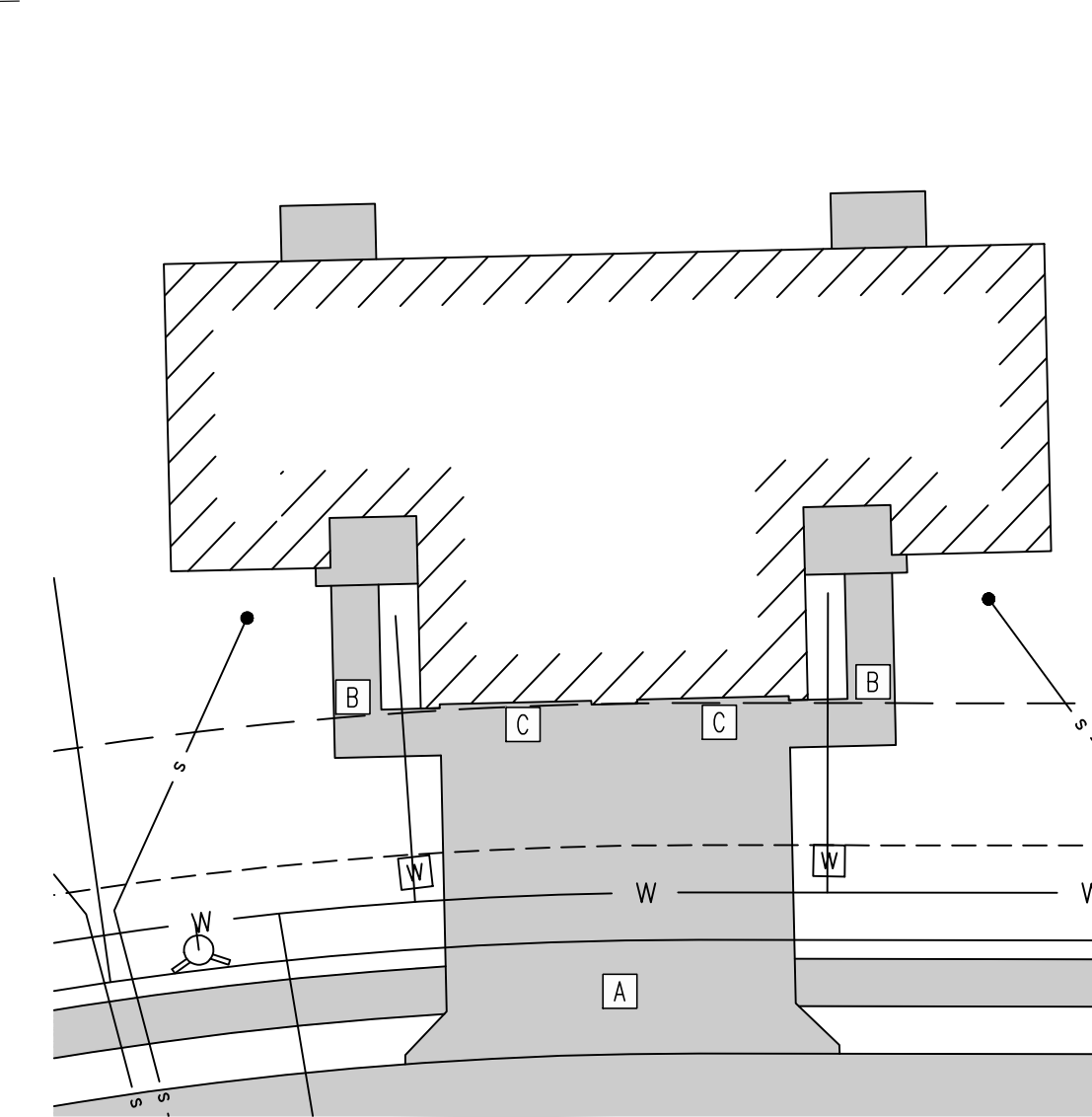
GENERAL NOTES:

- 1) THE PAVEMENT JOINTS SHOWN ARE A GRAPHICAL REPRESENTATION OF A POSSIBLE JOINT LAYOUT. CONTRACTOR TO PROVIDE SHOP DRAWINGS WITH JOINT LAYOUT FOR APPROVAL BY ENGINEER PRIOR TO POURING OF PAVEMENT.
- 2) ALL CONSTRUCTION LOCATED IN ARDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH KANSAS DEPT. OF TRANSPORTATION STANDARDS AND CURRENT REQUIREMENTS THEREOF.
- 3) UNITS 1A, 1B AND 2A TO SERVE AS UFAS UNITS

LEGEND OF LABELS:

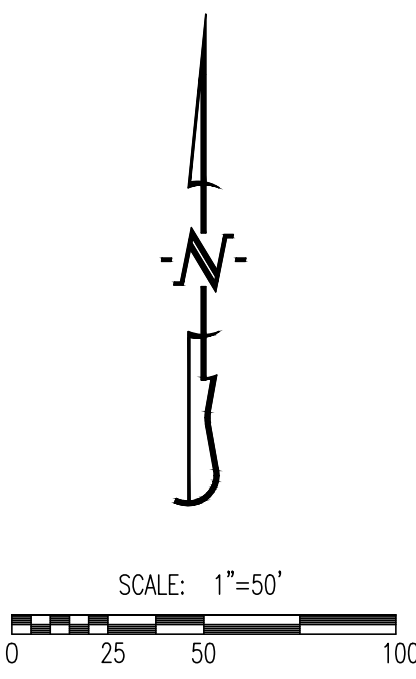
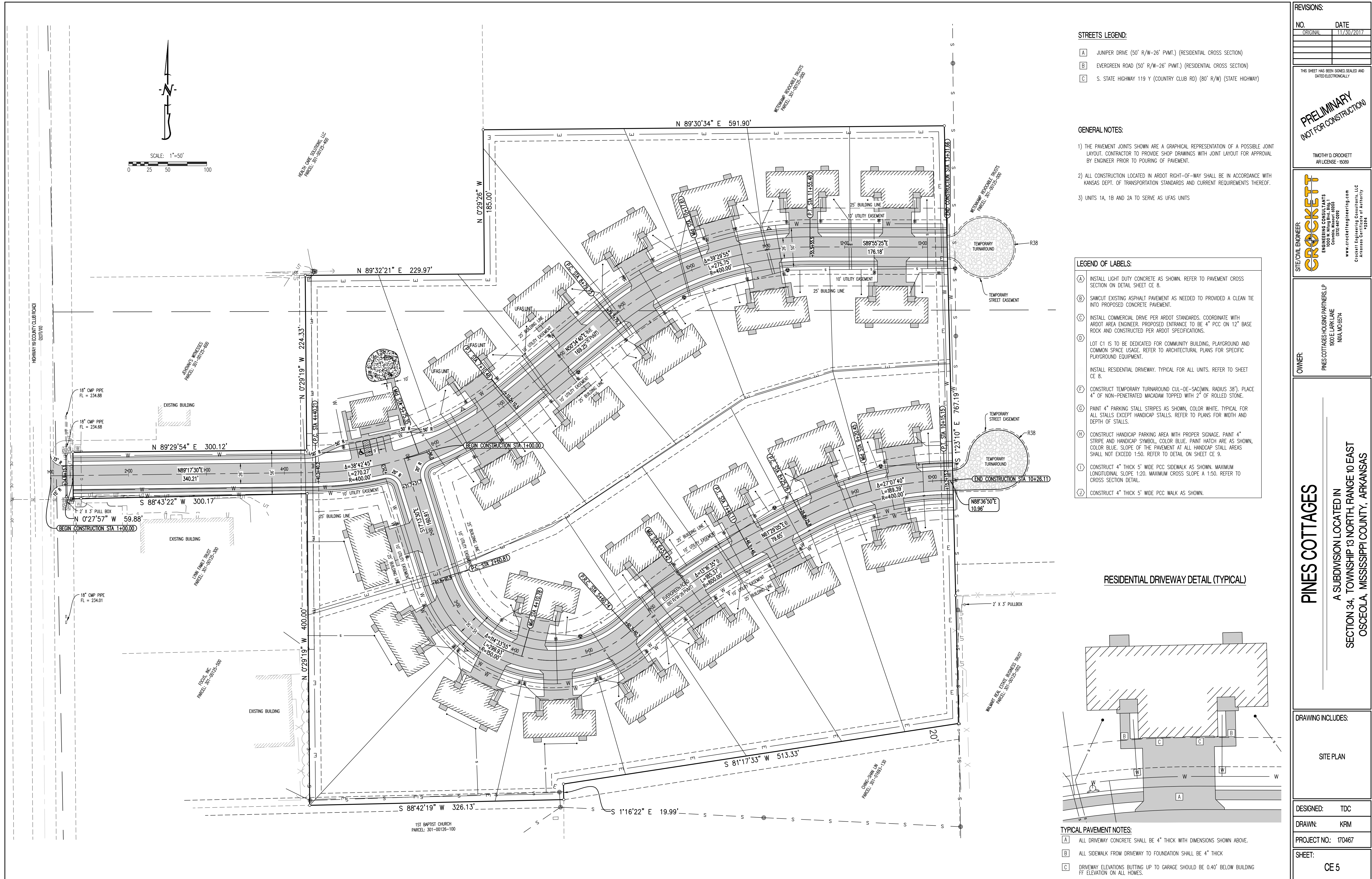
- (A) INSTALL LIGHT DUTY CONCRETE AS SHOWN. REFER TO PAVEMENT CROSS SECTION ON DETAIL SHEET CE 8.
- (B) SAWCUT EXISTING ASPHALT PAVEMENT AS NEEDED TO PROVIDED A CLEAN TIE INTO PROPOSED CONCRETE PAVEMENT.
- (C) INSTALL COMMERCIAL DRIVE PER ARDOT STANDARDS. COORDINATE WITH ARDOT AREA ENGINEER. PROPOSED ENTRANCE TO BE 4" PCC ON 12" BASE ROCK AND CONSTRUCTED PER ARDOT SPECIFICATIONS.
- (D) LOT C1 IS TO BE DEDICATED FOR COMMUNITY BUILDING, PLAYGROUND AND COMMON SPACE USAGE. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC PLAYGROUND EQUIPMENT.
- INSTALL RESIDENTIAL DRIVEWAY. TYPICAL FOR ALL UNITS. REFER TO SHEET CE 8.
- (E) CONSTRUCT TEMPORARY TURNAROUND CUL-DE-SAC (MIN. RADIUS 38'). PLACE 4" OF NON-PENETRATED MACADAM TOPPED WITH 2" OF ROLLED STONE.
- (F) PAINT 4" PARKING STALL STRIPES AS SHOWN, COLOR WHITE. TYPICAL FOR ALL STALLS EXCEPT HANDICAP STALLS. REFER TO PLANS FOR WIDTH AND DEPTH OF STALLS.
- (H) CONSTRUCT HANDICAP PARKING AREA WITH PROPER SIGNAGE. PAINT 4" STRIPE AND HANDICAP SYMBOL, COLOR BLUE. PAINT HATCH ARE AS SHOWN, COLOR BLUE. SLOPE OF THE PAVEMENT AT ALL HANDICAP STALL AREAS SHALL NOT EXCEED 1:50. REFER TO DETAIL ON SHEET CE 9.
- (I) CONSTRUCT 4" THICK 5' WIDE PCC SIDEWALK AS SHOWN. MAXIMUM LONGITUDINAL SLOPE 1:20. MAXIMUM CROSS SLOPE A 1:50. REFER TO CROSS SECTION DETAIL.
- (J) CONSTRUCT 4" THICK 5' WIDE PCC WALK AS SHOWN.

RESIDENTIAL DRIVEWAY DETAIL (TYPICAL)



TYPICAL PAVEMENT NOTES:

- [A] ALL DRIVEWAY CONCRETE SHALL BE 4" THICK WITH DIMENSIONS SHOWN ABOVE.
- [B] ALL SIDEWALK FROM DRIVEWAY TO FOUNDATION SHALL BE 4" THICK
- [C] DRIVEWAY ELEVATIONS BUTTING UP TO GARAGE SHOULD BE 0.40' BELOW BUILDING FF ELEVATION ON ALL HOMES.



HEATHY PIPE SOLUTIONS, LLC  
PARCEL: 301-10125-100

EDWARDS WILMESTER  
PARCEL: 301-10125-100

FRANK FARMY TRUST  
PARCEL: 301-10125-100

FRANK FARMY TRUST  
PARCEL: 301-10125-100

CHAMP-DAVIS, INC.  
PARCEL: 301-10185-119

WILKINSON BROOKSIDE TRUST  
PARCEL: 301-10125-100

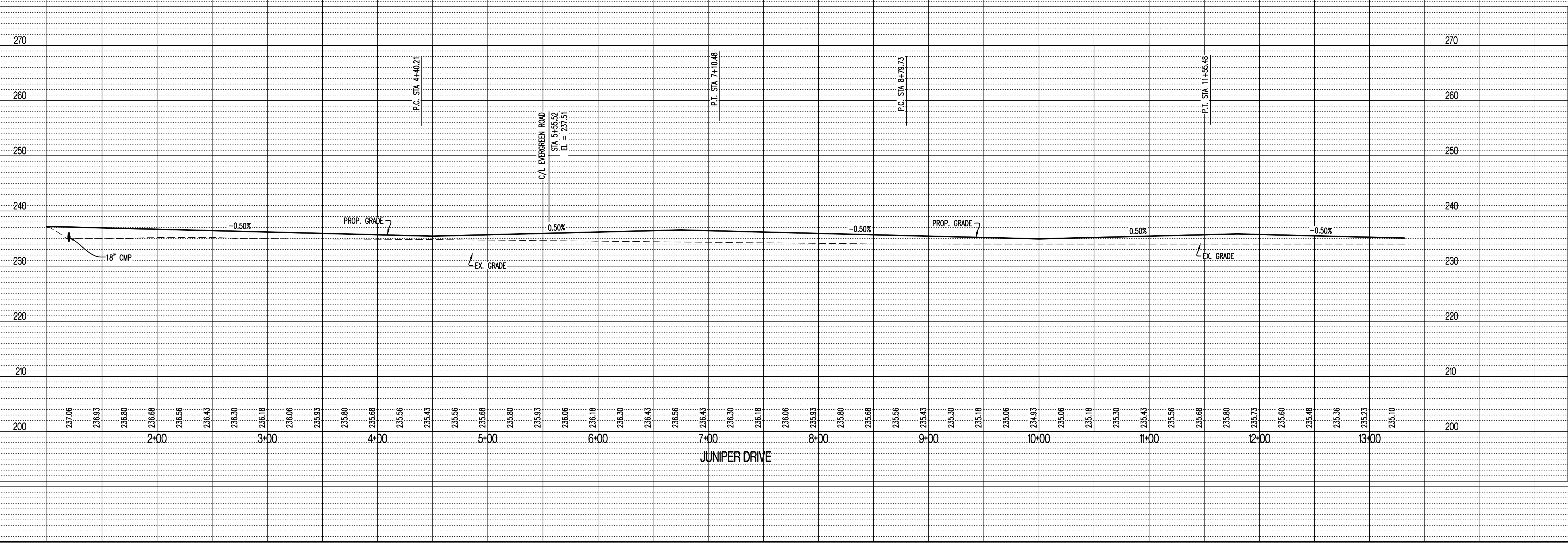
WILKINSON BROOKSIDE TRUST  
PARCEL: 301-10125-100

WILKINSON REAL ESTATE BUSINESS TRUST  
PARCEL: 301-10125-100

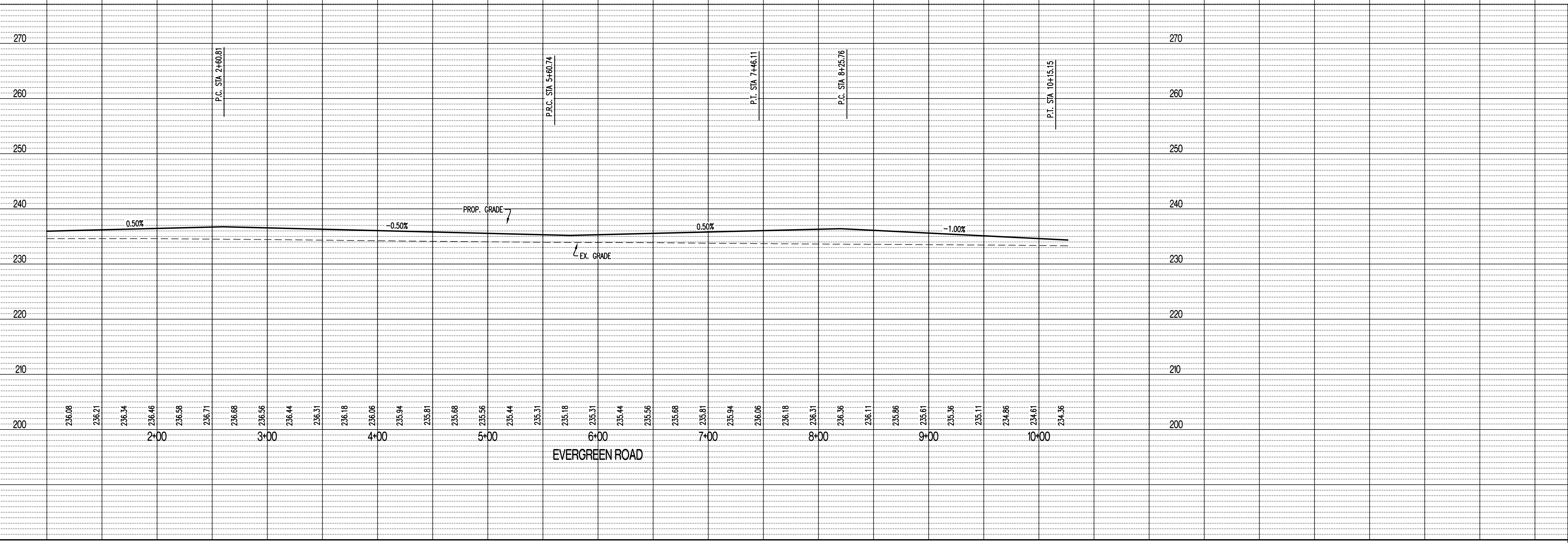
1ST BAPTIST CHURCH  
PARCEL: 301-00126-100



SCALE:  
HORIZ 1" = 50'  
VERT 1" = 10'



SCALE:  
HORIZ 1" = 50'  
VERT 1" = 10'



REVISIONS:

NO.	DATE
ORIGINAL	11/30/2017

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**PRELIMINARY**  
(NOT FOR CONSTRUCTION)

TIMOTHY D CROCKETT  
AR LICENSE - 95089

**CROCKETT**  
ENGINEERING CONSULTANTS  
1020 W. Wilson Blvd., Ste. 300  
Columbia, Missouri 65203  
620-747-0474  
www.crockettengineering.com  
Crockett Engineering Consultants, LLC  
Architect/Engineer of Authority  
2324

OWNER:  
PINES COTTAGES HOUSING PARTNERS, LP  
1602 LARK LANE  
NWA, MO 65714

**PINES COTTAGES**  
A SUBDIVISION LOCATED IN  
SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST  
OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS

DRAWING INCLUDES:

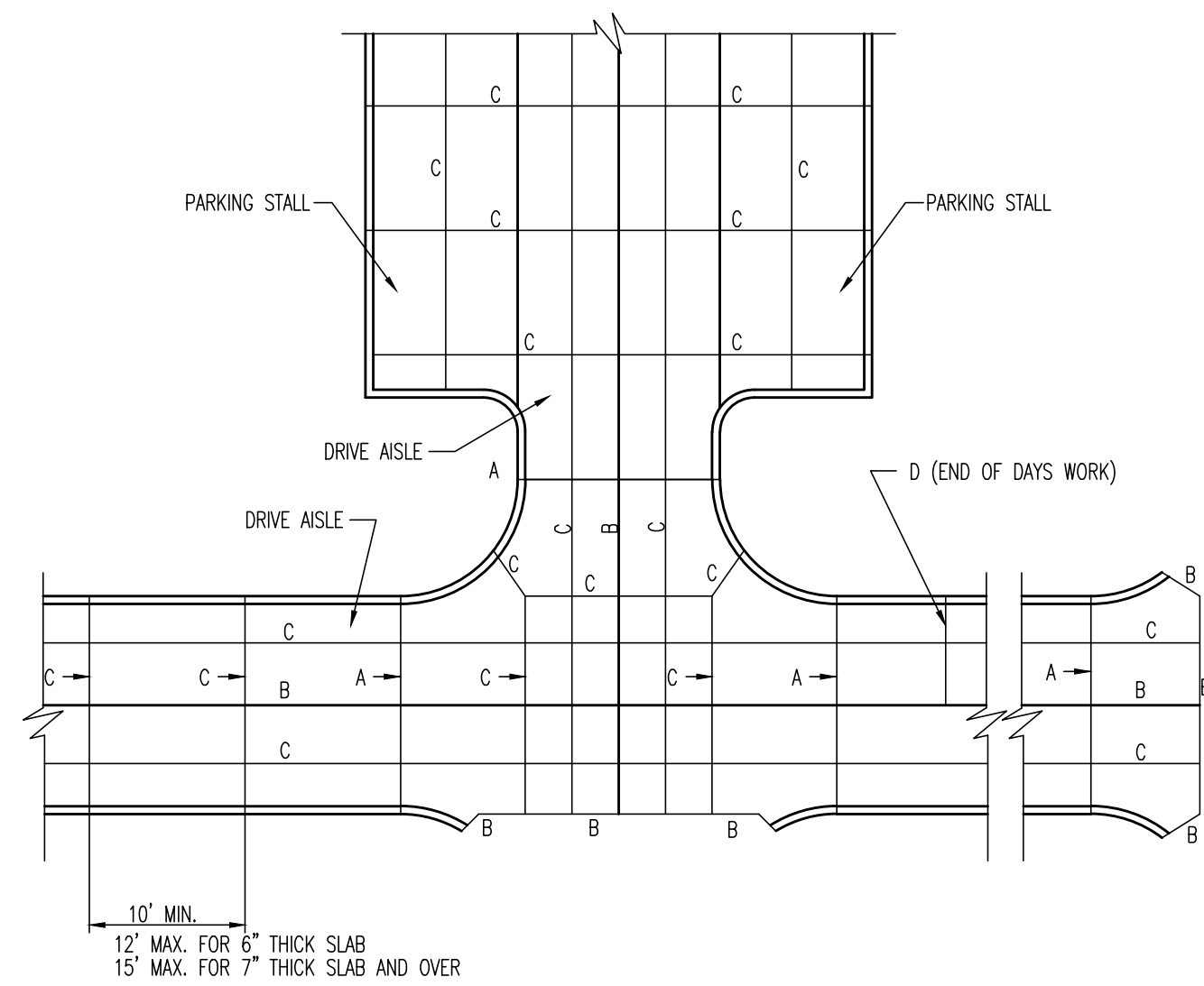
STREET PROFILES

DESIGNED: TDC

DRAWN: KRM

PROJECT NO: 170467

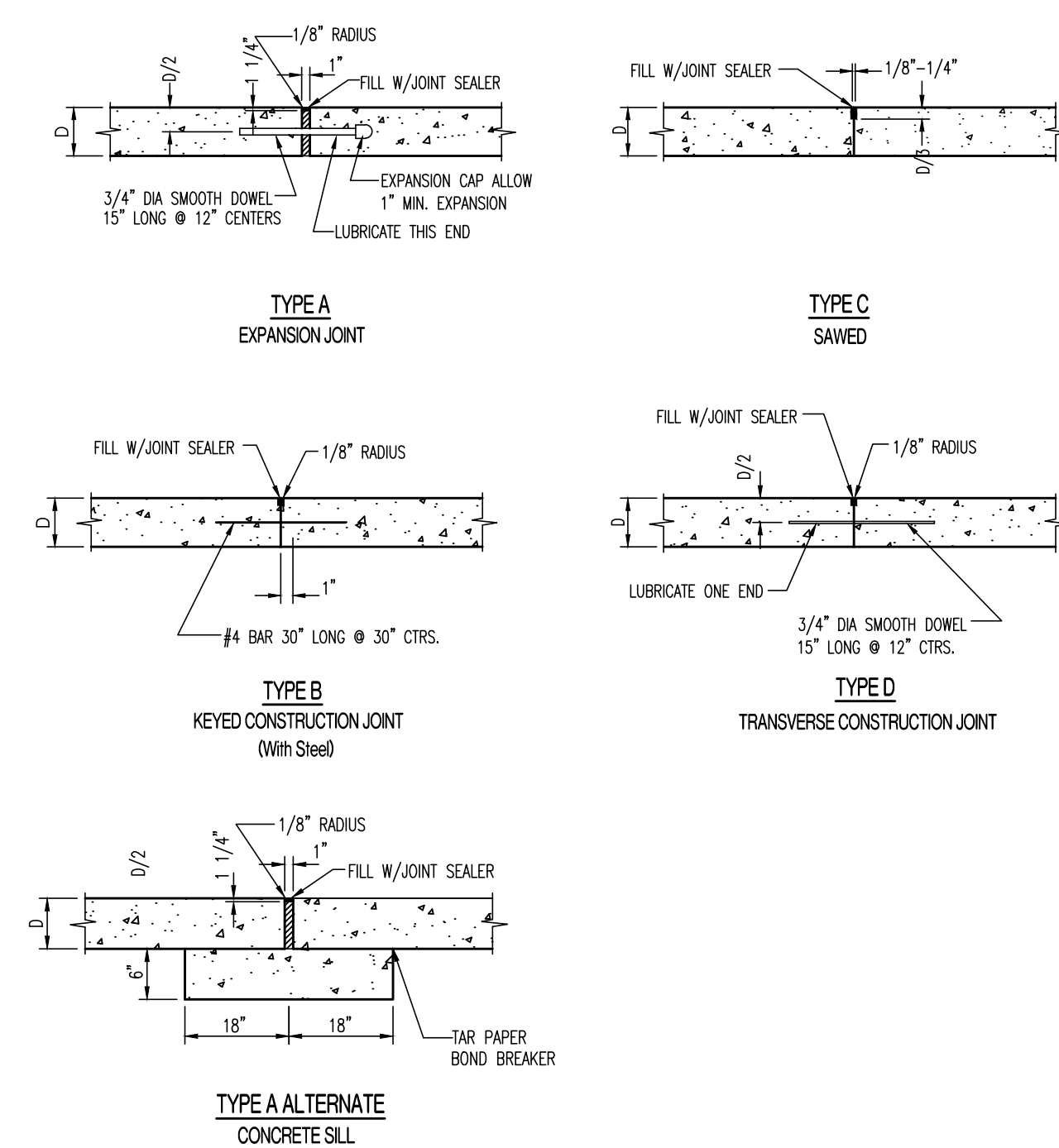
SHEET:  
CE 7



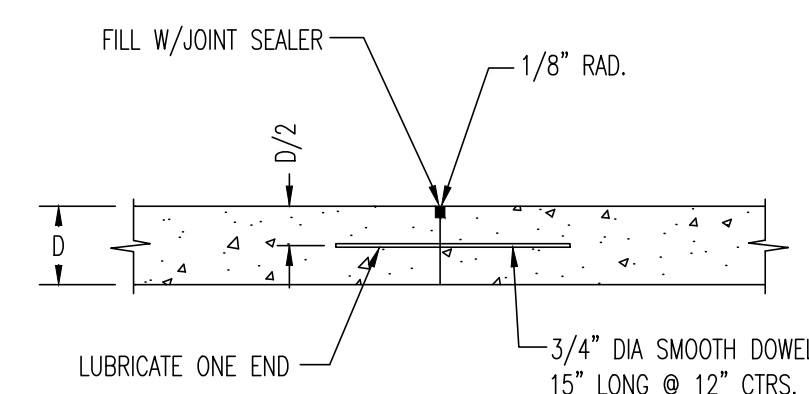
TYPICAL JOINT LOCATION PLAN

- NOTE:
1. TRANSVERSE TYPE C JOINTS SHALL BE SAWS AS SOON AS CONCRETE CAN WITHSTAND RAVELING. JOINTS SHALL BE CLEANED AND FILLED WITH BITUMINOUS COMPOUND IMMEDIATELY FOLLOWING SAWING.
  2. INSTALL TYPE A EXPANSION JOINTS AT INTERSECTIONS, AND AT STRUCTURES.
  3. USE TYPE D JOINT AT END OF DAYS WORK.

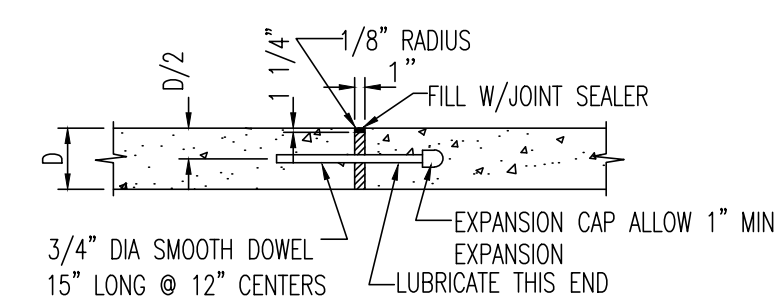
JOINT DETAILS (P.C. CONCRETE PAVMENT) (PRIVATE)



JOINT DETAILS (P.C. CONCRETE PAVMENT) (PRIVATE)



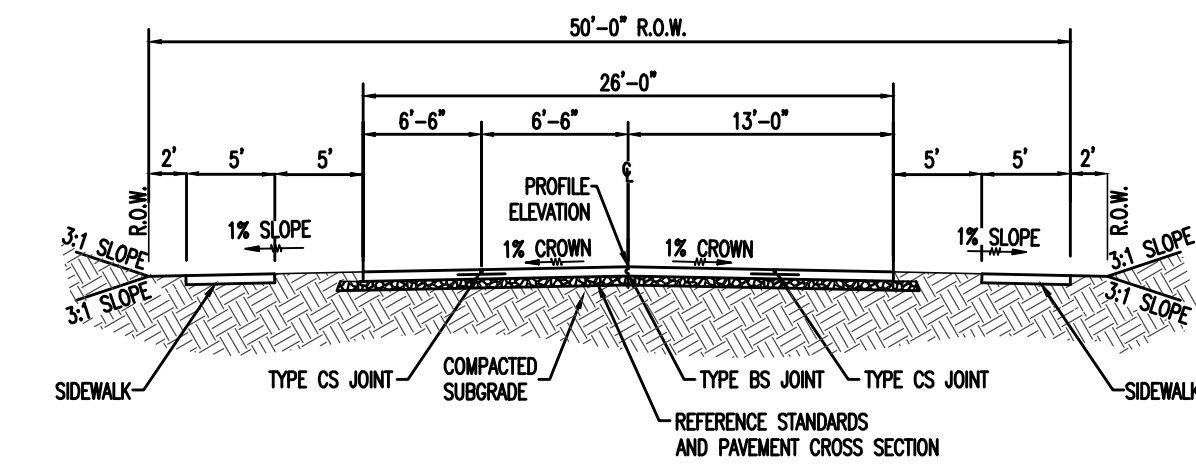
END OF DAYS WORK - JOINT DETAIL



TYPE A - EXPANSION JOINT

JOINT DETAILS

TYPICAL ROAD CROSS SECTION DETAILS



- NOTES:
- 1) ALL P.C. CONCRETE SHALL BE CLASS A.
  - 2) SEE DETAIL SHEET FOR JOINT DETAILS.
  - 3) REFERENCE CITY OF OSCEOLA'S SUBDIVISION DESIGN REGULATIONS FOR STREET DESIGN STANDARDS

ROAD CROSS SECTION DETAIL  
26 FOOT PRIVATE ROAD CROSS-SECTION

REVISIONS:

NO.	DATE
ORIGINAL	11/30/2017

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**PRELIMINARY**  
(NOT FOR CONSTRUCTION)

TIMOTHY D. CROCKETT  
AR LICENSE - 16089

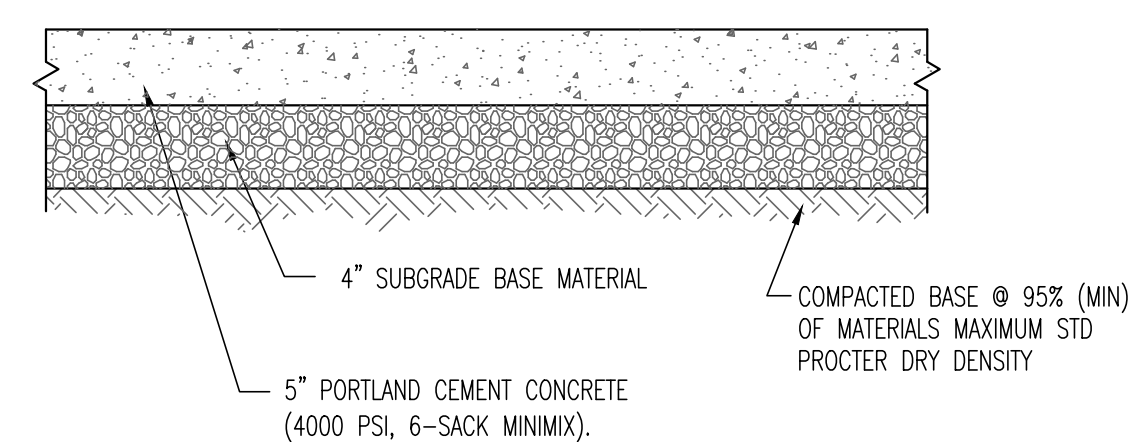
**CROCKETT**  
ENGINEERING PARTNERS LP  
1800 W. LARK LANE  
NOLA, MO 65714  
www.crockettengineering.com  
Crockett Engineering Consultants, LLC  
Arkansas Certificate of Authority  
1434

OWNER:  
PINES COTTAGES HOUSING PARTNERS LP  
1800 E. LARK LANE  
NOLA, MO 65714

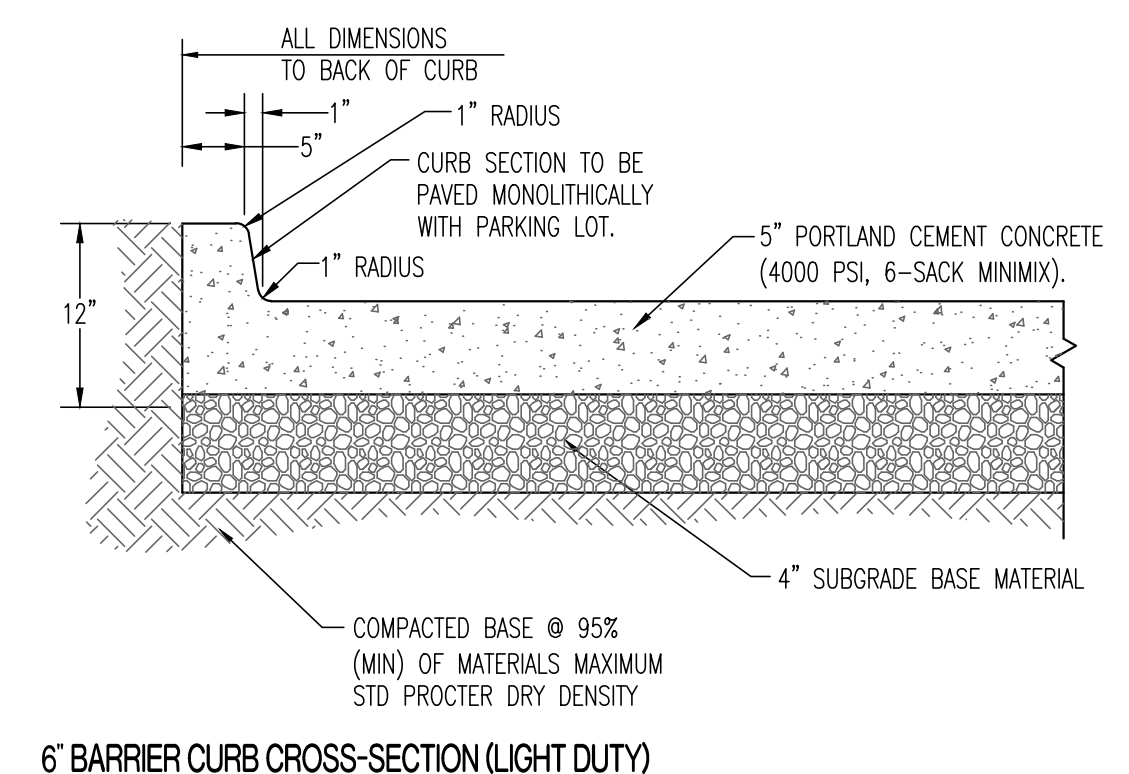
**PINES COTTAGES**  
A SUBDIVISION LOCATED IN  
SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST  
OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS

DRAWING INCLUDES:  
JOINT, CROSS SECTION,  
SIDEWALK, AND  
PAVEMENT DETAILS

DESIGNED: TDC  
DRAWN: KRM  
PROJECT NO.: 170467  
SHEET:  
CE 8



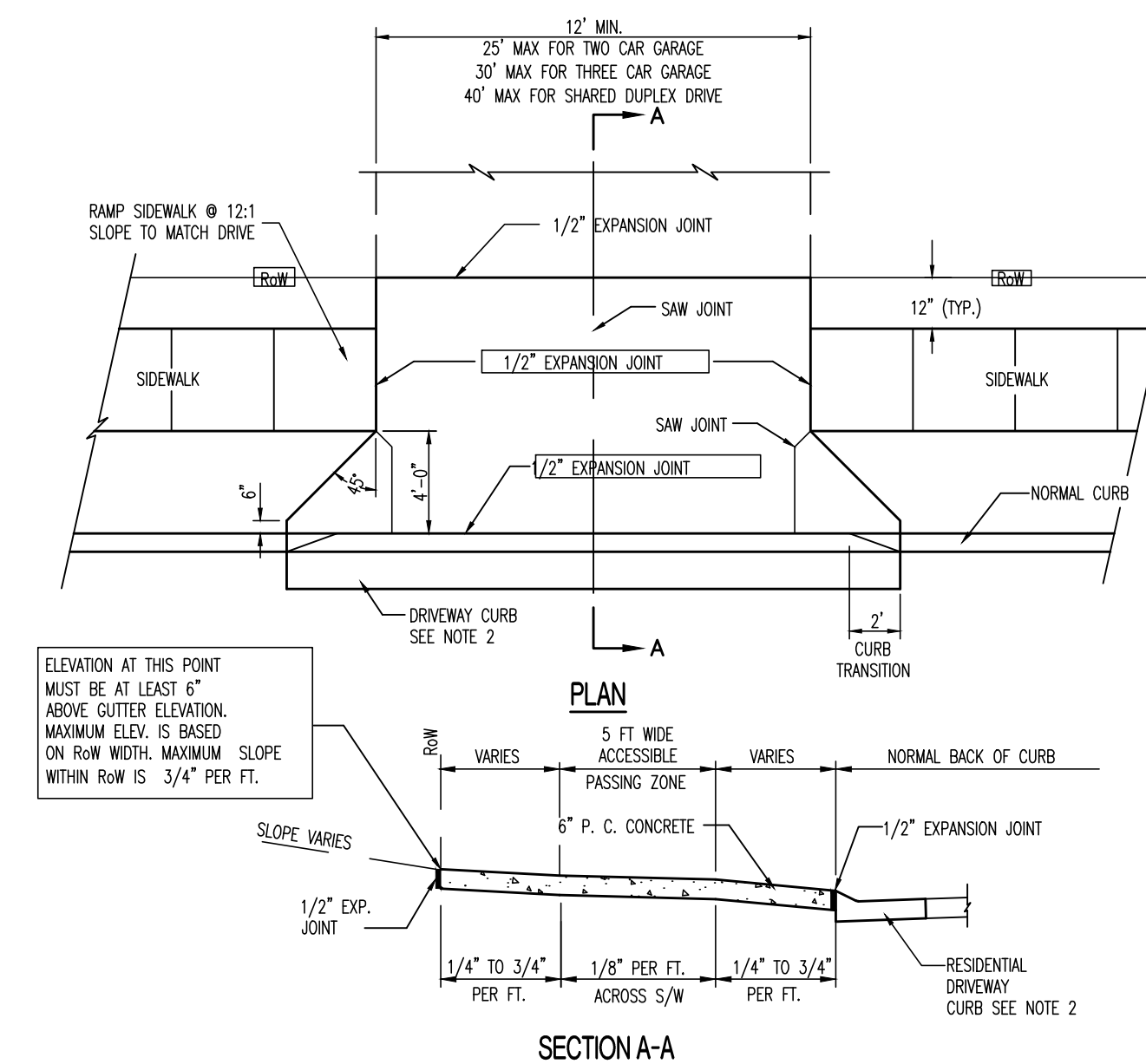
TYPICAL CONCRETE PAVEMENT CROSS SECTION (LIGHT DUTY)



LIGHT DUTY PAVEMENT  
(REFER TO GEOTECH REPORT)

PAVEMENT DETAILS

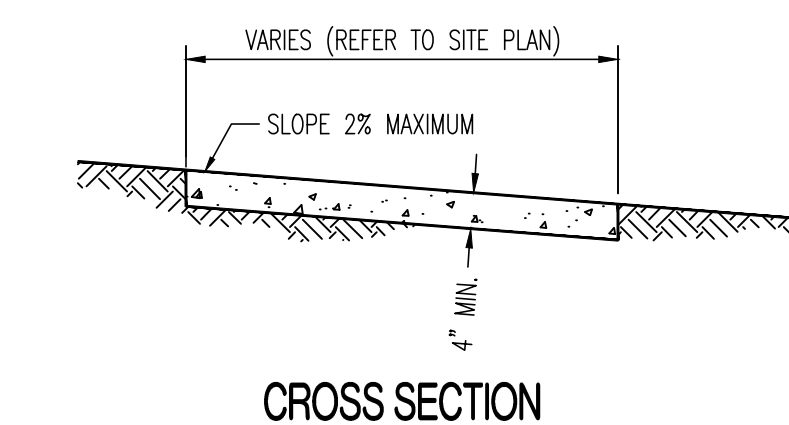
RESIDENTIAL DRIVEWAY DETAIL



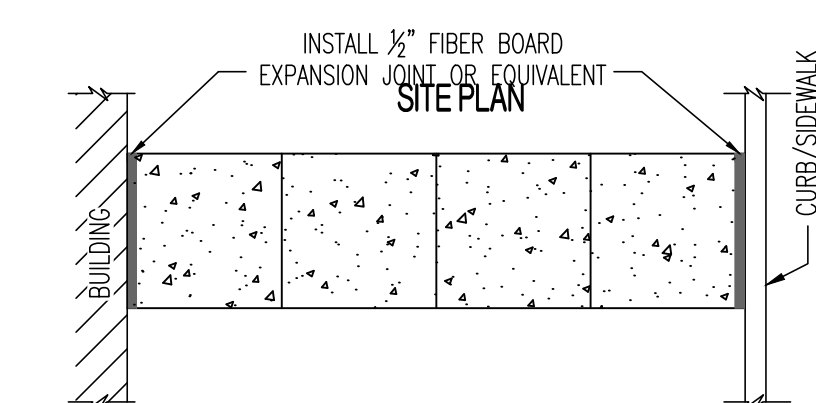
- NOTES:
1. DRIVEWAY APPROACH SHALL BE 5" THICK CLASS A CONCRETE ON COMPACTED SUBGRADE.
  2. IF APPLICABLE, REPLACE STANDARD CURB & GUTTER SECTION WITH DRIVEWAY CURB SECTION.
  3. EXPANSION JOINT SHALL BE 1/2" PREFORMED CURB OR BITUMINOUS EXPANSION JOINT MATERIAL.
  4. ALL DRIVEWAY APPROACHES SHALL SLOPE TOWARD THE ROW LINE.
  5. ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED TO ACCOMMODATE SIDEWALKS. (EXISTING AND FUTURE) STANDARD SIDEWALK LOCATION IS 1 FT OFF OF ROW LINE.
  6. DRIVEWAY APPROACH SHALL PROVIDE A MINIMUM 5' WIDE ACCESSIBLE SIDEWALK PASSING ZONE.
  7. DRIVEWAY SLOPE ACROSS ACCESSIBLE SIDEWALK PASSING ZONE IS 1/8" PER FT. CROSS SLOPE SHALL NOT EXCEED 2.00%.
  8. MINIMIZE SIDEWALK WARPING ADJACENT TO DRIVEWAY APPROACH.
  9. DRIVEWAY SLOPE WITHIN RIGHT OF WAY SHALL NOT EXCEED 3/4" PER FOOT.
  10. DRIVEWAY MAY BE REINFORCED AT OWNER'S OPTION. ON CITY BID PROJECTS DO NOT REINFORCE.

DRIVEWAY (Residential) (410.02)

SIDEWALK DETAILS



CROSS SECTION



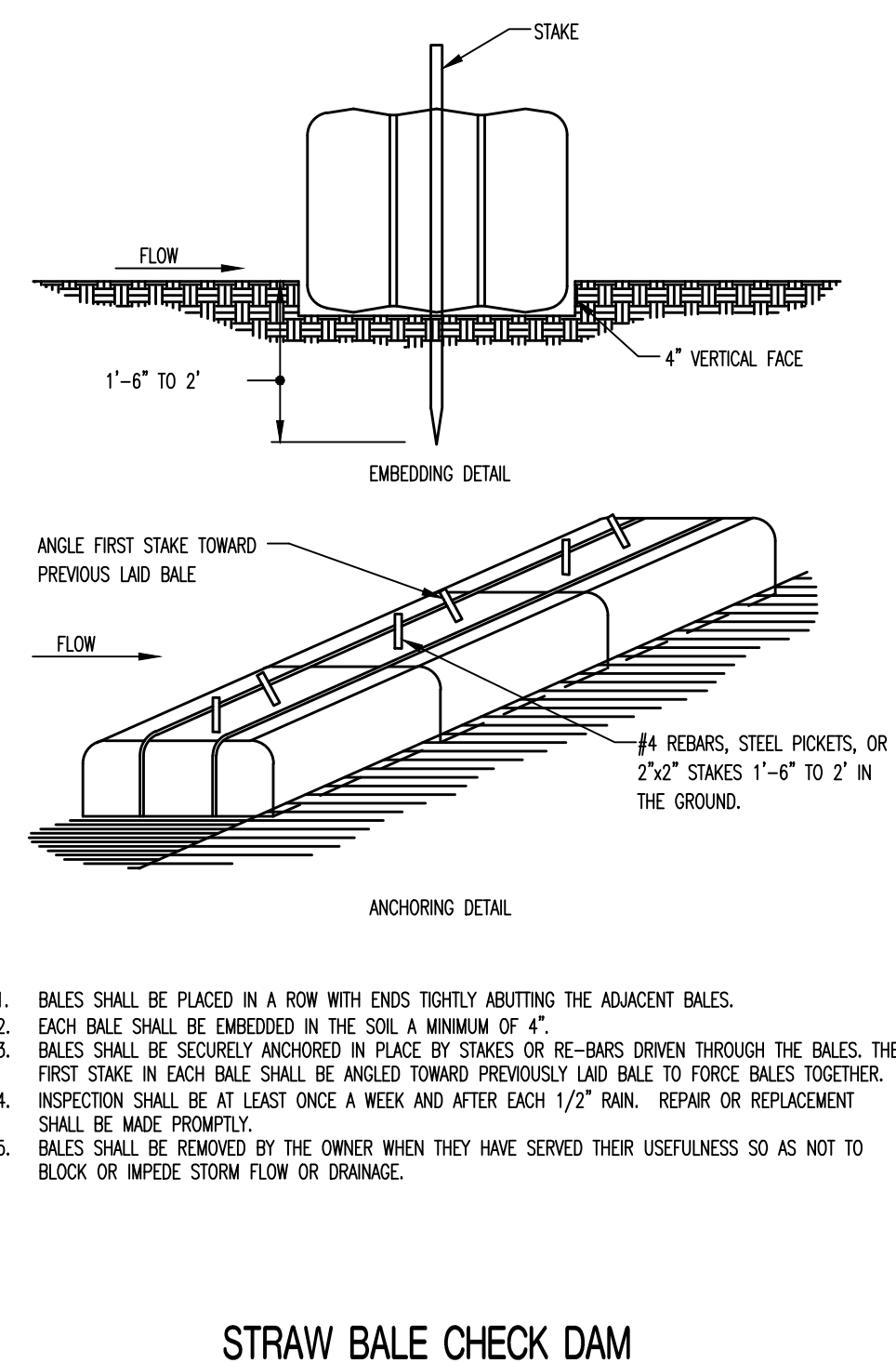
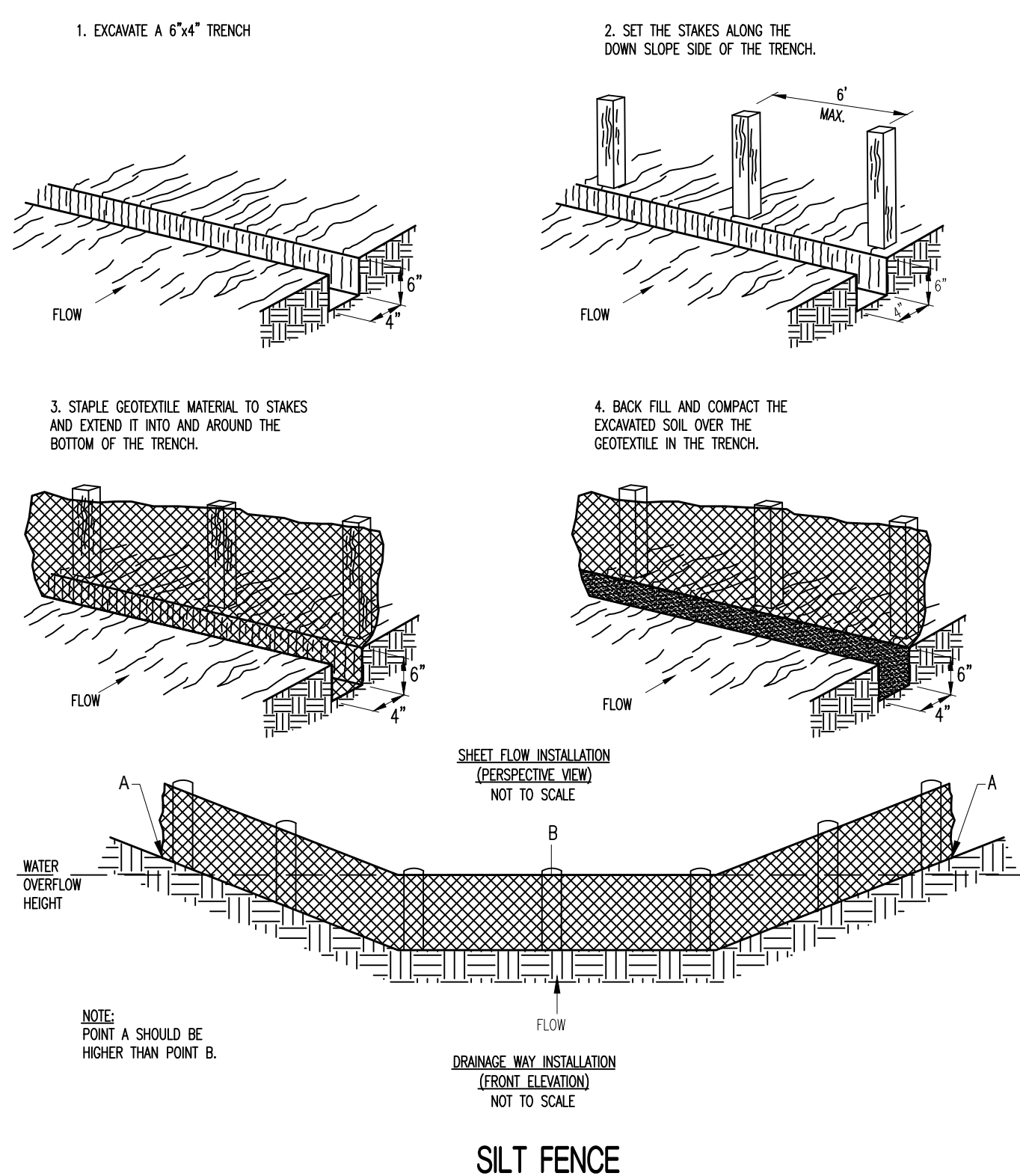
TYPICAL LOCATION OF EXPANSION JOINT AT BUILDING/CURB

- NOTE:
1. SIDEWALK SHALL BE 4" THICK CLASS A CONCRETE.
  2. INSTALL 1/2" EXPANSION JOINTS AT INTERSECTIONS, RAMP, STRUCTURES, AND DRIVEWAY APPROACHES. MAX. EXPANSION JOINT SPACING = 150'
  3. INSTALL TRANSVERSE SAW JOINTS AT SPACING = SIDEWALK WIDTH.

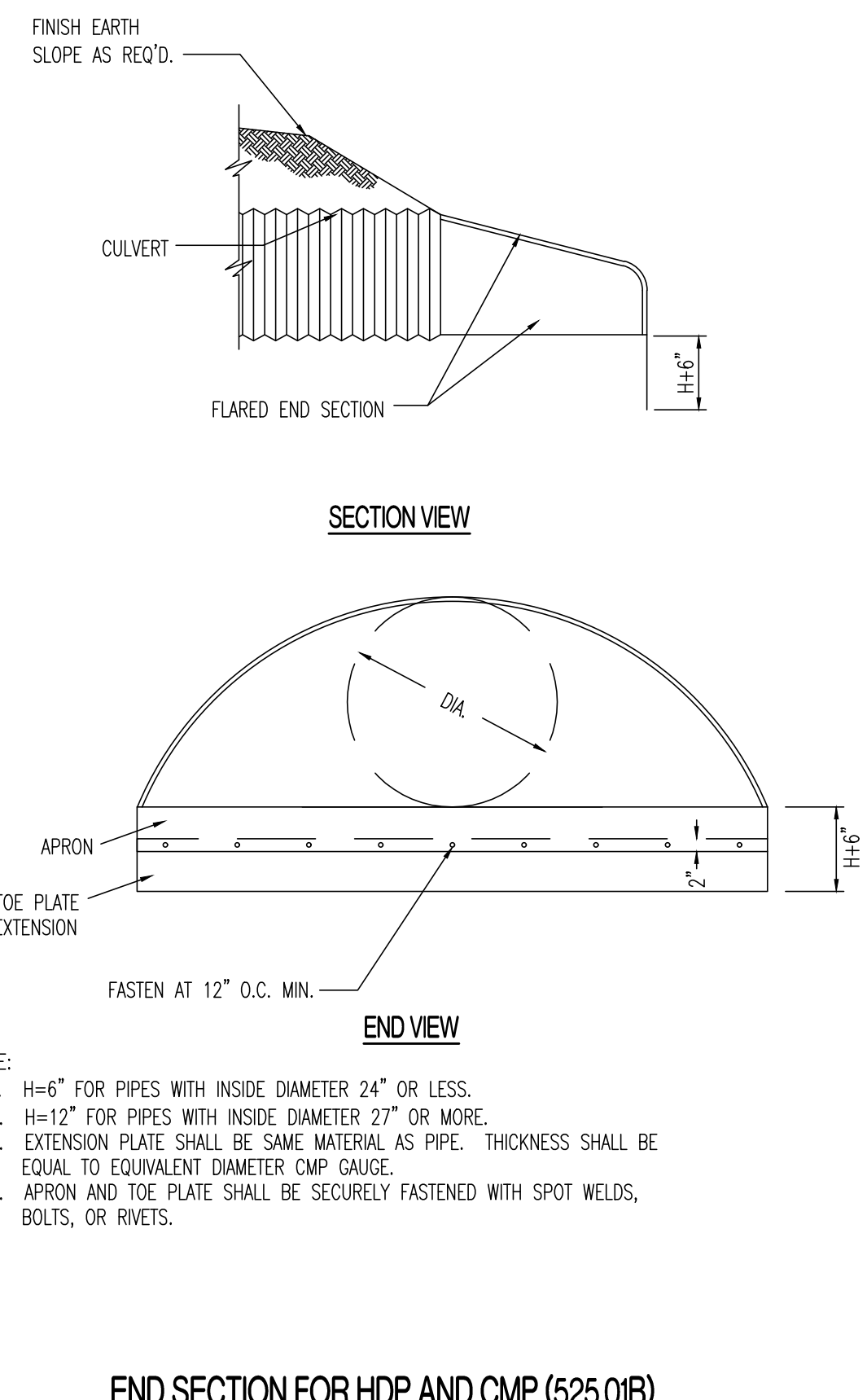
TYPICAL SIDEWALK



**EROSION CONTROL DETAILS**



**STORM SEWER DETAILS**

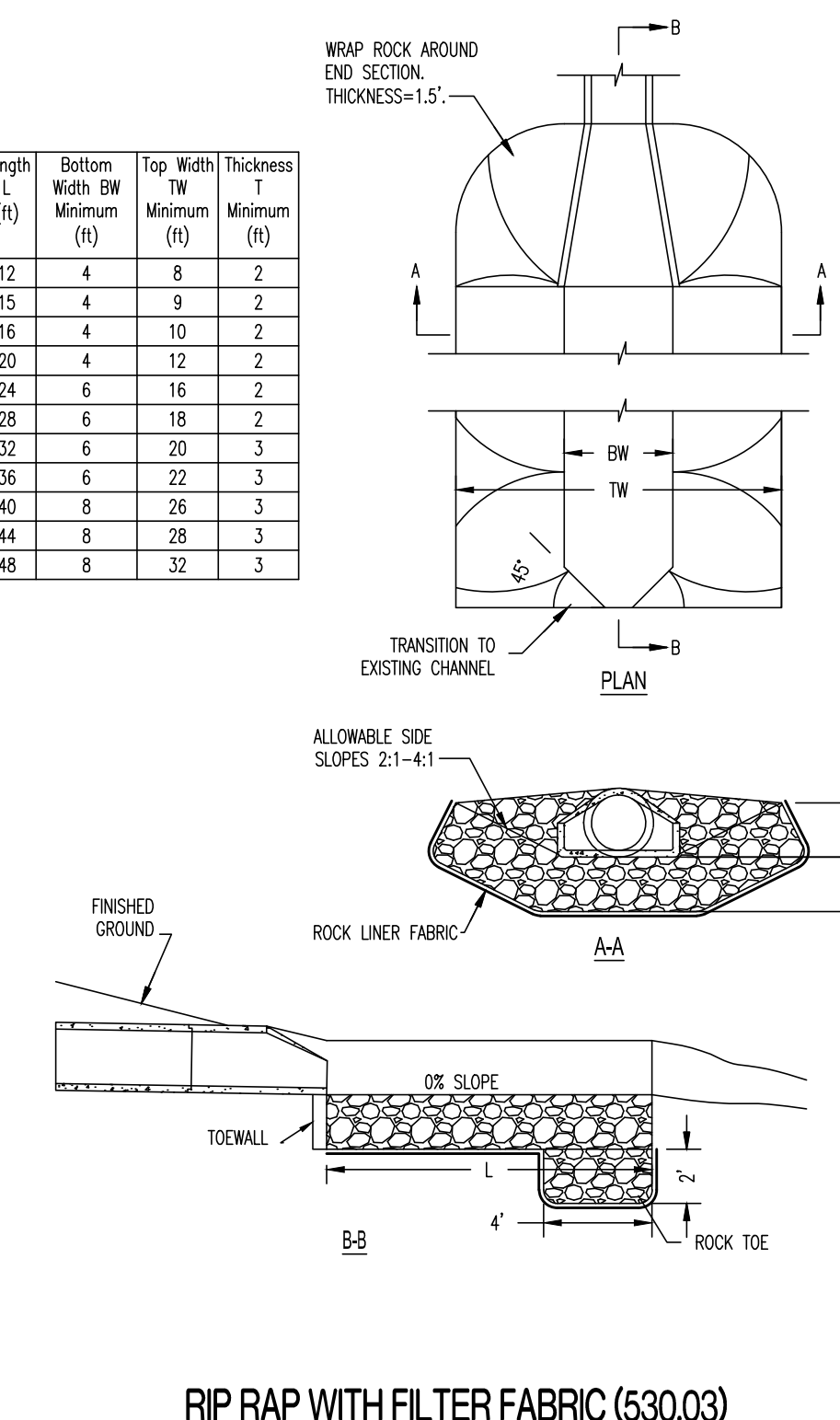


PIPE RAP TO BE TYPE 1: ROCK MUST BE ANGULAR, HARD AND DURABLE.

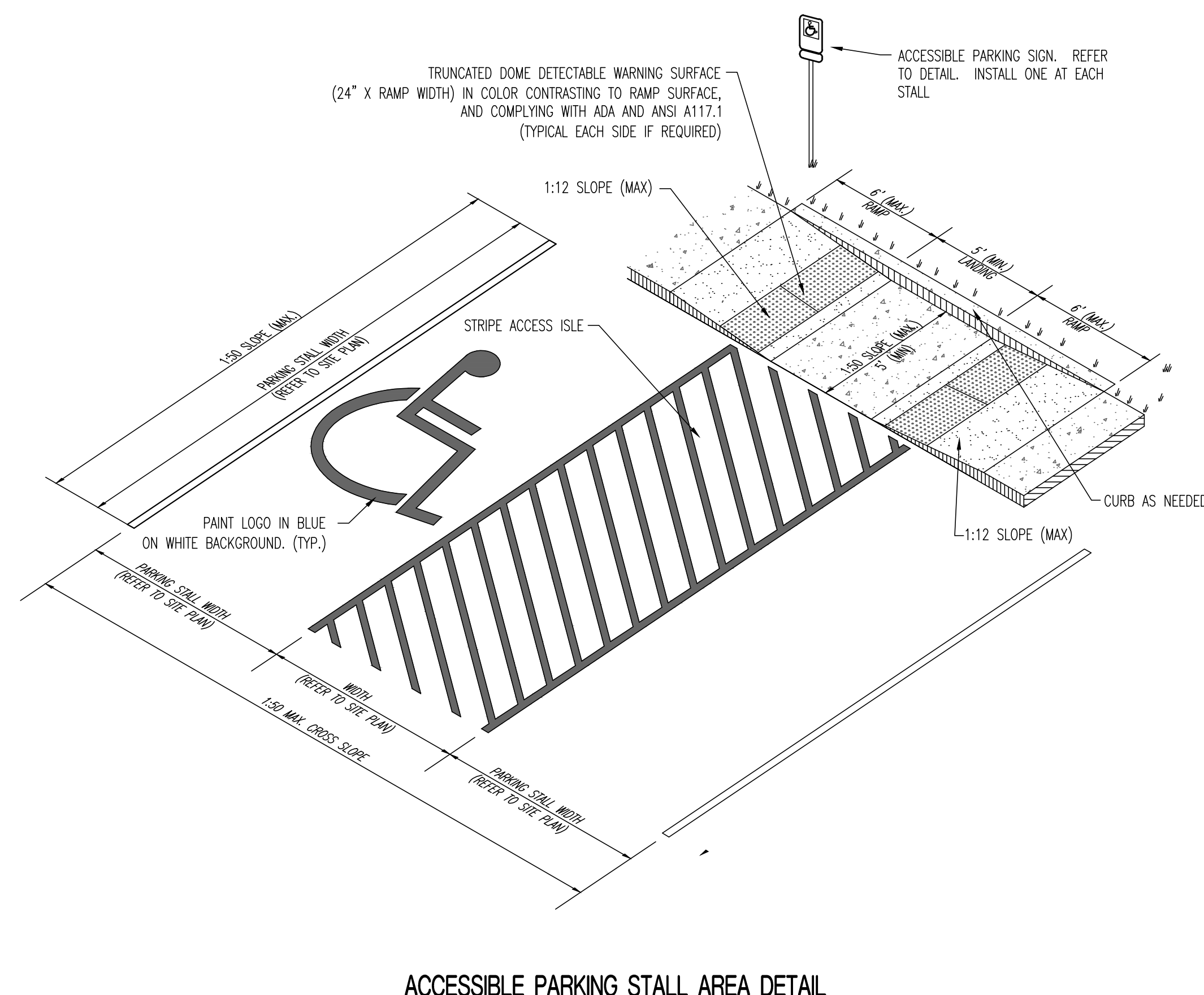
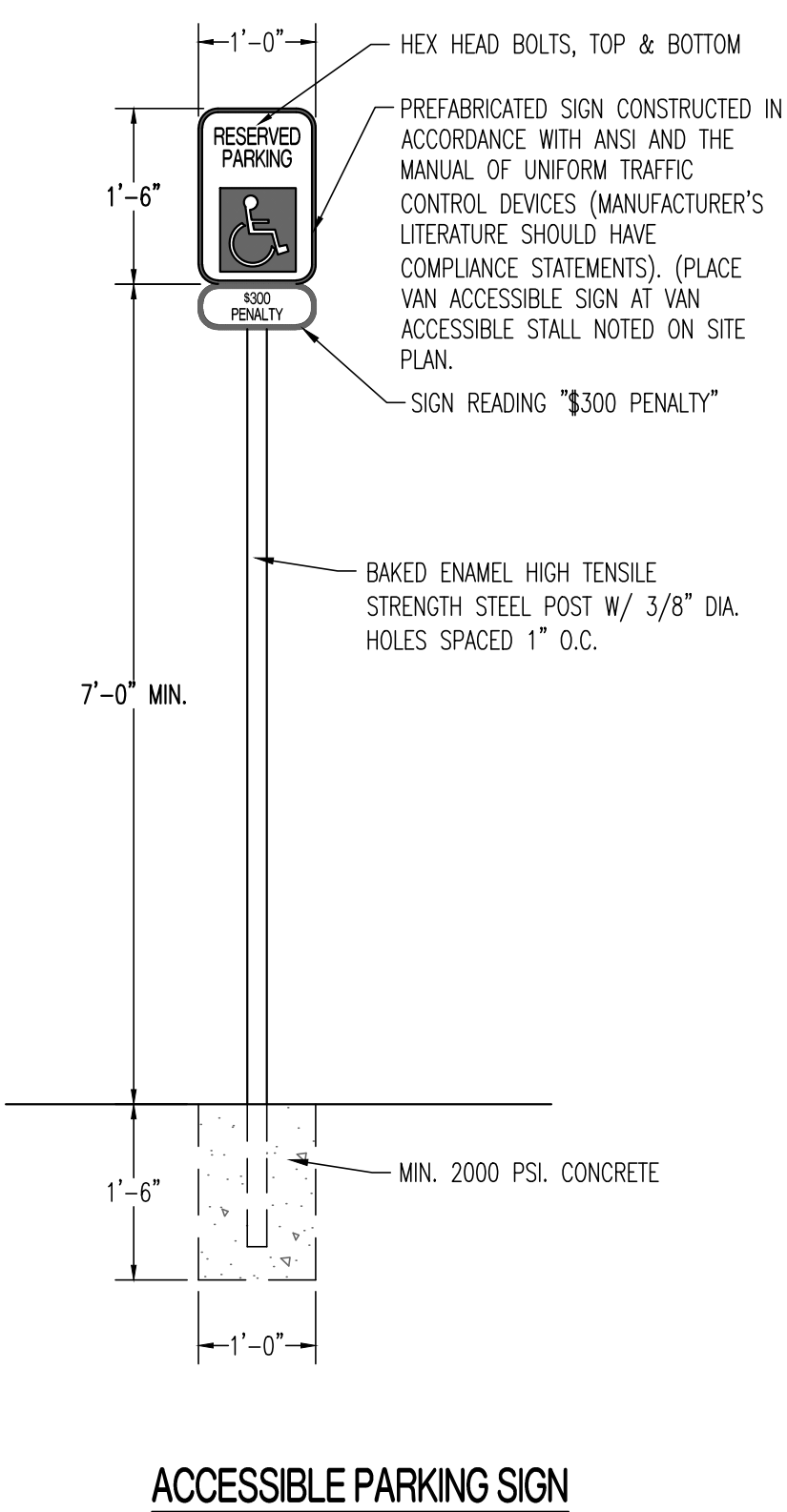
ROCK LINER FABRIC SHALL BE PROPEX GEOTEX 801 OR APPROVED EQUAL. ALTERNATIVELY, AN 8 INCH BED OF WELL GRADED SAND AND GRAVEL WITH GRAVEL UP TO 3" IS ACCEPTABLE.

WHERE BEDROCK IS ENCOUNTERED, RIP RAP MAY BE OMITTED.

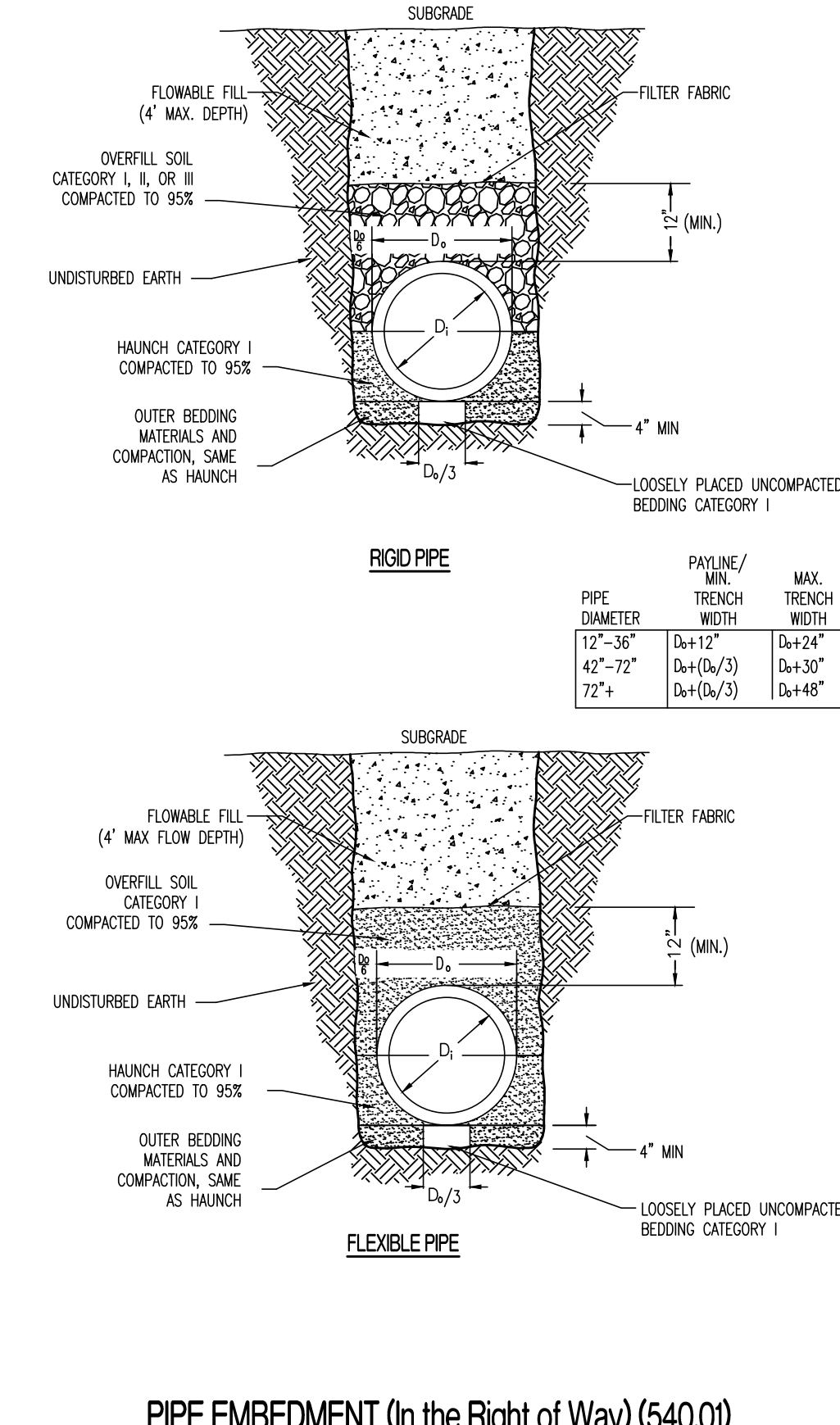
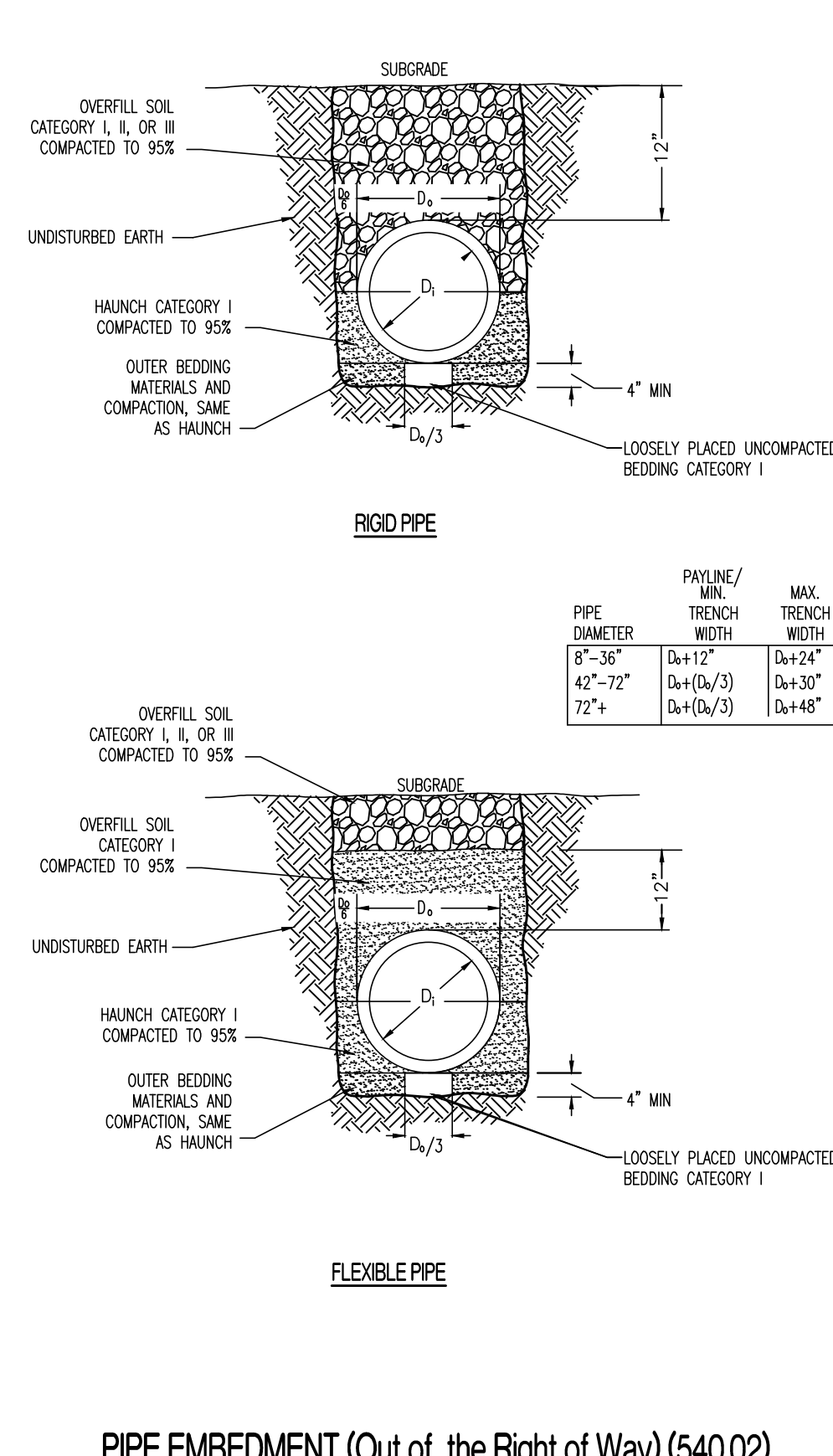
Pipe Size (in)	Maximum Pipe Slope (%)	Length L (ft)	Bottom Width BW Minimum (ft)	Top Width TW Minimum (ft)	Thickness T (ft)
12	3.50	12	4	8	2
15	2.60	15	4	9	2
18	2.00	16	4	10	2
24	1.70	20	4	12	2
30	1.40	24	6	16	2
36	1.00	28	6	18	2
42	0.80	32	6	20	3
48	0.65	36	6	22	3
54	0.55	40	8	26	3
60	0.45	44	8	28	3
72	0.40	48	8	32	3



**ADA DETAILS**



**PIPE EMBEDMENT DETAILS**



REVISIONS:

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AR LICENSE # 65089

**CROCKETT**  
ENGINEERING PARTNERS LP  
1800 E. LARK LANE  
NWA, MO 65714  
www.crockettengineering.com  
Crockett Engineering Consultants, LLC  
Arkansas Certificate of Authority #2474

OWNER:  
PINES COTTAGES HOUSING PARTNERS LP  
1800 E. LARK LANE  
NWA, MO 65714

**PINES COTTAGES**

A SUBDIVISION LOCATED IN  
SECTION 34, TOWNSHIP 13 NORTH, RANGE 10 EAST  
OSCEOLA, MISSISSIPPI COUNTY, ARKANSAS

DRAWING INCLUDES:  
EROSION CONTROL, STORM SEWER, ADA, AND PIPE EMBEDMENT DETAILS

DESIGNED: TDC  
DRAWN: KRM  
PROJECT NO.: 170467  
SHEET: CE 9



SANITARY SEWER DETAILS

REVISIONS:

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ORIGINAL	11/30/2017

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TIMOTHY D. CROCKETT  
AR LICENSE - 65089

**CROCKETT**  
ENGINEERING  
1000 W. WILSON BLVD. SUITE 100  
COLUMBIA, MISSISSIPPI 39206  
www.crockettengineering.com  
Crockett Engineering Consultant, LLC  
Arkansas Certificate of Authority  
0496

OWNER:  
PINES COTTAGES HOUSING PARTNERS LP  
1800 E. LARK LANE  
NOA, MO 65714

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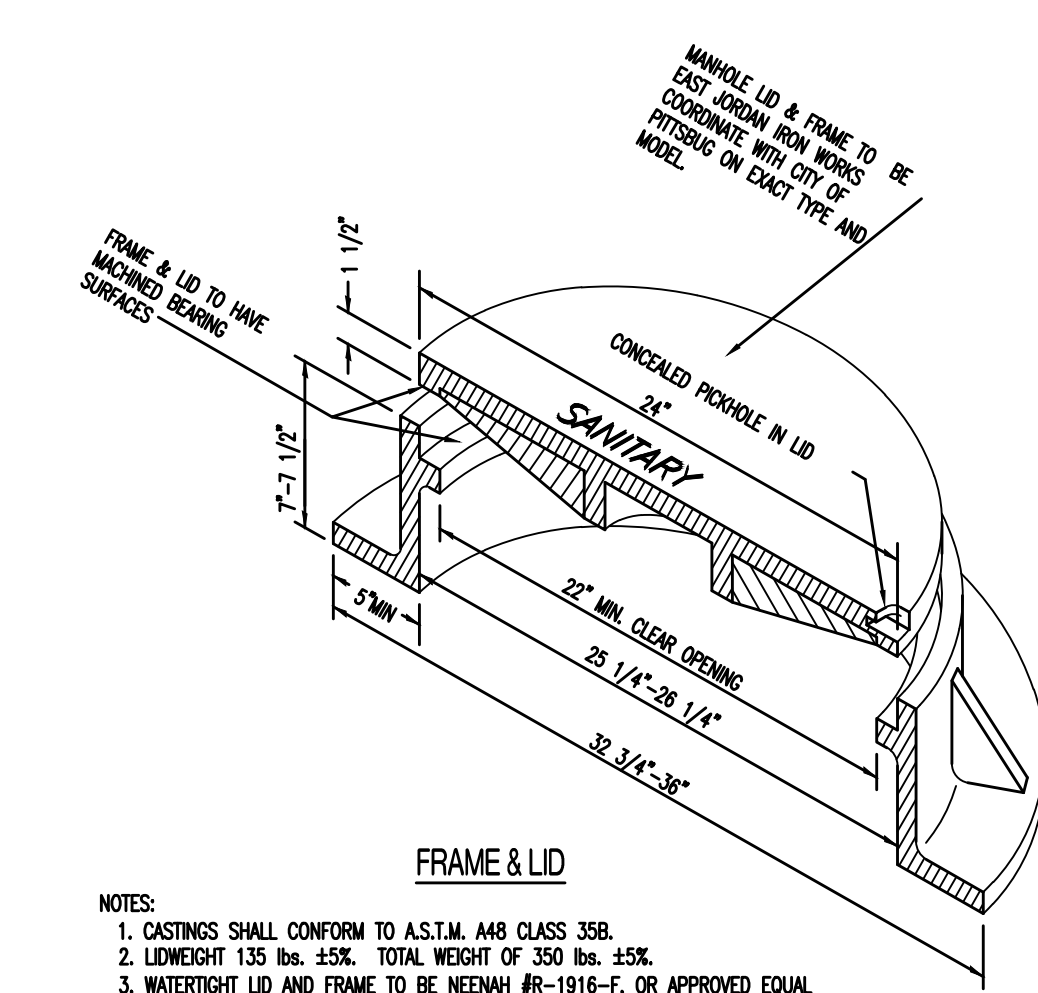
DRAWING INCLUDES:  
SANITARY SEWER DETAILS

DESIGNED: TDC

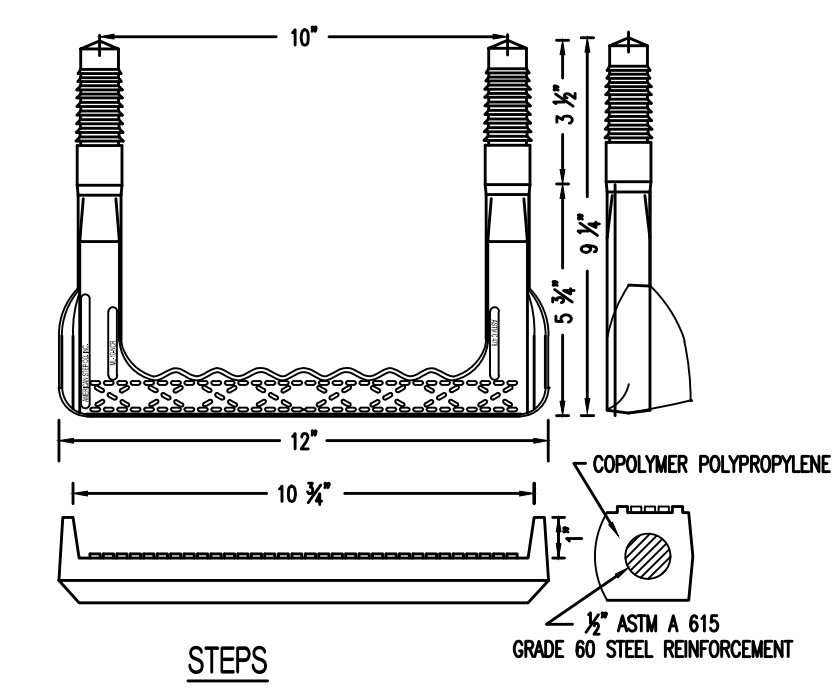
DRAWN: KRM

PROJECT NO.: 170467

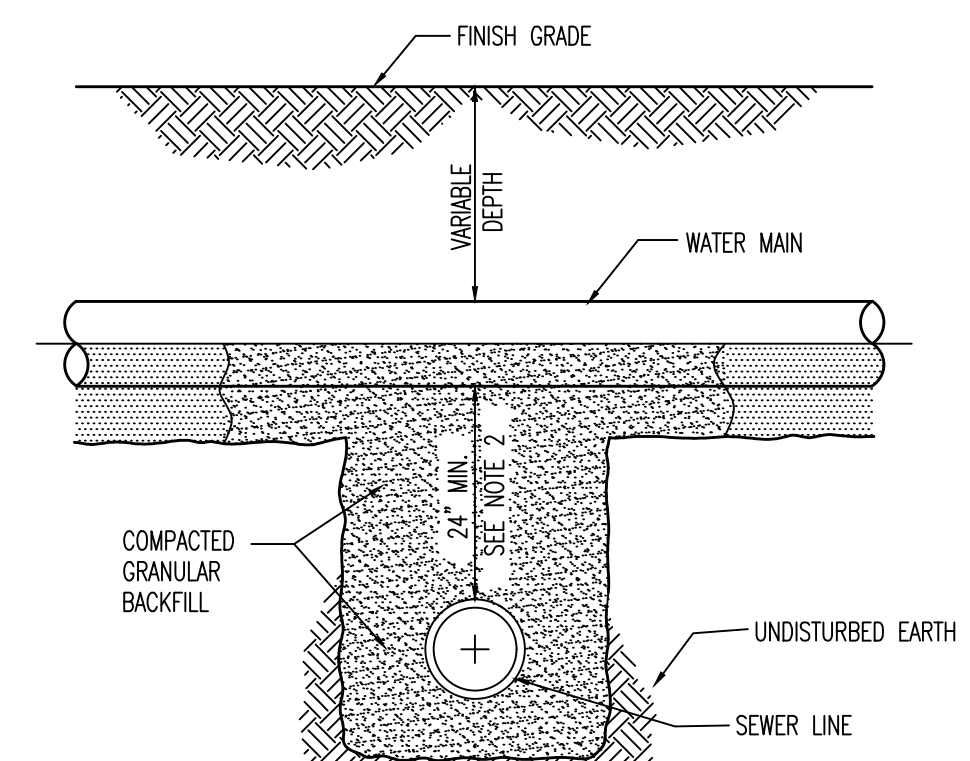
SHEET:  
CE 10



- NOTES:
1. CASTINGS SHALL CONFORM TO A.S.T.M. A48 CLASS 35B.
  2. LIDWEIGHT 135 lbs. ±5%; TOTAL WEIGHT OF 350 lbs. ±5%.
  3. WATERTIGHT LID AND FRAME TO BE NEENAH #R-1916-F OR APPROVED EQUAL.
  4. MANHOLE STEP AMERICAN STOP M-10-NCR OR APPROVED EQUAL.
  5. BOLT DOWN LIDS SHALL HAVE FRAMES BOLTED TO THE CONE SECTION.

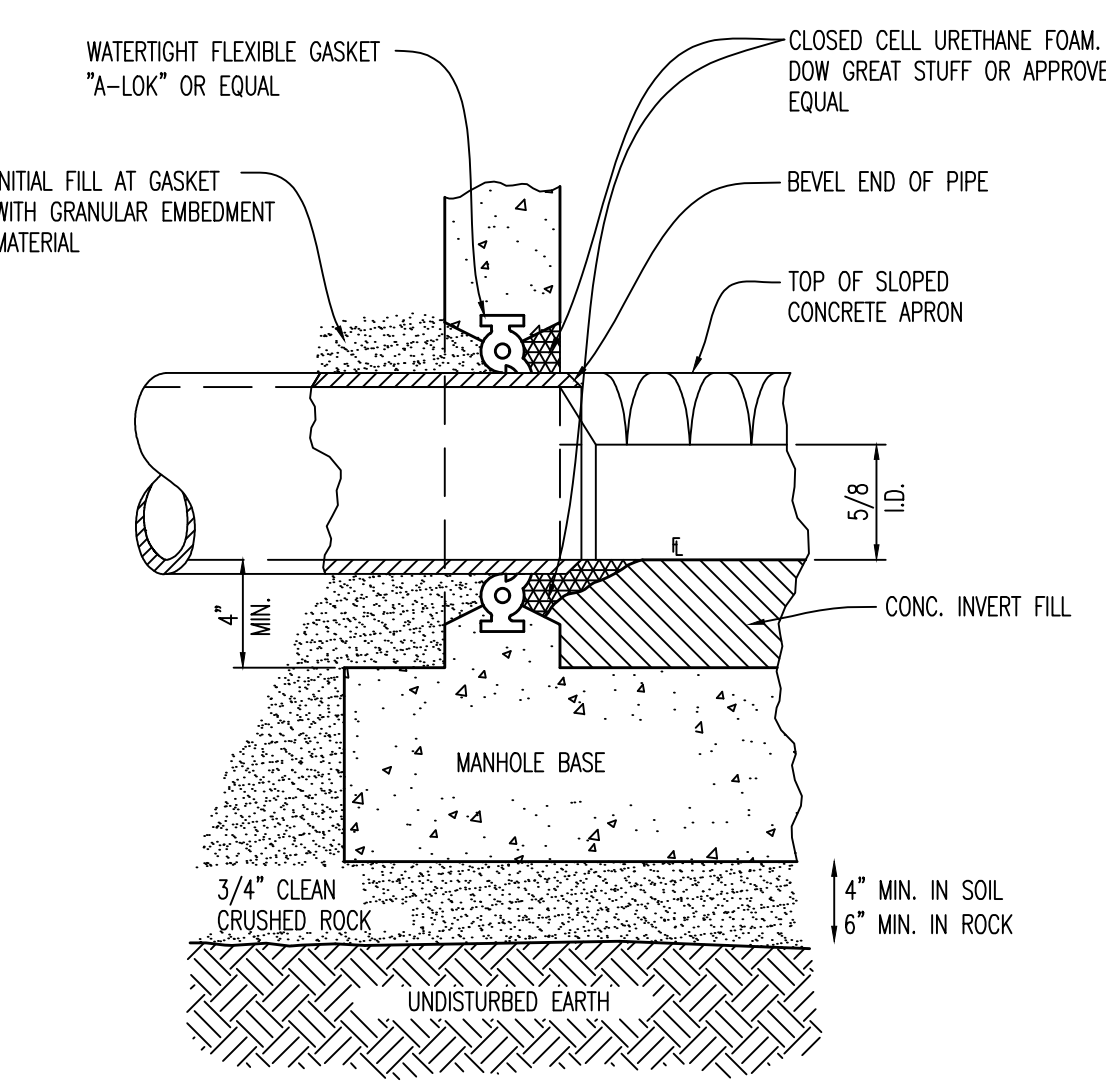


MANHOLE CASTINGS (Frame, Lid & Steps) (8)



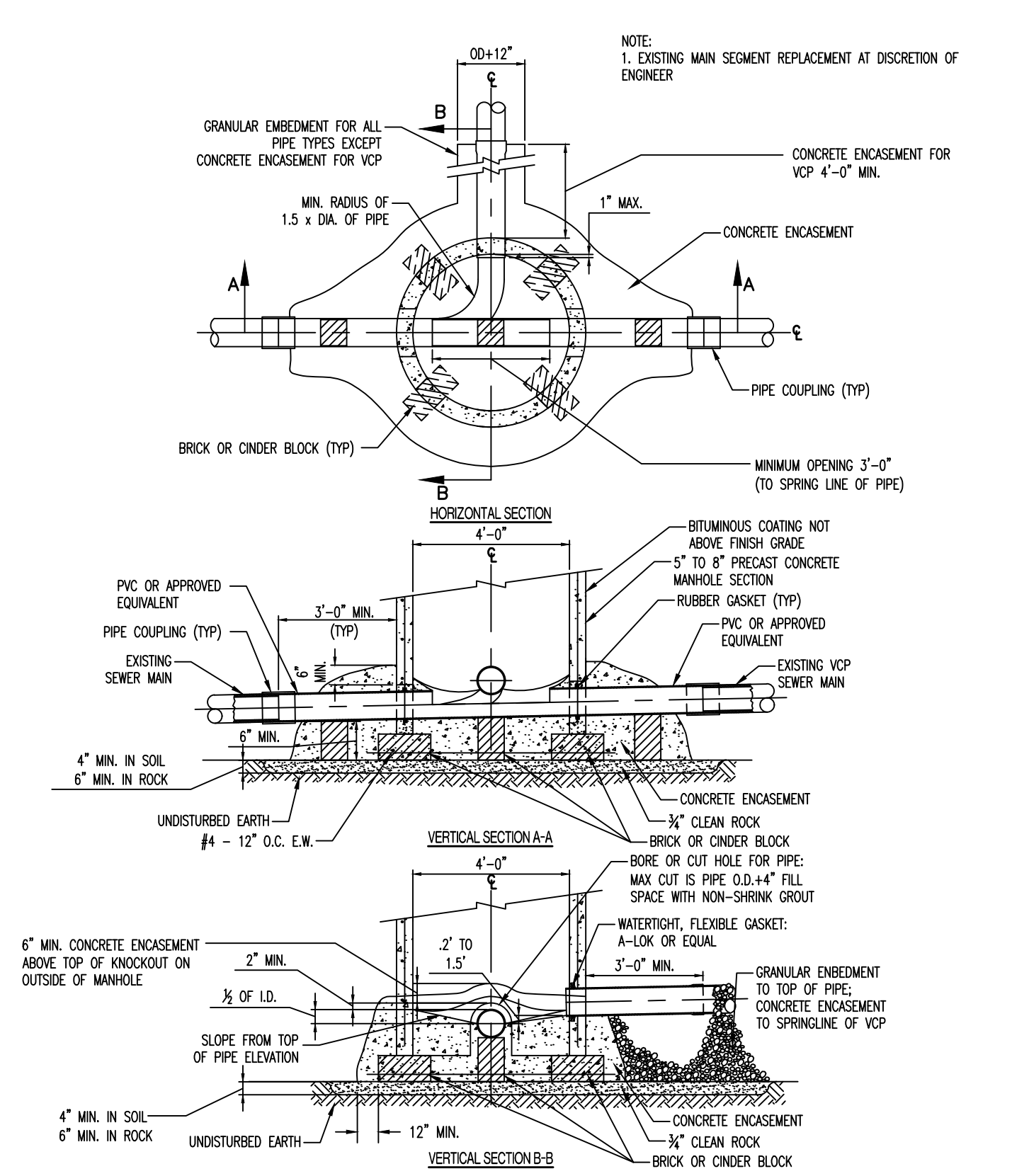
- NOTES:
1. SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION THAT IS NO LESS THAN 24 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN.
  2. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER LINE CROSSES BELOW THE WATER LINE. CROSSINGS IN WHICH THE SEWER LINE IS ABOVE THE WATER LINE WILL ONLY BE APPROVED ON A CASE BY CASE BASIS.
  3. THE CROSSING SHALL BE ARRANGED SO THAT THE ENDS OF A FULL JOINT OF PIPE WILL BE EQUIDISTANT FROM THE WATER MAIN AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
  4. IF THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND SEWER MAIN IS LESS THAN 18 INCHES, THE SEWER MAIN SHALL BE D.I.P. OR PRESSURE RATED PVC PIPE WITH A PRESSURE RATING THAT IS EQUAL TO OR GREATER THAN THE WATER MAIN. THE D.I.P. OR PRESSURE RATED P.V.C. MUST BE EXTENDED A DISTANCE 10 FEET ON BOTH SIDES OF THE WATER MAIN. THE TRANSITION BETWEEN PIPE MATERIALS SHALL BE ACCOMPLISHED WITH A RESTRAINED MECHANICAL TYPE JOINT OR FITTING. FLEXIBLE TYPE (FERRO) FITTINGS ARE NOT ACCEPTABLE.
  5. PRESSURE SEWER LINE AND WATER LINE CROSSINGS SHALL BE REVIEWED ON A CASE BY CASE BASIS.

GRAVITY SEWER AND WATER LINE CROSSING (20)

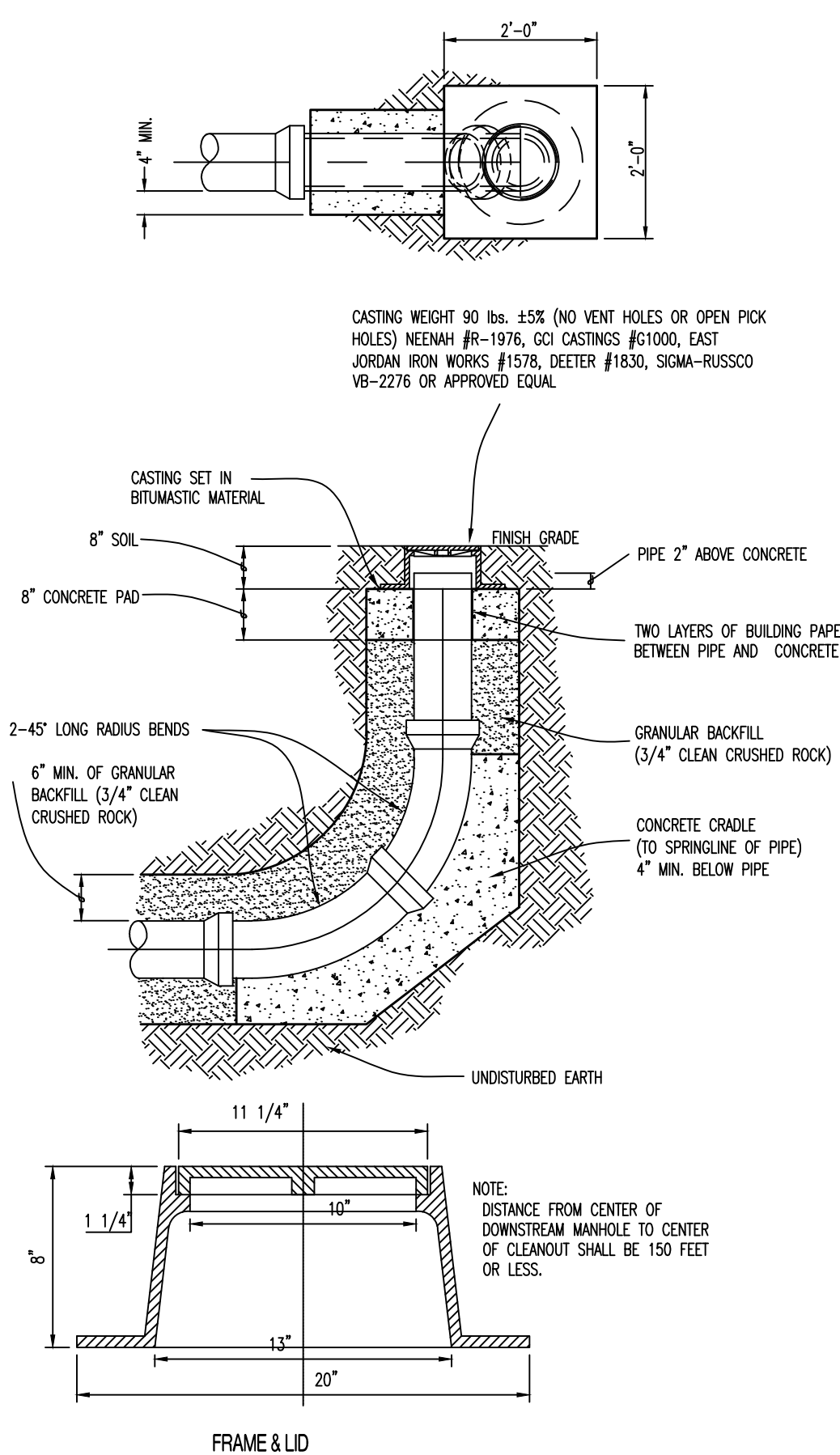


- NOTE:
1. BITUMINOUS COATING ON EXTERIOR SURFACE OF MANHOLE SHALL NOT COME IN CONTACT WITH PIPE GASKET.
  2. FOR CAST-IN-PLACE CONCRETE MANHOLES OR PRE-CAST WITH BOX-OUTS, THE PIPE GASKET SHALL BE A RUBBER LABYRINTH WATERSTOP WITH STAINLESS STEEL CLAMPING BANDS LOCATED AT CENTER OF WALL AND THE SPACE BETWEEN PIPE & WALL COMPLETELY GROUTED WITH NONSHRINKING MORTAR.
  3. PIPE MAY PROJECT 1" MAXIMUM PAST INSIDE WALL OF MANHOLE. NO CONTACT BETWEEN PIPE & INVERT MAY OCCUR.

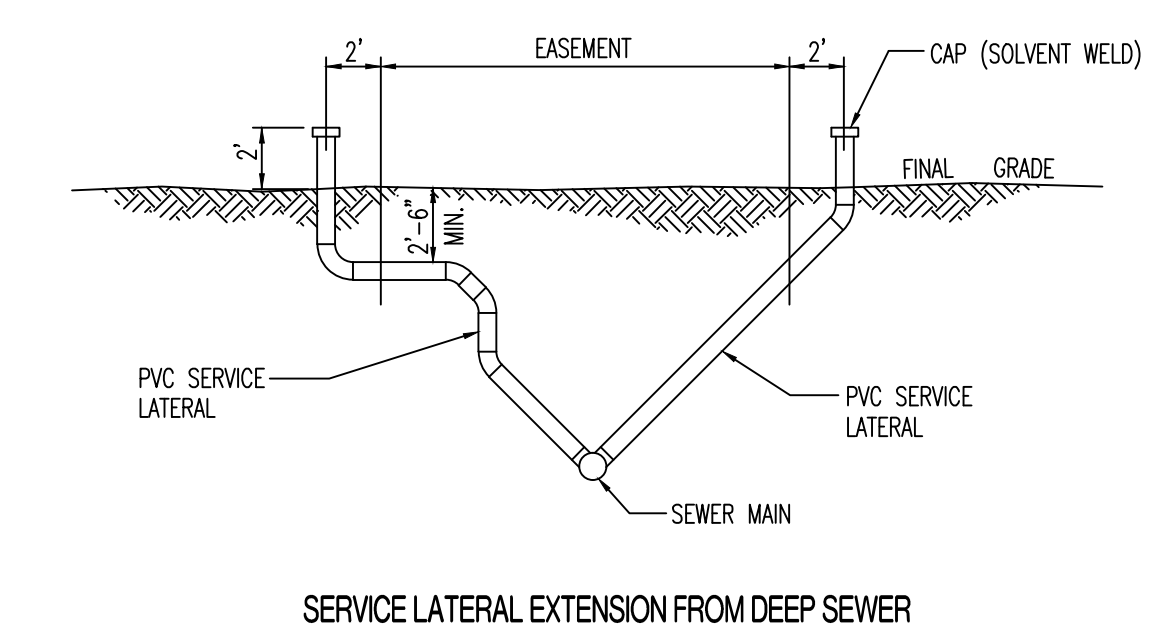
MANHOLE GASKET (7)



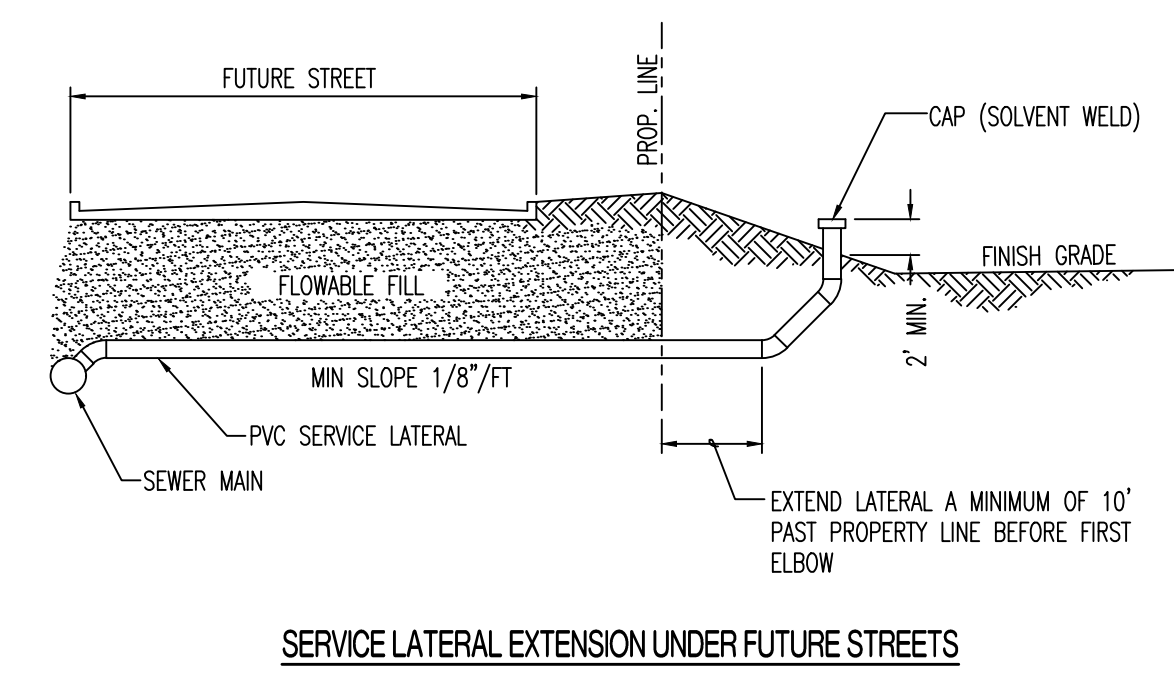
DOGHOUSE MANHOLE (22)



STANDARD CLEANOUT (12)



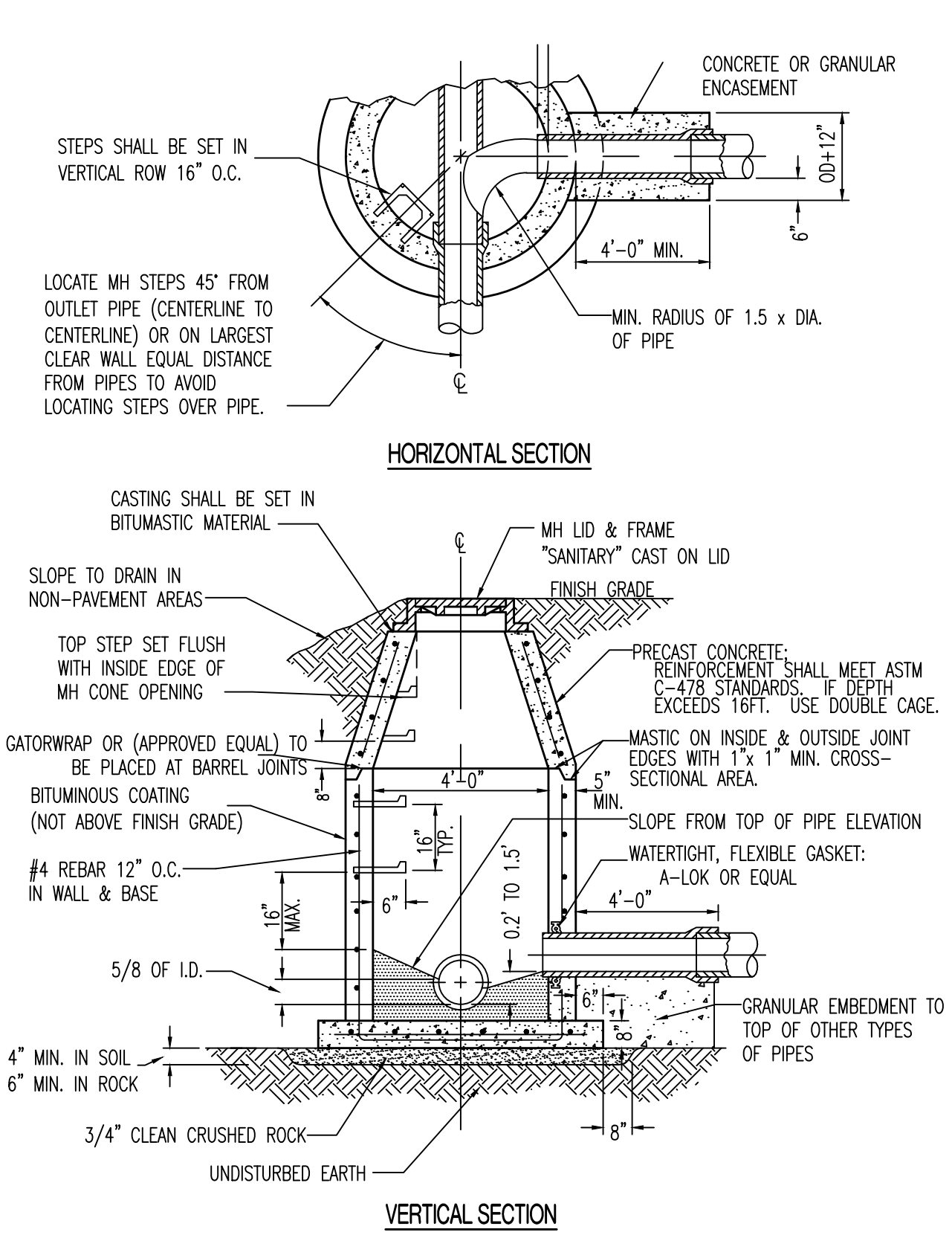
SERVICE LATERAL EXTENSION FROM DEEP SEWER



SERVICE LATERAL EXTENSION UNDER FUTURE STREETS

NOTE:  
THIS DETAIL IS FOR USE WHENEVER LATERALS ARE EXTENDED FROM THE SEWER MAIN DURING NEW CONSTRUCTION. IN ALL CASES WHEN SERVICE LATERALS ARE EXTENDED THE PIPE SHALL EXTEND A MINIMUM OF TWO (2) FEET ABOVE THE PROPOSED FINAL GRADE AND SHALL BE FITTED WITH A CAP THAT IS SOLVENT WELDED IN PLACE.

LATERAL EXTENSION FOR NEW CONSTRUCTION (16)



STANDARD SANITARY MANHOLE (1)