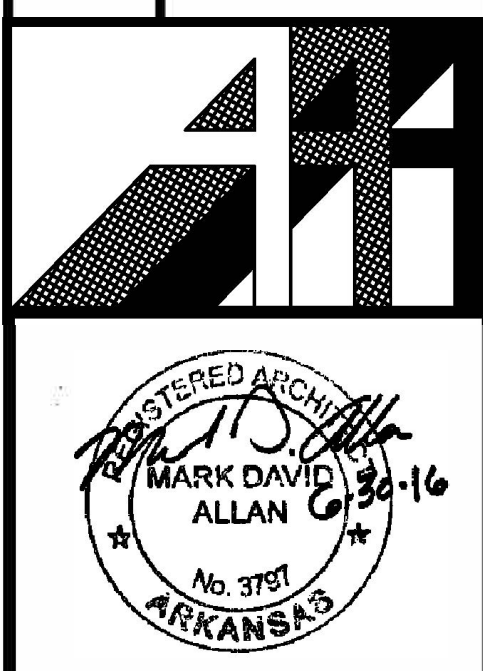


| | | | |
|---------------|---------------|---------------|---------------|
| DRWN. BY: MGA | CHKD. BY: MDA | APPR. BY: MDA | DATE: 8-30-16 |
| REVISIONS | | | |

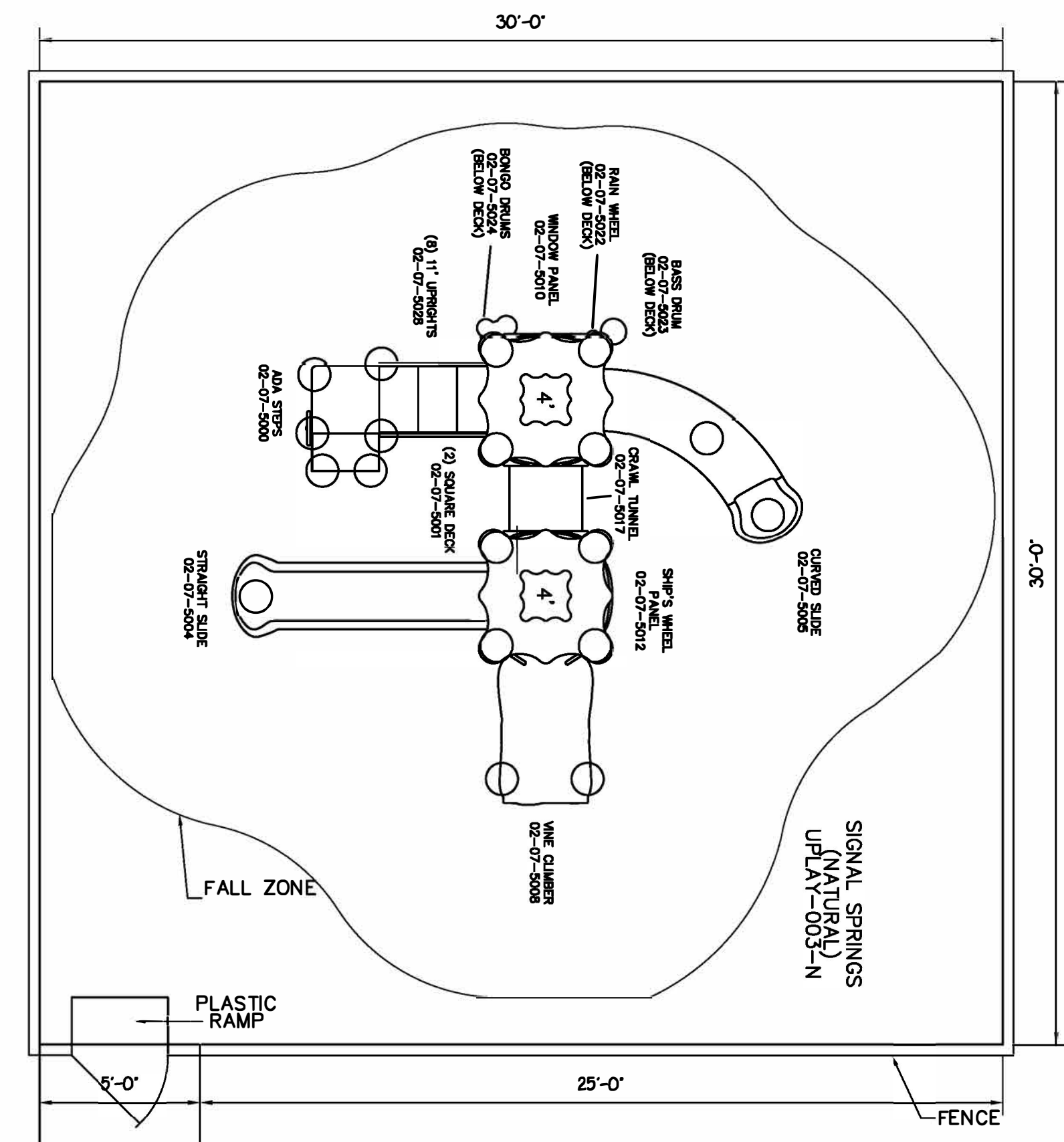
WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

SITE LAYOUT PLAN

ALLAN ASSOCIATES ARCHITECTS, PLLC
865 / 899-1902
5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912



- SITE PLAN NOTES:**
- 1 PROVIDE NEW ACCESSIBLE PARKING SPACES W/ACCESS AISLES, RAMPS AND SIGNAGE. SEE DETAIL 9/SD-2.
 - 2 EXISTING PAVEMENT TO REMAIN. AT AREAS OF PAVEMENT FAILURES (PROVIDE ALLOWANCE FOR 25% PAVEMENT AREA). REMOVE AGGREGATE BASE AND UPPER 12" OF SOIL. SUBGRADE. EXCAVATE AREAS MIN. OF 12" BEYOND FOOTPRINT OF FAILED AREA IN A RECTANGULAR SHAPE. BACKFILL AREA TO TOP OF EXISTING AGGREGATE W/SOIL CEMENT BASE COMPACTED TO A MIN. 98% DRY DENSITY. PROVIDE 1.5 ASPHALT TOPPING OVER ENTIRE PAVEMENT AREA (REFER TO CIVIL DWG'S. FOR THICKNESS). RESTRIPE PARKING AREAS PER PLAN.
 - 3 NEW SIDEWALK CROSS DRAINS 8/SD-2.
 - 4 PROVIDE NEW DUMPSTER PAD, APRON & ENCLOSURE W/ ACCESSIBLE WALKWAY. SEE DETAILS SHEET 11/SD-2
 - 5 REMOVE EXISTING SIDEWALK. PROVIDE AND INSTALL NEW 5'-0"x4" THK. 4500 PSI SIDEWALK W/6x6 WMF AND MAX. 1:20 SLOPE. BACKFILL W/ TOPSOIL AND SOD. SEE DETAIL 1/SD-2
 - 6 NEW MONUMENT SIGN AND PLANTER. SEE CS-1
 - 7 PROVIDE NEW DUMPSTER PAD, APRON AND ENCLOSURE. SEE DETAIL 10/SD-2
 - 8 NEW PICNIC SHELTER. SEE 6/SD-2
 - 9 NEW MAIL KIOSK. SEE 7/SD-2
 - 10 NEW LED SITE LIGHTING ON FIBERGLASS POLES. SEE ELEC.
 - 11 OPEN
 - 12 DEMO EXISTING PLAY STRUCTURE AND BACKFILL W/TOPSOIL AND SOD.
 - 13 PROVIDE AND INSTALL NEW 5'-0"x4" THK 4500 PSI CONCRETE SIDEWALK W/6x6 WMF AND MAX 1:20 SLOPE. BACKFILL W/TOPSOIL AND SOD. SEE DETAIL 1/SD-2
 - 14 PROVIDE AND INSTALL NEW 6"H CONCRETE CURB AND GUTTER. SEE 2/SD-2
 - 15 NEW PLAYGROUND W/5'H ORNAMENTAL FENCE SEE 1/SD-2
 - 16 FUTURE PARKING AREA AND DRIVE AS REQ'D BY ADFA WAIVER.
 - 17 REMOVE EXISTING CONC. SIDEWALKS AND DRIVEWAYS. BACKFILL W/TOPSOIL AND SOD.
 - 18 REMOVE TEMPORARY MAINT. SHED COMPLETE.
 - 19 REMOVE EXISTING MAIL BOXES.
 - 20 REMOVE EXISTING CANOPY AND CONCRETE PORCH.



PLAYGROUND PLAN
SCALE: 1/4" = 1'-0"

NEW PLAYGROUND AREA 30'x30'. SLOPE SUBGRADE TO ALLOW POSITIVE DRAINAGE. INSTALL GEOTEXTILE FABRIC (100% POLYESTER NON WOVEN) 10" COMPACTED DEPTH OF ENGINEERED WOOD FIBER FIRM AND STABLE TO MEET ASTM FIG. 51 PER ADA. INSTALL 12"Hx4"Wx4"L PLASTIC BORDER EDGING W/30"STAKES AND ACCESSIBLE RAMP. PROVIDE AND INSTALL NEW PLAYGROUND STRUCTURE UPLAY-003-N. PROVIDE AND INSTALL 5'H ORNAMENTAL STL. PICKET FENCE W/3'W SWING GATE.

GENERAL NOTES

- 1 CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, HAY BALES, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- 2 APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES ARE TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- 3 APPLY PERMANENT SOD WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SOD TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- 4 EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED. REFERENCE THE ARKANSAS EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- 5 EXISTING GRADES SHALL BE MAINTAINED DURING THE REPLACEMENT OF EXTERIOR HARD SURFACES AND POST-REHAB WILL FEATURE POSITIVE DRAINAGE AWAY FROM THE BUILDING ENVELOPE. THE EXISTING GRADE FLOOR ELEVATIONS ARE NOT BEING CHANGED AND ACCESSIBLE ENTRANCES TO THE BUILDING WILL REMAIN ACCESSIBLE.
- 6 ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE BACKFILLED W/TOPSOIL AND SOD.

SPECIAL NOTE

EXISTING FIELD CONDITIONS WILL REQUIRE ADJUSTMENTS OF GRADE ELEVATIONS TO MEET ADA AND BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADJUSTING THE ELEVATIONS TO CONFORM TO ADA REQUIREMENTS. THE ARCHITECT ACCEPTS NO LIABILITY IN CONSTRUCTION THAT DOES NOT CONFORM TO ADA.

REGARDLESS OF THE EXISTING FIELD CONDITIONS THE FOLLOWING CONDITIONS SHALL BE MET:

GRADE ELEVATION ALONG THE PERIMETER OF THE BUILDINGS SHALL BE A MIN. OF 4" BELOW FINISHED FLOOR ELEVATION WITH THE GRADIENT SLOPE POSITIVE AWAY FROM THE BUILDINGS.

THE FIRST 5 FEET OUTSIDE A DOOR SHALL SLOPE AWAY FROM THE DOOR AT A SLOPE NO GREATER THAN 2%.

SIDEWALKS SHALL HAVE NO GREATER THAN 5% SLOPE IN THE DIRECTION OF TRAVEL.

SIDEWALKS SHALL HAVE NO GREATER THAN 2% SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

SIDEWALKS WITH HANDRAILS (CRAMPS) SHALL HAVE NO GREATER THAN 12 HORIZONTAL: 1 VERTICAL SLOPE.

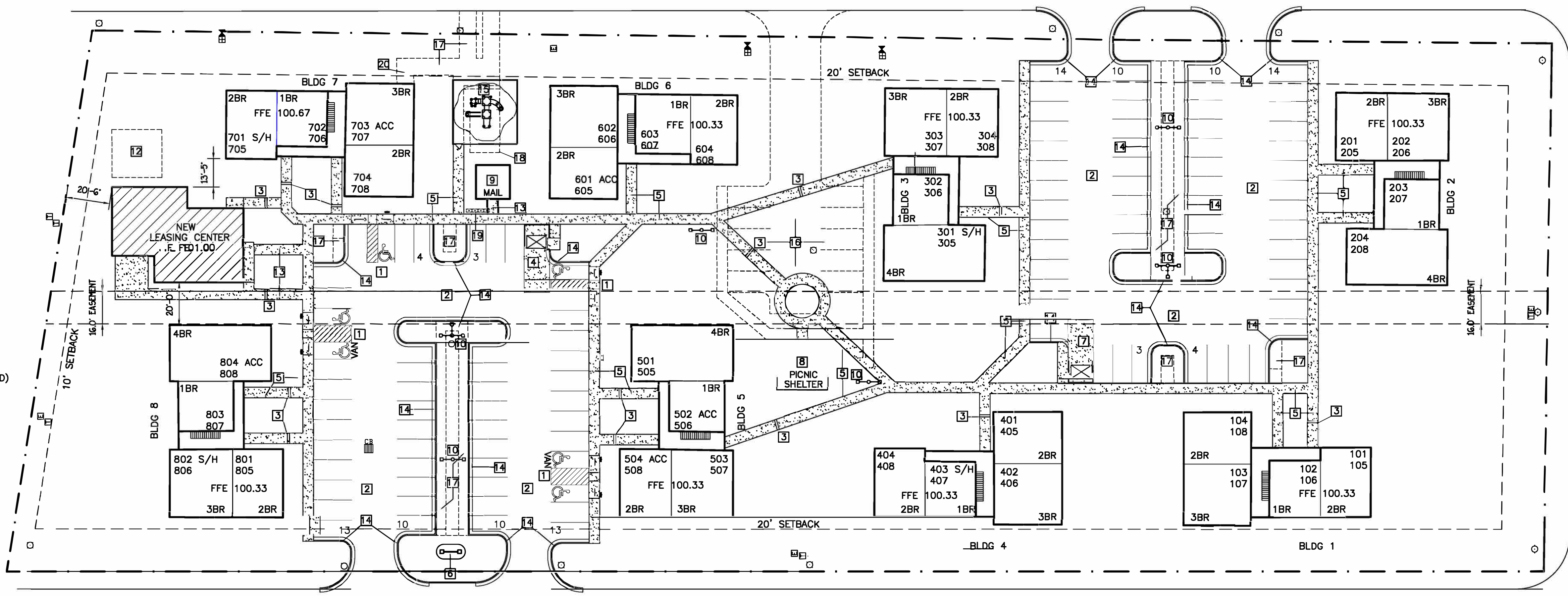
HANDICAP PARKING SPACES SHALL HAVE NO SLOPE GREATER THAN 2% IN ANY DIRECTION WITHIN THE HANDICAP PARKING SPACE AND THE ACCESSIBLE AISLE.

ACCESSIBLE RAMPS WITH 6" OR LESS OF RISE SHALL HAVE NO GREATER THAN 12 HORIZONTAL: 1 VERTICAL SLOPE AND WILL NOT REQUIRE HANDRAILS.

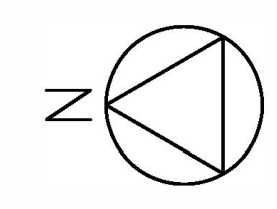
THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO ENSURE THAT THE CONSTRUCTED PROJECT CONFORMS TO ADA, REGARDLESS OF THE EXISTING FIELD CONDITIONS.

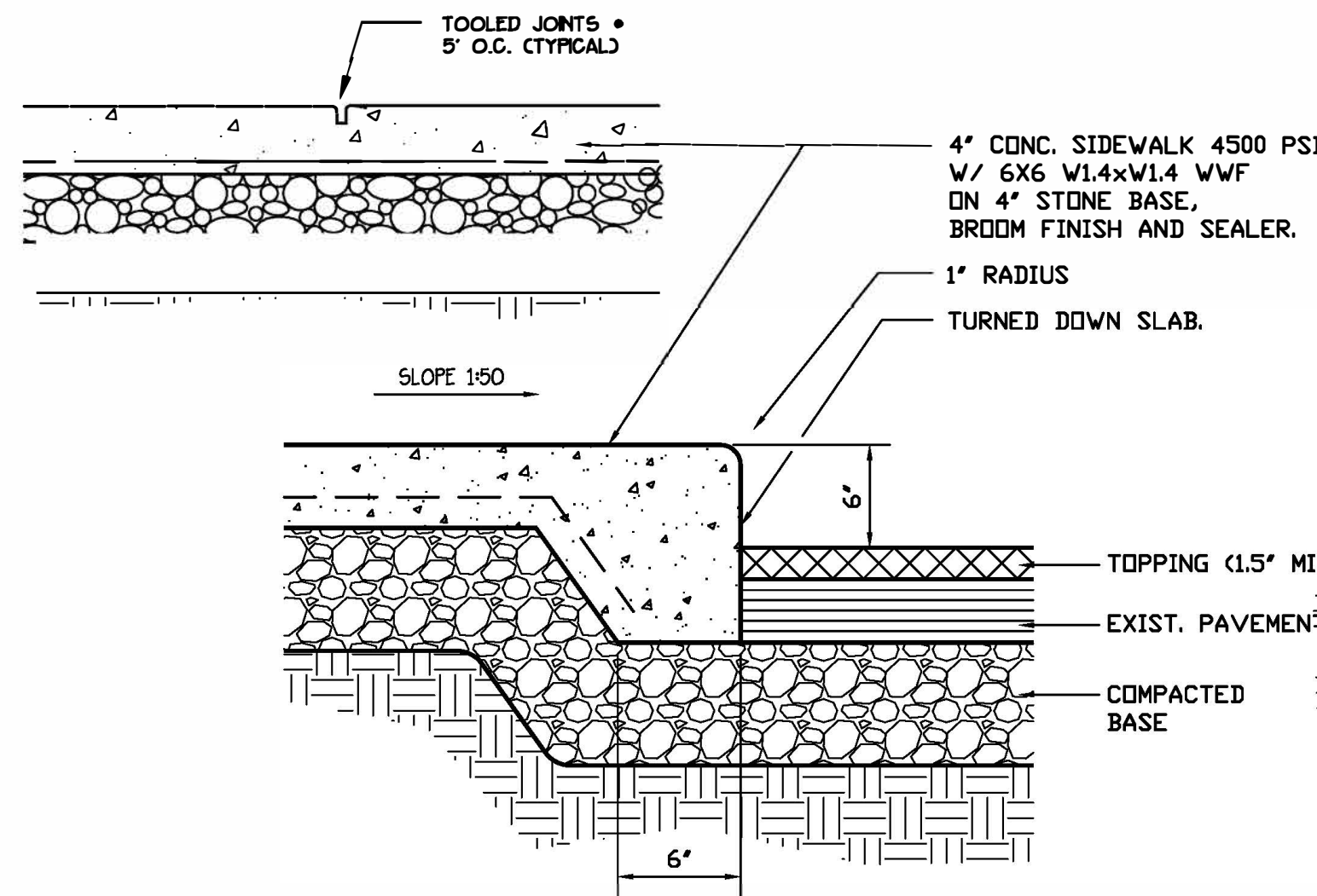
ALL OTHER SIDEWALK, STEPS AND TRAVEL PATHS SHALL CONFORM TO THE PRIOR NOTED STANDARDS WHERE POSSIBLE. NON-ADA ROUTES WITH SLOPES EXCEEDING 5% WILL NOT REQUIRE HANDRAILS. 5' LANDINGS WITH MAXIMUM 2% SLOPE SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STEPS WHEREEVER POSSIBLE.

- UNIT IDENTIFICATION**
- UNIT NUMBER
BUILDING NUMBER
- SPECIALTY UNITS**
ACC - HANDICAPPED ACCESSIBLE
S/H - SENSORY IMPAIRED
- ZONING**
R3 RESIDENTIAL USE DISTRICT
- EXISTING PARKING**
106 TOTAL
- PROVIDED PARKING**
102 STANDARD STALLS
6 ACCESSIBLE STALLS
108 TOTAL
- WAIVER PARKING FUTURE**
10 STANDARD STALLS
- ADFA REQUIRED - 112
- SITE SYMBOLS**
-SS- SANITARY SEWER
-W- WATER LINE
E ELEC. TRANSFORMER
G GAS METERS (TO BE REMOVED)

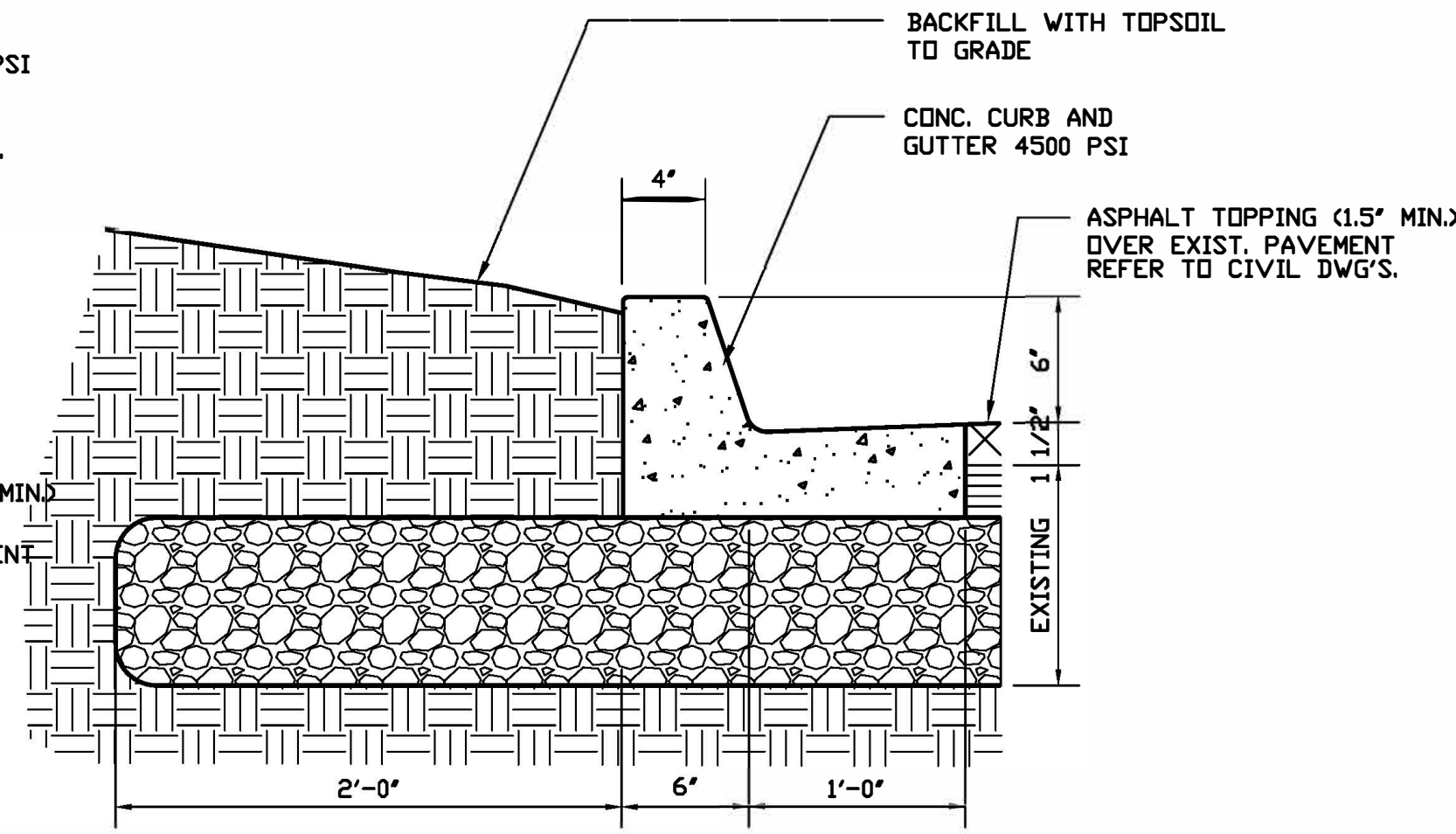


SITE LAYOUT PLAN
SCALE: 1"=30'-0"

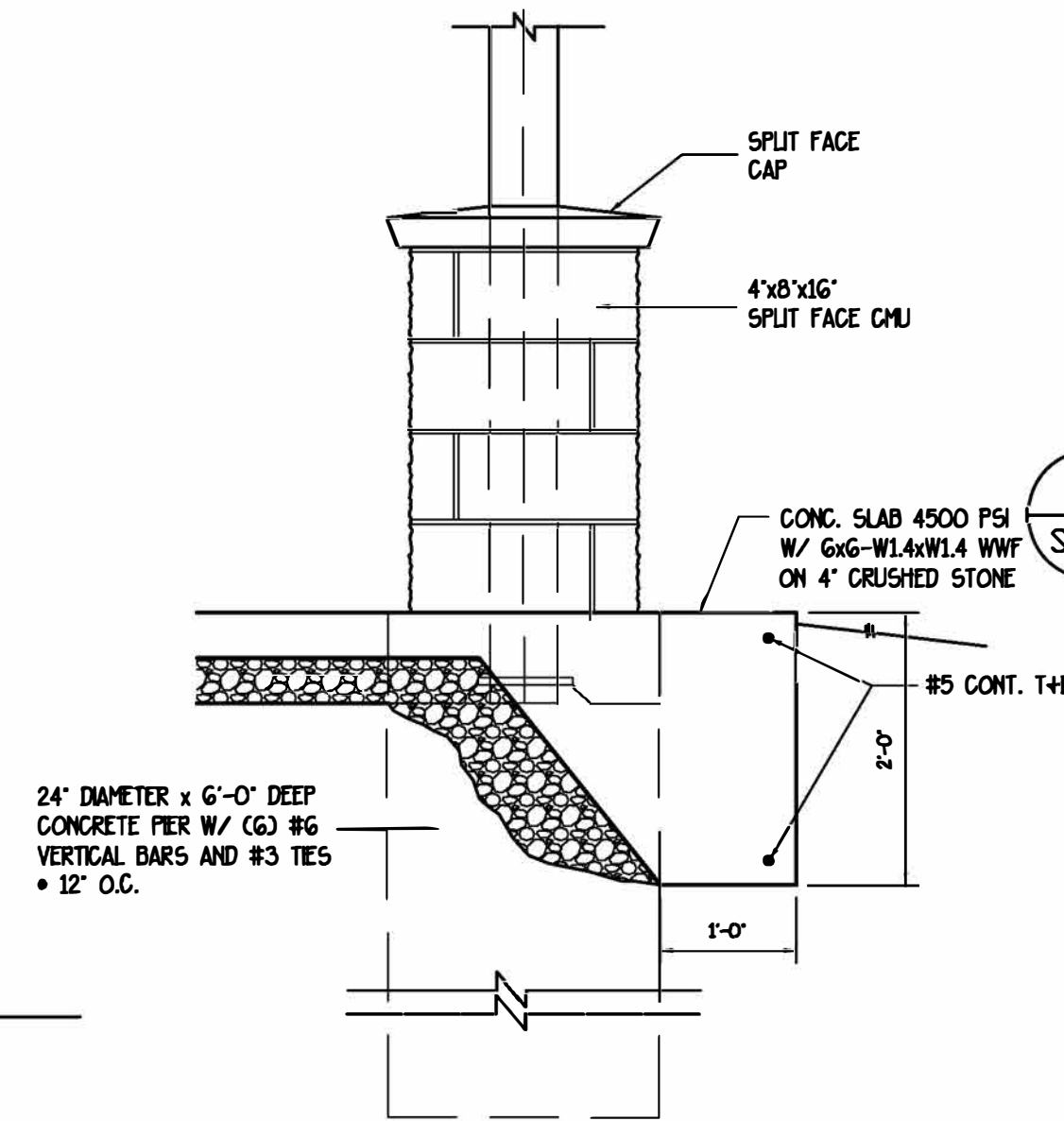




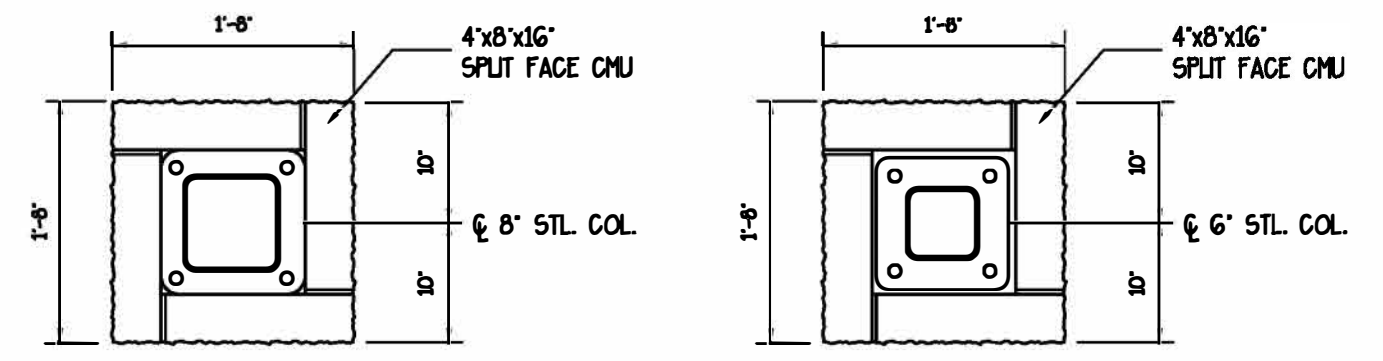
1 **SIDEWALK DETAIL AT NEW PAVEMENT**
SD-2 SCALE: 1 1/2" = 1'-0"



2 **CONCRETE CURB AND GUTTER DETAIL**
SD-2 SCALE: 1 1/2" = 1'-0"

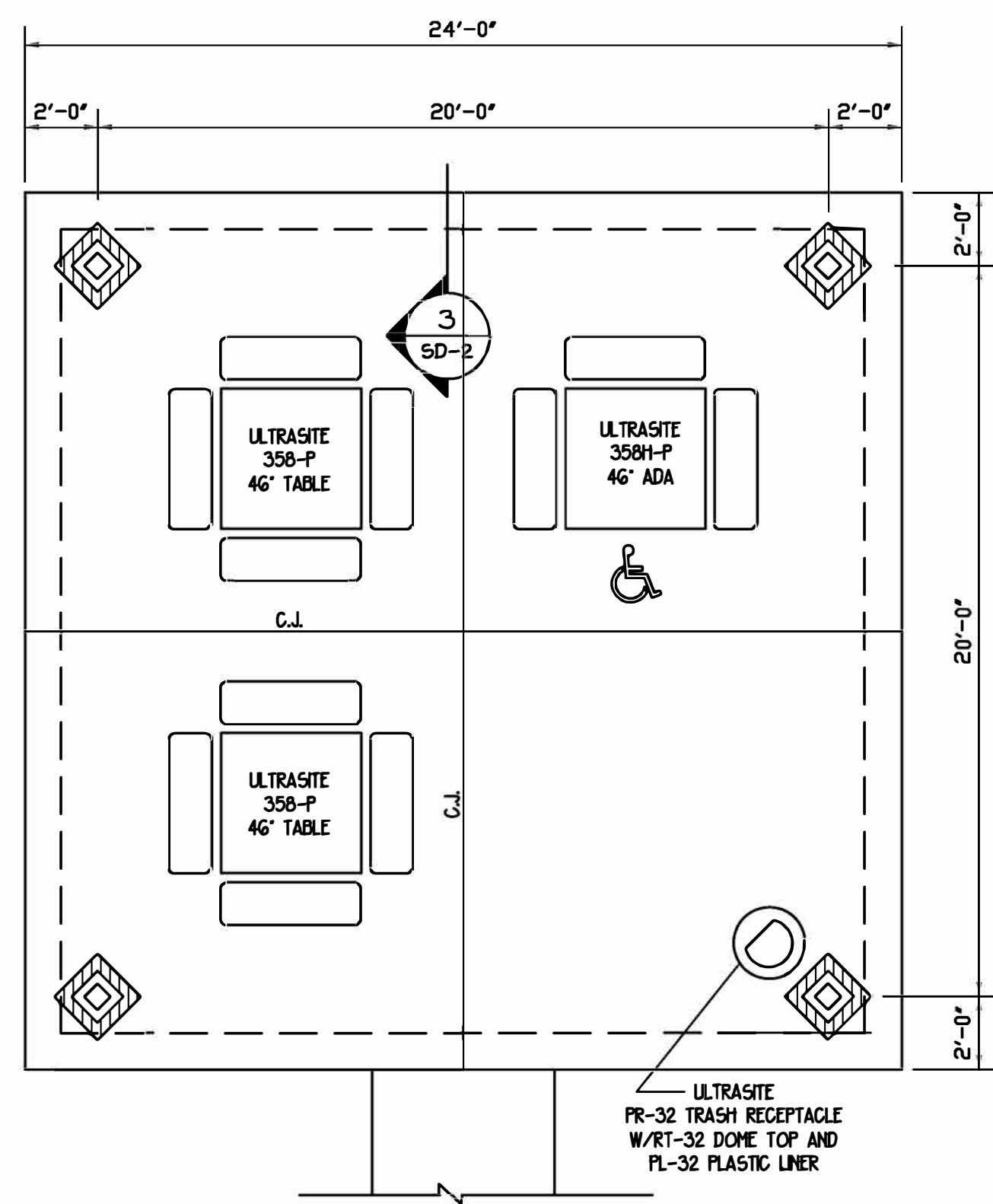


3 **COL. DETAIL**
SD-2 SCALE: 3/4" = 1'-0"



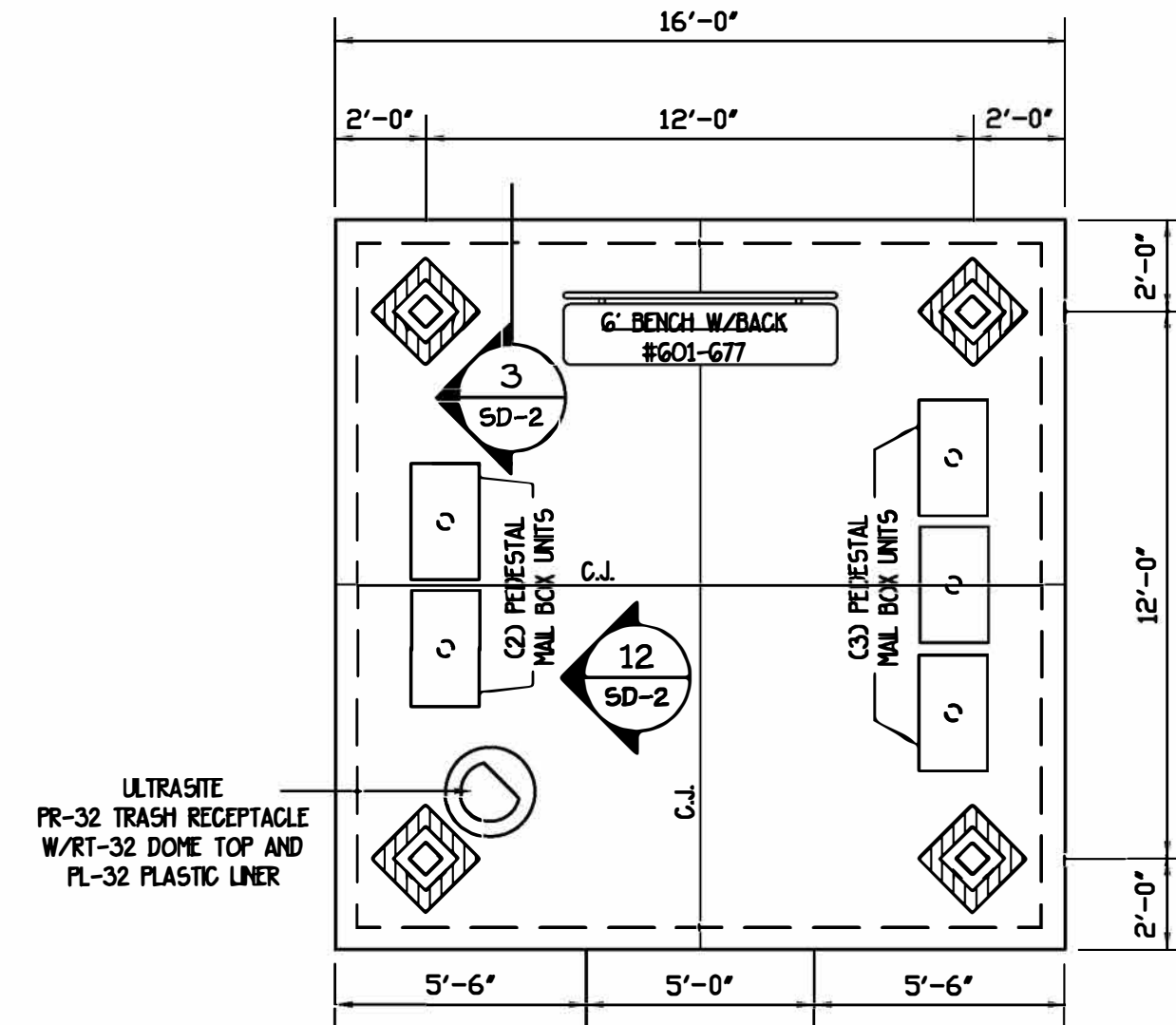
4 **COL. PLAN**
SD-2 SCALE: 3/4" = 1'-0"

5 **COL. PLAN**
SD-2 SCALE: 3/4" = 1'-0"



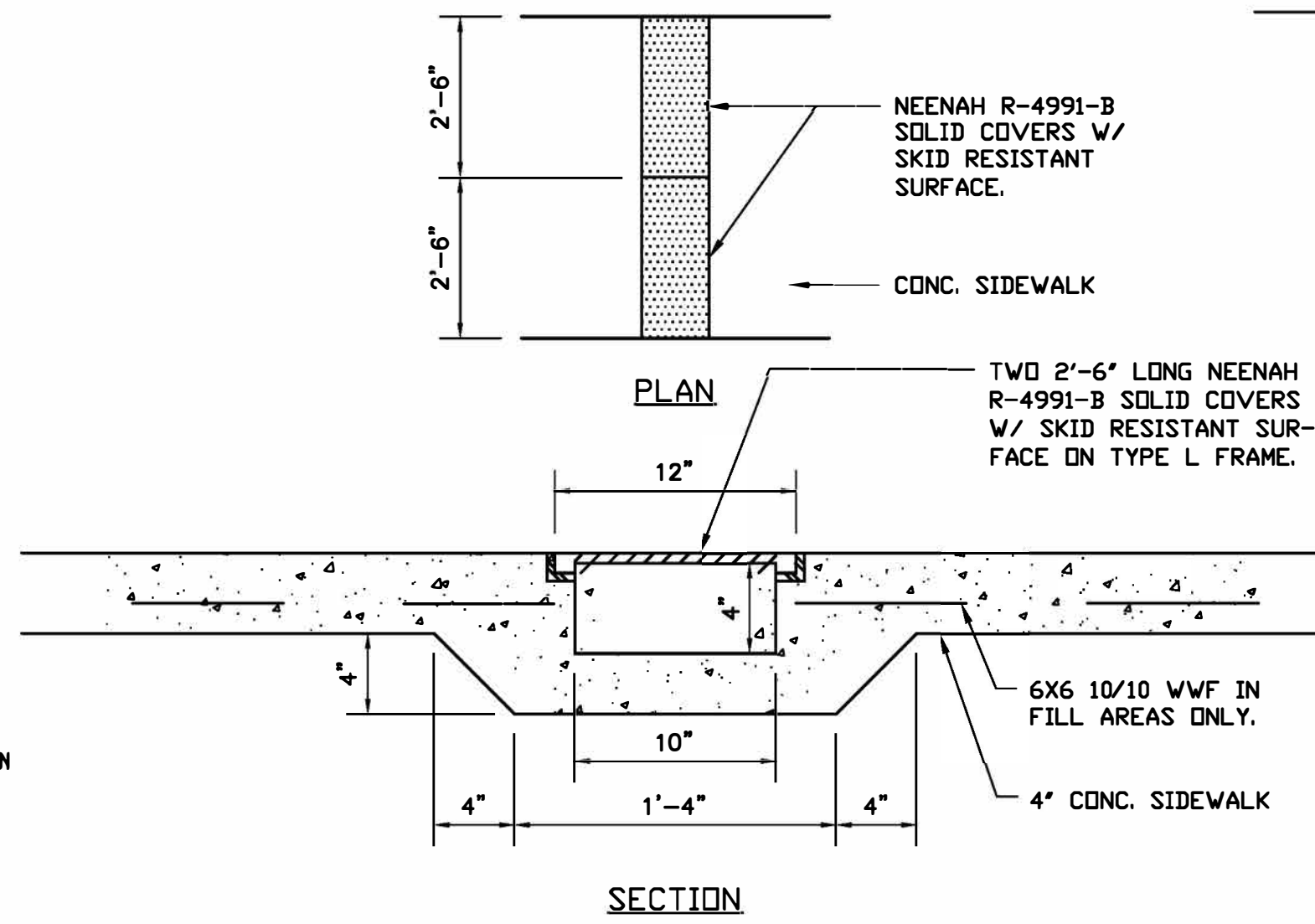
6 **PICNIC KIOSK**
SD-2 SCALE: 1/4" = 1'-0"

PROVIDE AND INSTALL ULTRASHELTER 24' SQUARE SHELTER W/JET BLACK SQ. COLUMNS AND HARTFORD GREEN MAX. RB ROOF. SUBDECK TO BE TONGUE + GROOVE WOOD AND COLUMN BASES WRAPPED W/SPLIT FACE CMU (BUFF) SUBMIT ENG. SEALED SHOP DWG'S. FOR REVIEW.

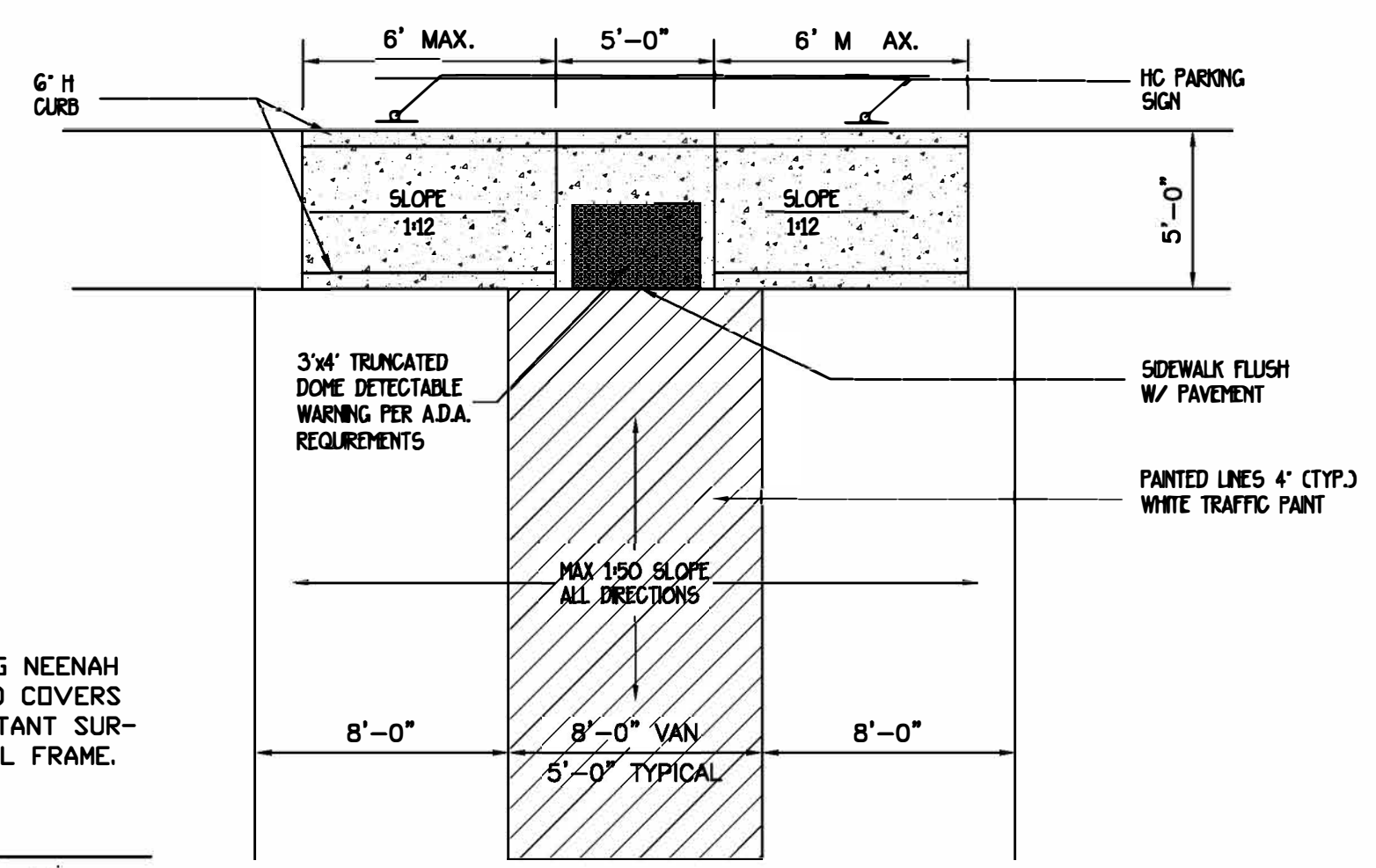


7 **MAIL KIOSK**
SD-2 SCALE: 1/4" = 1'-0"

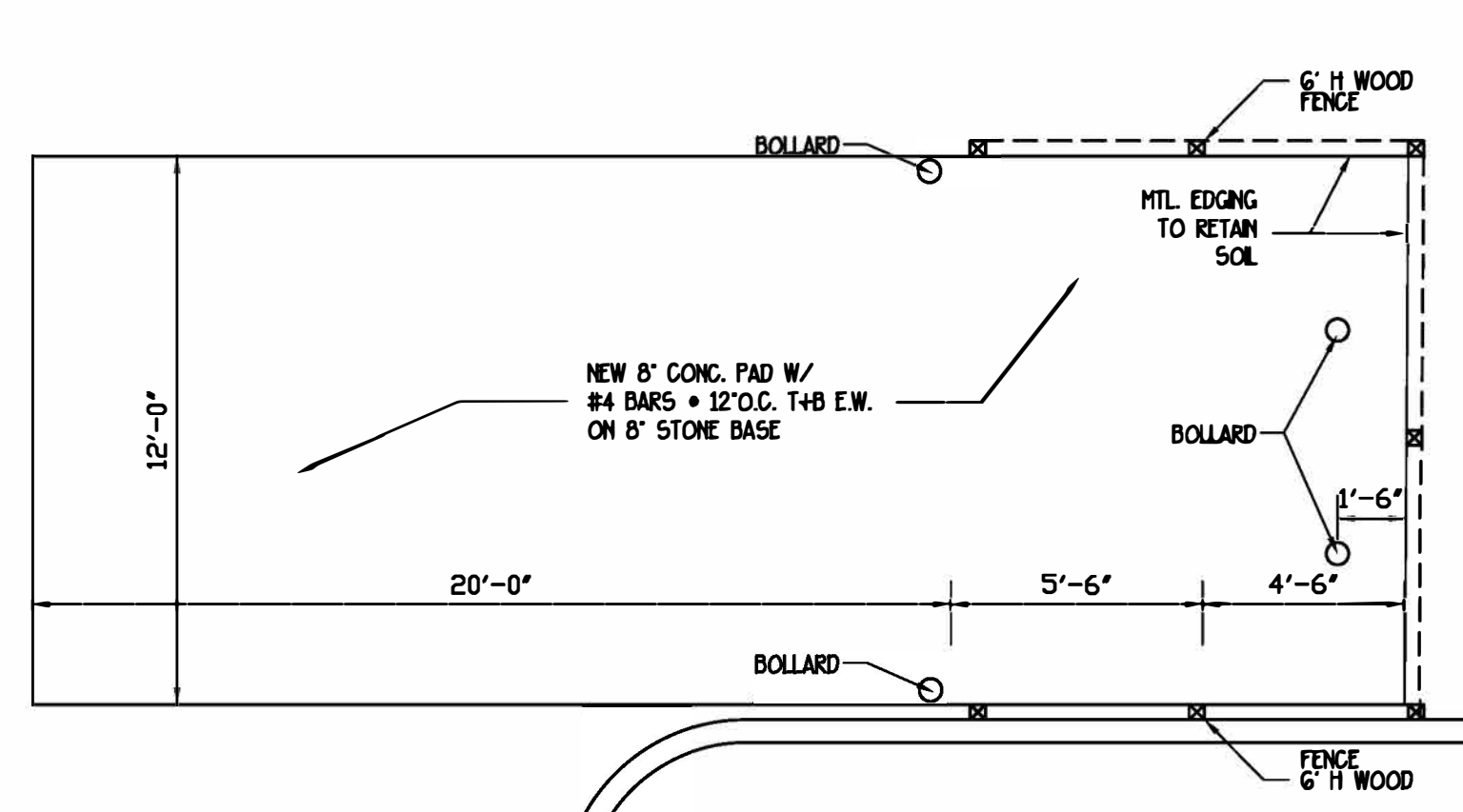
PROVIDE AND INSTALL ULTRASHELTER 16' SQUARE SHELTER W/JET BLACK SQ. COLUMNS AND HARTFORD GREEN MAX. RB ROOF. SUBDECK TO BE TONGUE + GROOVE WOOD AND COLUMN BASES WRAPPED W/SPLIT FACE CMU (BUFF) SUBMIT ENG. SEALED SHOP DWG'S. FOR REVIEW.



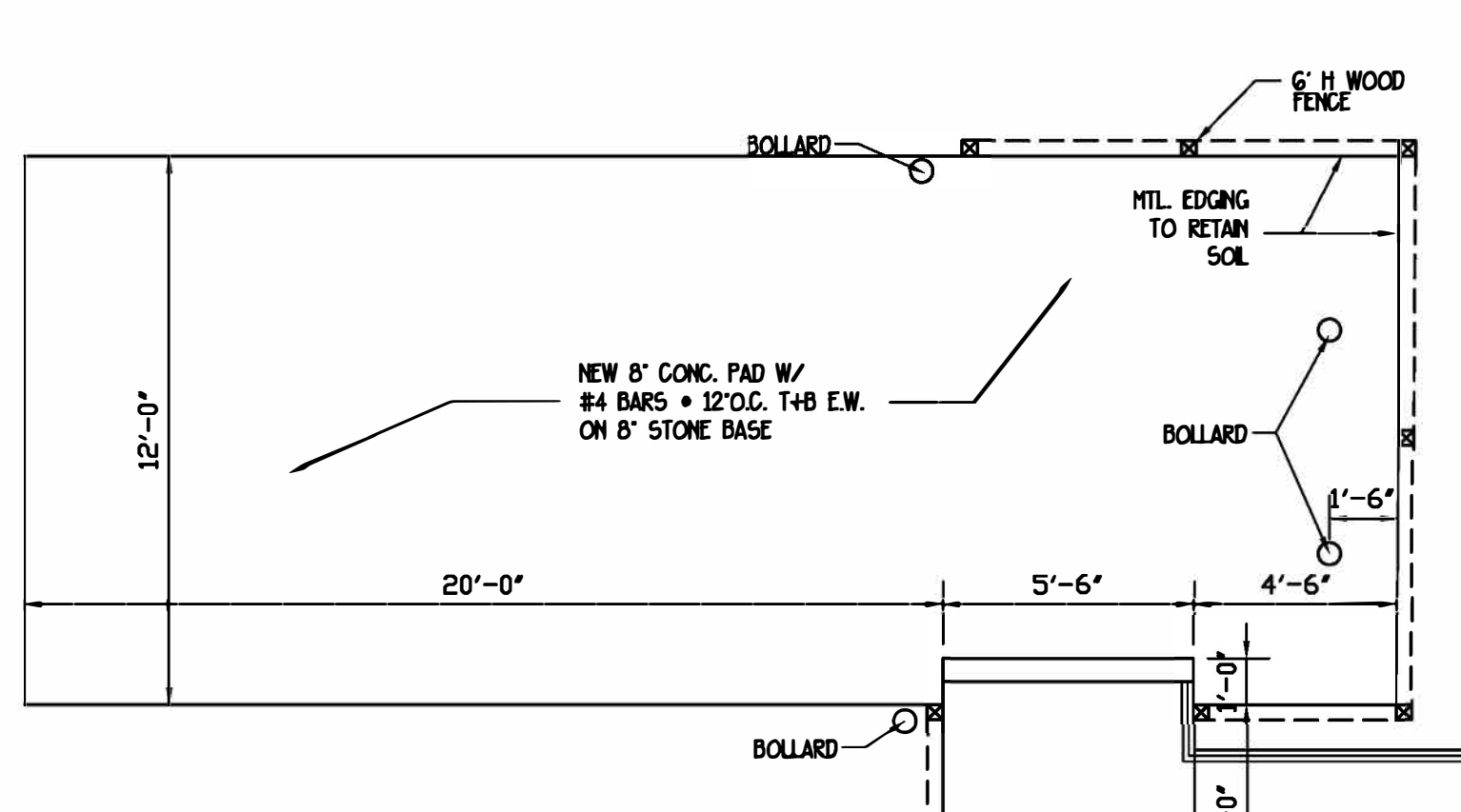
8 **SIDEWALK CROSS DRAIN**
SD-2 SCALE: 1 1/2" = 1'-0"



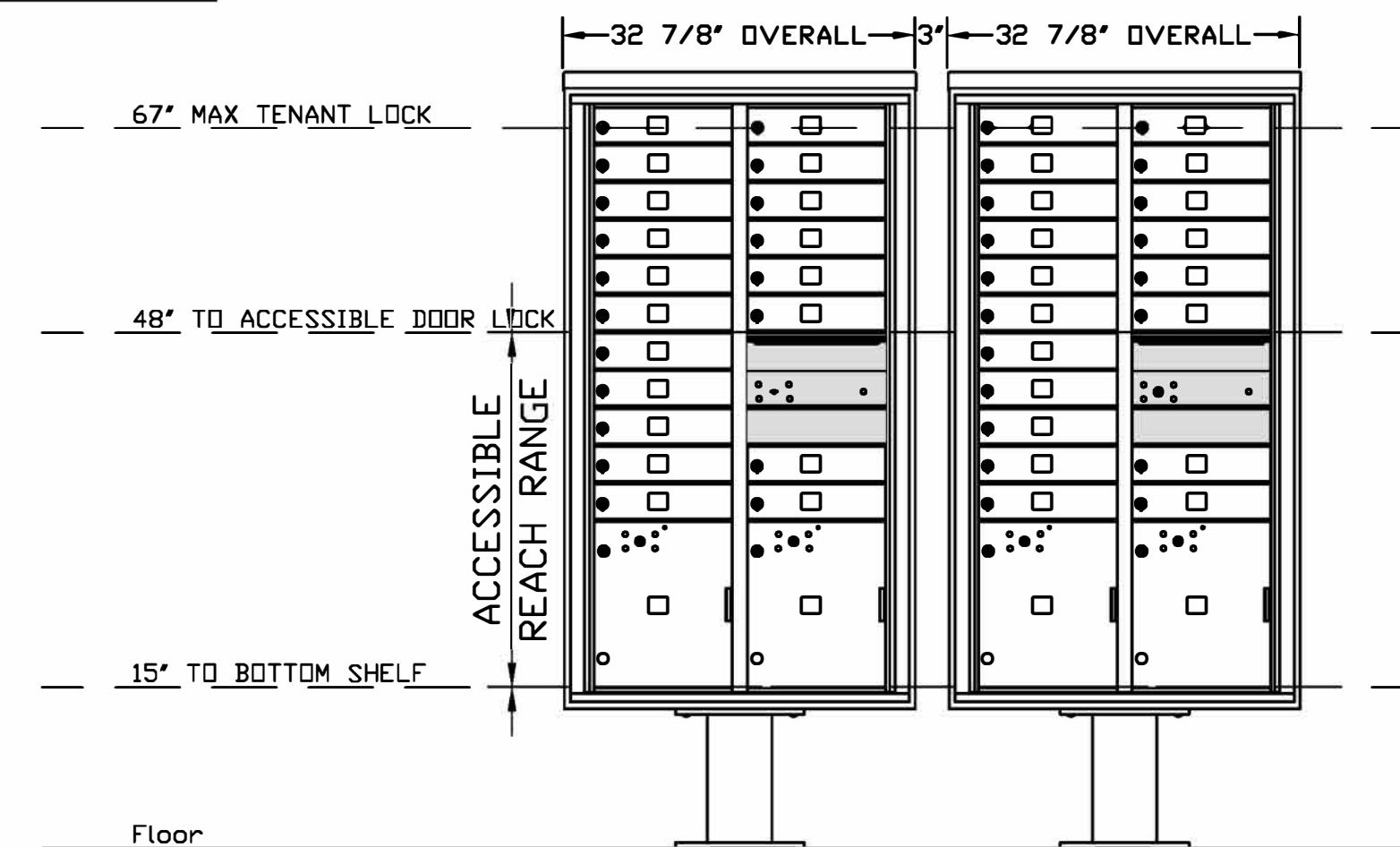
9 **ACCESSIBLE PARKING**
SD-2 SCALE: 1/4" = 1'-0"



10 **DUMPSTER DETAIL**
SD-2 SCALE: 1/4" = 1'-0"



11 **ACCESSIBLE DUMPSTER DETAIL**
SD-2 SCALE: 1/4" = 1'-0"



12 **TYPICAL MAIL BOX ELEVATION**
SD-2 SCALE: 3/4" = 1'-0"

CAD FILE:

| | |
|---------------|--|
| DRWN BY: MGA | |
| CHKD BY: MDA | |
| APPR BY: MDA | |
| DATE: 8-30-18 | |
| REVISIONS | |

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

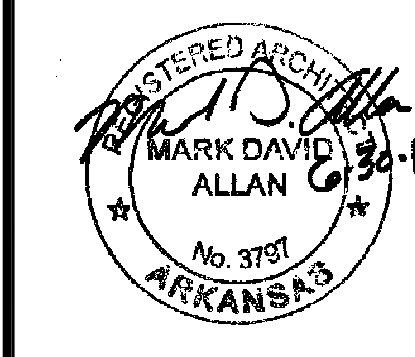
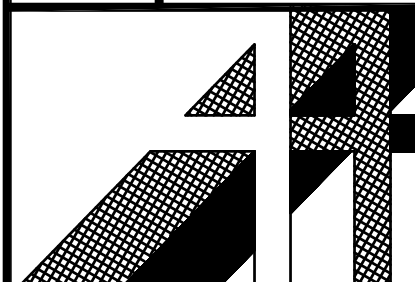
SITE DETAILS

ALLAN ASSOCIATES ARCHITECTS, PLLC

6516 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912
865 / 689-1802

REGISTERED ARCHITECT
MARK DAVID ALLAN
No. 3731
ARKANSAS

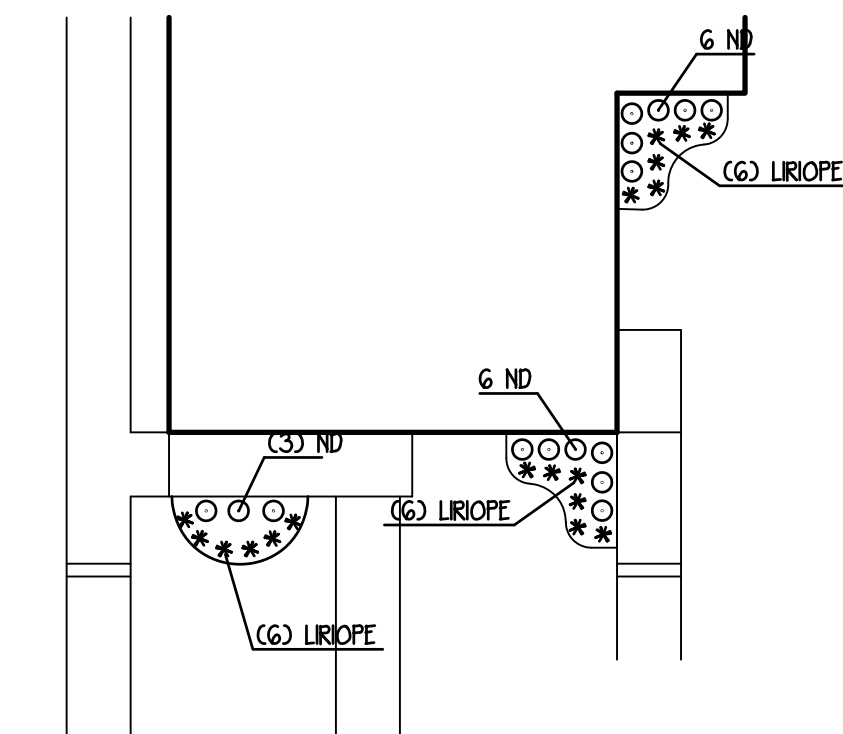
SHEET NUMBER
SD-2



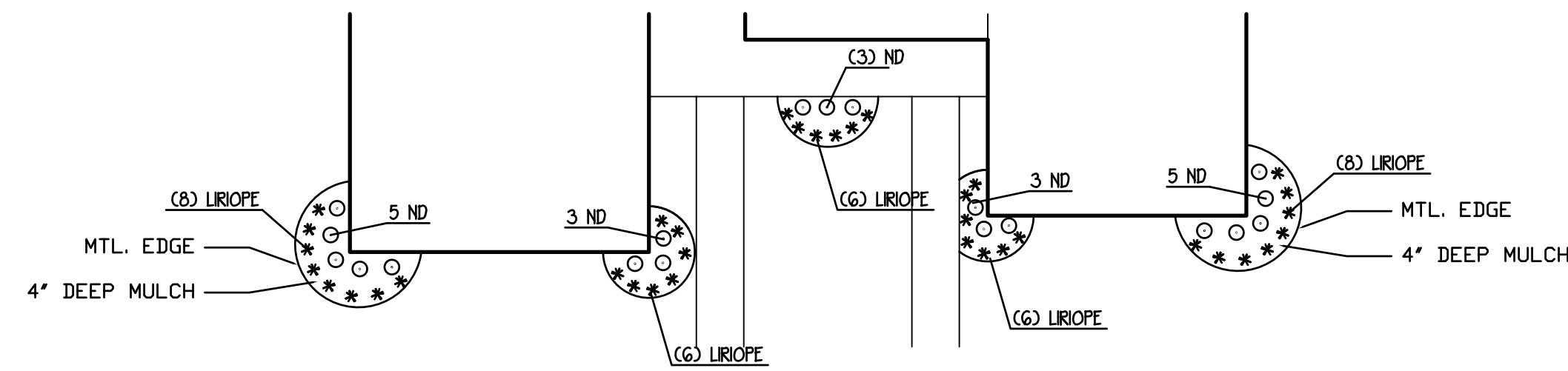
PLANT LEGEND

| QUANTITY | SYMBOL | BOTANICAL/COMMON NAME | SIZE |
|----------|--------|---|--------------|
| 25 | | QUERCUS PALUSTRIS (LIVE OAK) | 1.75 CALIPER |
| 7 | | PRUNUS YEDOENSIS YOSHINO (YOSHINO CHERRY) | 1.5 CALIPER |
| - | | EXISTING TREE TO REMAIN | ---- |
| 193 | | NANDINA DOMESTICA "FIREPOWER" (DWARF NANDINA) | 3 GAL. |
| 420 | | LIRIODEPE MONKEY GRASS | 1 GAL. |

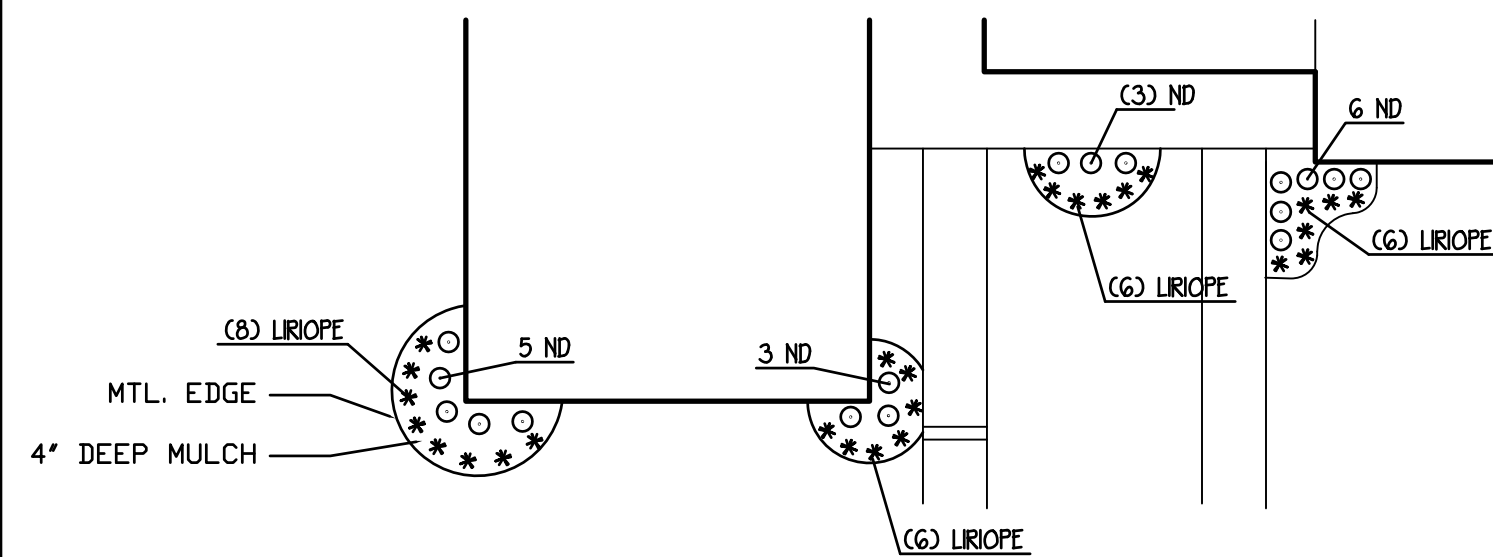
NOTE:
ANY/ALL EXISTING BARE AREAS AND SITE DISTURBED AREAS BY CONSTRUCTION AND CONSTRUCTION OPERATION SHALL BE SODDED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.



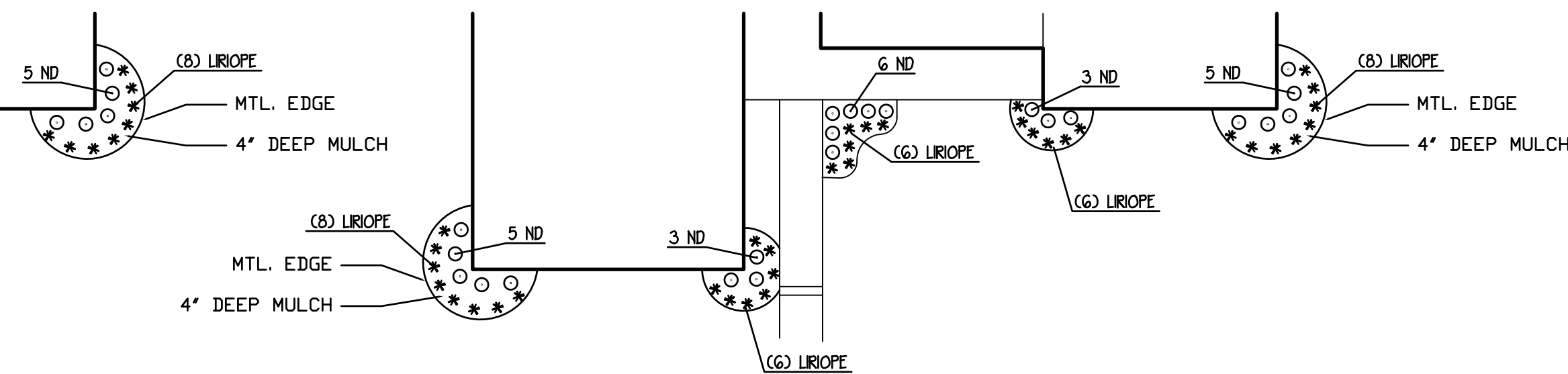
LEASING CENTER



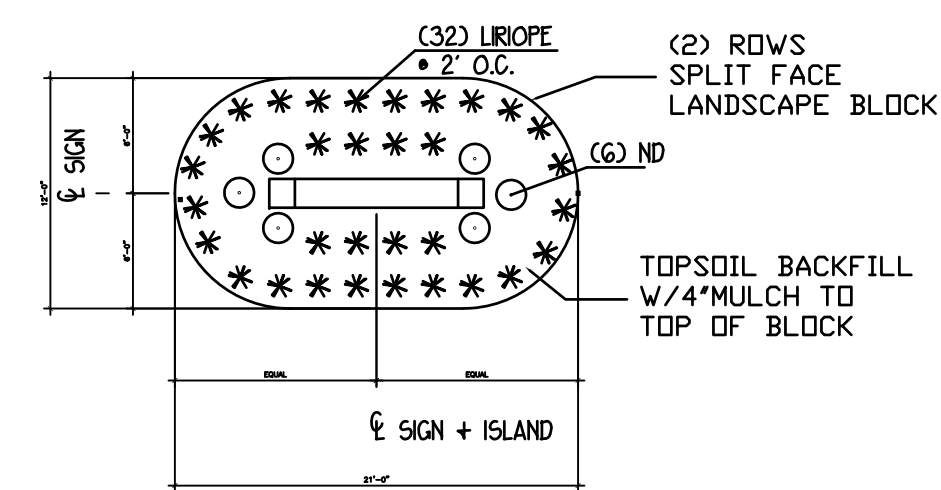
TYPICAL BLDG'S 2,3,5,8



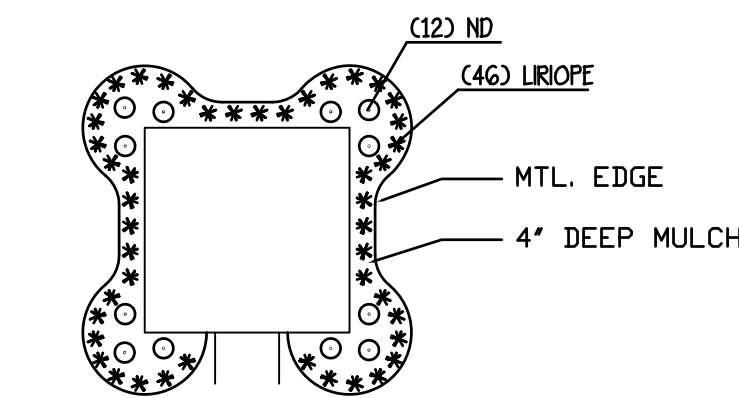
TYPICAL BLDG'S 1, 7



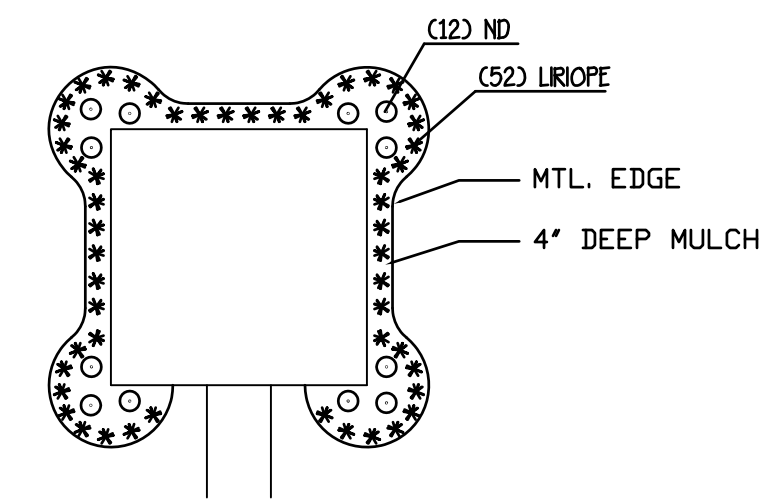
TYPICAL BLDG'S 4, 6



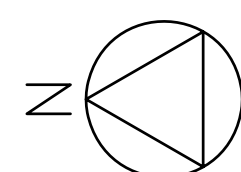
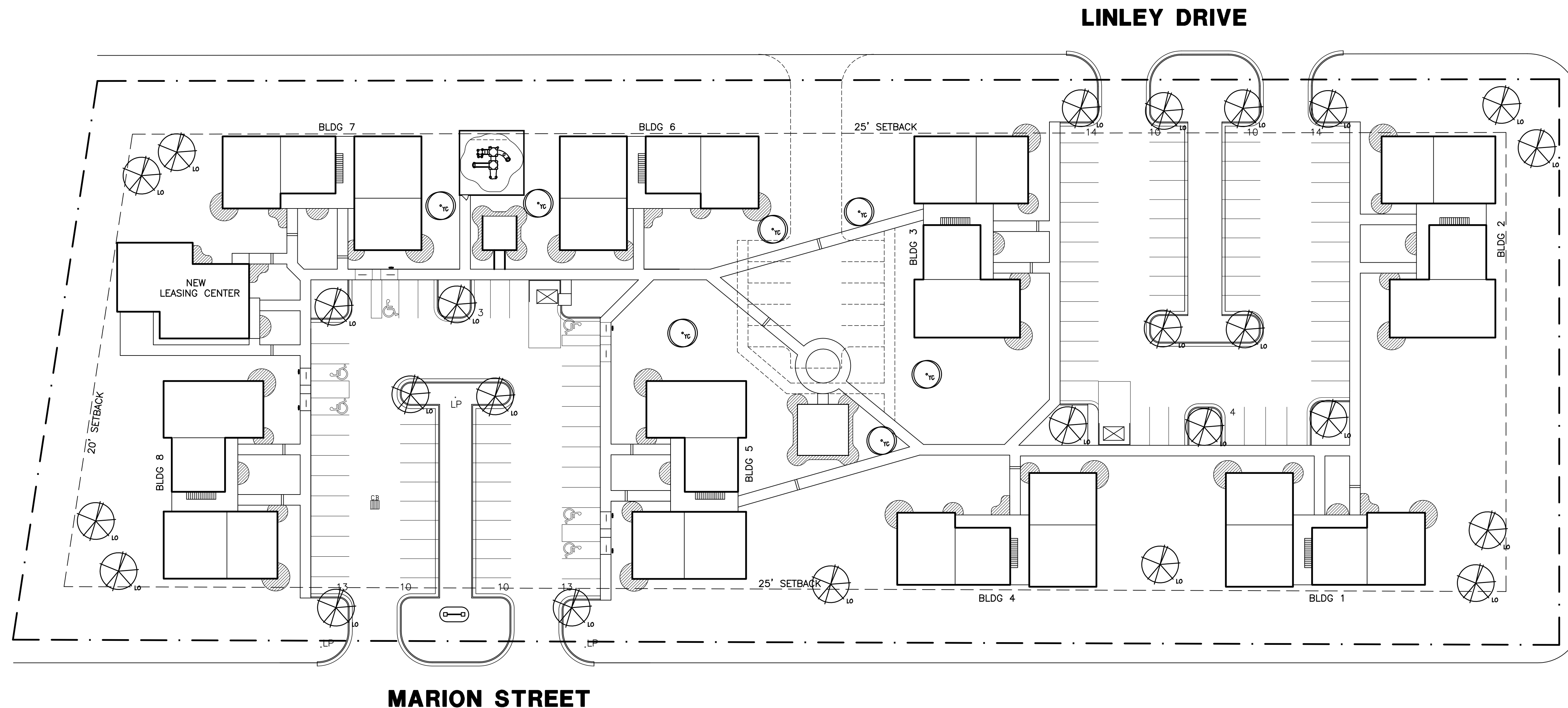
MONUMENT SIGN



MAIL KIOSK



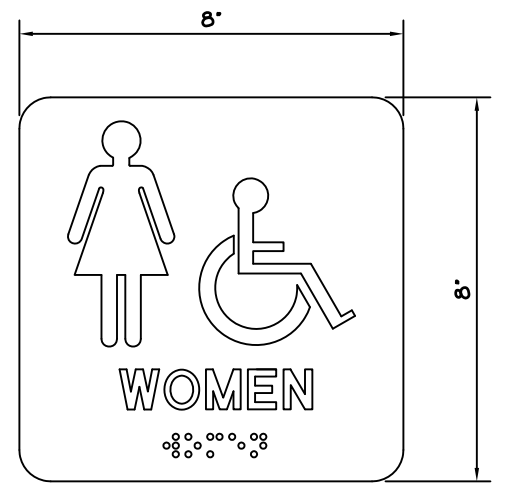
PICNIC KIOSK



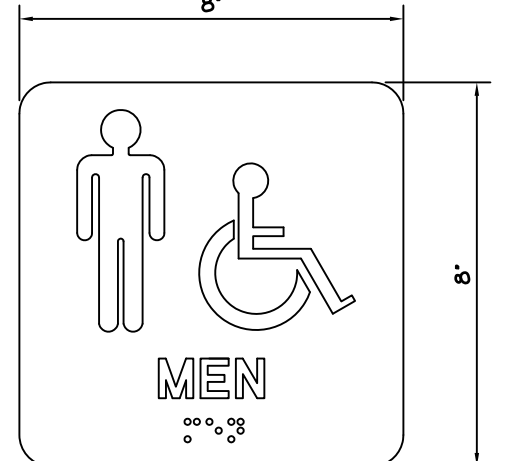
SITE GRADING PLAN
SCALE: 1"=30'-0"



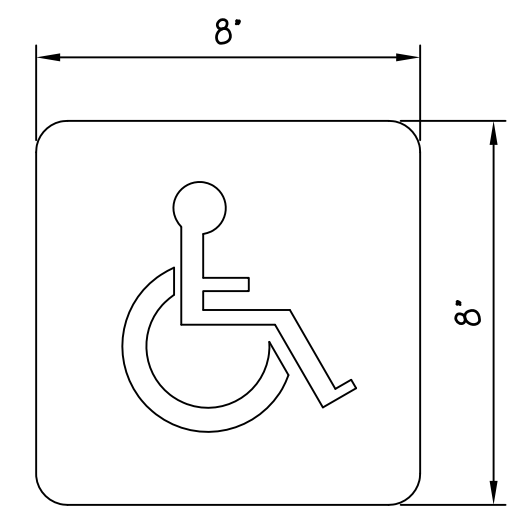
(C1) - 21x24. SINGLE-SIDED SIGNFOAM. HDU SANDBLASTED WOOD GRAIN BACKGROUND.



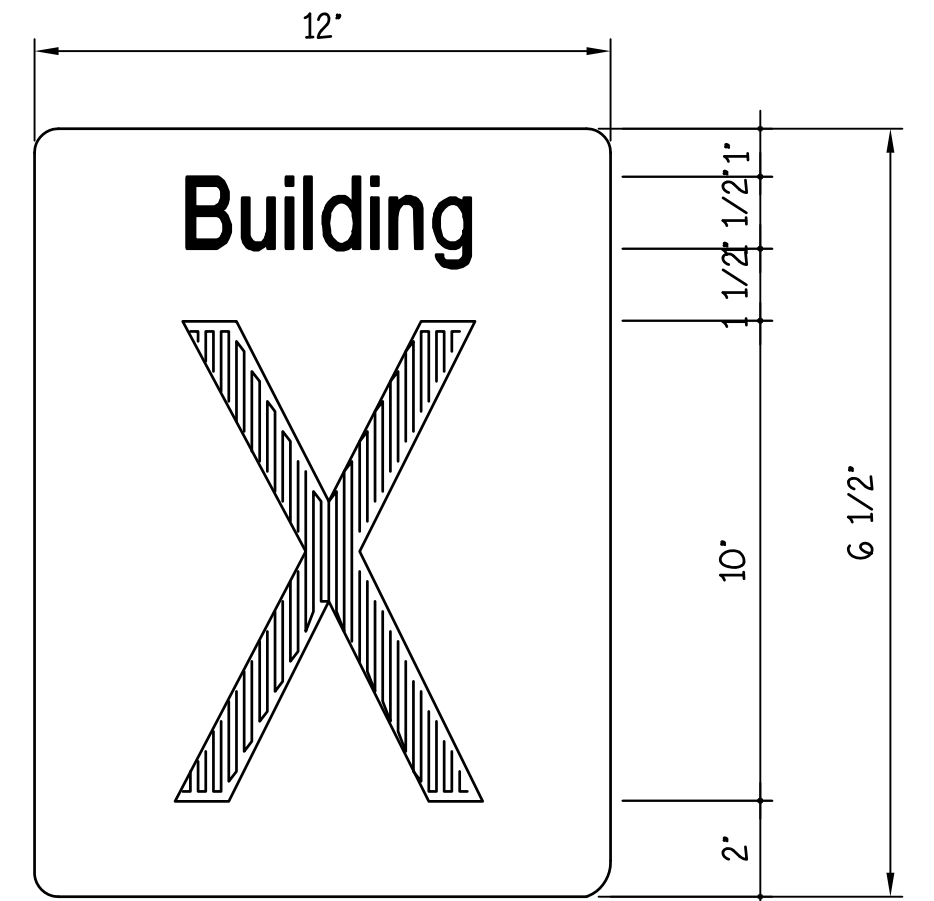
(C1) - 8 X 8, INTERIOR SIGN COLORS, BRAIL



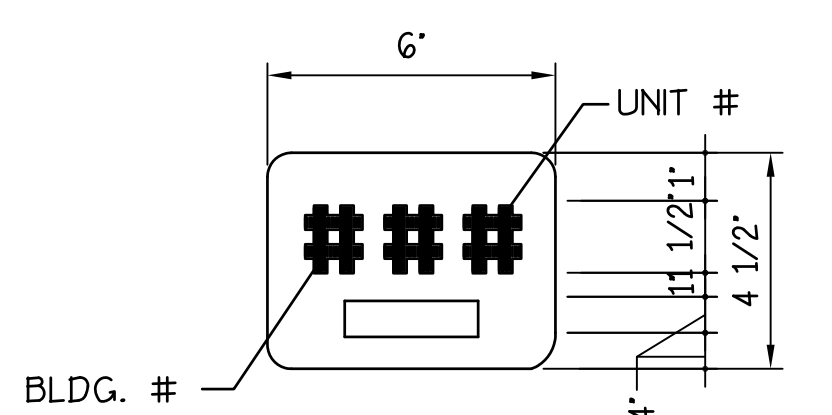
(C1) - 8 X 8, INTERIOR SIGN COLORS, BRAIL



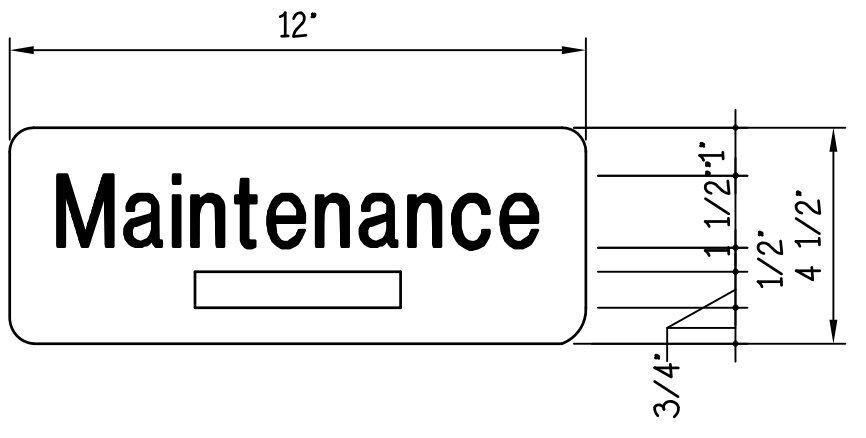
(C2) - 8x8. SYMBOL AT OFFICE BLDG. ENTRIES



(C8) - 16x12. COLORS TO MATCH BLDG. SIGNS:

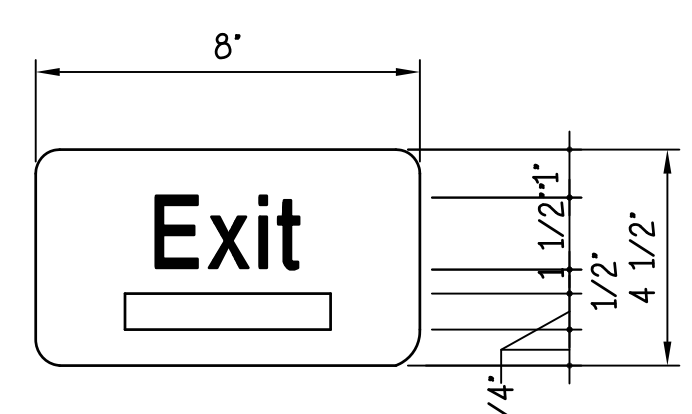


(C64) - 9x4 1/2. 1.5" TALL HELVETICA REGULAR TEXT. RAISED LETTERS. BRAILLE. UNIT SIGN COLORS.

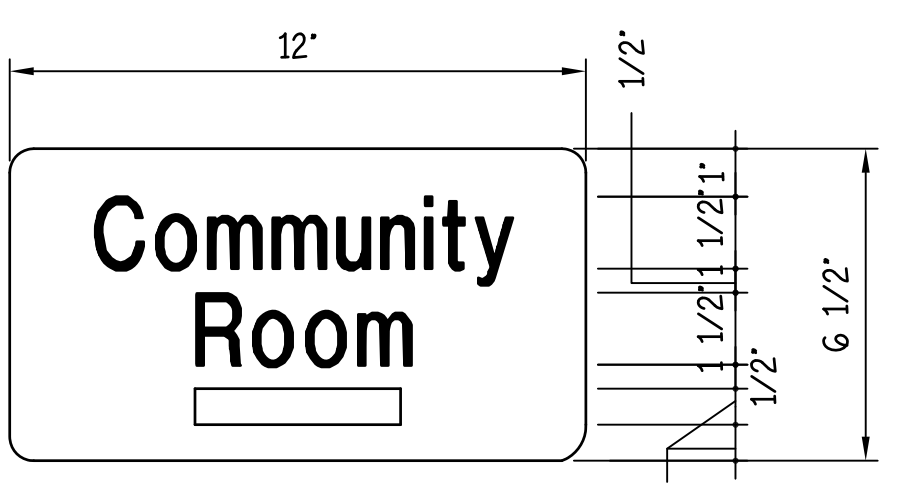


(C3) - 4 1/2x12. COLORS TO MATCH BLDG. SIGNS. BRAILLE:

- (1) Maintenance
- (1) Laundry
- (1) Manager



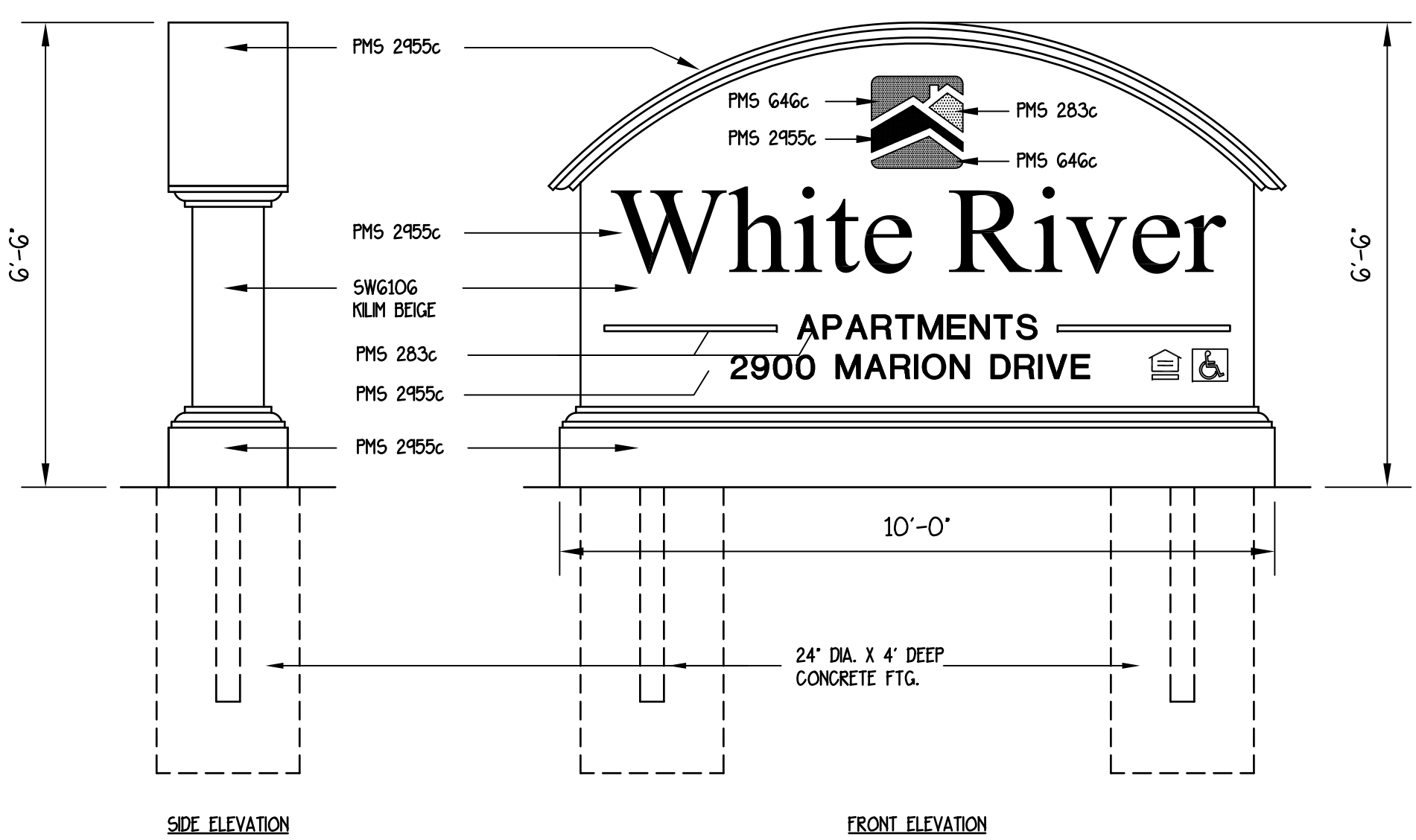
(C2) - 4 1/2x8. COLORS TO MATCH BLDG. SIGNS. BRAILLE.



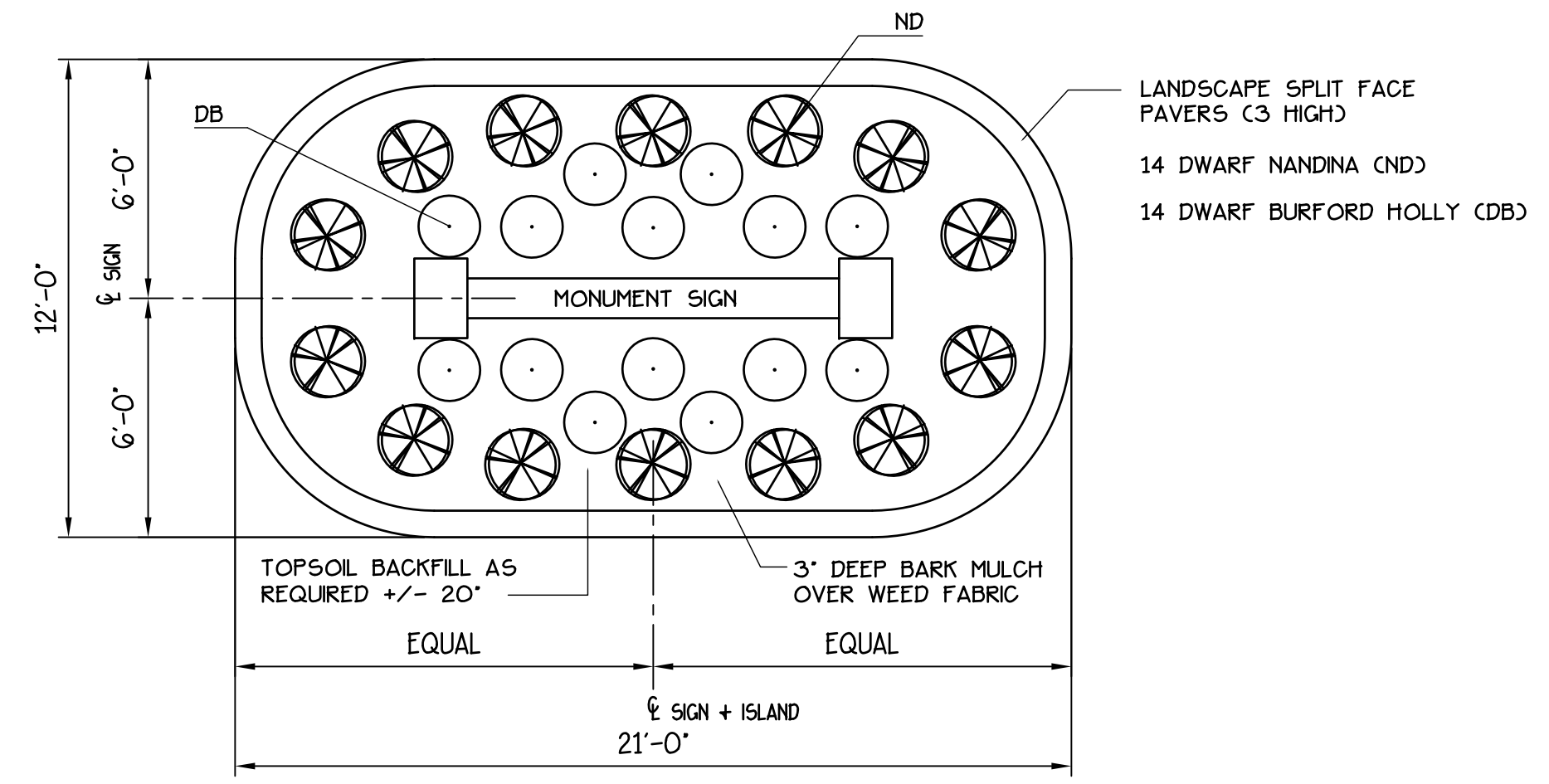
(C1) - 6 1/2x12. COLORS TO MATCH BLDG. SIGNS. BRAILLE:

| White River Apartments - Material Selection and Finish Guide | | |
|--|----------------------------|-----------------------|
| Product | Color | Manufacturer |
| Mailboxes | Tan | Author Florance |
| Building Exterior | | |
| Hardi Siding, Soffit and Trim | Kilm Beige | Sherwin Williams |
| Storefront Entries | Mill | TBD |
| Flashings, Gutters and Downspouts | Kilm Beige (Color Match) | Pac-clad |
| Exterior Doors and Frames | PMS 2955c (Dark Blue) | Sherwin Williams |
| Door Hardware | Satin Nickel | TBD - per spec. |
| Metal Stair Railings and Pans | SW7041 Van Dyke Brown | Sherwin Williams |
| Garage Door | Tan | Overhead Door Co. |
| Apartment Unit Interiors | | |
| Vinyl Plank Flooring | Leon | Konecto |
| Vinyl Wall Base | 194 Burnt Umber | Roppe |
| Wall Paint | SW2822 - Downing Sand | Sherwin Williams |
| Ceiling Paint | SW6077 - Everyday White | Sherwin Williams |
| Door and Frame Paint (includes entry door int.) | 520-6 - Oswego Tea | Pittsburgh Paint |
| Door Hardware (lever and hinges) | Satin Nickel | TBD - per spec. |
| Window Blinds (2" wide) | White | TBD - per spec. |
| Closet Shelves | White | TBD - per spec. |
| Kitchen Cabinets | TBD | TBD - per spec. |
| Kitchen Countertops - Laminate | 3517 Sand Crystall - Matte | Wilsonart |
| Kitchen Cabinet Hardware | Satin Nickel | TBD - per spec. |
| Appliances | White | TBD - per spec. |
| Vanity Top - Cultured Marble | Pure White | TBD - per spec. |
| Porcelain Tile Flooring | Nubi Bianchi | Salerno |
| Bath Vanity Cabinets | TBD | TBD - per spec. |
| Bath Accessories | Satin Nickel | ASI or Bobrick |
| Electrical devices and cover plates | White | TBD - per spec. |
| Light Fixtures | White | TBD - per spec. |
| HVAC diffusers and grilles | White | TBD - per spec. |
| Leasing Office and Common Areas Interiors | | |
| Porcelain Tile Flooring | Nubi Bianchi | Salerno |
| Vinyl Plank Flooring (field) | 80017 - Walnut | Konecto VP - Prestige |
| Vinyl Plank Flooring (inlay) | 80010 - Sunrise | Konecto VP - Prestige |
| Transition Strips | 194 Burnt Umber | Roppe |
| Vinyl Base | 194 Burnt Umber | Roppe |
| Wall Paint | SW2822 - Downing Sand | Sherwin Williams |
| Ceiling Paint | SW6077 - Everyday White | Sherwin Williams |
| Door and Frame Paint | 520-6 - Oswego Tea | Pittsburgh Paint |
| Door Hardware (lever and hinges) | Satin Nickel | TBD - per spec. |
| Office Interior Storefront | Mill | TBD - per spec. |
| Window Blinds (2" wide) | White | TBD - per spec. |
| Cabinets | TBD | TBD - per spec. |
| Cabinet Hardware | Satin Nickel | TBD - per spec. |
| Kitchen Countertops - Laminate | 3517 Sand Crystall - Matte | Wilsonart |
| Appliances | Stainless Steel | TBD - per spec. |
| Workroom Countertops - Plastic Laminate | 3517 Sand Crystall - Matte | Wilsonart |
| Bath Vanity Frame | TBD | TBD - per spec. |
| Bath Vanity Cabinet Hardware | Satin Nickel | TBD - per spec. |
| Bath Vanity Top - Cultured Marble | Pure White | TBD - per spec. |
| Bath Accessories | Satin Nickel | ASI or Bobrick |
| Electrical devices and cover plates | White | TBD - per spec. |
| Light Fixtures | White | TBD - per spec. |
| HVAC diffusers and grilles | White | TBD - per spec. |
| Signage | | |
| Plastic Apt Unit Signage at Doors - Background | PMS 2955c | Pittsburgh Paint |
| Plastic Apt Unit Signage at Doors - #'s | SW6106 Kilim Beige | Sherwin Williams |
| Foam Leasing Office Signage - Background | SW6106 Kilim Beige | Sherwin Williams |
| Foam Leasing Office Signage - Txt | PMS 2955c | Sherwin Williams |
| Foam Leasing Office Signage - Border | PMS 2955c | Sherwin Williams |
| Plastic Interior Signage - Background | PMS 2955c | Pittsburgh Paint |
| Plastic Interior Signage - Txt and Symbols | SW6106 Kilim Beige | Sherwin Williams |
| Foam Monument Sign - Background | SW6106 Kilim Beige | Sherwin Williams |
| Foam Monument Sign - Txt | PMS 2955c | Sherwin Williams |
| Foam Monument Sign - Logo | PMS 2955c, PMS 6646c | Sherwin Williams |
| Foam Monument Sign - PMS 283c | PMS 283c | Sherwin Williams |
| Foam Monument Sign - Base and Cap | PMS 2955c | Sherwin Williams |

NOTE: SIGNAGE MANUF. TO VERIFY MONUMENT SIGN MEETS ALL LOCAL SIGN REQUIREMENTS AND SUBMIT FOR ANY REQUIRED LOCAL REVIEW AND/OR PERMITTING.



MONUMENT SIGN SCALE: 1/2" = 1'-0"



1 PLANTER BED LANDSCAPING SCALE: 1/2" = 1'-0"

CAD FILE:

DRWN BY: MGA
CHKD BY: MDA
APPR BY: MDA
DATE: 6-30-16
REVISIONS:

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

COLORS, MATERIALS AND SIGNAGE

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1902
6516 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912

REGISTERED ARCHITECT
MARK DAVID ALLAN
No. 3731
ARKANSAS

SHEET NUMBER
CS1

FINISH SCHEDULE

| RM. NO. | FLOOR | FLOOR | BASE | WALLS | CEILING | CEILING | REMARKS/NOTES |
|------------------|-------------|-------|------|-------|---------|---------|---------------|
| ONE BEDROOM UNIT | | | | | | | |
| 001 | ENTRY | V.P. | V | PNT | PNT | 8'-0" | |
| 002 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 003 | KITCHEN | V.P. | V | PNT | PNT | 8'-0" | |
| 004 | PANTRY | V.P. | V | PNT | PNT | 8'-0" | |
| 005 | LAUNDRY | V.P. | V | PNT | PNT | 8'-0" | |
| 006 | DINING | V.P. | V | PNT | PNT | 8'-0" | |
| 007 | HVAC/W/H | S.V. | V | PNT | PNT | 8'-0" | |
| 008 | LIVING ROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 009 | BEDROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 010 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 011 | BATH | P.T. | V | PNT | PNT | 8'-0" | |
| TWO BEDROOM UNIT | | | | | | | |
| 001 | LIVING ROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 002 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 003 | DINING | V.P. | V | PNT | PNT | 8'-0" | |
| 004 | HVAC/W/H | S.V. | V | PNT | PNT | 8'-0" | |
| 005 | KITCHEN | V.P. | V | PNT | PNT | 8'-0" | |
| 006 | LAUNDRY | V.P. | V | PNT | PNT | 8'-0" | |
| 007 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 008 | HALL | V.P. | V | PNT | PNT | 8'-0" | |
| 009 | BEDROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 010 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 011 | BATH | P.T. | V | PNT | PNT | 8'-0" | |
| 012 | BEDROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 013 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 014 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |

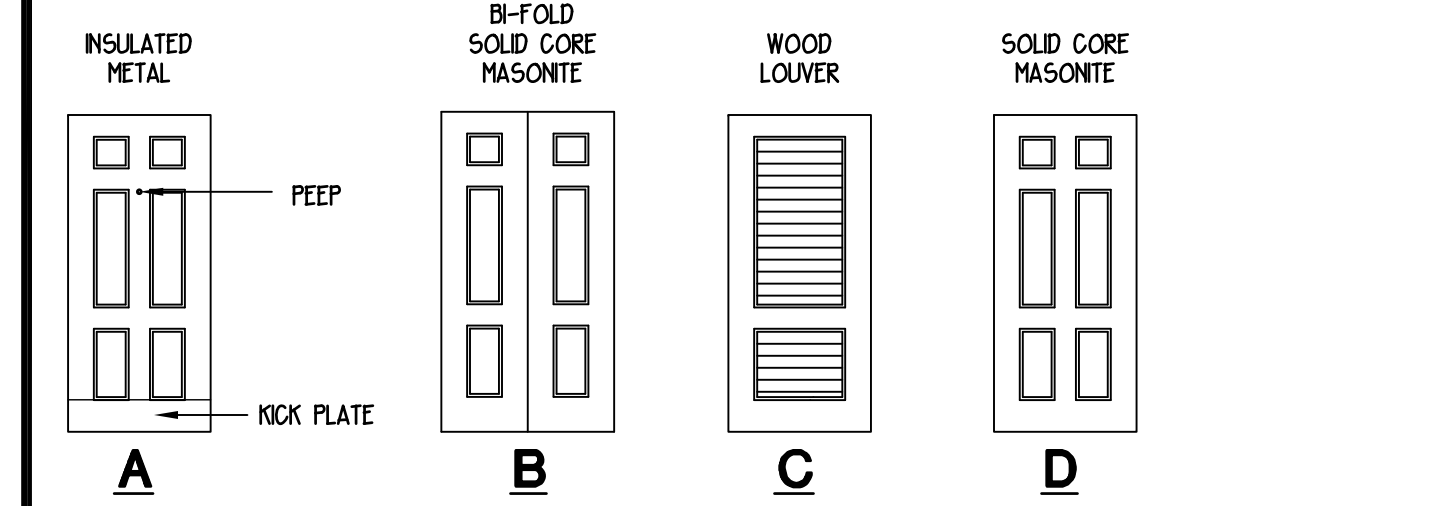
ABBREVIATIONS

| | | | |
|------|-------------|-----|------------------------|
| V.P. | VINYL PLANK | V | 4 1/2" HIGH VINYL BASE |
| EX | EXISTING | PNT | PANT |
| SV | SHEET VINYL | PT | PORCELAIN TILE |

DOOR SCHEDULE

| # | SIZE | TYPE | FRAME | T. HOLD | HDWE | REMARKS |
|-------------------|------------------------|------|-------|---------|-----------|--|
| UNIT DOORS | | | | | | |
| 1 | 3'-0"x6'-8"x1 3/4" | A | MTL | ADA | PASS/D.B. | RATED 60 MIN. SPRING LOADED HINGES AND 180 DEGREE PEEP. KICK PLATE |
| 2 | 2'-0"x6'-8"x1 3/8" | D | WD | - | PASS | |
| 3 | 2'-4"x6'-8"x1 3/8" | C | WD | - | D.B. | LOUVER |
| 4 | 2'-6"x6'-8"x1 3/8" | D | WD | - | PASS | |
| 5 | 2'-6"x6'-8"x1 3/8" | D | WD | - | PRIV | |
| 6 | 1'-6"x6'-8"x1 3/8" | D | WD | - | PASS | |
| 7 | 2'-6"x6'-8"x1 3/8" | D | WD | - | PRIV | |
| 8 | (2) 2'-0"x6'-8"x1 3/8" | B | WD | - | PULL | |
| 9 | 2'-6"x6'-8"x1 3/8" | C | WD | - | PASS | LOUVER |

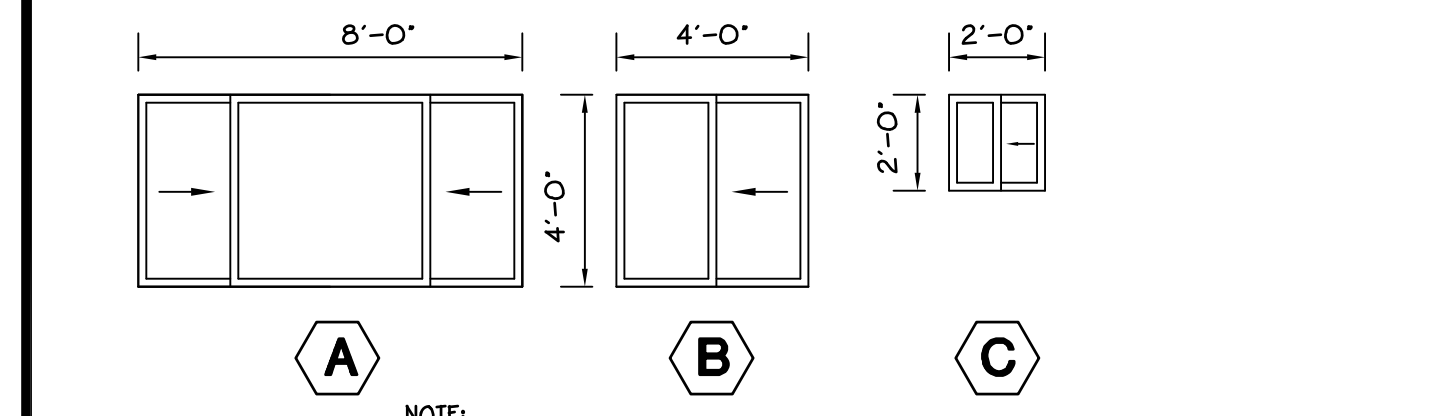
NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.



DOOR TYPES
SCALE: 1/4" = 1'-0"

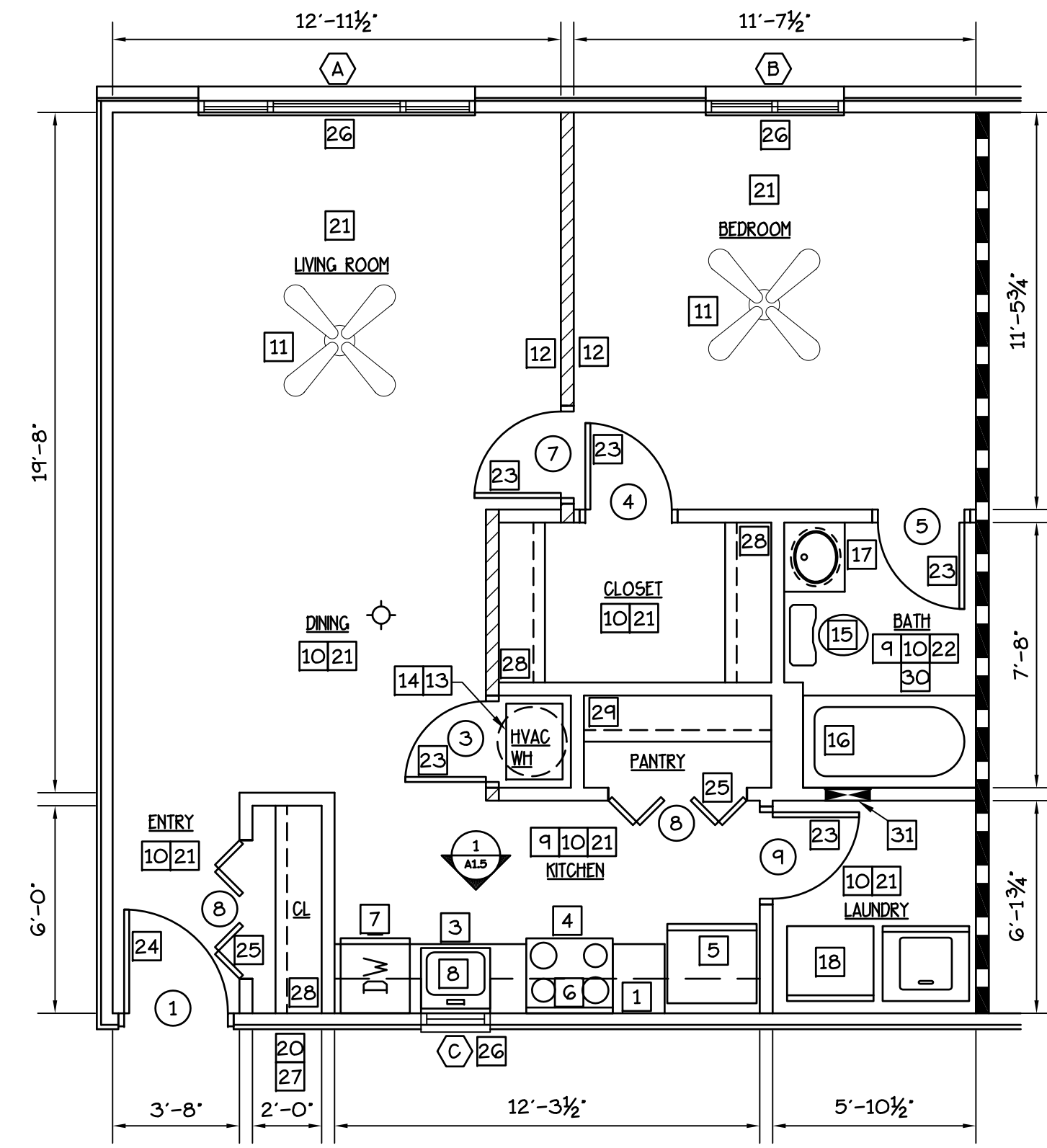
WINDOW SCHEDULE

| # | SIZE | TYPE |
|---|-------------|---|
| A | 4'-0"x8'-0" | VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING |
| B | 4'-0"x4'-0" | VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING |
| C | 2'-0"x2'-0" | VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING |

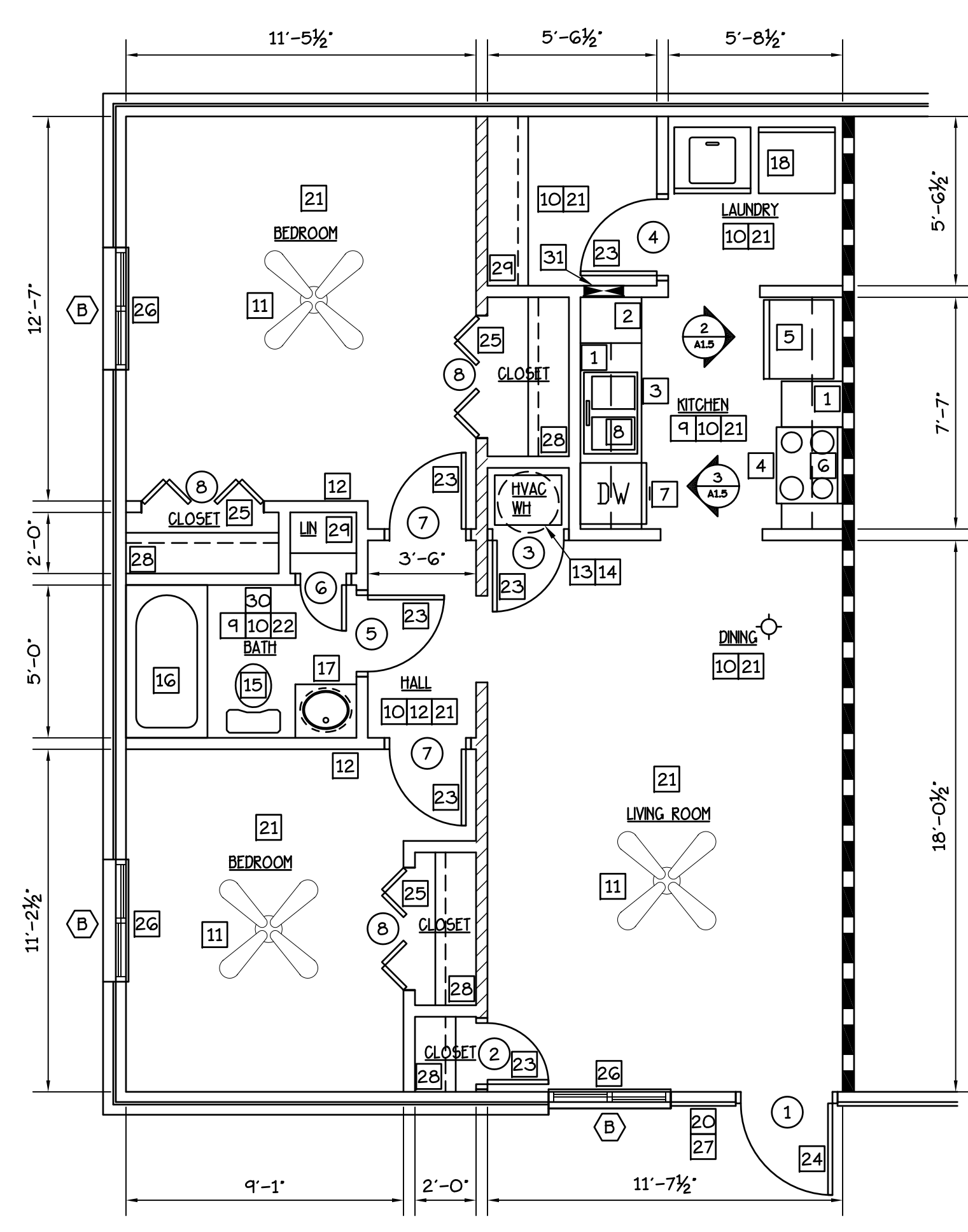


NOTE:

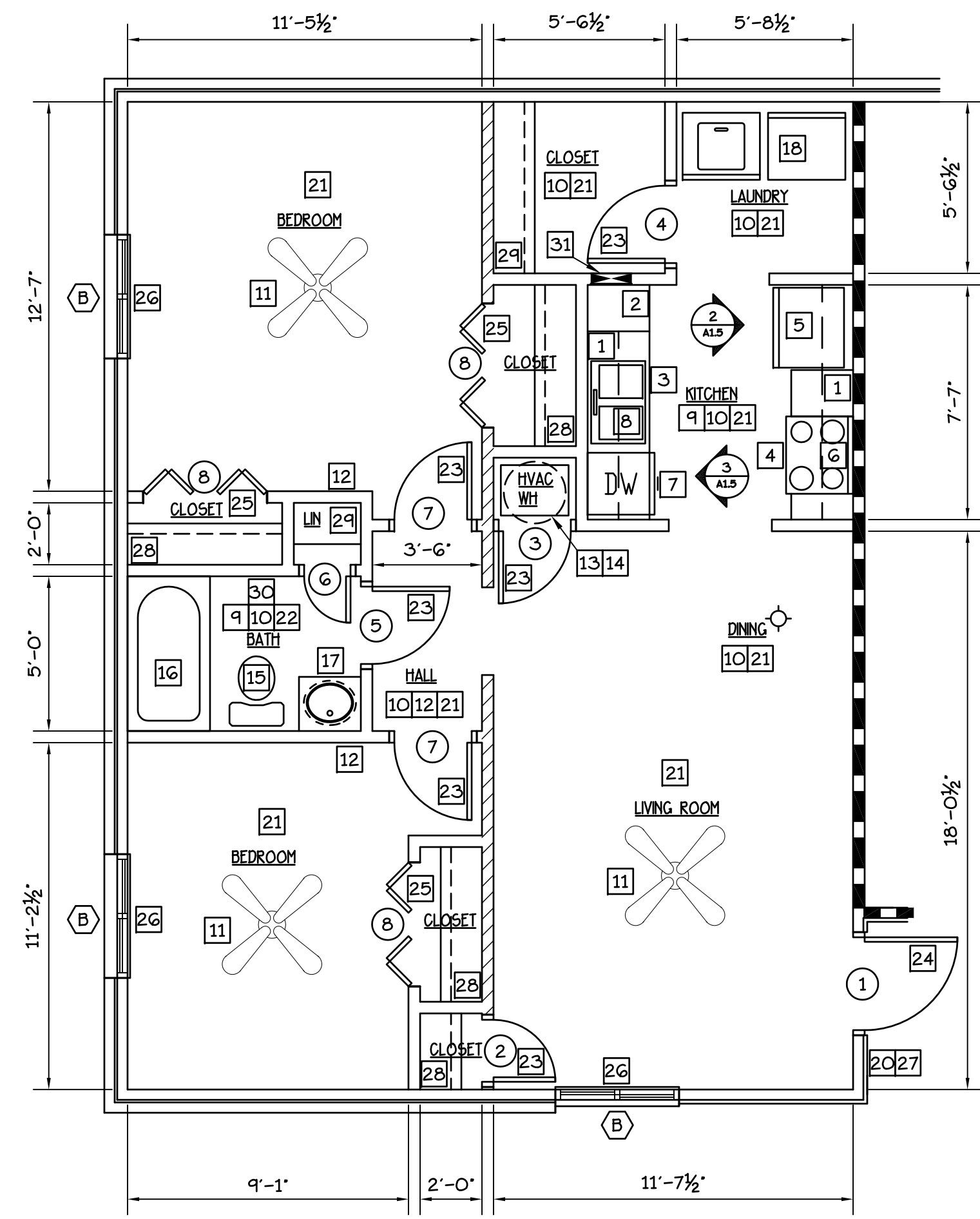
- AT LEAST ONE REPLACEMENT WINDOW WITHIN EACH BEDROOM SHALL MEET EMERGENCY EGRESS SIZE REQUIREMENTS. PROVIDE AND INSTALL CASEMENT WINDOW TO INCLUDE OPENING INFL EACH SIDE. SHEETROCK REPAIR AND VINYL TRIM AT EXTERIOR.
- ALL WINDOWS SHALL BE EQUIPPED W/ AN OPENING CONTROL DEVICE THAT LIMITS NORMAL OPERATION TO LESS THAN 4".
- ALL WINDOWS WITHIN ARC OF DOOR SWINGS AND/OR WITHIN 18" OF FINISHED FLOOR SHALL HAVE TEMP. GLASS.



ONE BEDROOM UNIT
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS



TWO BEDROOM UNIT
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS



TWO BEDROOM UNIT
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

- TYPICAL UNIT NOTES**
- REMOVE EXISTING KITCHEN CABINETS AND COUNTERTOPS. PROVIDE NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. REPAIR DRYWALL FROM CABINET REMOVAL AS NECESSARY. CAULK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-15
 - PANTRY CABINET 18" W/ 5 SHELVES.
 - NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK OR AS DIRECTED BY LOCAL FIRE INSPECTOR.
 - REMOVE EXISTING RANGE. PROVIDE AND INSTALL NEW RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
 - REMOVE EXISTING REFRIGERATOR. PROVIDE AND INSTALL NEW 'ENERGY STAR' FROST FREE REFRIGERATOR.
 - REMOVE EXISTING VENT HOOD. PROVIDE AND INSTALL NEW MICROWAVE/VENT COMBO UNIT. PROVIDE AND INSTALL FIRESTOP MICROHOOD SUPPRESSORS BY WILLIAMS-PYRO.
 - PROVIDE AND INSTALL NEW 'ENERGY STAR' DISHWASHER. SEE PLUMB. DWG'S.
 - PROVIDE AND INSTALL NEW 22 GA. S.S. SINK. SINGLE HANDLE WATER SENSE FAUCET. TRAPS, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER. SEE PLUMB. DWG'S.
 - KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
 - REMOVE EXISTING LIGHT FIXTURE. PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE SWITCH. SEE ELEC. DWG'S.
 - REMOVE EXISTING LIGHT FIXTURE. PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE SWITCH. SEE ELEC. DWG'S.
 - PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
 - REMOVE EXISTING HVAC EQUIPMENT. PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING 8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DIFFUSERS. SEE MECH. DWG'S.
 - REMOVE EXISTING WATER HEATER. PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (EFO.93) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
 - EXISTING TOILET TO BE REMOVED. PROVIDE AND INSTALL NEW WATER SENSE TOILET. SEE PLUMB. DWG'S.
 - REMOVE EXISTING TUB. SURROUND AND GYP. BD. FROM FLR. TO CEILING. PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D. NEW STEEL TUB (30X60). SURROUND. NEW SHOWER HEAD W/FLOW RATE 2.0 GPM OR LESS AND CONTROL VALVES. SEE PLUMB. DWG'S.
 - REMOVE EXISTING VANITY + TOP. PROVIDE AND INSTALL NEW VANITY CABINET. CULTURED MARBLE TOPS W/INTRAGRAL SINKS. SINGLE HANDLE WATER SENSE FAUCET. TRAP AND SUPPLIES. SEE PLUMB. DWG'S. PROVIDED W/ WIRE PULLS AND DUAL SIDETRACK DRAWERS. PROVIDE NEW MIRROR. PATCH AND PAINT WALLS.
 - PROVIDE AND INSTALL NEW 'ENERGY STAR' WASHER AND DRYER. REPLACE EXISTING WASHER BOX W/IN WALL. SEE PLUMB. DWG'S.
 - OPEN
 - PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
 - REMOVE EXISTING FLOORING LAYER(S) AND BASE. PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
 - REMOVE EXISTING FLOORING LAYER(S) AND BASE. PREP SUBFLOOR AND INSTALL NEW PORCELAIN TILE FLOORING AND VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT W/LOW OR NO VOC PAINT.
 - REMOVE EXISTING DOORS AND FRAMES. PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
 - NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/PEEPOLE. NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH'. SINGLE HANDLE PASSAGE DOOR LEVER AND (3) SPRING LOADED HINGES.
 - PROVIDE AND INSTALL NEW SOLID CORE BI-FOLDS. HEAVY DUTY TRACK AND D PULLS.
 - REMOVE EXISTING WINDOW UNITS. PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS. LOW-E COATING AND U-FACTOR 0.32 + SHGC 0.29. PROVIDE NEW MIN BLINDS.
 - PROVIDE AND INSTALL NEW UNIT SIGNAGE.
 - REMOVE EXISTING CLOSET SHELVES. REPAIR WALLS. PROVIDE AND INSTALL VINYL COATED WIRE SHELF AND HANGING ROD.
 - REMOVE EXISTING SHELVES. REPAIR WALLS. PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
 - REMOVE EXISTING BATH EXHAUST FAN. PROVIDE AND INSTALL NEW 'ENERGY STAR' FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH. AND ELEC. DWG'S
 - EXISTING ELEC. PNL. SEE ELEC. DWG'S.
- BATH ACCESSORIES**
WITHIN EACH BATHROOM REMOVE EXISTING AND INSTALL NEW
- SHOWER CURTAIN RON
 - TOILET PAPER DISPENSER
 - 24" TOWEL BAR
 - MEDICINE CABINET
 - 24x36 MIRROR
- WALL LEGEND**
- EXISTING 1 HR RATED
 - EXISTING INT. PARTITION TO REMAIN
 - PARTITION TO BE DEMO'D
 - ASSUMED EXISTING LOAD BEARING WALL
- GENERAL NOTE:**
LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.

CAD FILE:

| | | |
|---------------|---------------|---------------|
| DRWN BY: MGA | CHKD. BY: MDA | DATE: 6-30-16 |
| APPR. BY: MDA | REVISIONS: | |

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ONE AND TWO BEDROOM UNIT PLANS

ALLAN ASSOCIATES ARCHITECTS, PLLC

6516 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912
865 / 689-1902

REGISTERED ARCHITECT
MARK DAVID ALLAN
No. 37317
ARKANSAS

SHEET NUMBER
A-1.0

FINISH SCHEDULE

| RM. NO. | FLOOR | FLOOR | BASE | WALLS | CEILING | CEILING | REMARKS/NOTES |
|-------------------------|-------------|-------|------|-------|---------|---------|---------------|
| ONE BEDROOM UNIT | | | | | | | |
| 001 | ENTRY | V.P. | V | PNT | PNT | 8'-0" | |
| 002 | HVAC/WH | V.P. | V | PNT | PNT | 8'-0" | |
| 003 | KITCHEN | V.P. | V | PNT | PNT | 8'-0" | |
| 004 | LAUNDRY | V.P. | V | PNT | PNT | 7'-0" | |
| 005 | DINING | V.P. | V | PNT | PNT | 8'-0" | |
| 006 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 007 | LIVING ROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 008 | BEDROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 009 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 010 | BATH | P.T. | V | PNT | PNT | 7'-0" | |
| TWO BEDROOM UNIT | | | | | | | |
| 001 | LIVING ROOM | V.P. | V | PNT | PNT | 8'-0" | |
| 002 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 003 | DINING | V.P. | V | PNT | PNT | 8'-0" | |
| 004 | HVAC/WH | V.P. | V | PNT | PNT | 8'-0" | |
| 005 | KITCHEN | V.P. | V | PNT | PNT | 8'-0" | |
| 006 | LAUNDRY | V.P. | V | PNT | PNT | 8'-0" | |
| 007 | LIN | V.P. | V | PNT | PNT | 8'-0" | |
| 008 | HALL | V.P. | V | PNT | PNT | 7'-0" | |
| 009 | BEDROOM 1 | V.P. | V | PNT | PNT | 8'-0" | |
| 010 | CLOSET | V.P. | V | PNT | PNT | 7'-0" | |
| 011 | BATH | P.T. | V | PNT | PNT | 7'-0" | |
| 012 | BEDROOM 2 | V.P. | V | PNT | PNT | 8'-0" | |
| 013 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |
| 014 | CLOSET | V.P. | V | PNT | PNT | 8'-0" | |

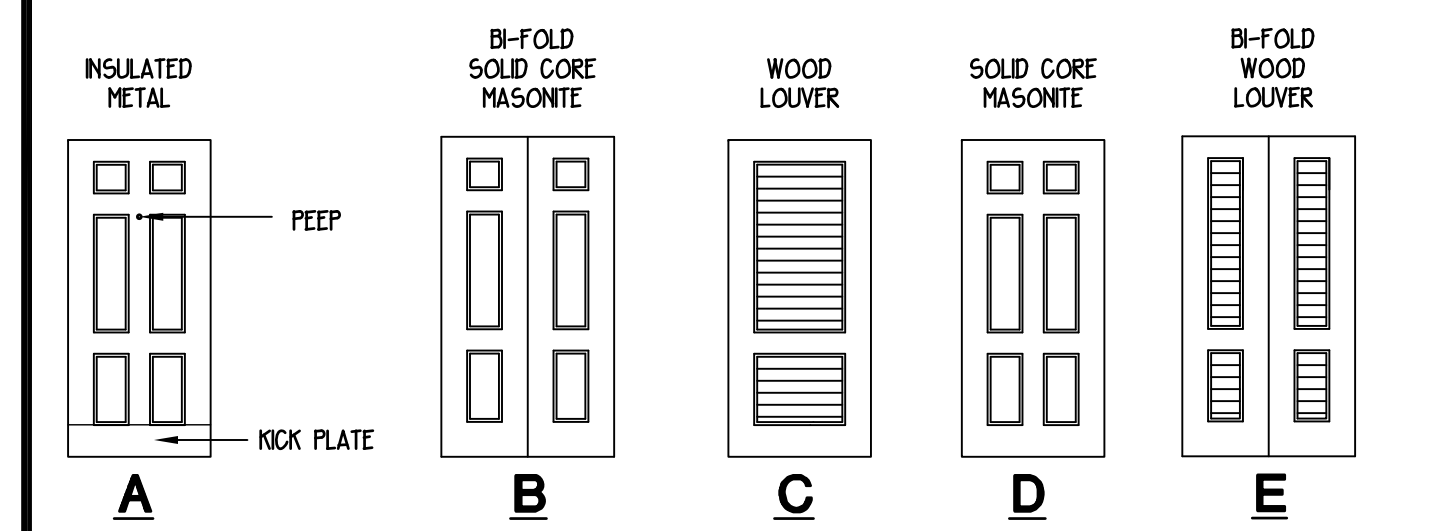
ABBREVIATIONS

| | | | |
|------|-------------|-----|------------------------|
| V.P. | VINYL PLANK | V | 4 1/2" HIGH VINYL BASE |
| EX | EXISTING | PNT | PAINT |
| | | PT | PORCELAIN TILE |

DOOR SCHEDULE

| # | SIZE | TYPE | FRAME | T. HOLD | HDWE | REMARKS |
|-------------------|------------------------|------|-------|---------|-----------|--|
| UNIT DOORS | | | | | | |
| 1 | 3'-0"x6'-8"x1 3/4" | A | MTL | ADA | LOCK/D.B. | RATED 60 MIN. SPRING LOADED HINGES 180 DEGREE PEEP, KICK PLATE |
| 2 | 2'-0"x6'-8"x1 3/8" | D | WD | - | PASS | |
| 3 | 3'-0"x6'-8"x1 3/8" | C | WD | - | D.B. | LOUVER |
| 4 | 3'-0"x6'-8"x1 3/8" | D | WD | - | PASS | |
| 5 | 3'-0"x6'-8"x1 3/8" | D | WD | - | PRV | |
| 6 | 1'-6"x6'-8"x1 3/8" | D | WD | - | PASS | |
| 7 | 3'-0"x6'-8"x1 3/8" | D | WD | - | PRV | |
| 8 | (2) 2'-0"x6'-8"x1 3/8" | B | WD | - | PULL | |
| 9 | (2) 2'-6"x6'-8"x1 3/8" | E | WD | - | PULL | LOUVER |
| 10 | 3'-0"x6'-8"x1 3/8" | B | WD | - | PULL | |

NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.

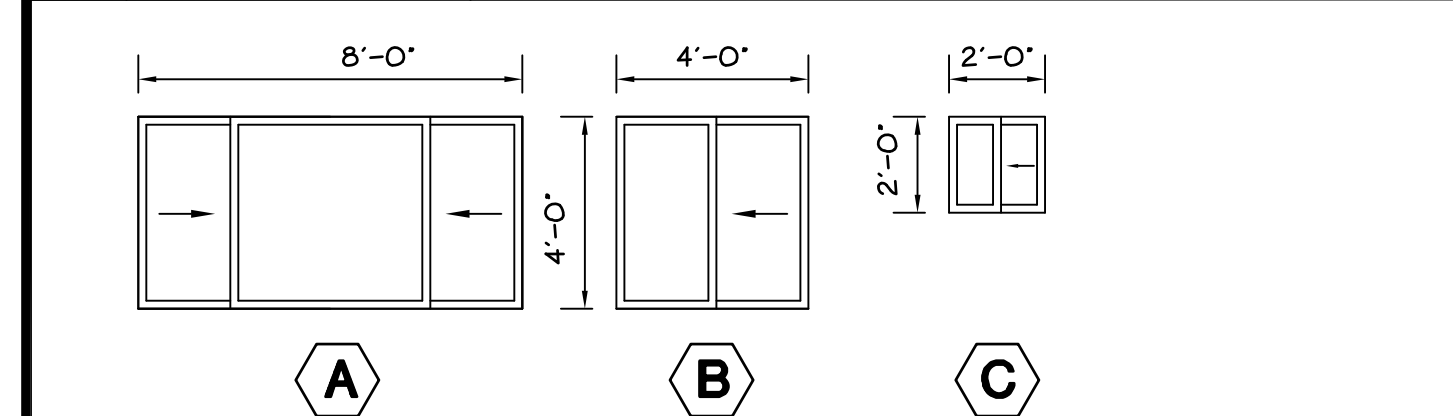


DOOR TYPES

SCALE: 1/4" = 1'-0"

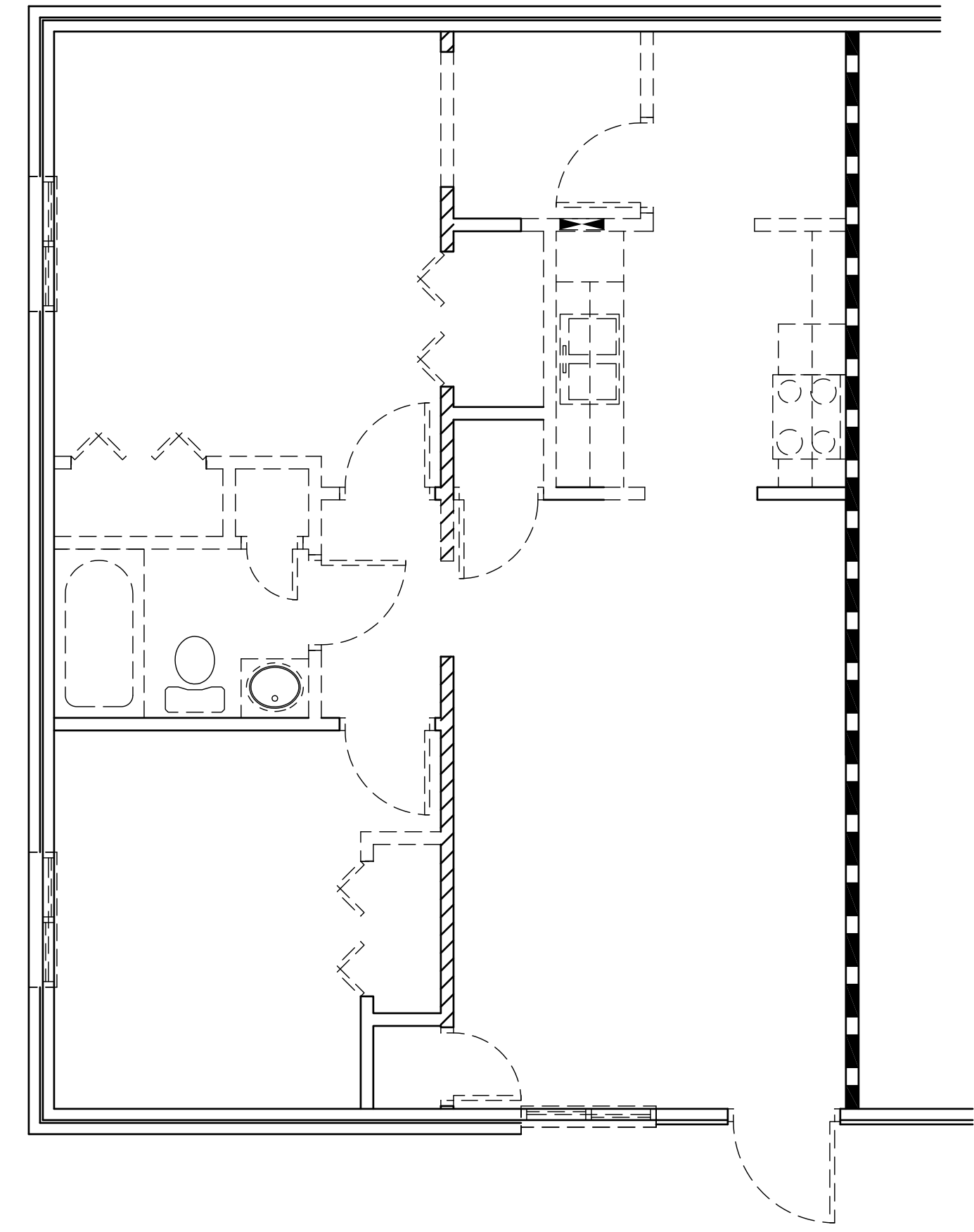
WINDOW SCHEDULE

| # | SIZE | TYPE |
|---|-------------|---|
| A | 4'-0"x8'-0" | VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING |
| B | 4'-0"x4'-0" | VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING |
| C | 2'-0"x2'-0" | VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING |



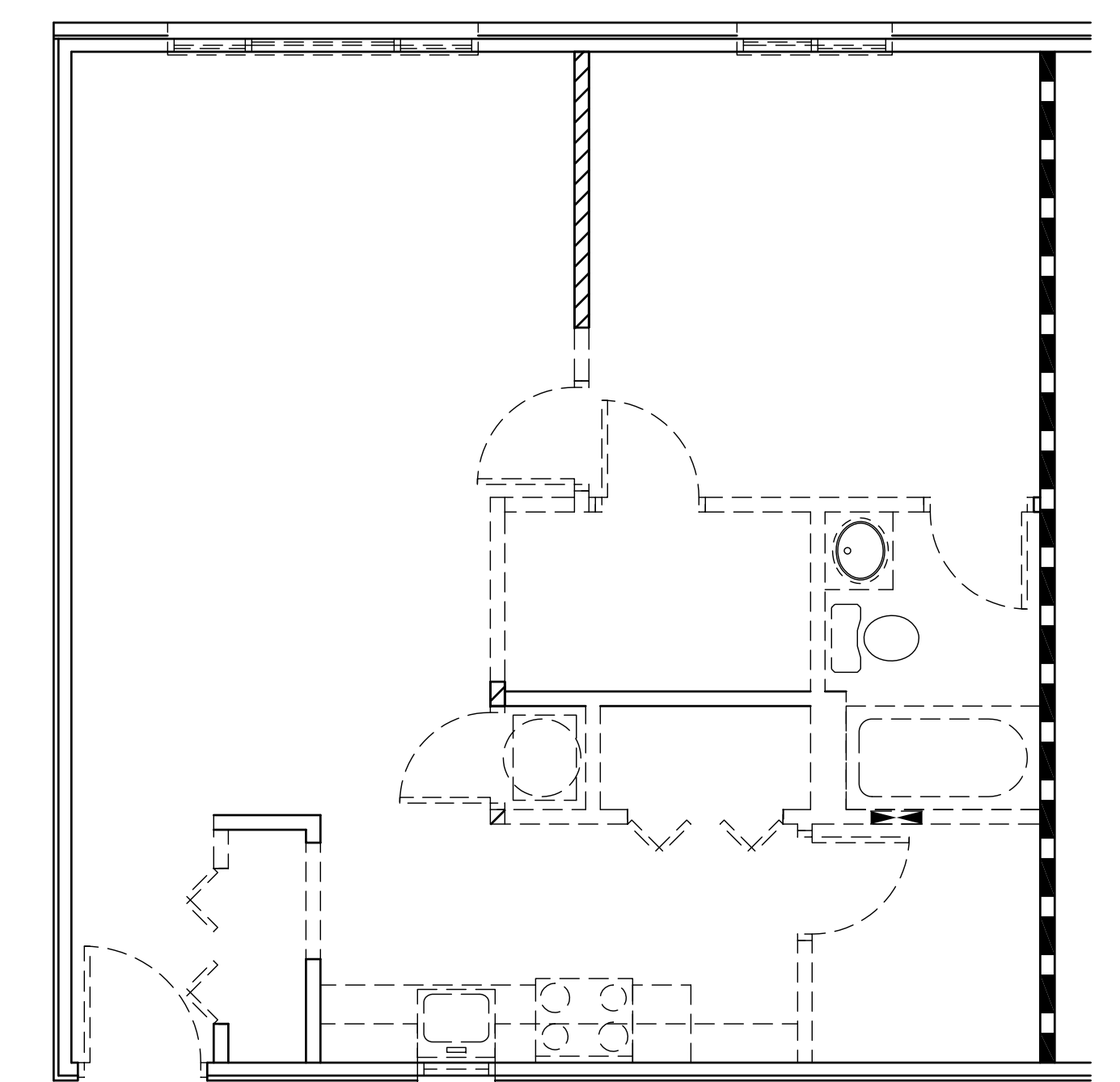
NOTE:

- AT LEAST ONE REPLACEMENT WINDOW WITHIN EACH BEDROOM SHALL MEET EMERGENCY EGRESS SIZE REQUIREMENTS. PROVIDE AND INSTALL CASEMENT WINDOW TO INCLUDE OPENING INFL EACH SIDE. SHEETROCK REPAIR AND VINYL TRIM AT EXTERIOR.
- ALL WINDOWS SHALL BE EQUIPPED W/ AN OPENING CONTROL DEVICE THAT LIMITS NORMAL OPERATION TO LESS THAN 4".
- ALL WINDOWS WITHIN ARC OF DOOR SWINGS AND/OR WITHIN 18' OF FINISHED FLOOR SHALL HAVE TEMP. GLASS.

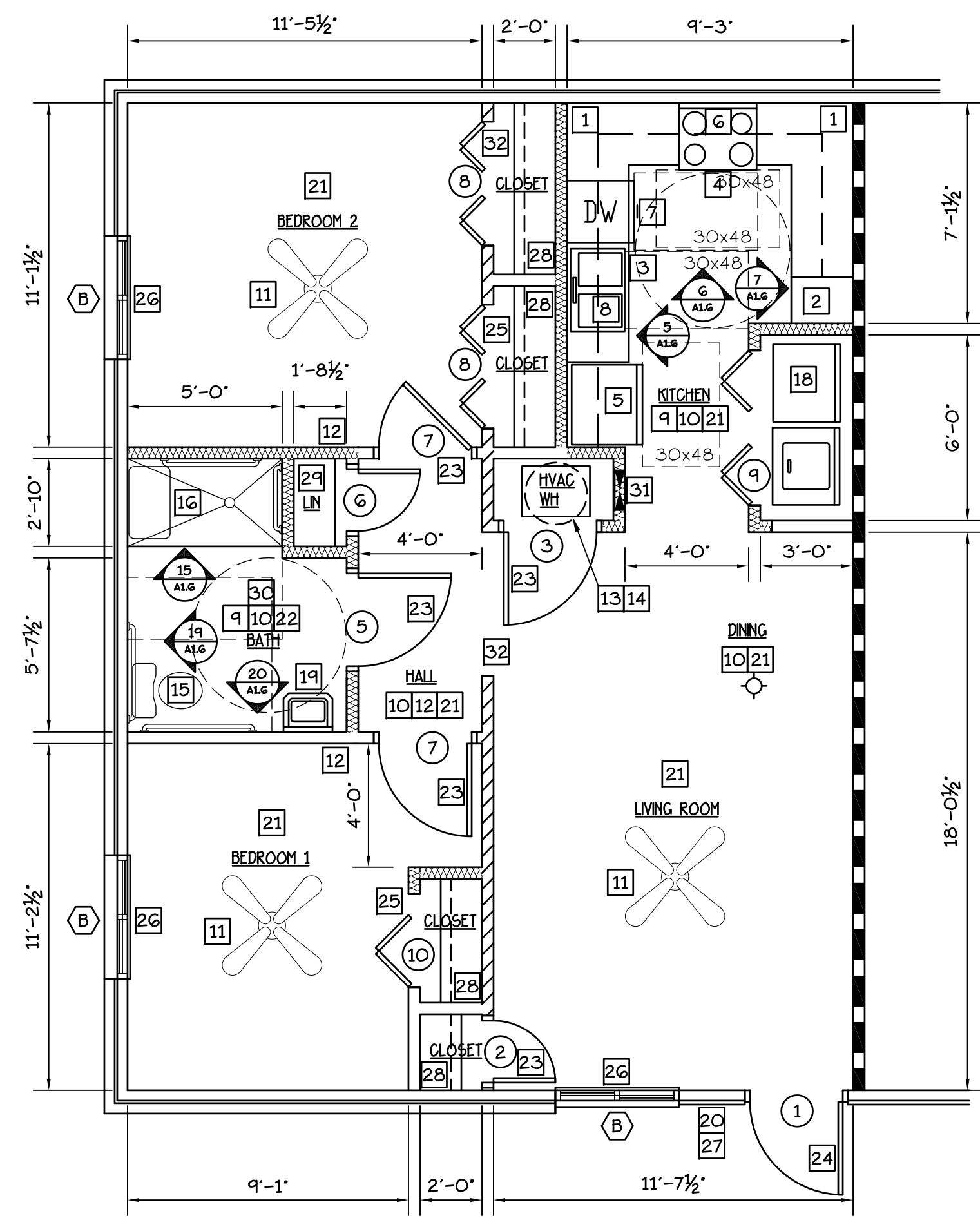


4 **TWO BEDROOM DEMO UNIT**
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

DEMOLITION GENERAL NOTE:
ACCESSIBLE UNIT DEMO SHALL BE A 'GUT'. REMOVE ALL FLOORING, INSULATION, SHEETROCK (WALLS), DOORS, FRAMES, SHELVES, CABINETS, APPLIANCES, PLUMBING FIXTURES, WATER HEATER, WATER AND WASTE LINES, GAS LINES, HVAC EQUIPMENT, ELECTRICAL DEVICES, LIGHT FIXTURES. ONLY WOOD STUD WALLS AS SHOWN SHALL REMAIN.

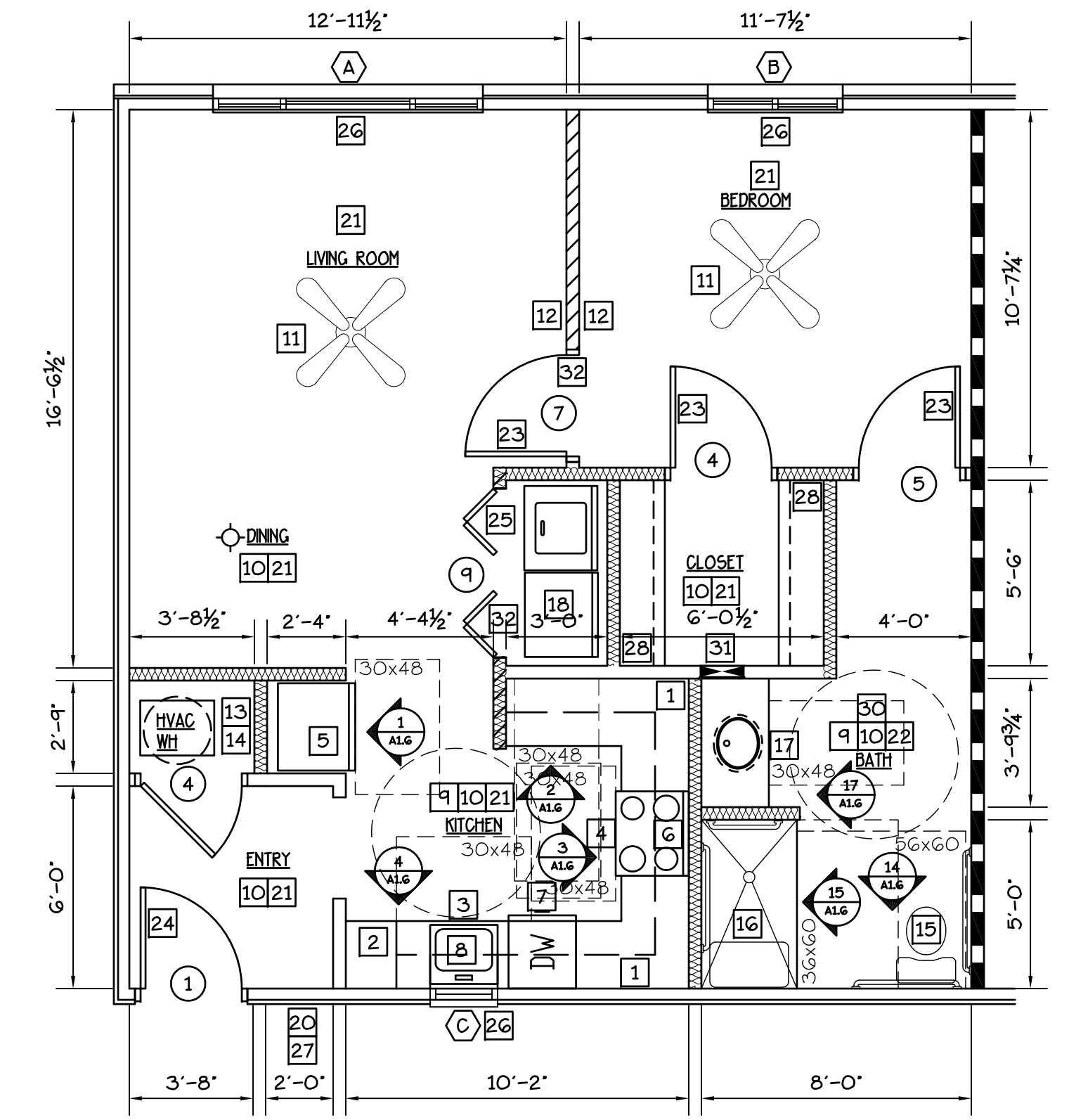


2 **ONE BEDROOM DEMO PLAN**
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS



3 **TWO BEDROOM ACC. UNIT**
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

GENERAL NOTE:
LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.



1 **ONE BEDROOM ACC. UNIT**
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS

- TYPICAL UNIT NOTES**
- NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. CAULK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-1.6
 - PANTRY CABINET 18" W/ 5 SHELVES.
 - NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK.
 - PROVIDE AND INSTALL NEW ADA FRONT CONTROL RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
 - PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA FROST FREE REFRIGERATOR.
 - PROVIDE AND INSTALL NEW RANGE VENT W/ ACCESSIBLE WALL SWITCH. PROVIDE AND INSTALL FIRESTOP SUPPRESSORS BY WILLIAMS-PYRO. PROVIDE COUNTERTOP MICROWAVE.
 - PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA DISHWASHER. SEE PLUMB. DWG'S.
 - PROVIDE AND INSTALL NEW 22 GA. S.S. SINK. SINGLE HANDLE WATER SENSE FAUCET, TRAP, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER W/ ACCESSIBLE WALL SWITCH. SEE PLUMB. AND ELEC. DWG'S.
 - KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
 - PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
 - PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
 - PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
 - PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING <8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DUCTWORK AND DIFFUSERS. SEE MECH. DWG'S.
 - PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (EFO.93) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
 - PROVIDE AND INSTALL NEW LOW FLOW TOILET. SEE PLUMB. DWG'S. PROVIDE AND INSTALL GRAB BARS AND WALL BLOCKING. SEE A-1.6
 - PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D) NEW ADA (34x60) SHOWER PAN, SURROUND, NEW WATER SENSE SHOWER HEAD 2.0 G.P.M., HAND HELD WAND, GRAB BARS, CONTROLS VALVES AND FOLD DOWN SEAT. SEE A-1.6 AND PLUMB. DWG'S.
 - PROVIDE AND INSTALL NEW CULTURED MARBLE TOPS W/INTRAGRAL SINKS. SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
 - PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA COMPLIANT FRONT LOADING WASHER AND DRYER. EXTEND WASTE, WATER AND ELECTRIC AS REQ'D FOR NEW SERVICE. SEE PLUMB. DWG'S.
 - PROVIDE AND INSTALL WALL HUNG SINK, SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
 - PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
 - PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
 - PREP SUBFLOOR AND INSTALL NEW PORCELAIN TILE FLOORING AND VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT W/LOW OR NO VOC PAINT.
 - PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
 - NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/ (C2) PEEPHOLE, NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH'. SINGLE HANDLE PASSAGE DOOR LEVER AND (C3) SPRING LOADED HINGES.
 - PROVIDE AND INSTALL NEW BI-FOLDS, HEAVY DUTY TRACK AND D PULLS.
 - PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR ≤ 0.32 + SHGC ≤ 0.29. PROVIDE NEW MINI BLINDS.
 - PROVIDE AND INSTALL NEW UNIT SIGNAGE.
 - PROVIDE AND INSTALL VINYL COATED WIRE SHELF W/HANGING ROD.
 - PROVIDE (C5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
 - PROVIDE AND INSTALL NEW ENERGY STAR FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH AND ELEC. DWG'S.
 - NEW ELEC. FNL. SEE ELEC. DWG'S.
 - PROVIDE AND INSTALL NEW OPENING LINTEL AND JACK STUDS. SEE 10/A-1.7

ACCESSIBLE UNIT NOTES

- PROVIDE WALL SWITCHES AND THEROSTATS AT 48" A.F.F.
- PROVIDE SCALD AND ABRASION INSULATION KIT AT ALL SINKS AND LAVATORIES.
- PROVIDE GRAB BARS AT WATER CLOSET AND SHOWER PER UFAS WITH WALL BLOCKING.
- PROVIDE FOLD DOWN TRANSFER BENCH IN SHOWER WITH WALL BLOCKING.
- KITCHEN COUNTER WORKSPACE TOP AT 34" MAX. ABOVE FLOOR W/30" WIDE CLEAR KNEE SPACE.

WALL LEGEND

| | |
|--|---|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
| | PARTITION TO BE DEMO'D |
| | ASSUMED EXISTING LOAD BEARING WALL |
| | NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK |

CAD FILE:

| | | |
|---------------|---------------|---------------|
| DRWN. BY: MGA | CHKD. BY: MDA | DATE: 6-30-16 |
| APPR. BY: MDA | REVISIONS: | |

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ONE AND TWO BR ACCESSIBLE UNIT PLANS

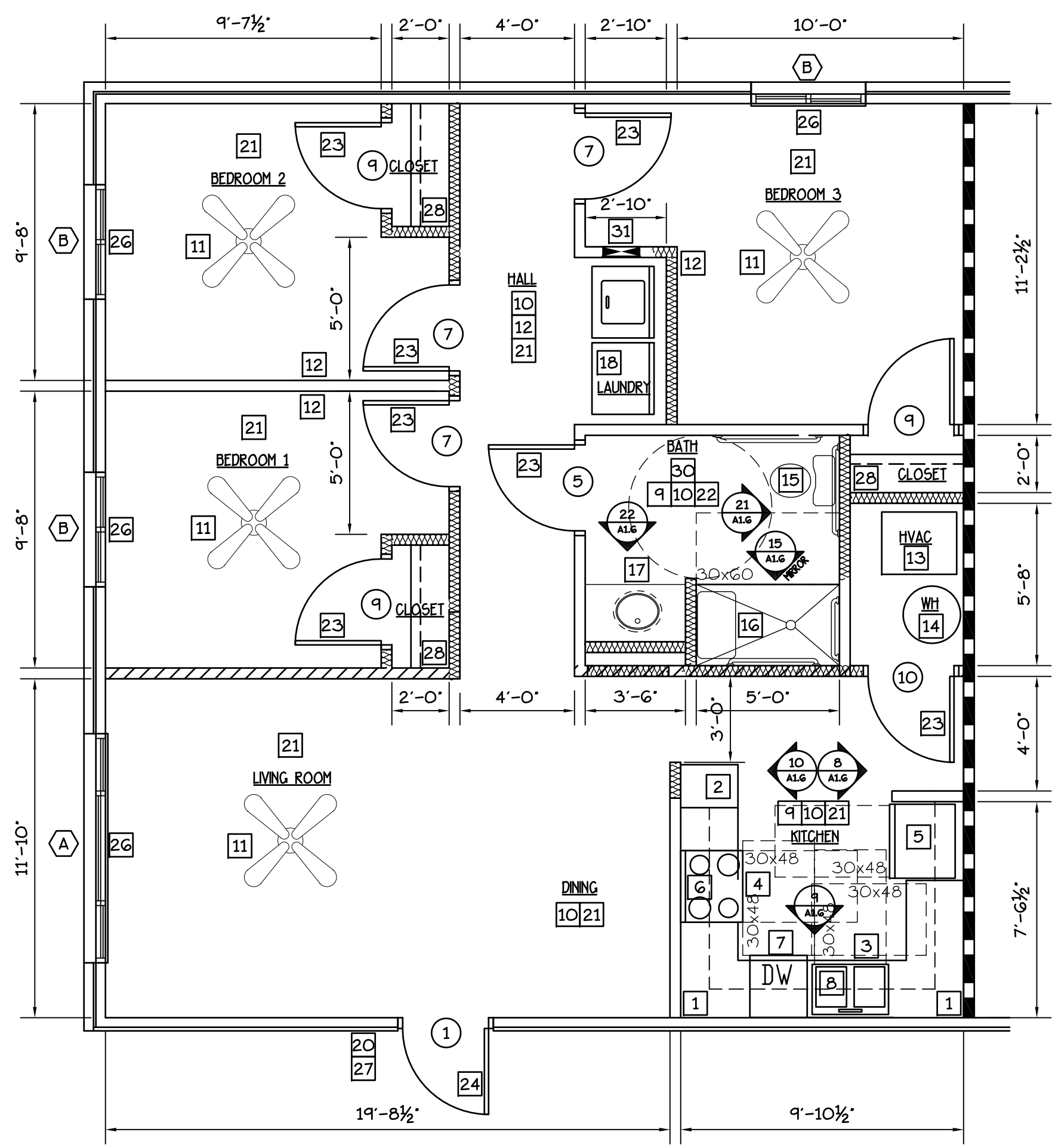
ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1902
5616 WALLWOOD ROAD

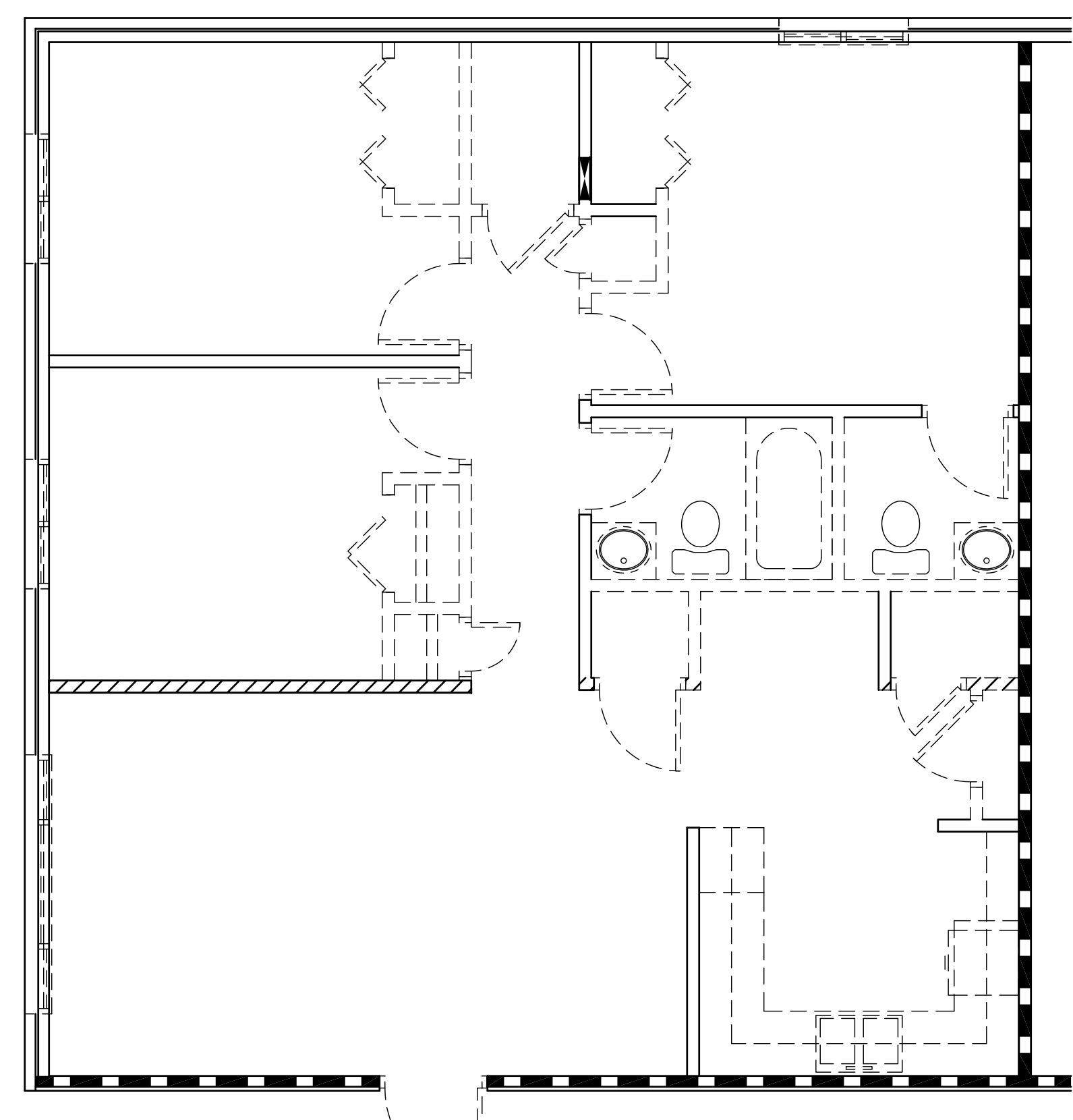
REGISTERED ARCHITECT
MARK DAVID ALLAN
No. 3731
ARKANSAS

SHEET NUMBER
A-1.2

| FINISH SCHEDULE | | | | | | |
|---|--------------------|-------|-------|---------|------------------------|--|
| RM. NO. | FLOOR | FLOOR | BASE | WALLS | CEILING | REMARKS/NOTES |
| THREE BEDROOM UNIT | | | | | | |
| 001 | LIVING ROOM | V.P. | V | PNT | PNT | 8'-0" |
| 002 | DINING | V.P. | V | PNT | PNT | 8'-0" |
| 003 | HVAC/VH | S.V. | V | PNT | PNT | 8'-0" |
| 004 | KITCHEN | V.P. | V | PNT | PNT | 8'-0" |
| 005 | LAUNDRY | V.P. | V | PNT | PNT | 7'-0" |
| 006 | HALL | V.P. | V | PNT | PNT | 7'-0" |
| 007 | BATH | P.T. | V | PNT | PNT | 7'-0" |
| 008 | BEDROOM 1 | V.P. | V | PNT | PNT | 8'-0" |
| 009 | CLOSET | V.P. | V | PNT | PNT | 8'-0" |
| 010 | BEDROOM 2 | V.P. | V | PNT | PNT | 8'-0" |
| 011 | CLOSET | V.P. | V | PNT | PNT | 8'-0" |
| 012 | BEDROOM 3 | V.P. | V | PNT | PNT | 8'-0" |
| 013 | CLOSET | V.P. | V | PNT | PNT | 8'-0" |
| ABBREVIATIONS | | | | | | |
| V.P. | VINYL PLANK | | | V | 4 1/2" HIGH VINYL BASE | |
| EX | EXISTING | | | PNT | PAINT | |
| SV | SEAMLESS VINYL | | | PT | PORCELAIN TILE | |
| DOOR SCHEDULE | | | | | | |
| # | SIZE | TYPE | FRAME | T. HOLD | HDWE | REMARKS |
| UNIT DOORS | | | | | | |
| 1 | 3'-0"x6'-8"x1 3/4" | A | MTL | ADA | PASS/D.B. | RATED 60 MIN. SPRING LOADED HINGES 180 DEGREE PEEP. KICK PLATE |
| 2 | --- | --- | --- | --- | --- | --- |
| 3 | --- | --- | --- | --- | --- | --- |
| 4 | --- | --- | --- | --- | --- | --- |
| 5 | 3'-0"x6'-8"x1 3/8" | D | WD | - | PRIV | --- |
| 6 | --- | --- | --- | --- | --- | --- |
| 7 | 3'-0"x6'-8"x1 3/8" | D | WD | - | PRIV | --- |
| 8 | --- | --- | --- | --- | --- | --- |
| 9 | 3'-0"x6'-8"x1 3/8" | D | WD | - | PASS | --- |
| 10 | 2'-6"x6'-8"x1 3/8" | C | WD | - | D.B. | LOUVER |
| NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING. | | | | | | |



1
A-1.3
THREE BEDROOM UNIT
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS



2
A-1.3
THREE BEDROOM DEMO PLAN
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS

DEMOLITION GENERAL NOTE:
ACCESSIBLE UNIT DEMO SHALL BE A 'GUT'. REMOVE ALL FLOORING, INSULATION, SHEETROCK (WALLS), DOORS, FRAMES, SHELVES, CABINETS, APPLIANCES, PLUMBING FIXTURES, WATER HEATER, WATER AND WASTE LINES, GAS LINES, HVAC EQUIPMENT, ELECTRICAL DEVICES, LIGHT FIXTURES. ONLY WOOD STUD WALLS AS SHOWN SHALL REMAIN.

TYPICAL UNIT NOTES

- 1 NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. CALK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-1.6
- 2 PANTRY CABINET 18" W/ 5 SHELVES.
- 3 NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK.
- 4 PROVIDE AND INSTALL NEW ADA FRONT CONTROL RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
- 5 PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA FROST FREE REFRIGERATOR.
- 6 PROVIDE AND INSTALL NEW RANGE VENT W/ ACCESSIBLE WALL SWITCH. PROVIDE AND INSTALL FIRESTOP SUPPRESSORS BY WILLIAMS-PYRO. PROVIDE COUNTERTOP MICROWAVE.
- 7 PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA DISHWASHER. SEE PLUMB. DWG'S.
- 8 PROVIDE AND INSTALL NEW 22 GA. S.S. SINK, SINGLE HANDLE WATER SENSE FAUCET, TRAPS, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER W/ ACCESSIBLE WALL SWITCH. SEE PLUMB. AND ELEC. DWG'S.
- 9 KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
- 10 PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
- 11 PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
- 12 PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
- 13 PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING <8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DUCTWORK AND DIFFUSERS. SEE MECH. DWG'S.
- 14 PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (EFO-93) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
- 15 PROVIDE AND INSTALL NEW LOW FLOW TOILET. SEE PLUMB. DWG'S. PROVIDE AND INSTALL GRAB BARS AND WALL BLOCKING. SEE A-1.6
- 16 PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D) NEW ADA (34x60) SHOWER PAN, SURROUND, NEW WATER SENSE SHOWER HEAD 2.0 G.P.M. HAND HELD WAND, GRAB BARS, CONTROLS VALVES AND FOLD DOWN SEAT. SEE A-1.6 AND PLUMB. DWG'S.
- 17 PROVIDE AND INSTALL NEW CULTURED MARBLE TOPS W/INTRAGRAL SINKS, SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
- 18 PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA COMPLIANT FRONT LOADING WASHER AND DRYER, EXTEND WASTE, WATER AND ELECTRIC AS REQ'D FOR NEW SERVICE. SEE PLUMB. DWG'S.
- 19 PROVIDE AND INSTALL WALL HUNG SINK, SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
- 20 PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
- 21 PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
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- 23 PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
- 24 NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/ (2) PEEPHOLE, NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH'. SINGLE HANDLE PASSAGE DOOR LEVER AND (3) SPRING LOADED HINGES.
- 25 PROVIDE AND INSTALL NEW BI-FOLDS, HEAVY DUTY TRACK AND D PULLS.
- 26 PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR ≤ 0.32 + SHGC ≤ 0.29. PROVIDE NEW MIN BLINDS.
- 27 PROVIDE AND INSTALL NEW UNIT SIGNAGE.
- 28 PROVIDE AND INSTALL VINYL COATED WIRE SHELF W/HANGING ROD.
- 29 PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
- 30 PROVIDE AND INSTALL NEW ENERGY STAR FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH AND ELEC. DWG'S.
- 31 NEW ELEC. PNL. SEE ELEC. DWG'S.
- 32 PROVIDE AND INSTALL NEW OPENING LINTEL AND JACK STUDS. SEE 10/A-1.7.

ACCESSIBLE UNIT NOTES

- PROVIDE WALL SWITCHES AND THEROSTATS AT 48" A.F.F.
- PROVIDE SCALD AND ABRASION INSULATION KIT AT ALL SINKS AND LAVATORIES.
- PROVIDE GRAB BARS AT WATER CLOSET AND SHOWER PER UFAS WITH WALL BLOCKING.
- PROVIDE FOLD DOWN TRANSFER BENCH IN SHOWER WITH WALL BLOCKING.
- KITCHEN COUNTER WORKSPACE TOP AT 34" MAX. ABOVE FLOOR W/30" WIDE CLEAR KNEE SPACE.

WALL LEGEND

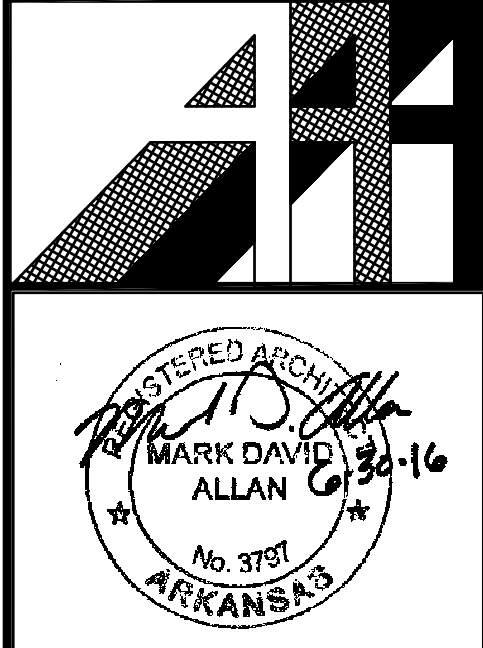
- █ EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ▨ ASSUMED EXISTING LOAD BEARING WALL
- ▤ NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

GENERAL NOTE:

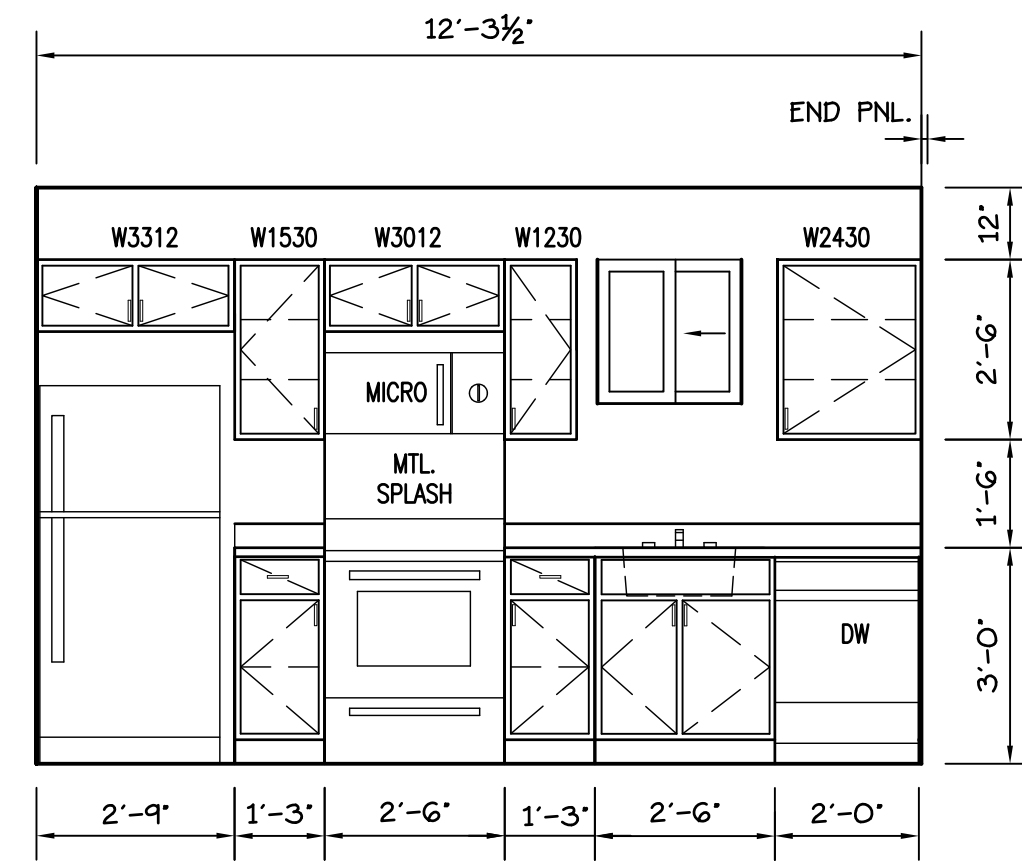
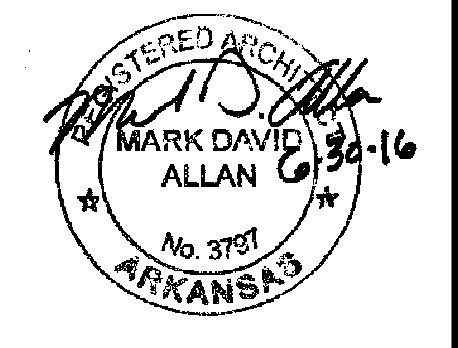
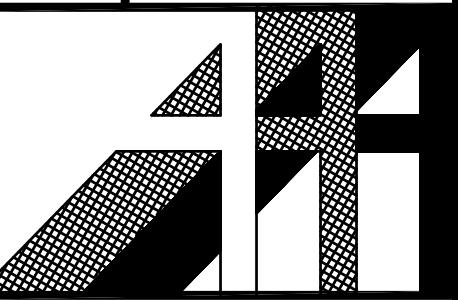
LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.

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| DRWN BY: MGA | CHKD BY: MDA | APPR BY: MDA | DATE: 6-30-16 |
| REVISIONS | | | |

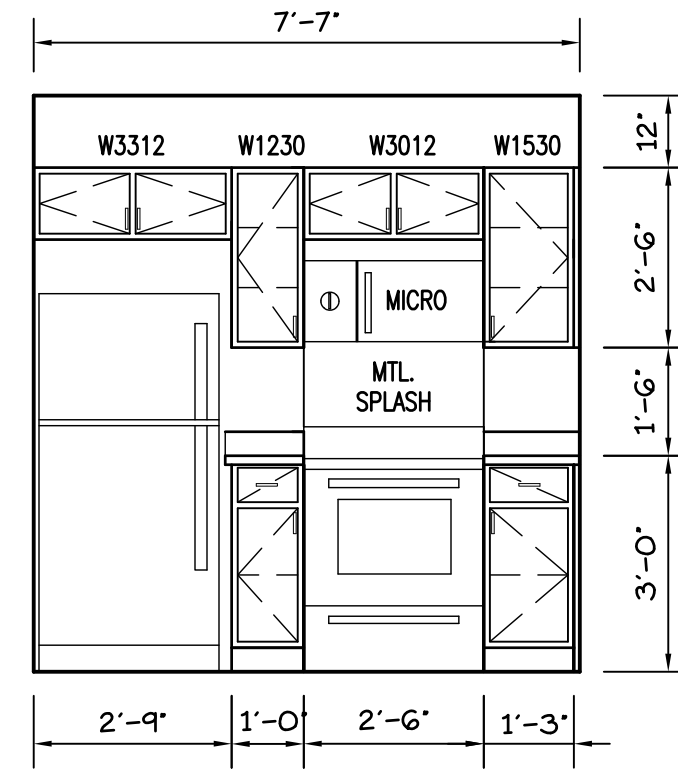
WHITE RIVER APARTMENTS
 2800 MARION DRIVE
 DIAZ, ARKANSAS
ALLAN ASSOCIATES ARCHITECTS, PLLC
 6516 WALLWOOD ROAD
 KNOXVILLE, TENNESSEE 37912
 865 / 689-1302



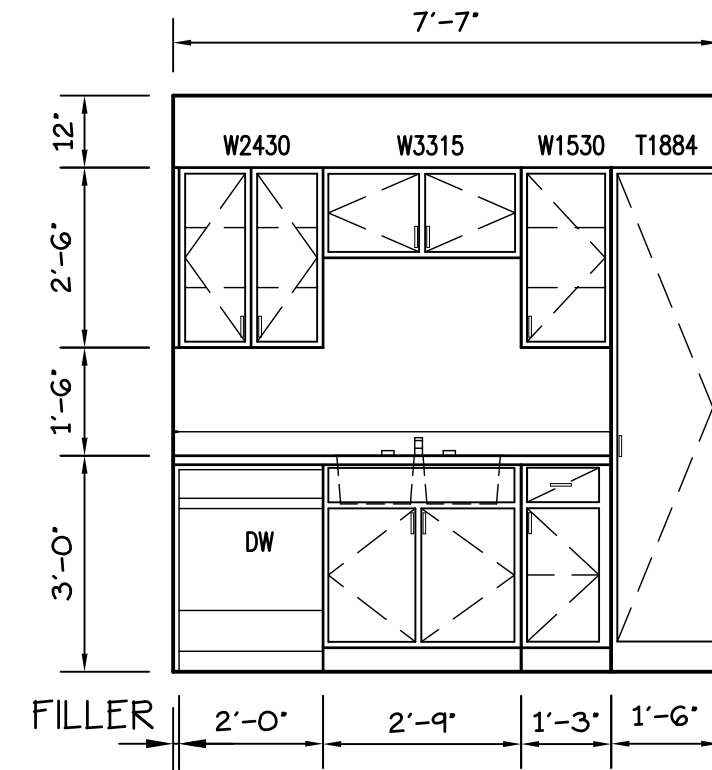
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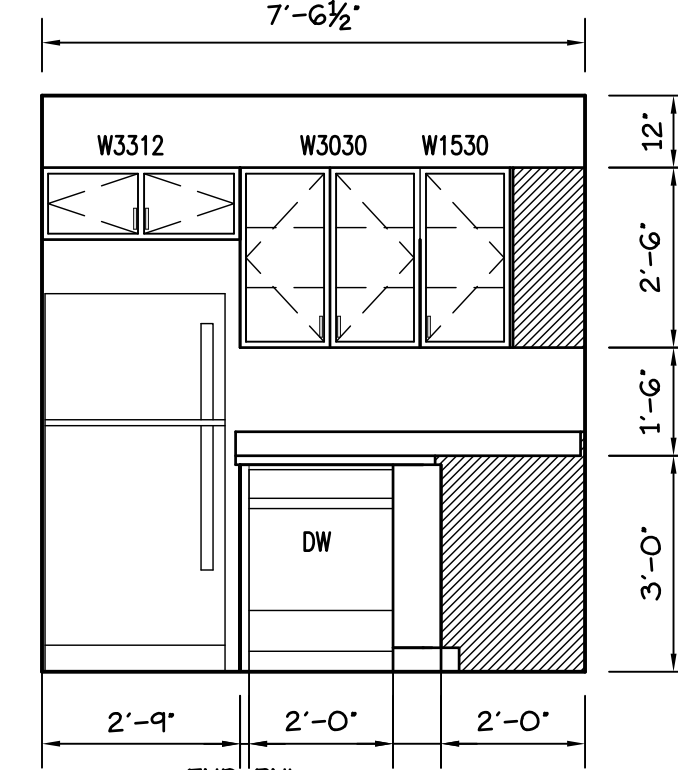
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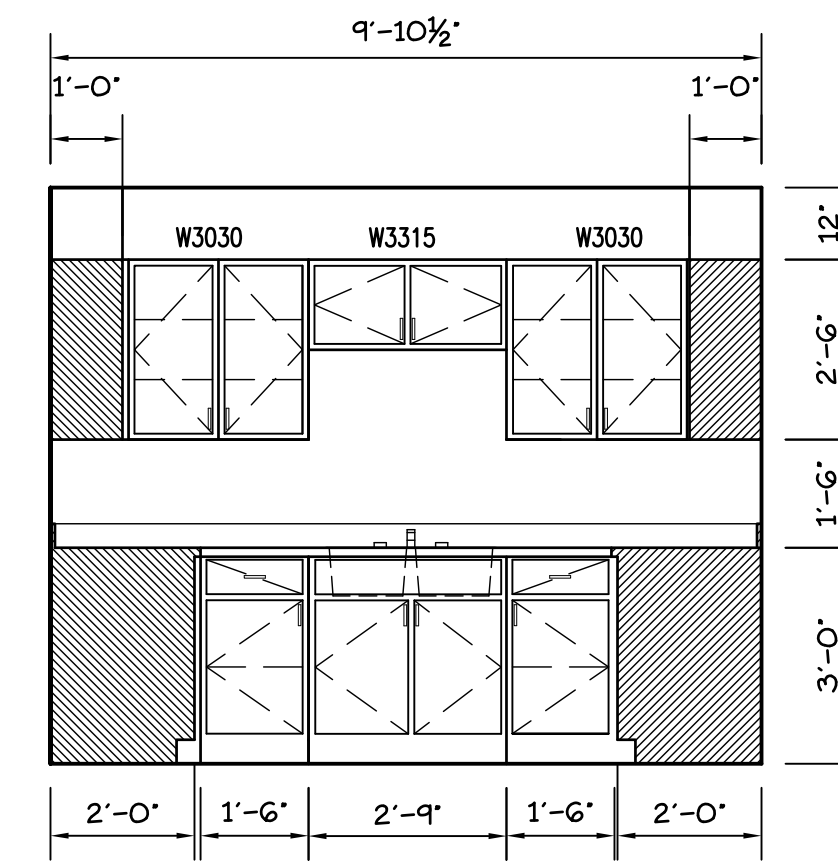
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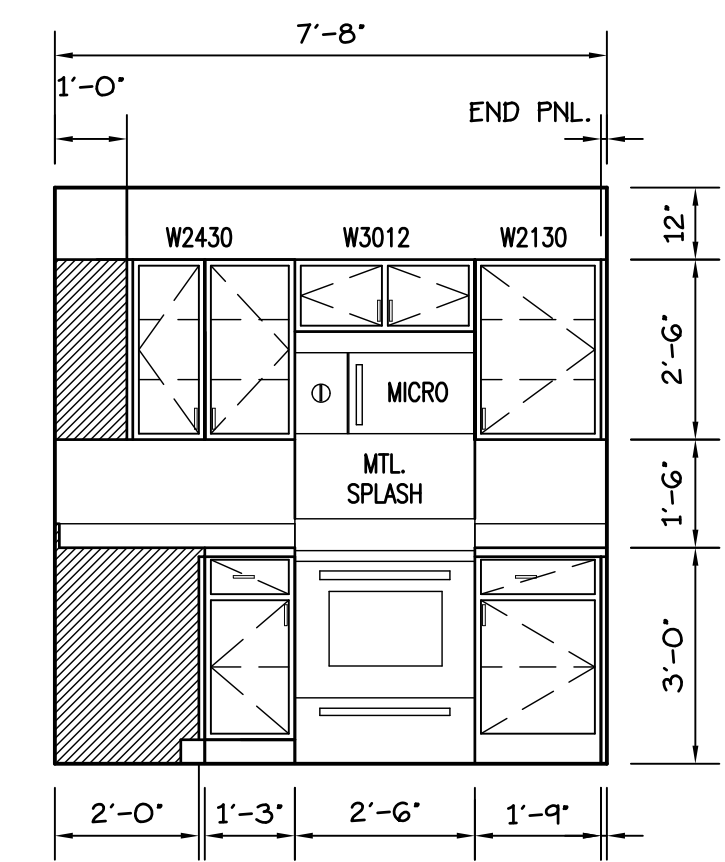
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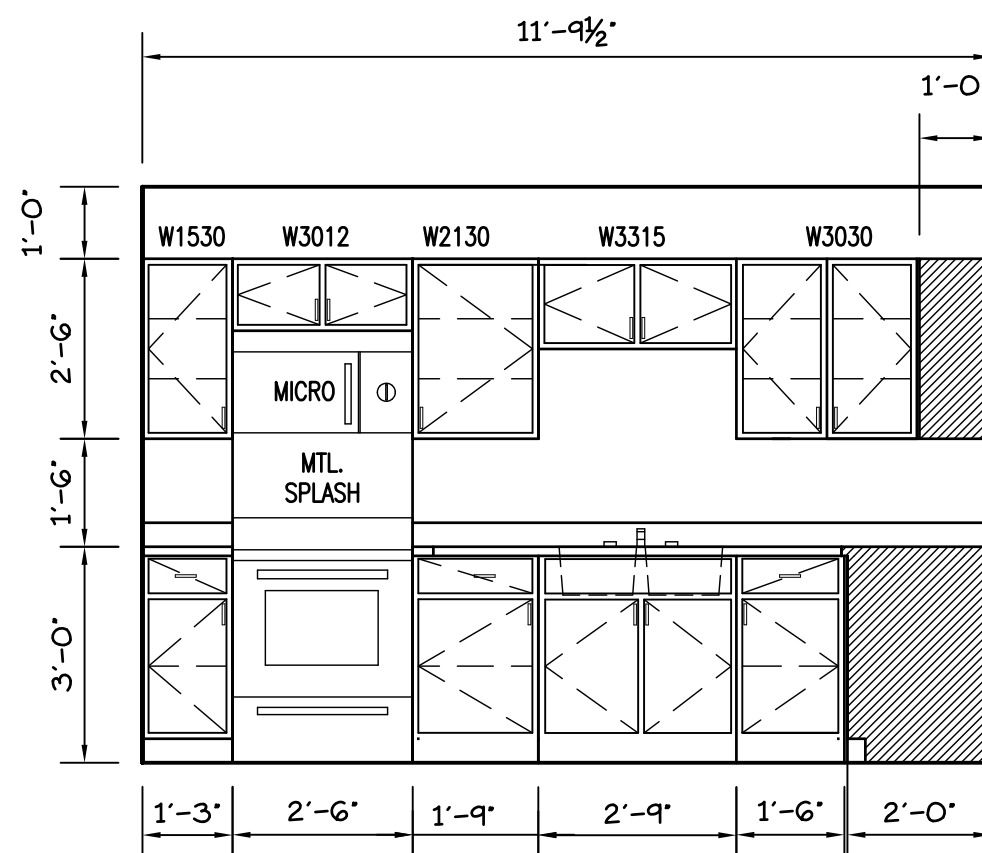
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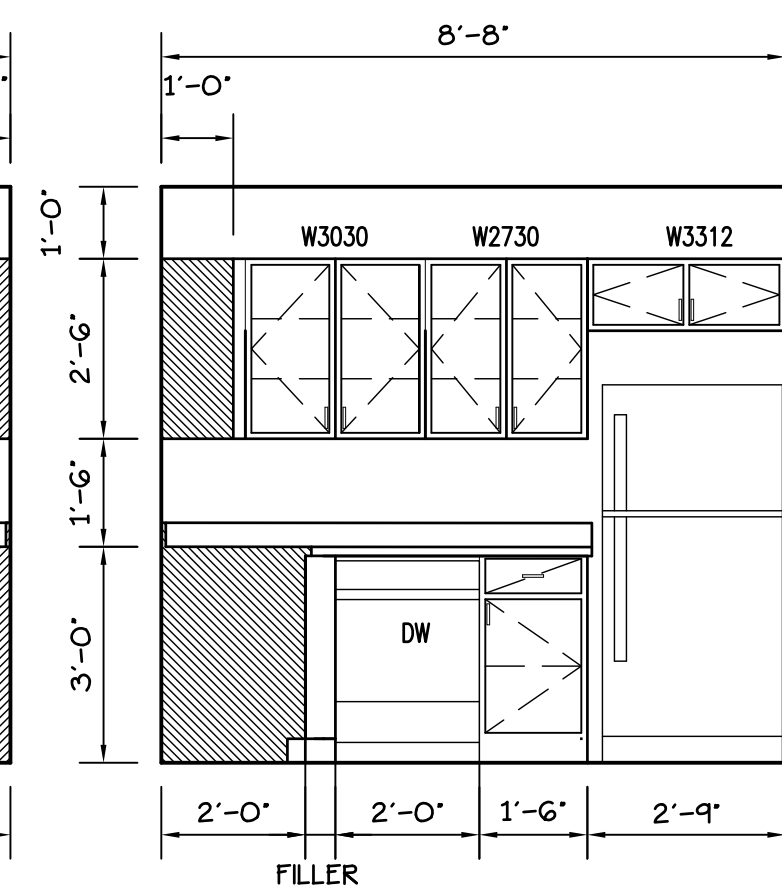
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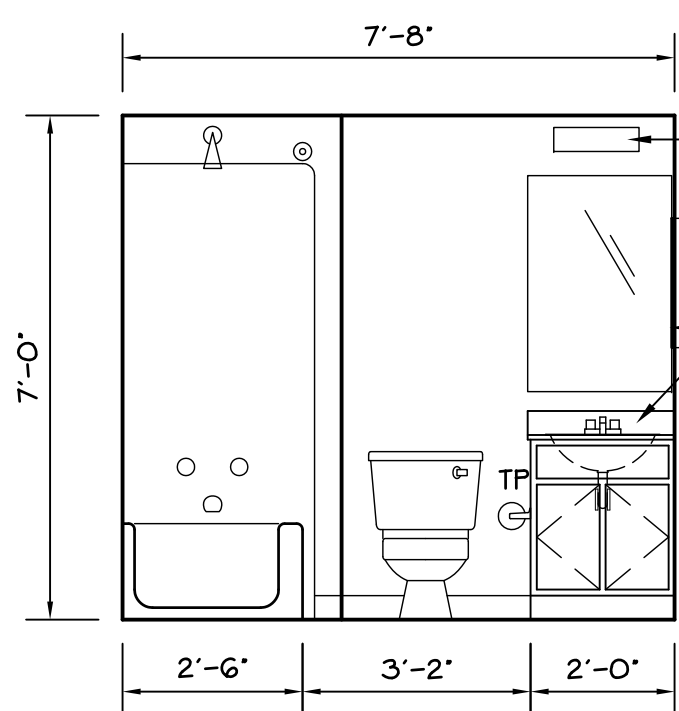
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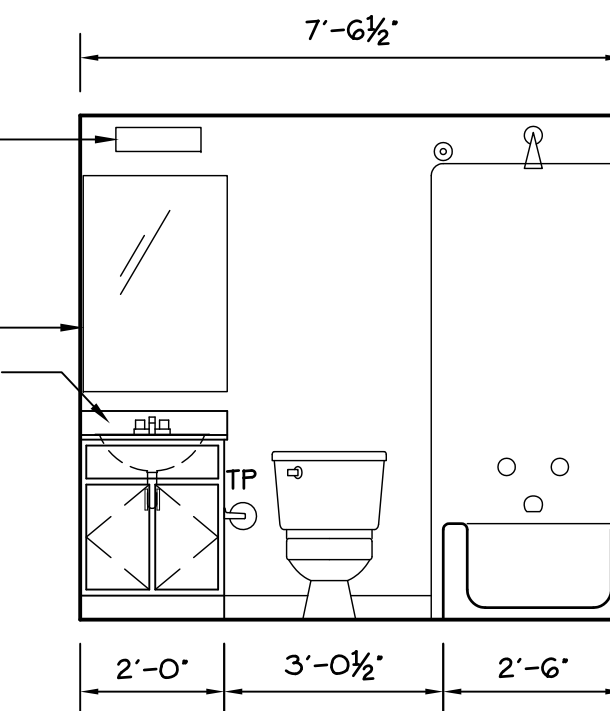
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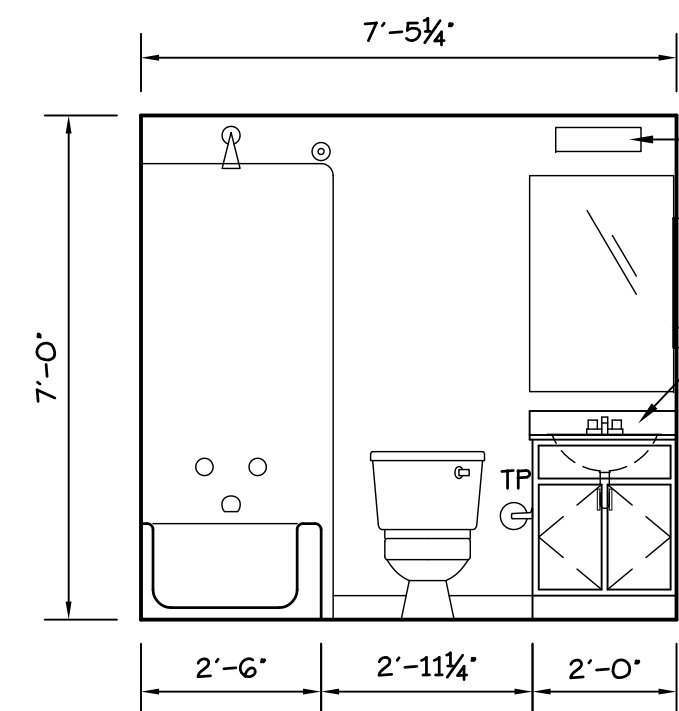
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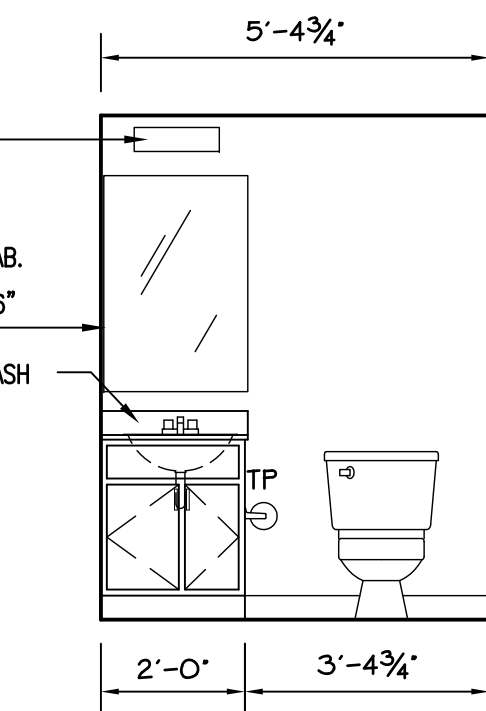
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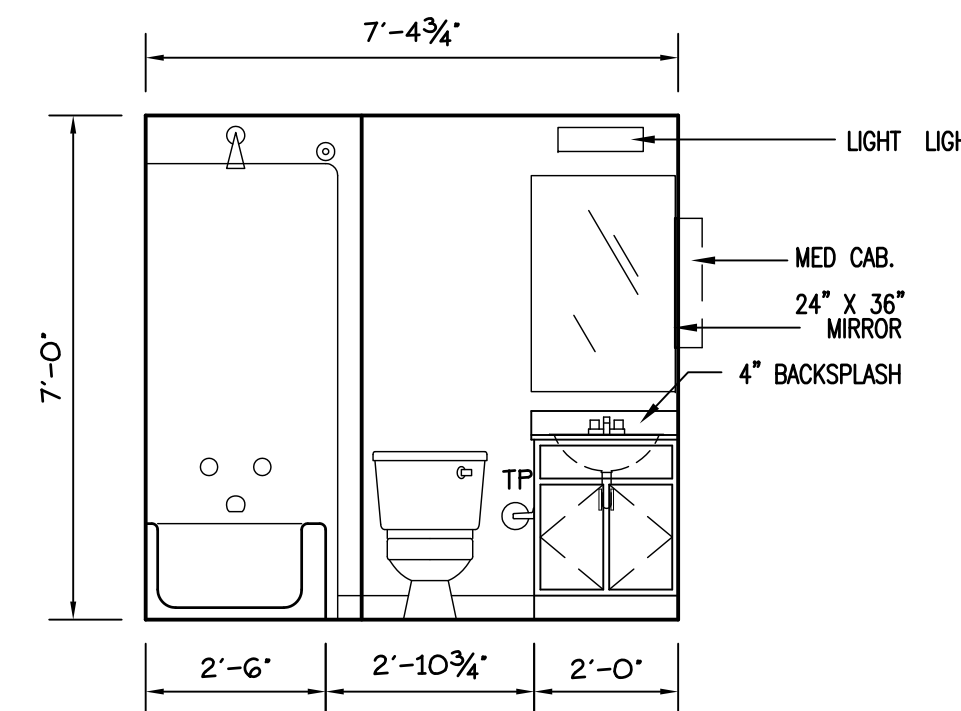
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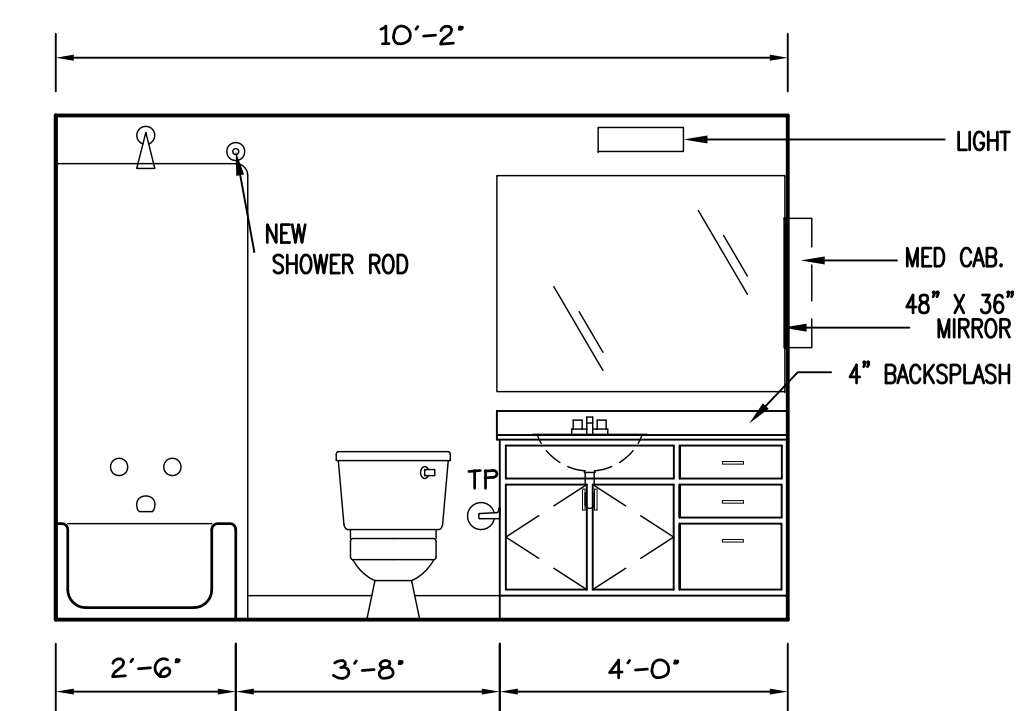
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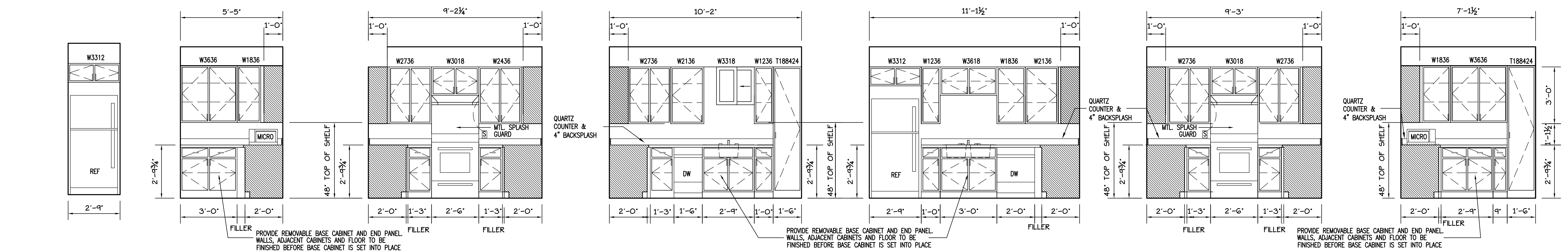
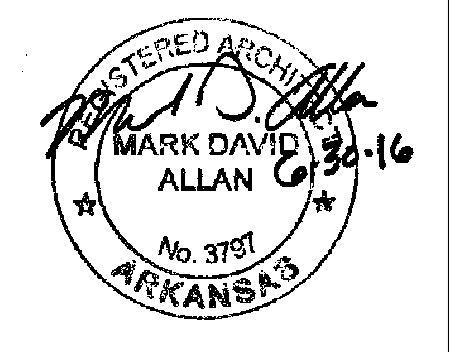
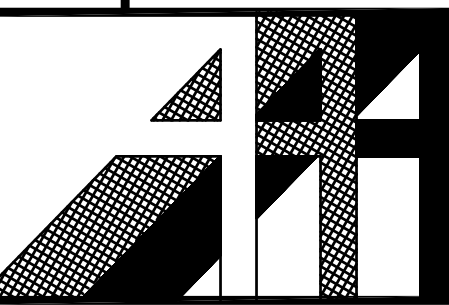
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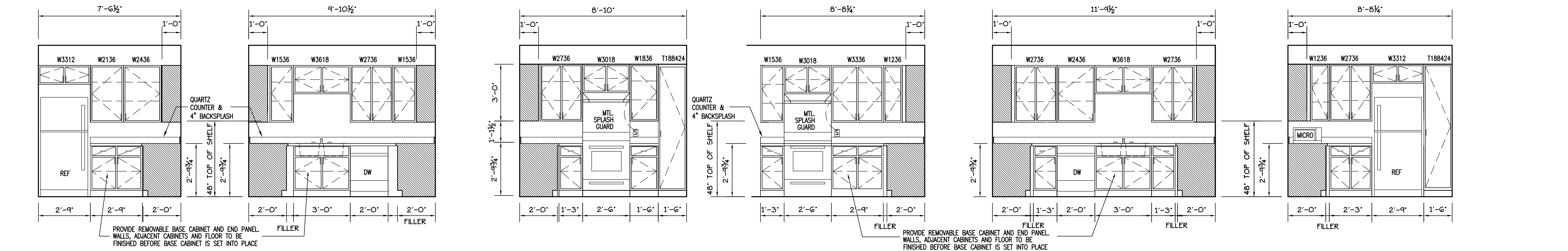
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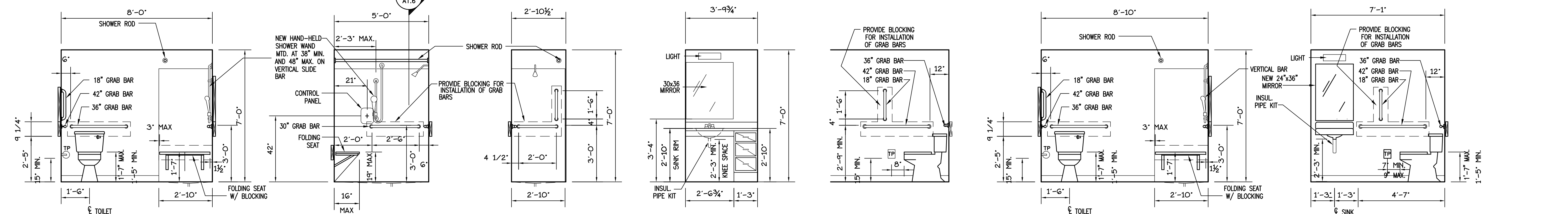
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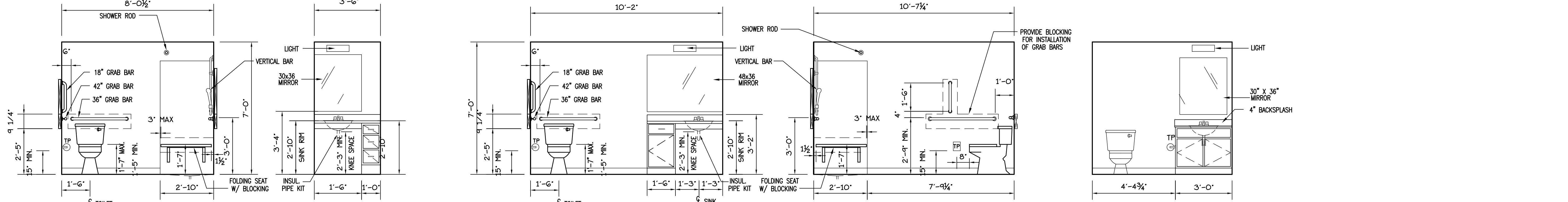
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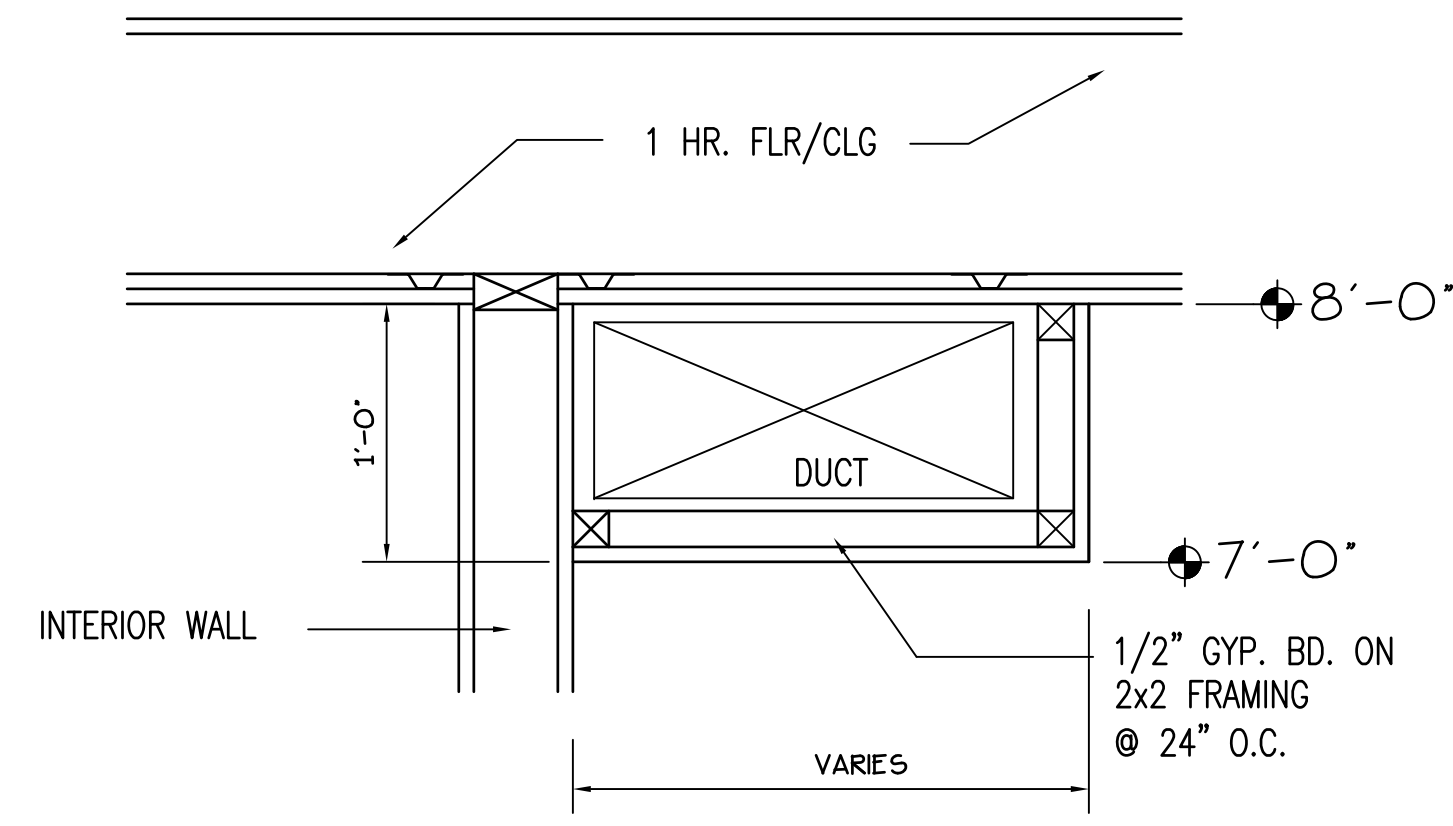


14 1 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
15 ACCESS. SHOWER SCALE: 3/8" = 1'-0"
16 ACCESS. SHOWER SCALE: 3/8" = 1'-0"
17 1 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
18 ACCESS. TOILET SCALE: 3/8" = 1'-0"
19 2 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
20 2 BR ACCESS. BATH SCALE: 3/8" = 1'-0"

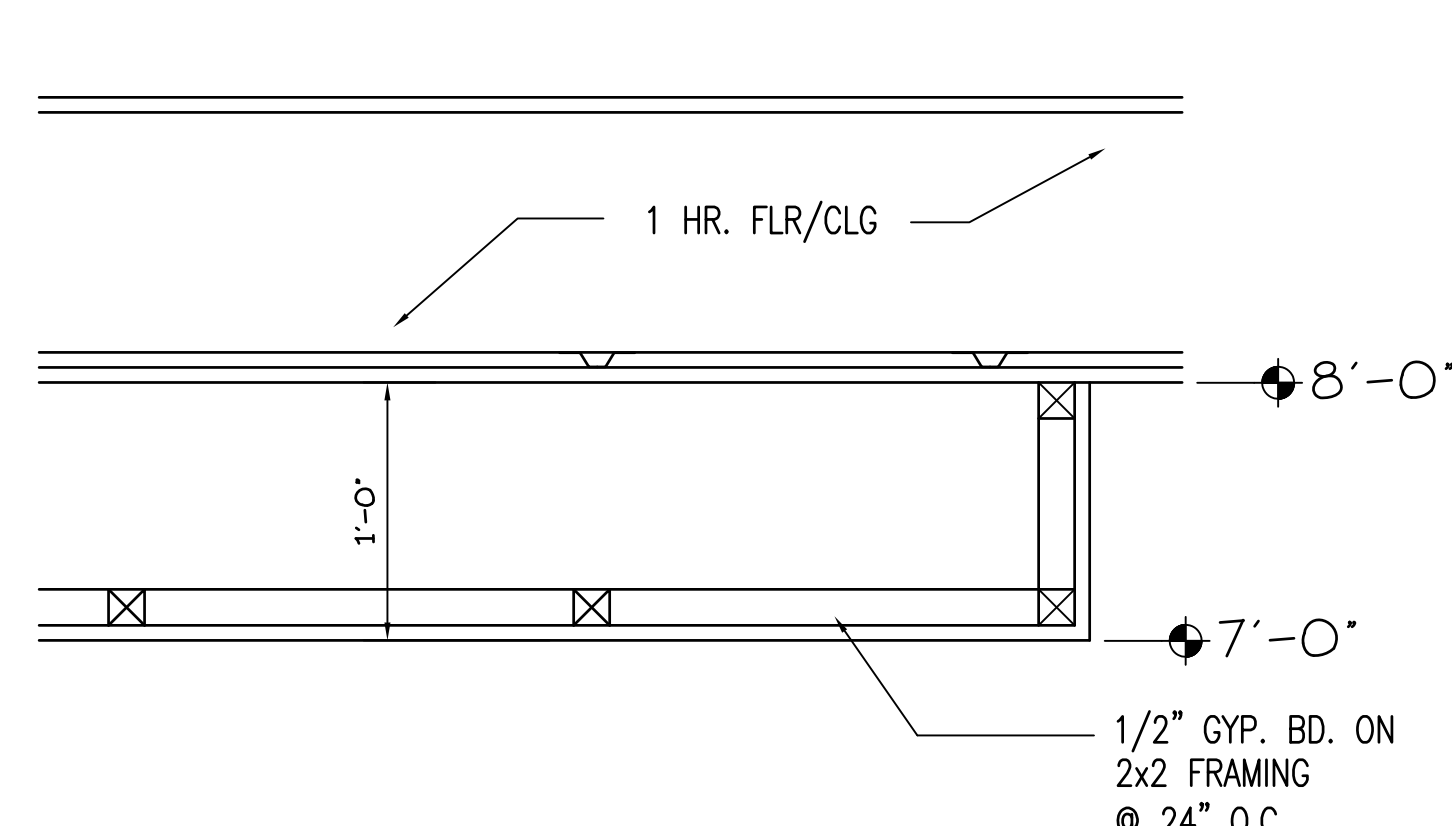


21 3 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
22 3 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
23 4 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
24 4 BR ACCESS. BATH SCALE: 3/8" = 1'-0"
25 4 BR TOILET SCALE: 3/8" = 1'-0"

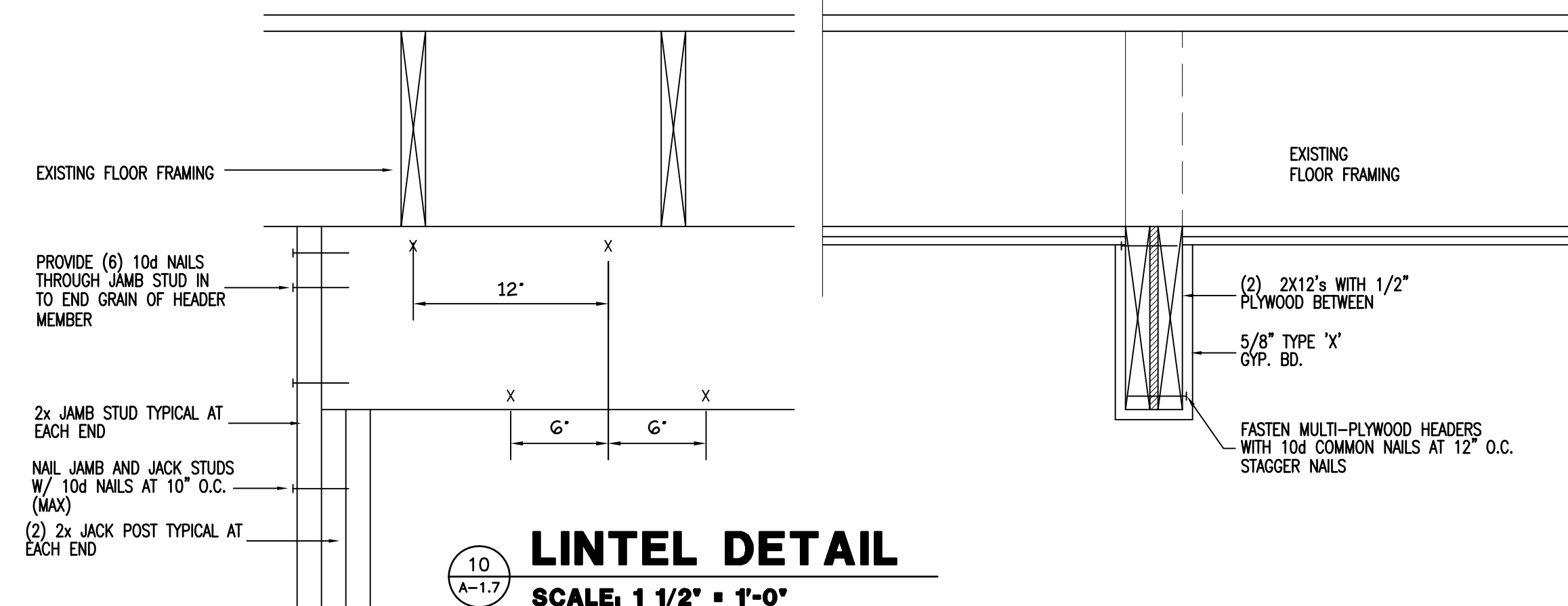
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| DRWN. BY: MGA |
| CHKD. BY: MDA |
| APPR. BY: MDA |
| DATE: 6-30-16 |
| REVISIONS |



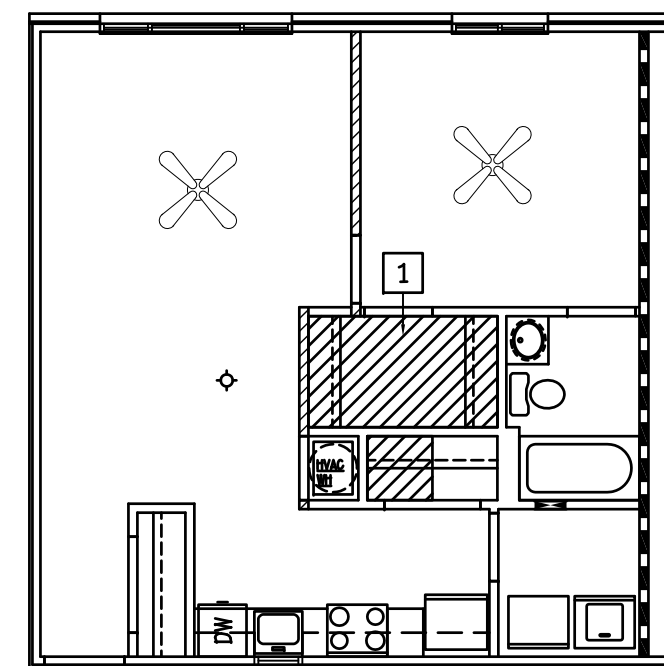
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A-1.7 **DROPPED CEILING DETAIL**
SCALE: 1 1/2" = 1'-0"



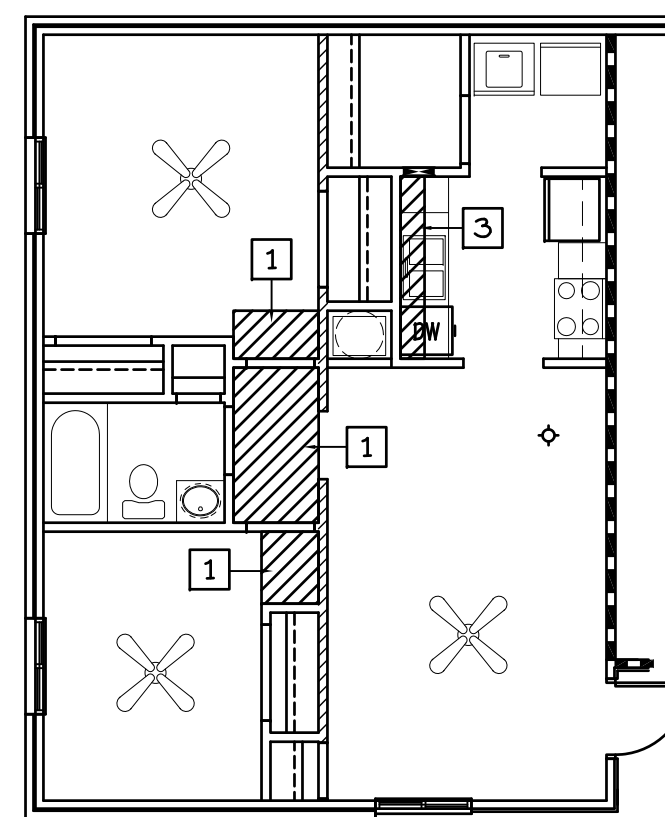
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A-1.7 **DROPPED CEILING DETAIL**
SCALE: 1 1/2" = 1'-0"



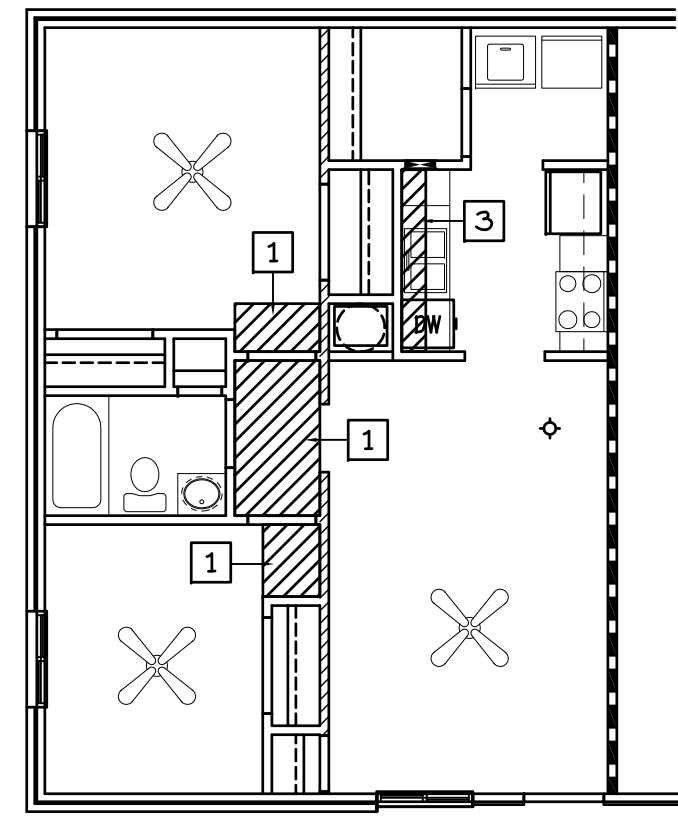
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A-1.7 **LINTEL DETAIL**
SCALE: 1 1/2" = 1'-0"



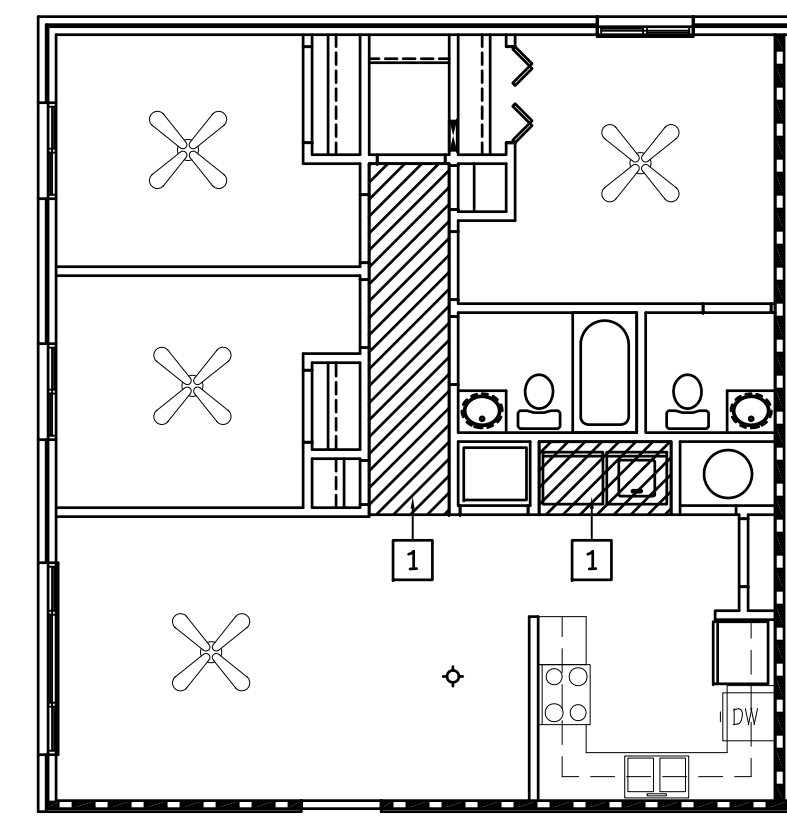
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A-1.7 **ONE BEDROOM TYP. CEILING PLAN**
SCALE: 1/8" = 1'-0"



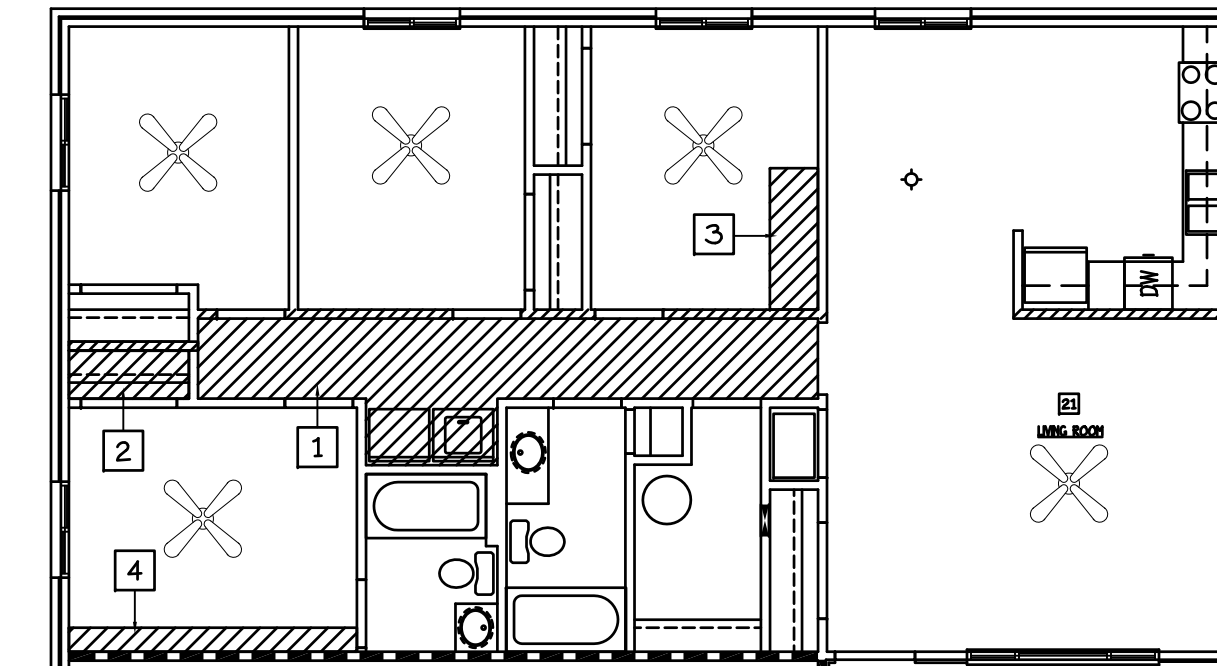
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A-1.7 **TWO BEDROOM TYP. CEILING PLAN**
SCALE: 1/8" = 1'-0"



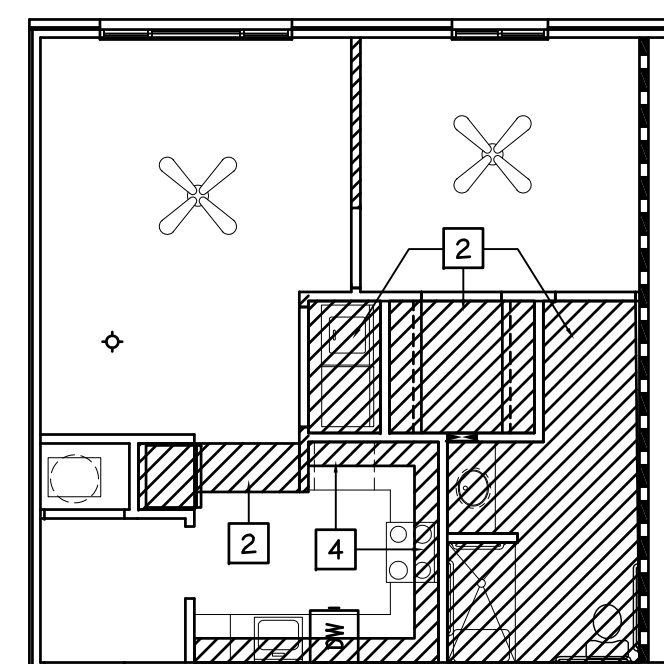
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A-1.7 **TWO BEDROOM TYP. CEILING PLAN**
SCALE: 1/8" = 1'-0"



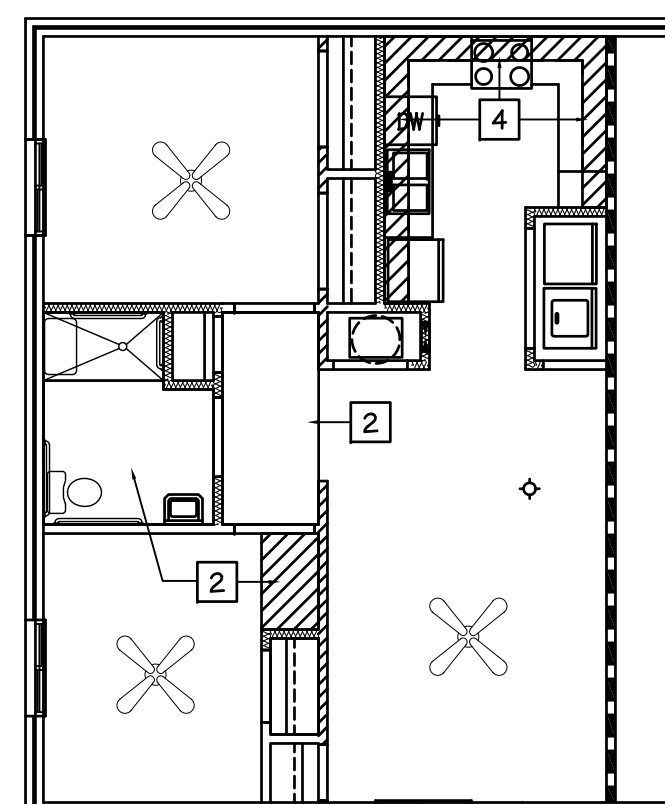
4
A-1.7 **THREE BEDROOM TYP. CEILING PLAN**
SCALE: 1/8" = 1'-0"



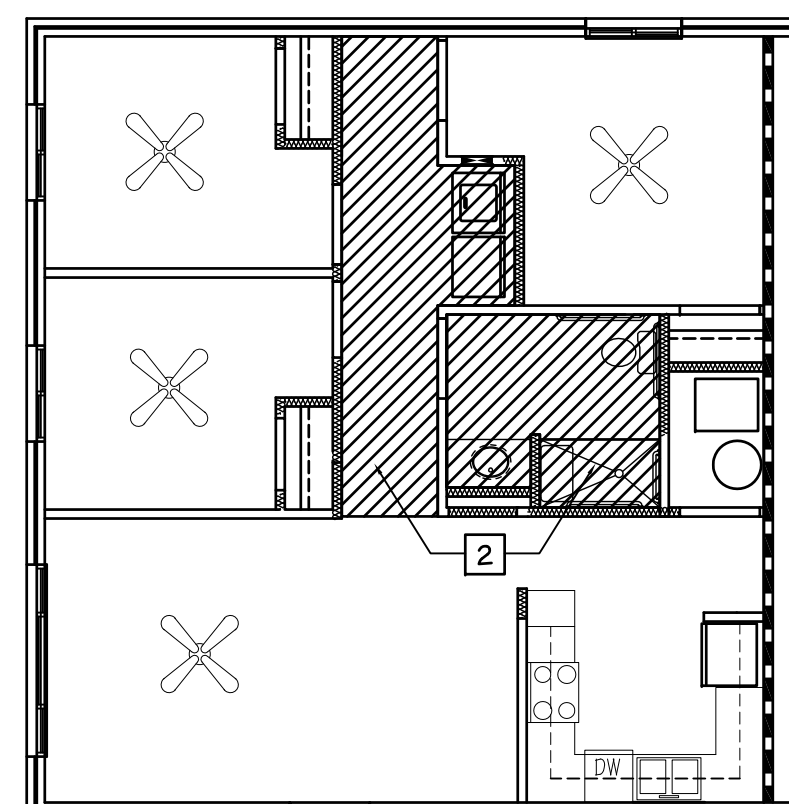
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A-1.7 **FOUR BEDROOM TYP. CEILING PLAN**
SCALE: 1/8" = 1'-0"



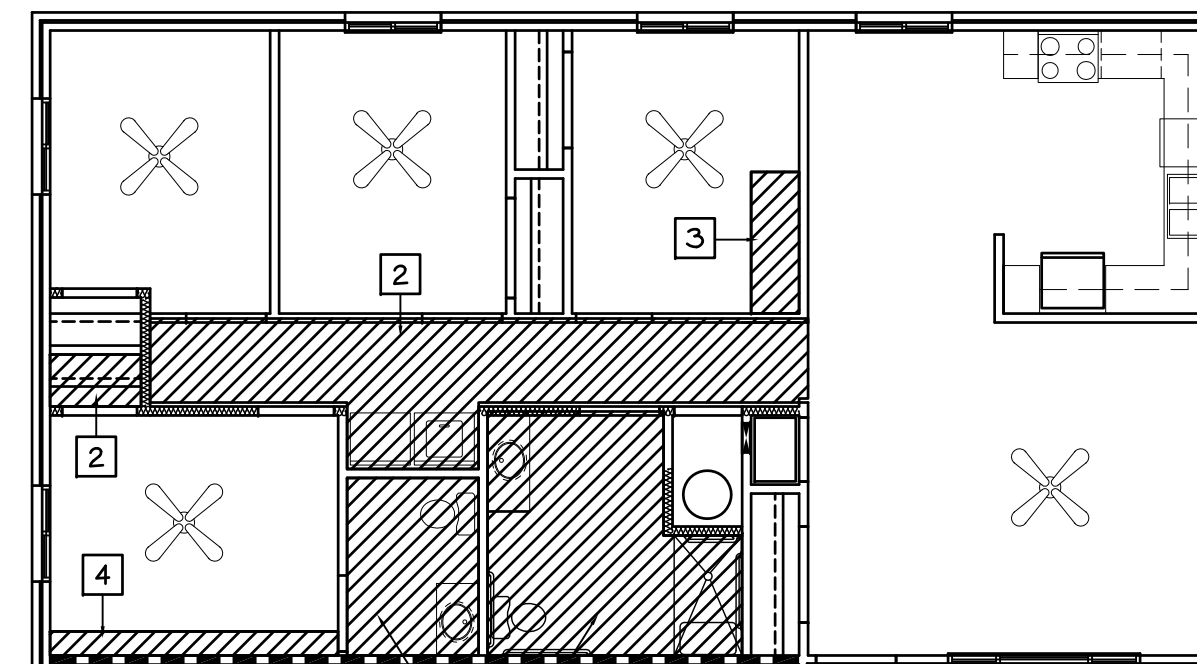
6
A-1.7 **ONE BEDROOM ACC. CEILING PLAN**
SCALE: 1/8" = 1'-0"



7
A-1.7 **TWO BEDROOM ACC. CEILING PLAN**
SCALE: 1/8" = 1'-0"



8
A-1.7 **THREE BEDROOM ACC. CEILING PLAN**
SCALE: 1/8" = 1'-0"



9
A-1.7 **FOUR BEDROOM ACC. CEILING PLAN**
SCALE: 1/8" = 1'-0"

CEILING NOTES

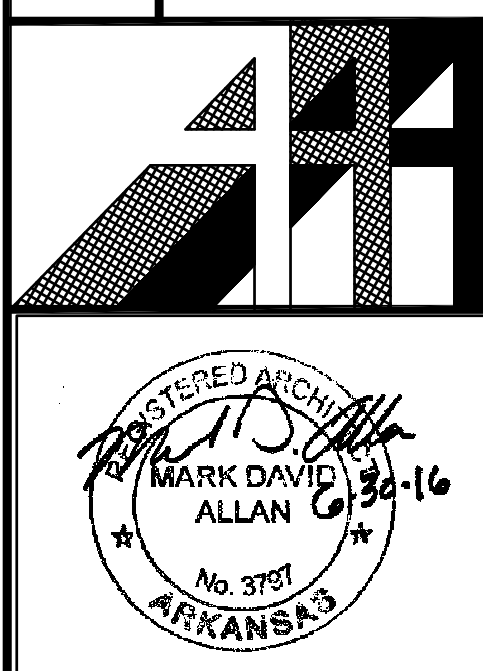
- 1 EXISTING DROPPED CEILING 7'-0" TO REMAIN.
- 2 NEW DROPPED CEILING 7'-0". SEE DETAILS THIS SHEET.
- 3 EXISTING SHEETROCK BULKHEAD TO REMAIN. PATCH, REPAIR AND PAINT.
- 4 NEW SHEETROCK BULKHEAD TO CONSEAL EXHAUST DUCTS.
- 5 NEW 1 HR. FLR/CLG. THROUGHOUT APARTMENT. 5/8" TYPE 'X' GYP. BD. ON 7/8" RES. CHNLs.

NOTE:

PATCH AND REPAIR EXISTING 'FIRE LID' TO MAINTAIN RATING PRIOR TO INSTALLING DROPPED CEILINGS.

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC



| |
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| DRWN BY: MGA |
| CHKD BY: MGA |
| APPR BY: MDA |
| DATE: 6-30-16 |
| REVISIONS |

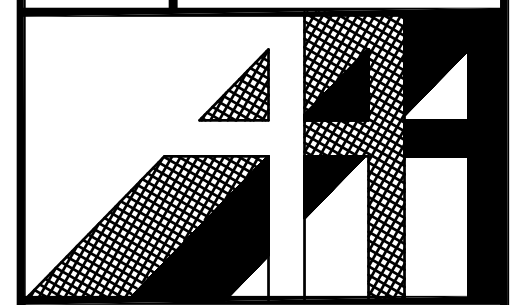
WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

BUILDING PLANS

ALLAN ASSOCIATES ARCHITECTS, PLLC
KNOXVILLE, TENNESSEE 37912

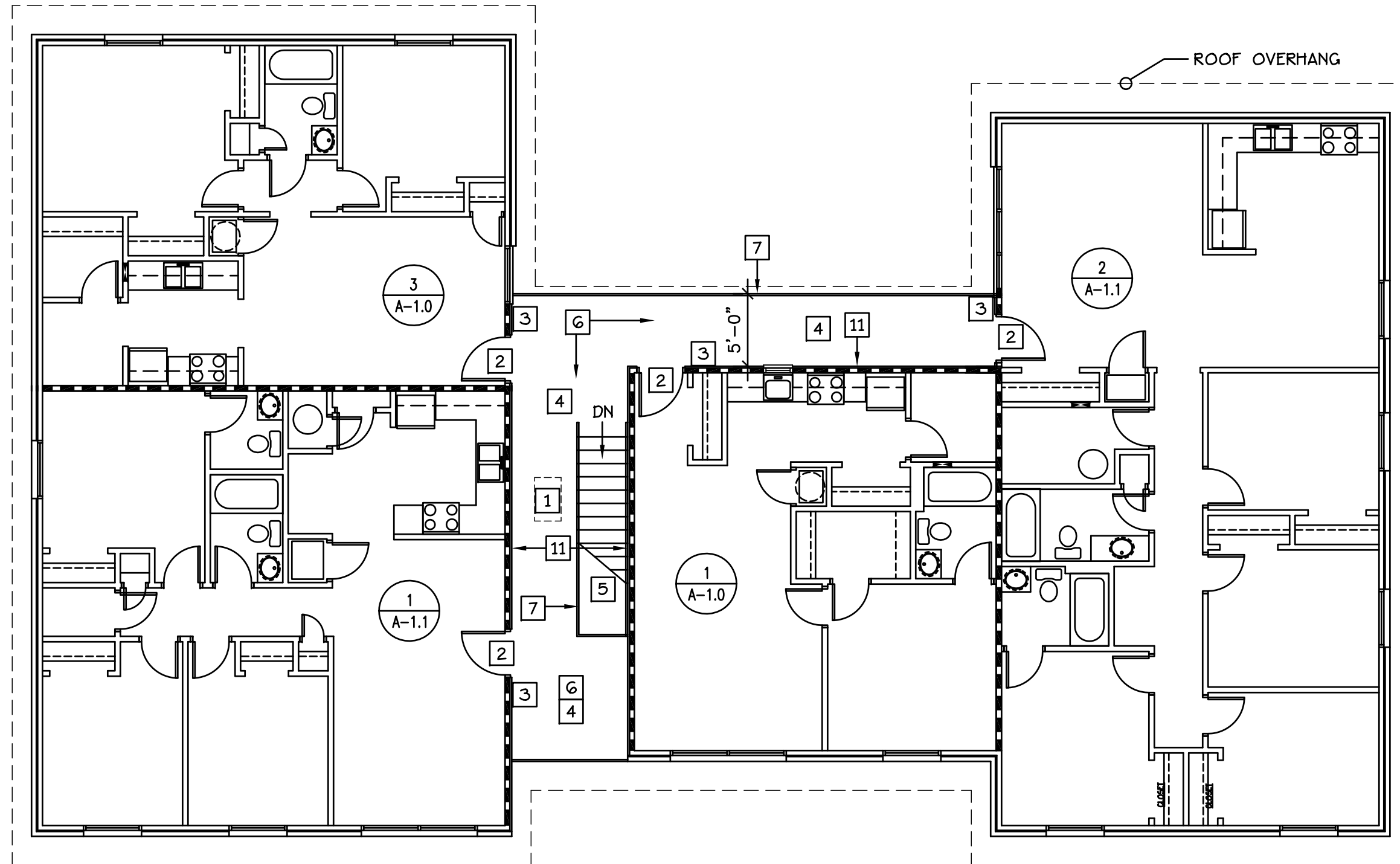
865 / 689-1302

6516 WALLWOOD ROAD



SHEET NUMBER

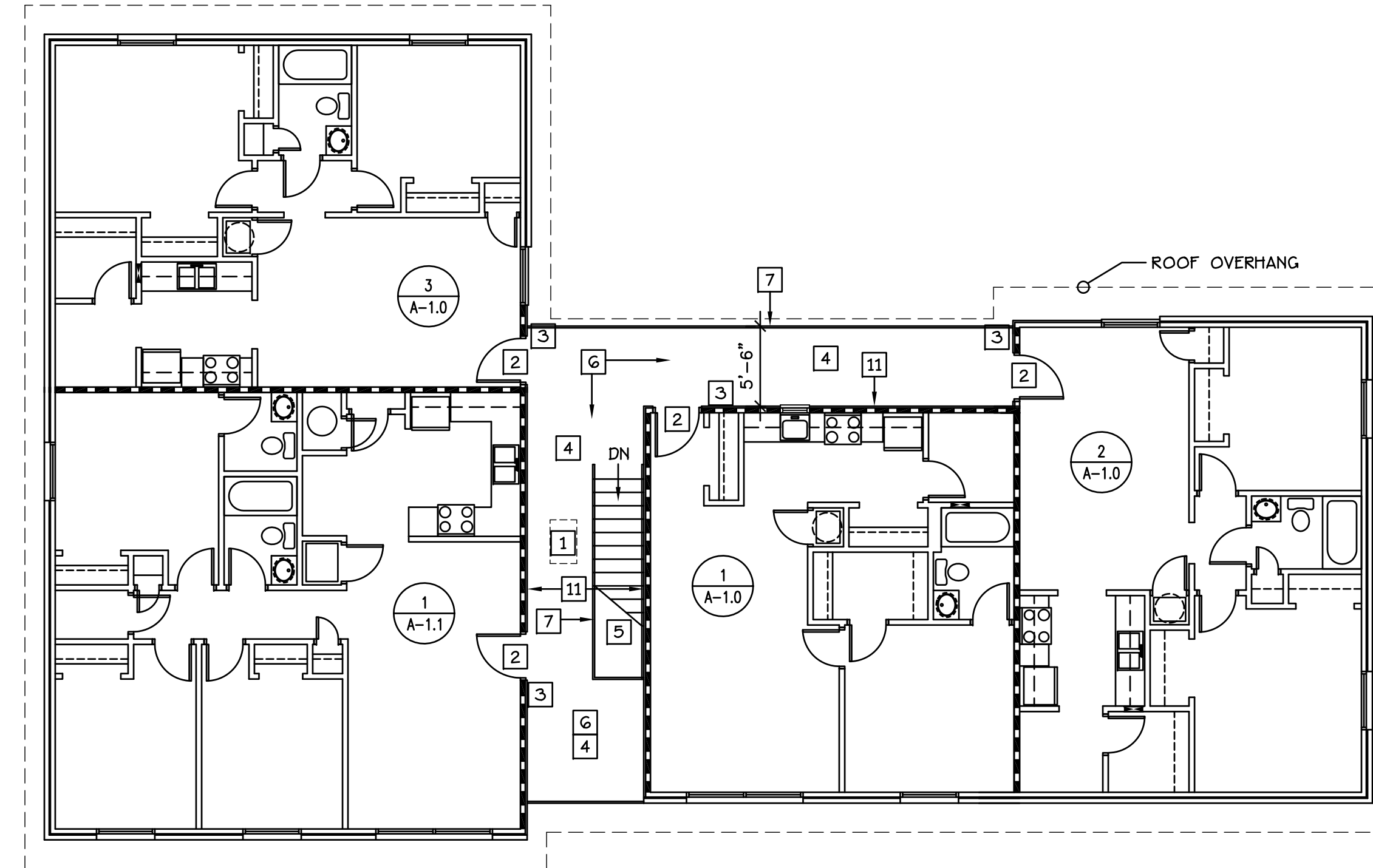
A-2.0



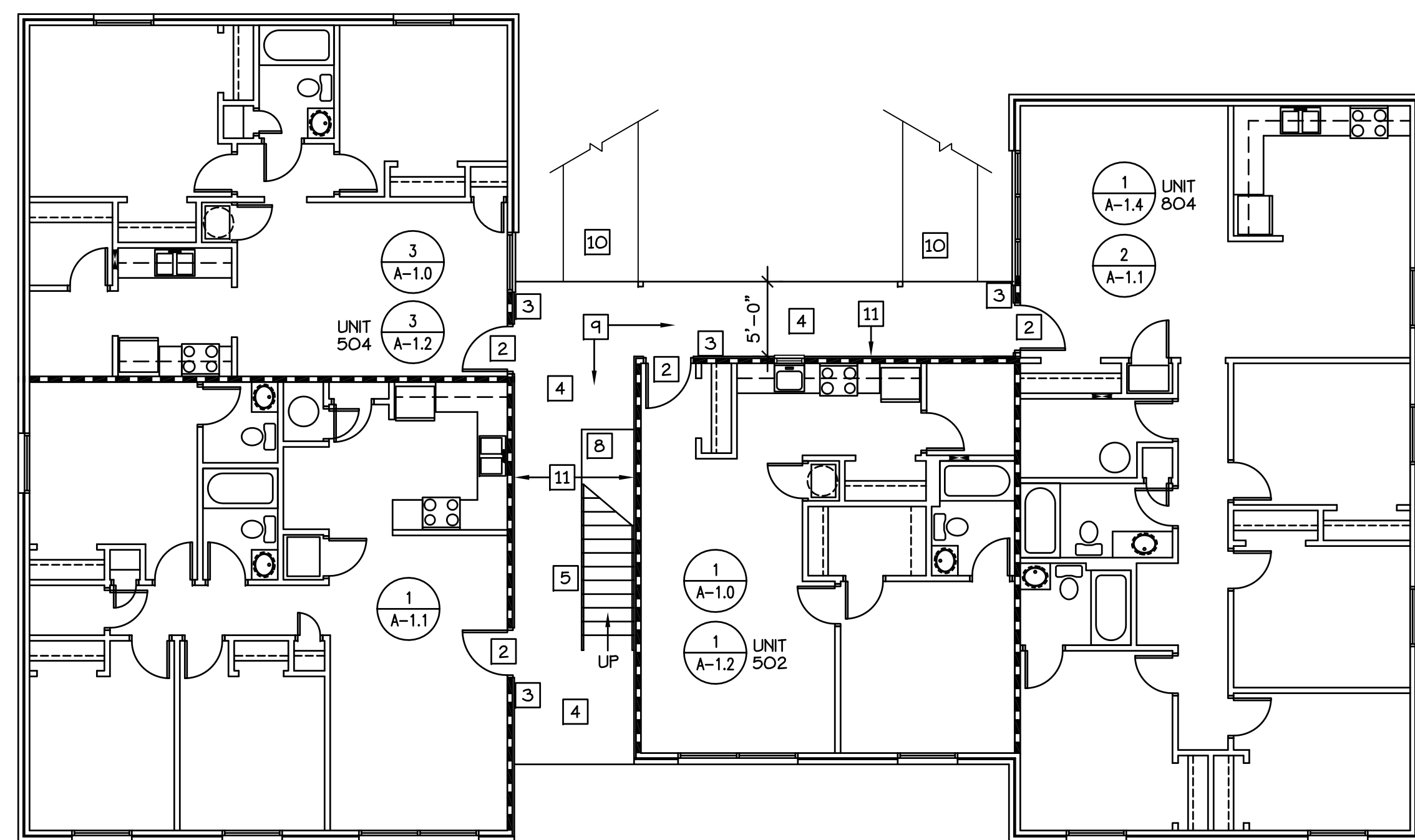
BLDG'S '2','3','5','8'
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

BUILDING PLAN NOTES

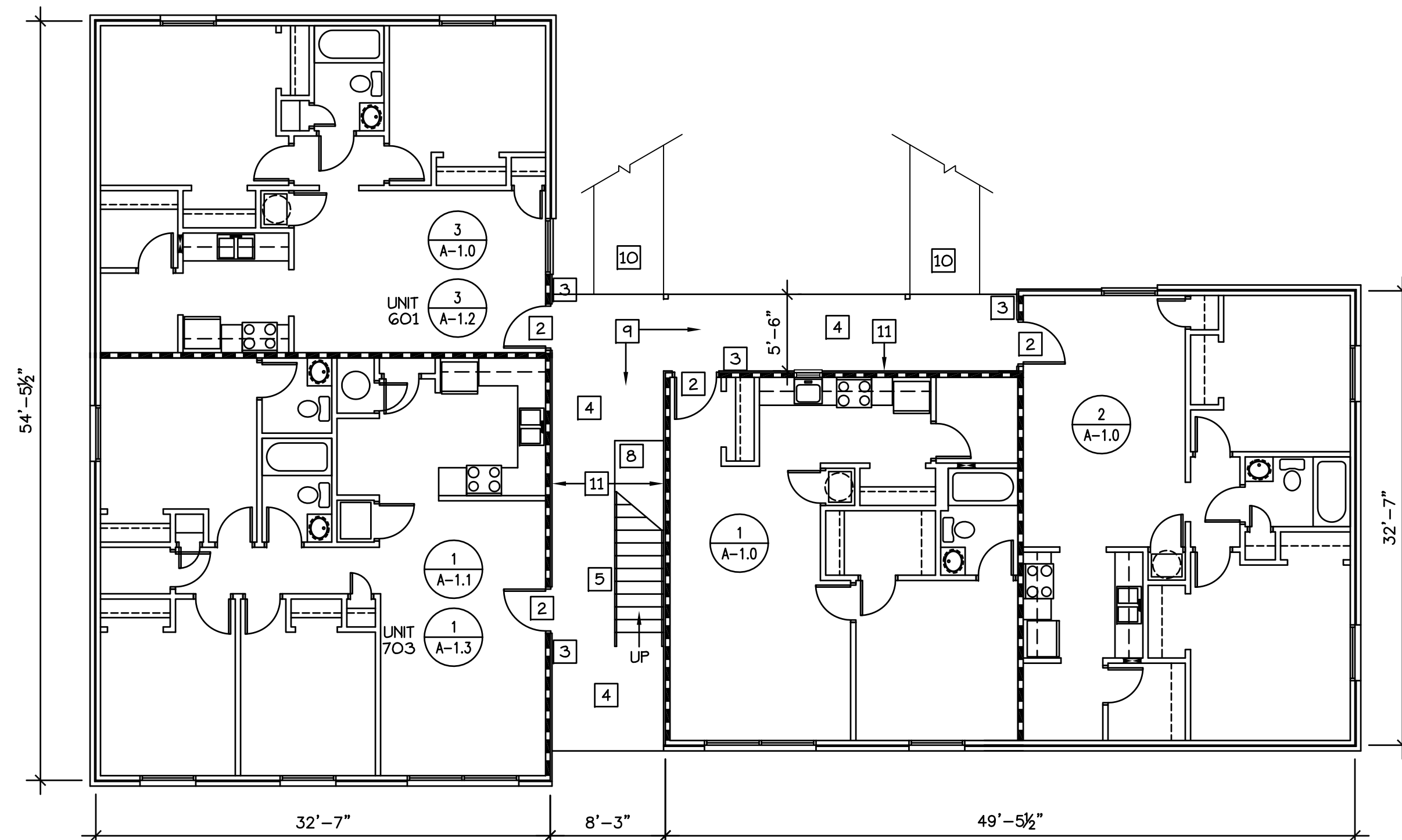
- 1 PROVIDE AND INSTALL NEW 1 HR. RATED 22"x36" METAL ATTIC ACCESS PANEL.
- 2 NEW 36"W CGO MIN RATED MTL. INSULATED DOOR AND FRAMES W/PEEP HOLE, DEAD BOLT LOCK W/ INTERIOR THUMB LATCH, SINGLE HANDLE PASSAGE DOOR LEVER AND SPRING LOADED HINGES. PAINT DOOR AND FRAME.
- 3 PROVIDE AND INSTALL NEW 'ENERGY STAR' LIGHT FIXTURES AT ENTRY DOOR. SEE ELEC. DWG'S.
- 4 PROVIDE AND INSTALL NEW 'ENERGY STAR' LIGHT FIXTURES TO PROVIDE MIN. 1.0 FOOT CANDLE W/IN BRZVY AREA. SEE ELEC. DWG'S.
- 5 REMOVE EXISTING STAIR STRUCTURE. PROVIDE AND INSTALL NEW STL. STRINGERS, PRECAST CONC. TREADS W/ CLOSED MTL. RISER, 42" STL. GUARDRAIL ON THE OPEN SIDE AND 1 1/2" DIA. HANDRAILS EACH SIDE. PAINT ALL EXPOSED STL. SEE STRUCT. DWG'S. AND A-2.1
- 6 REMOVE EXISTING ELEVATED WALKWAY. PROVIDE AND INSTALL STL. COLUMNS, FLOOR CHANNELS, MTL. DECKING AND 4,000 PSI CONC. TOPPING. PAINT ALL EXPOSED STL. SEE STRUCT. DWG'S. AND A-2.1
- 7 PROVIDE AND INSTALL NEW 42" HIGH GUARDRAIL W/ PICKETS • 4' O.C. (PAINT) A-2.1
- 8 PROVIDE AND INSTALL CANE DETECTION STL. RAIL • 27" A.F.F. 10/A-2.1
- 9 AT BLDG'S 5,6,7+8 REMOVE EXISTING BRWY. CONC. ENTRY SLAB, BACKFILL W/GRAVEL AND INSTALL NEW 4" THICK, 4500 PSI CONCRETE W/GXG WWF TO PROVIDE LEVEL TRANSITION INTO ACCESSIBLE UNITS. SLOPE AWAY FROM BLDG. AT 1:50.
- 10 NEW SIDEWALKS REFER TO SD-1 AND CIVIL DEG'S.
- 11 REMOVE VINYL SIDING. PROVIDE AND INSTALL NEW HARDIP-LAP SIDING AND TRIM OVER TYVEK HOUSE WRAP AND PAINT.



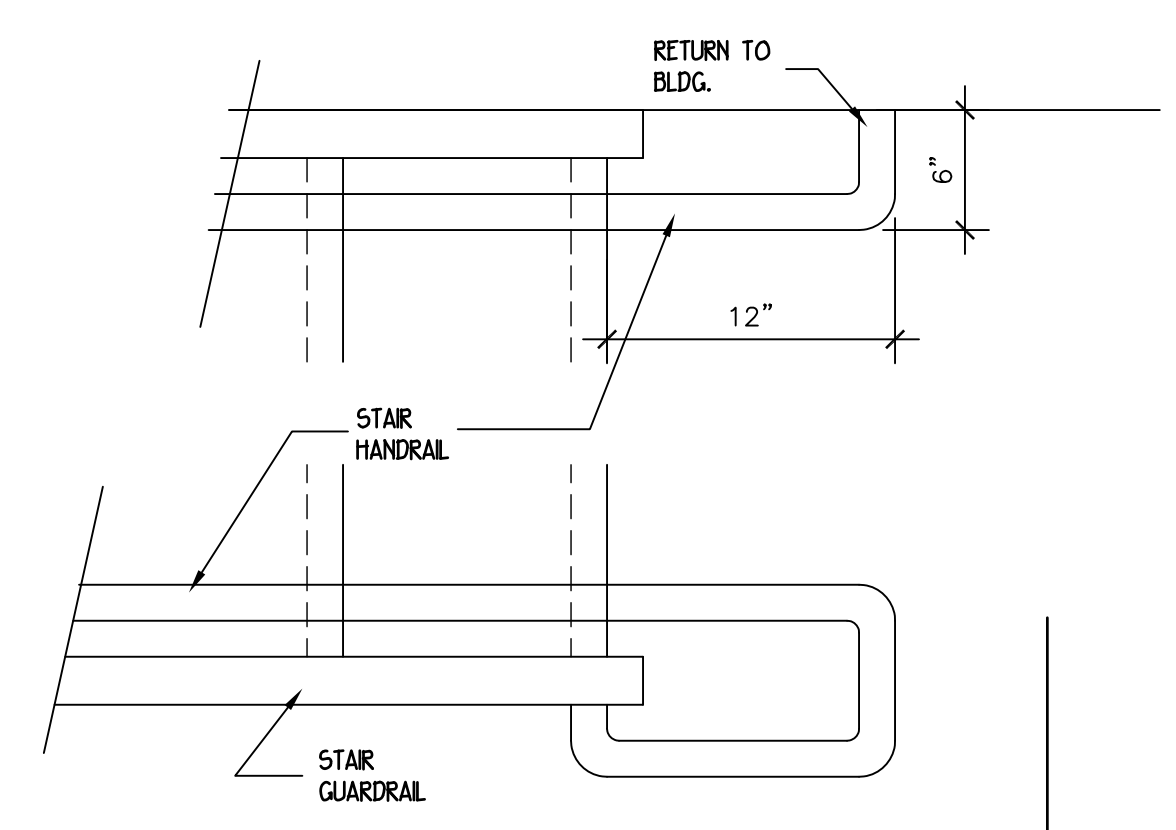
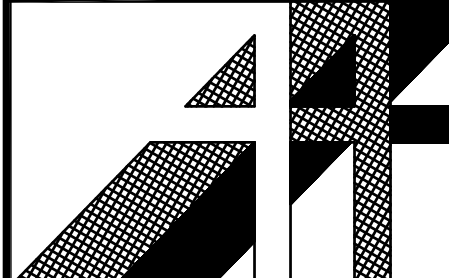
BLDG'S '1','4','6','7'
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



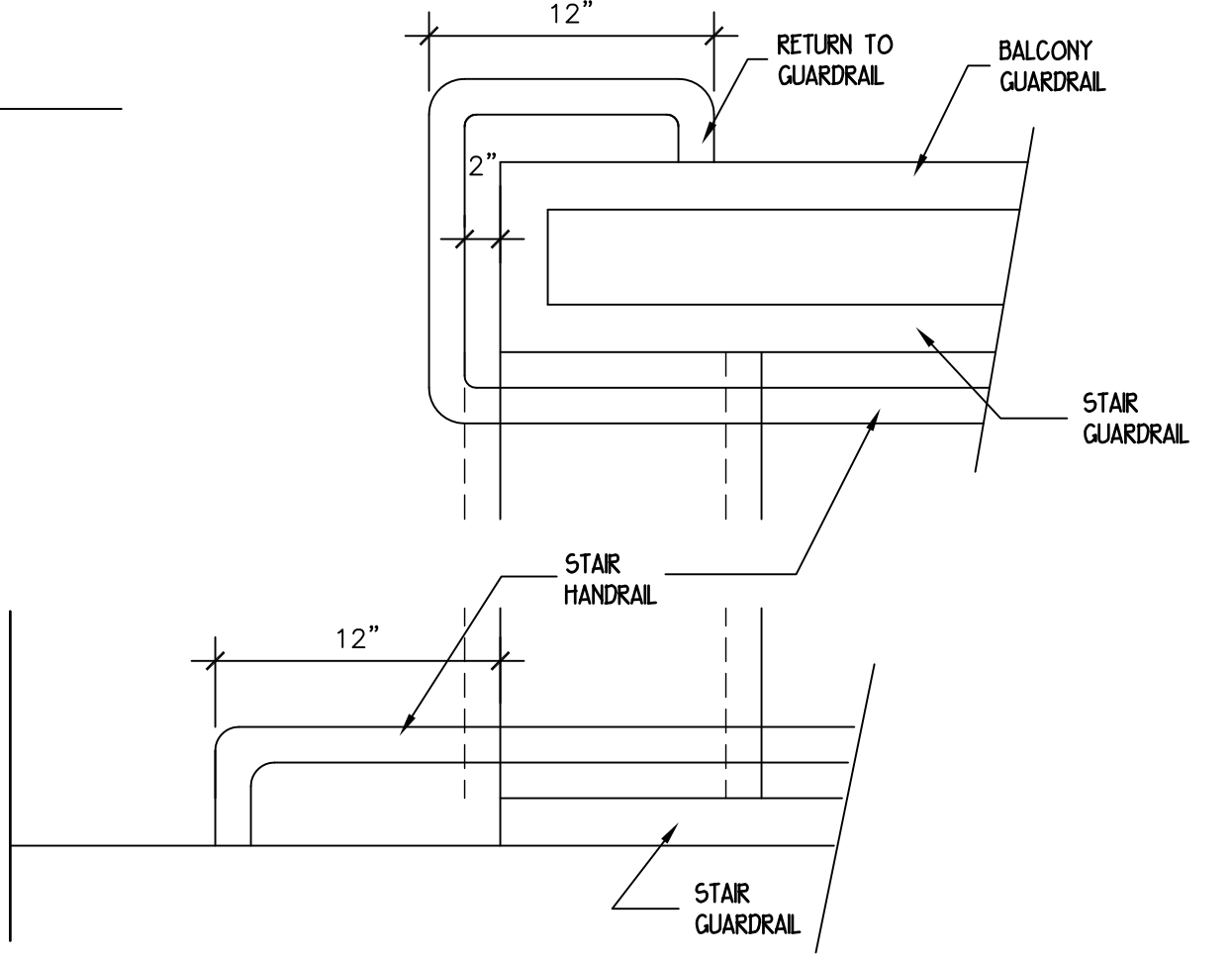
BLDG'S '2','3','5','8'
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



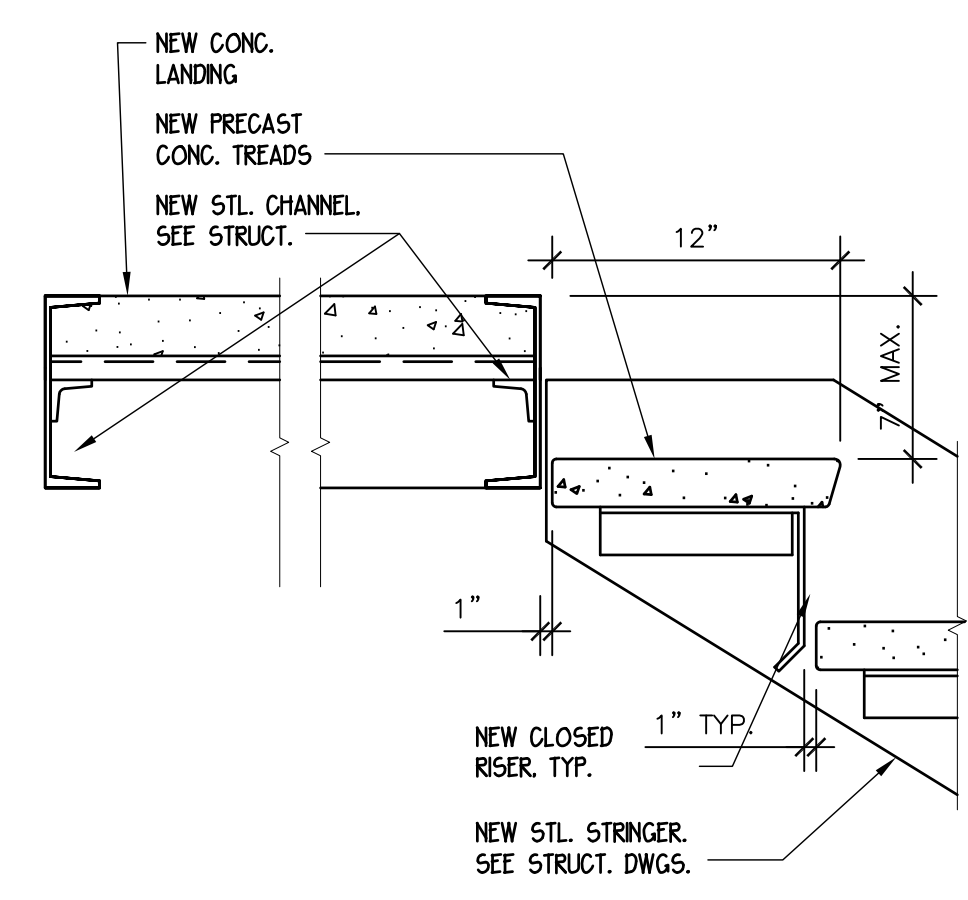
BLDG'S '1','4','6','7'
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



3
A-2.1
BOTTOM OF STAIR RAILS
SCALE: 1 1/2" = 1'-0"



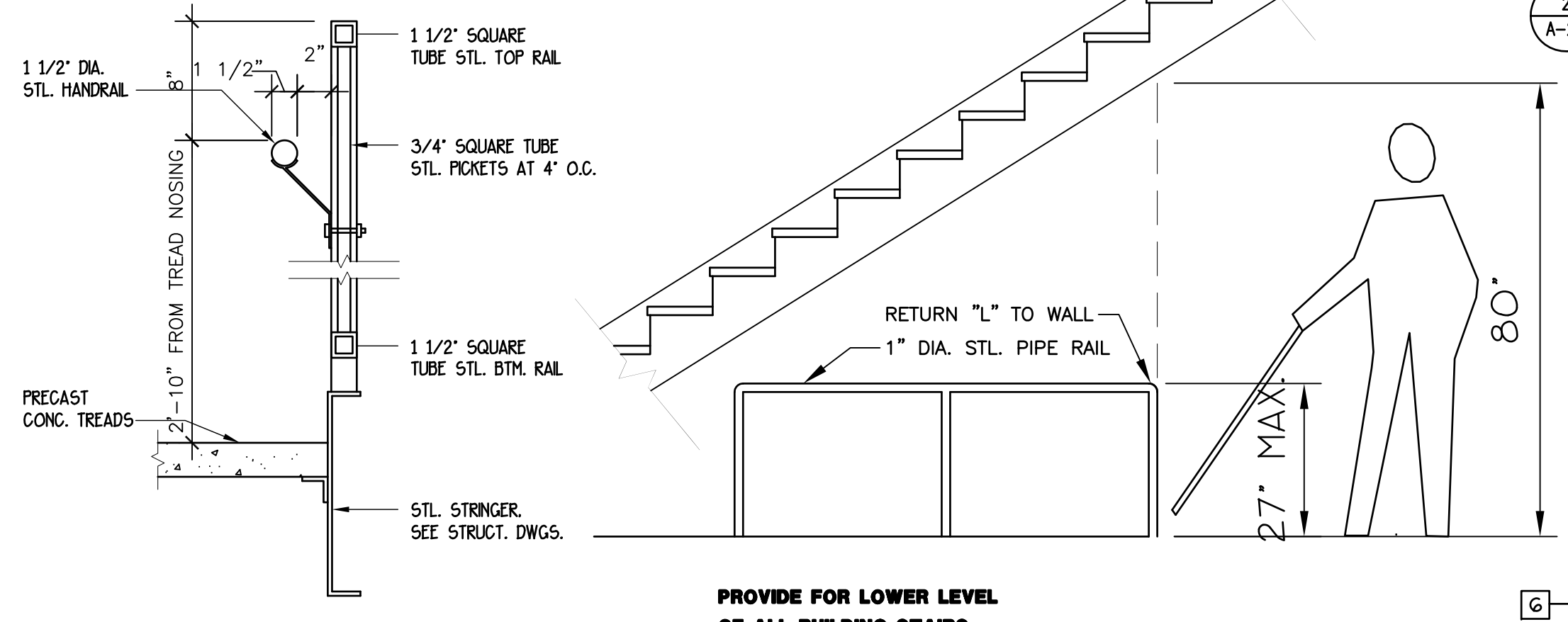
7
A-2.1
TOP OF STAIR RAILS
SCALE: 1 1/2" = 1'-0"



4
A-2.1
EXTERIOR STAIR DETAIL
SCALE: 1 1/2" = 1'-0"

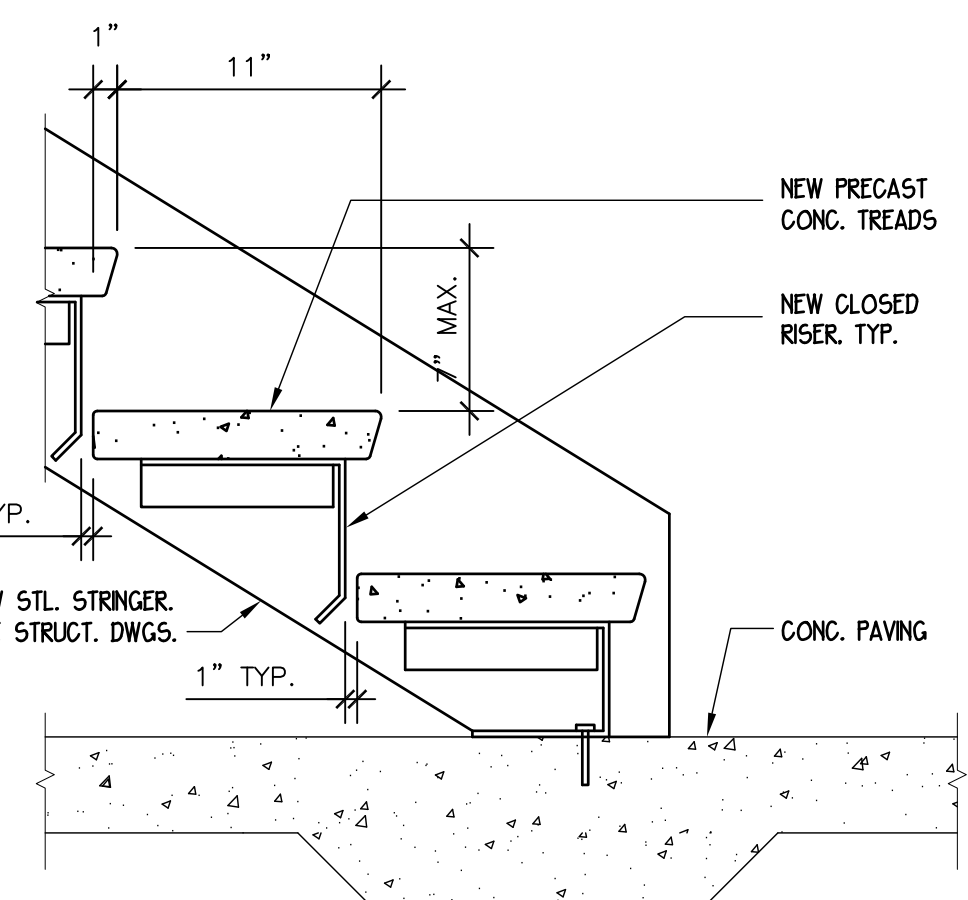


8
A-2.1
LANDING DETAIL
SCALE: 1 1/2" = 1'-0"

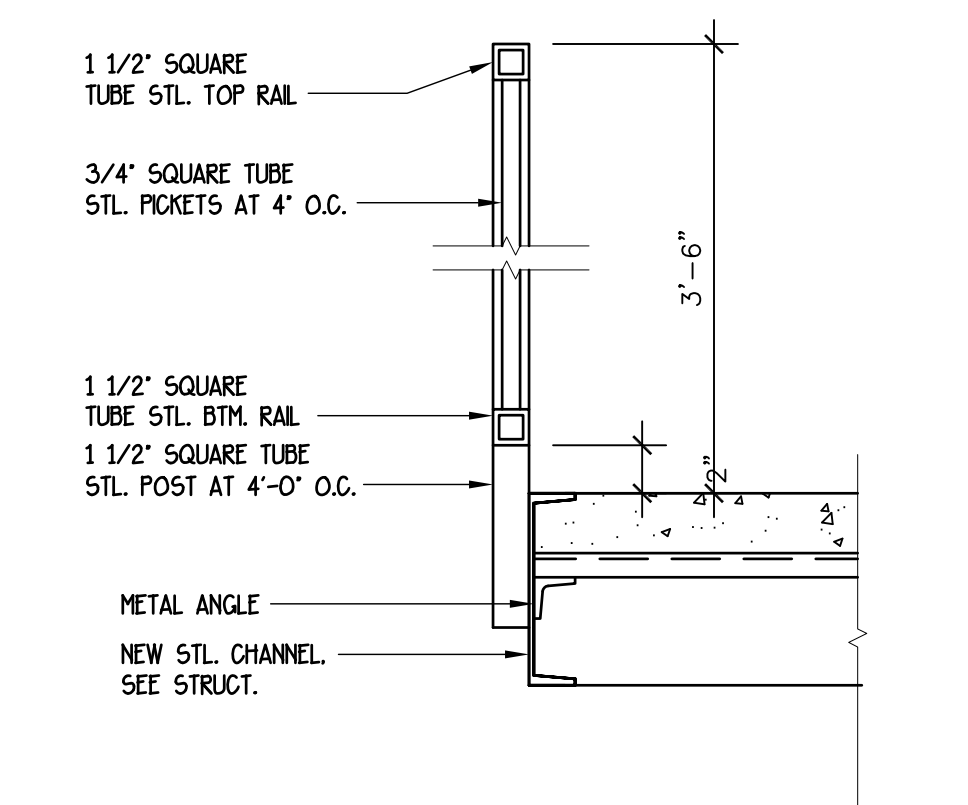


9
A-2.1
RAILING DETAIL
SCALE: 1 1/2" = 1'-0"

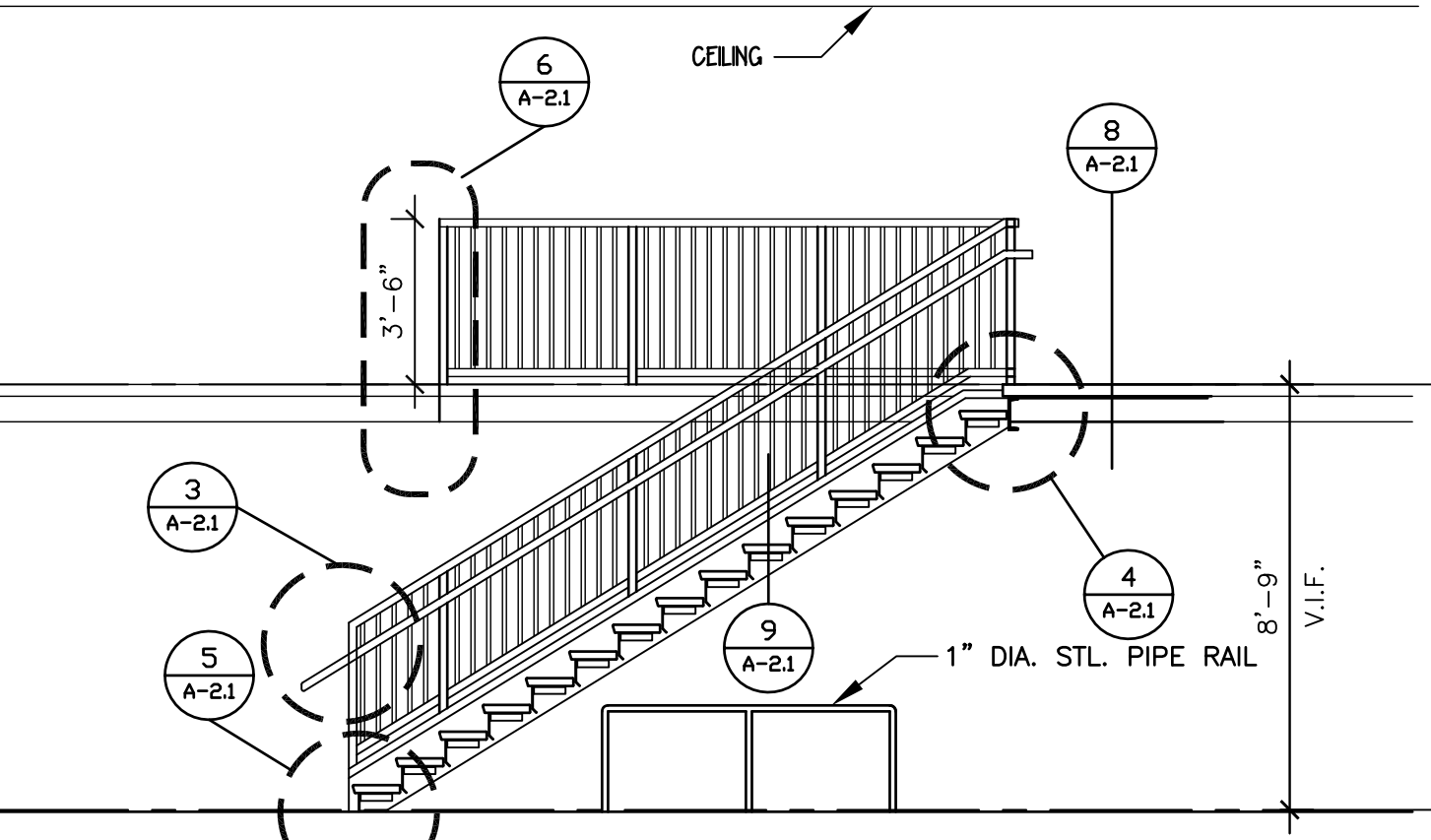
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A-2.1
CANE DETECTION RAIL
SCALE: 1/2" = 1'-0"



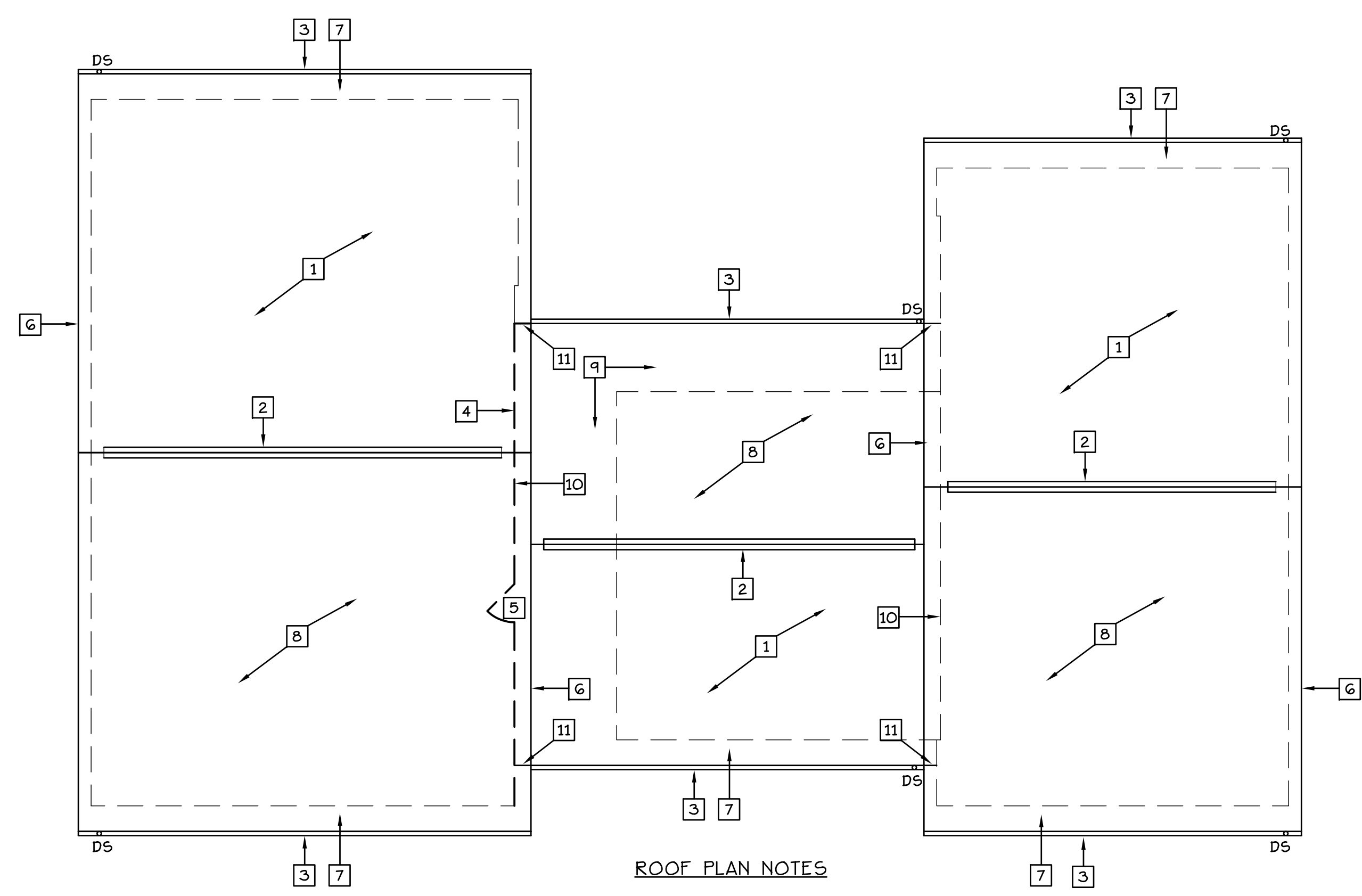
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A-2.1
EXTERIOR STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



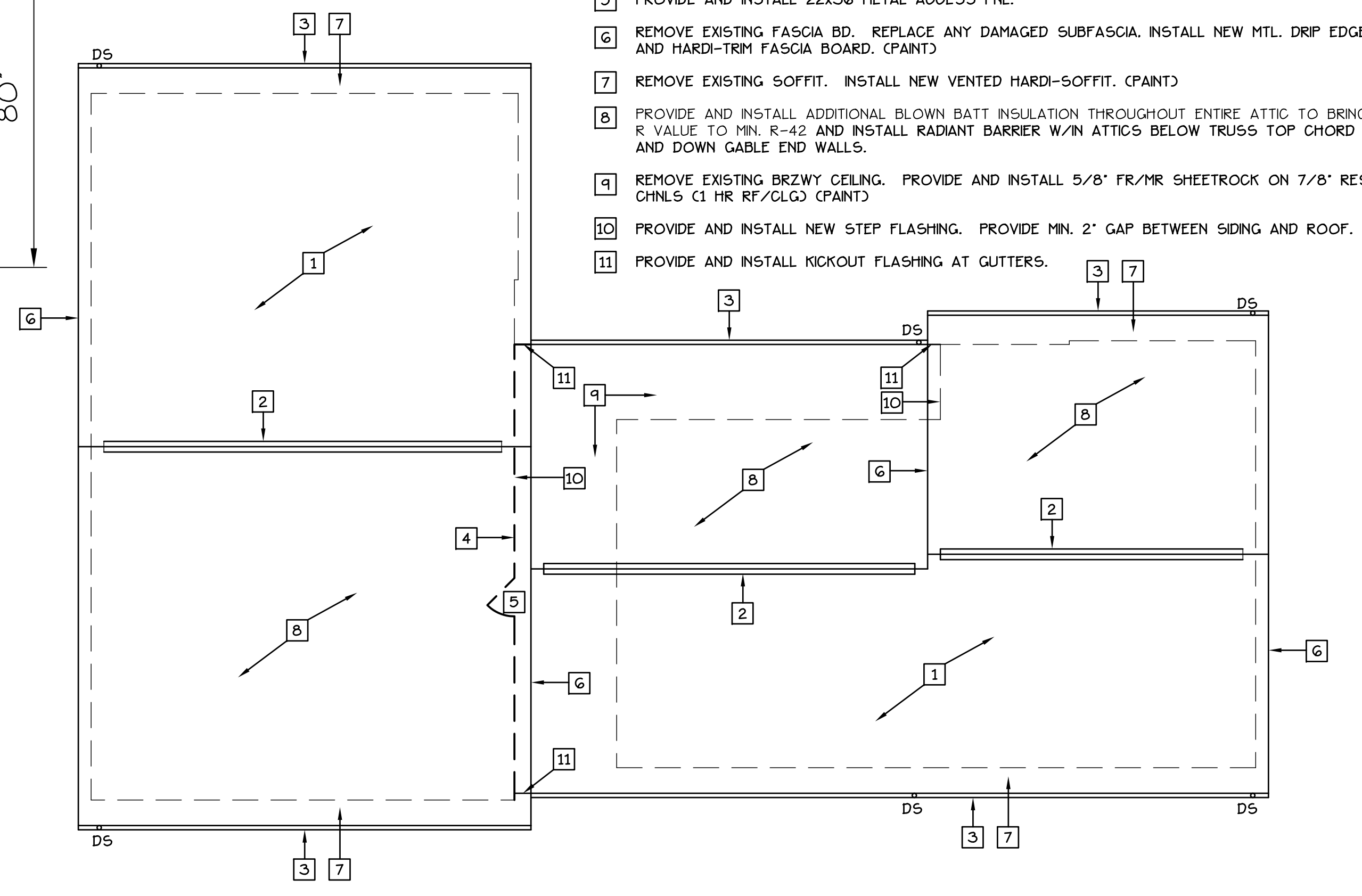
6
A-2.1
GUARDRAIL DETAIL
SCALE: 1 1/2" = 1'-0"



10
A-2.1
NEW STAIR SECTION
SCALE: 1/4" = 1'-0"



2
A-2.1
BLDG'S '2','3','5','8' ROOF PLAN
SCALE: 1/8"=1'-0"

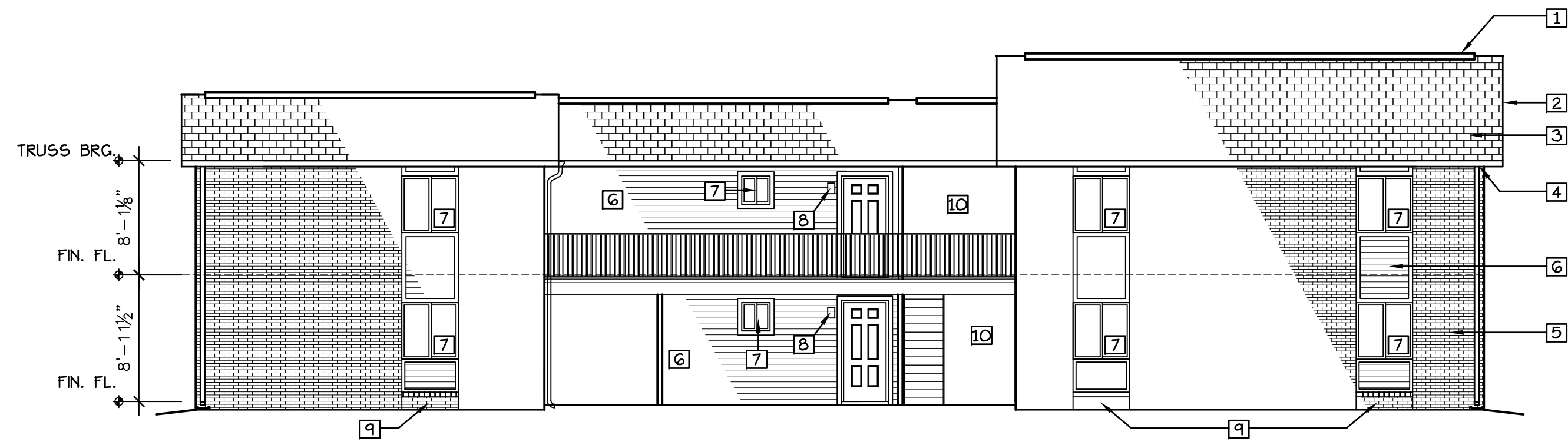


1
A-2.1
BLDG'S '1','4','6','7' ROOF PLAN
SCALE: 1/8"=1'-0"

ROOF PLAN NOTES

- 1 REMOVE EXISTING ASPHALT SHINGLES, FELT AND ABANDONED ROOF CAPS. REPLACE DAMAGED ROOF SHEATHING AS REQ'D. INSTALL NEW 15# FELT AND CLASS 'A' 30 YR. ASPHALT DIMENSIONAL SHINGLES (ANTI-FUNGAL).
- 2 CREATE 1 1/2" CONT. OPENING ALONG RIDGE AND INSTALL SHINGLE OVER RIDGE VENT.
- 3 REMOVE EXISTING FASCIA BOARD. REPLACE ANY DAMAGED SUBFASCIA. INSTALL MTL. DRIP EDGE, 1x6 HARDI-TRIM FASCIA, 5" OGEE GUTTERS, 2x3 RECT. CORR. DOWNSPOUTS AND CONC. SPLASH BLOCKS.
- 4 INSTALL 1/2" GYP. BD. ATTIC DRAFT-STOP CONT. ALONG FULL LENGTH OF ROOF TRUSS IN LINE W/TENANT SEPARATION WALL BELOW.
- 5 PROVIDE AND INSTALL 22x36 METAL ACCESS PNL.
- 6 REMOVE EXISTING FASCIA BD. REPLACE ANY DAMAGED SUBFASCIA. INSTALL NEW MTL. DRIP EDGE AND HARDI-TRIM FASCIA BOARD. (PAINT)
- 7 REMOVE EXISTING SOFFIT. INSTALL NEW VENTED HARDI-SOFFIT. (PAINT)
- 8 PROVIDE AND INSTALL ADDITIONAL BLOWN BATT INSULATION THROUGHOUT ENTIRE ATTIC TO BRING R VALUE TO MIN. R-42 AND INSTALL RADIANT BARRIER W/IN ATTICS BELOW TRUSS TOP CHORD AND DOWN GABLE END WALLS.
- 9 REMOVE EXISTING BRZVY CEILING. PROVIDE AND INSTALL 5/8" FR/MR SHEETROCK ON 7/8" RES. CHNLS (1 HR RF/CLG) (PAINT)
- 10 PROVIDE AND INSTALL NEW STEP FLASHING. PROVIDE MIN. 2" GAP BETWEEN SIDING AND ROOF.
- 11 PROVIDE AND INSTALL KICKOUT FLASHING AT GUTTERS.

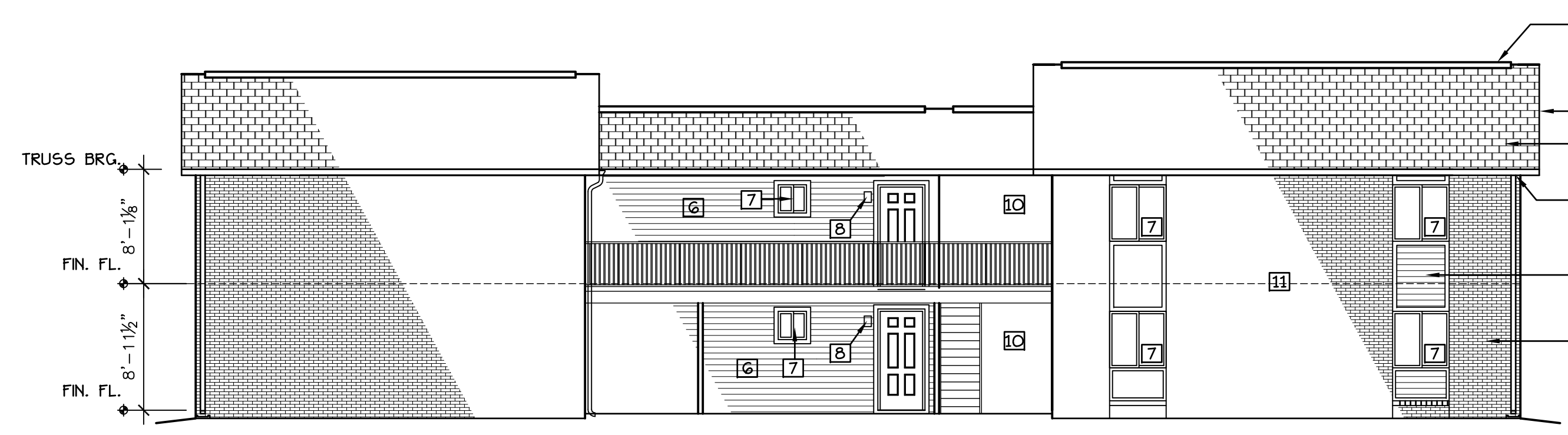
PROVIDE FOR LOWER LEVEL OF ALL BUILDING STAIRS



**BLDG'S '1','4','6','7'
FRONT ELEVATION**
SCALE: 1/8"=1'-0"



**BLDG'S '1','4','6','7'
REAR ELEVATION**
SCALE: 1/8"=1'-0"

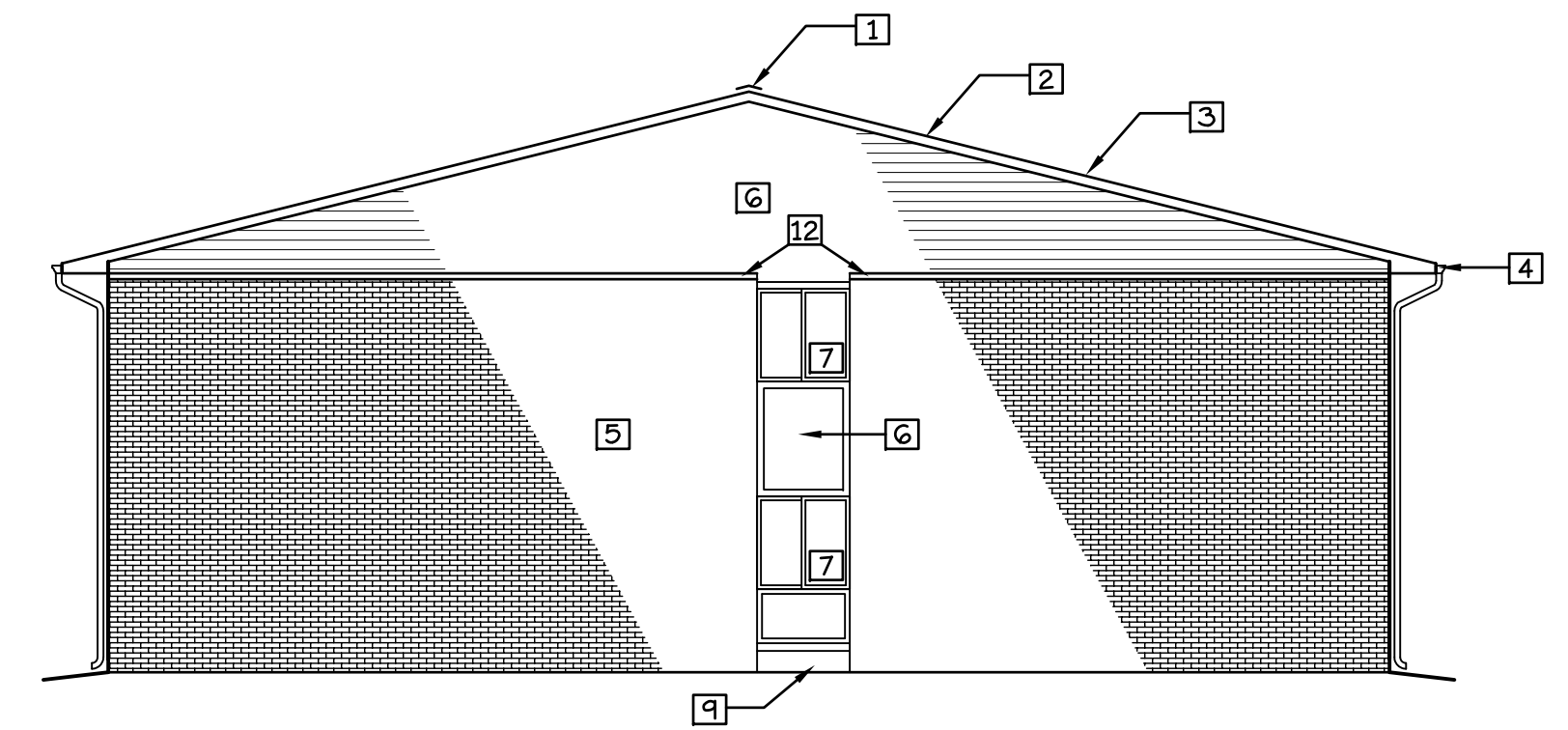


**BLDG'S '2','3','5','8'
FRONT ELEVATION**
SCALE: 1/8"=1'-0"

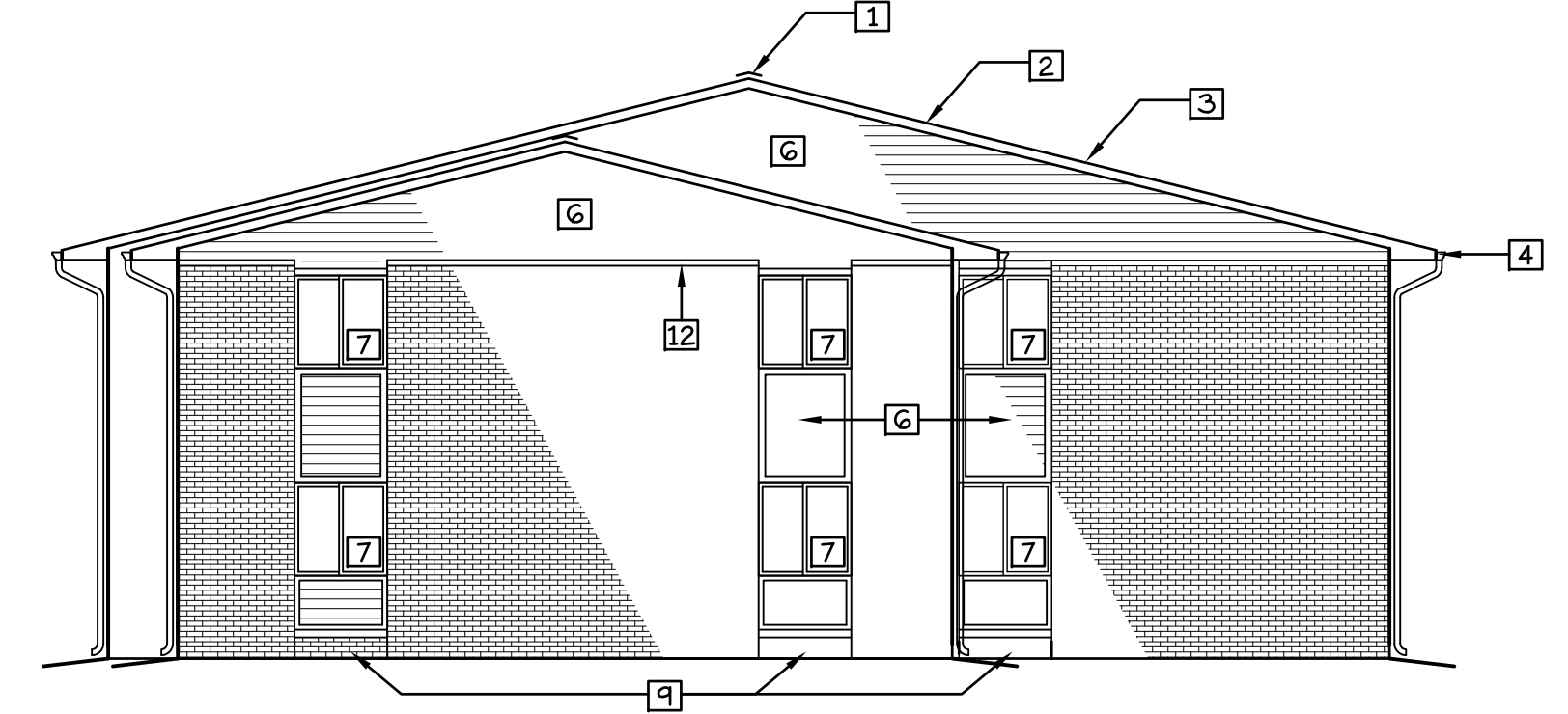


**BLDG'S '2','3','5','8'
REAR ELEVATION**
SCALE: 1/8"=1'-0"

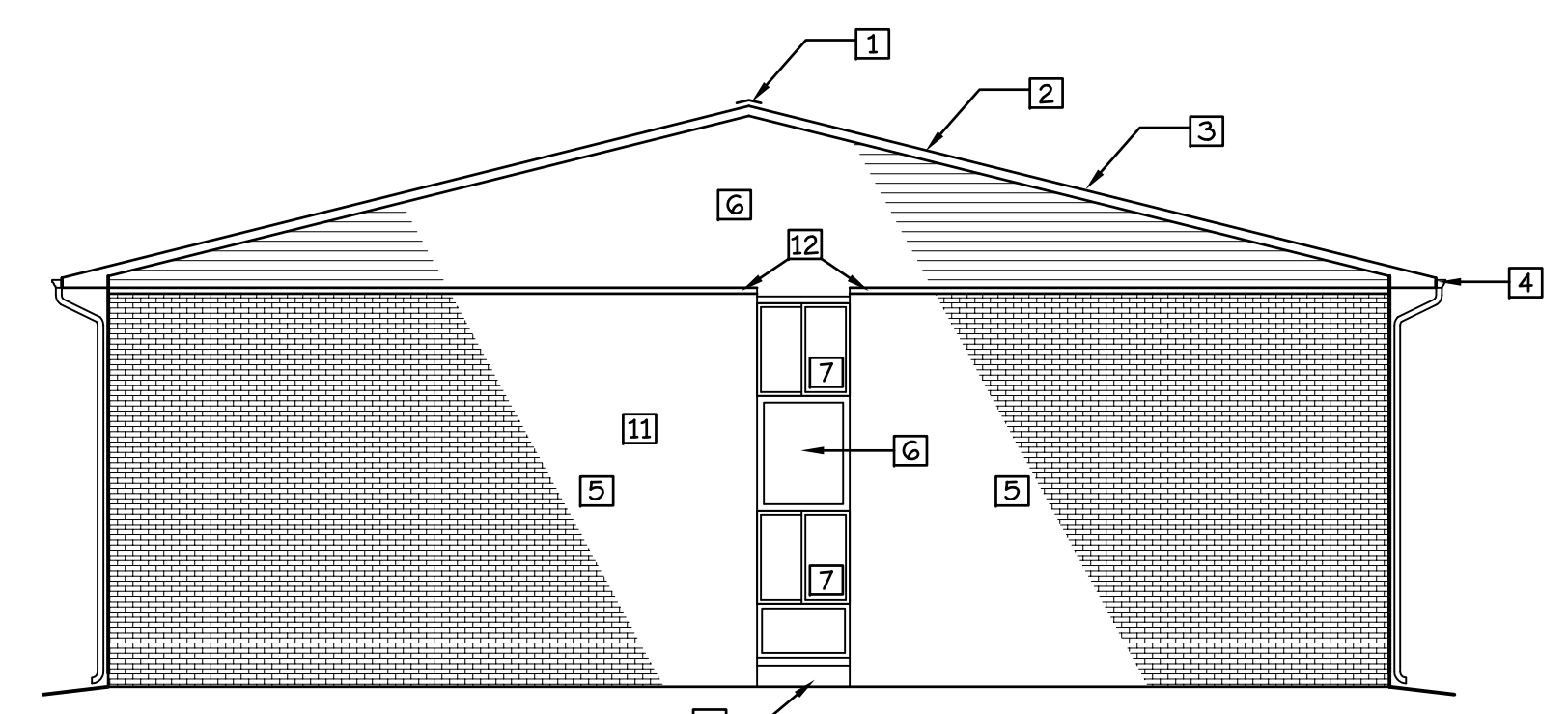
- ELEVATION NOTES:**
- 1 NEW SHINGLE OVER RIDGE VENTS
 - 2 NEW MTL. DRIP EDGE AND HARDI-TRIM FASCIA TO MATCH EXISTING SIZE REMOVED. (PAINT).
 - 3 NEW 30 YR. ASPHALT DIMENSIONAL ROOF SHINGLES (ANTI-FUNGAL) OVER 15# FELT.
 - 4 NEW HARDI-TRIM FASCIA, ALUMN. 5' OGEE GUTTERS AND 2x3 DOWNSPOUTS. PROVIDE CONC. SPLASH BLOCKS AT EACH DOWNSPOUT.
 - 5 EXISTING BRICK (PRESSURE WASH)
 - 6 REMOVE VINYL SIDING. PROVIDE AND INSTALL NEW HARDI-LAP SIDING AND TRIM OVER TYVEK HOUSE WRAP AND PAINT.
 - 7 REMOVE EXISTING WINDOW UNITS. PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR 0.32. + SHGC 0.29.
 - 8 PROVIDE AND INSTALL NEW 'ENERGY STAR' ENTRY LIGHT.
 - 9 PROVIDE AND INSTALL NEW BRCK APRON W/ROWLOCK 8' A.F.F.
 - 10 WITHIN BRZWY. PAINT ALL EXPOSED STEEL, DECKING AND GUARDRAILS.
 - 11 FOR BLDG. 8 THAT WAS PREVIOUSLY REPAIRED. REMOVE VINYL SIDING. PROVIDE AND INSTALL TYVEK AND FACE BRICK W/TIES TO MATCH THE APPEARANCE OF THE OTHER BUILDINGS ON SITE.
 - 12 NEW MTL. BRICK CAP FLASHING (PRE-FINISHED) TO MATCH SIDING.



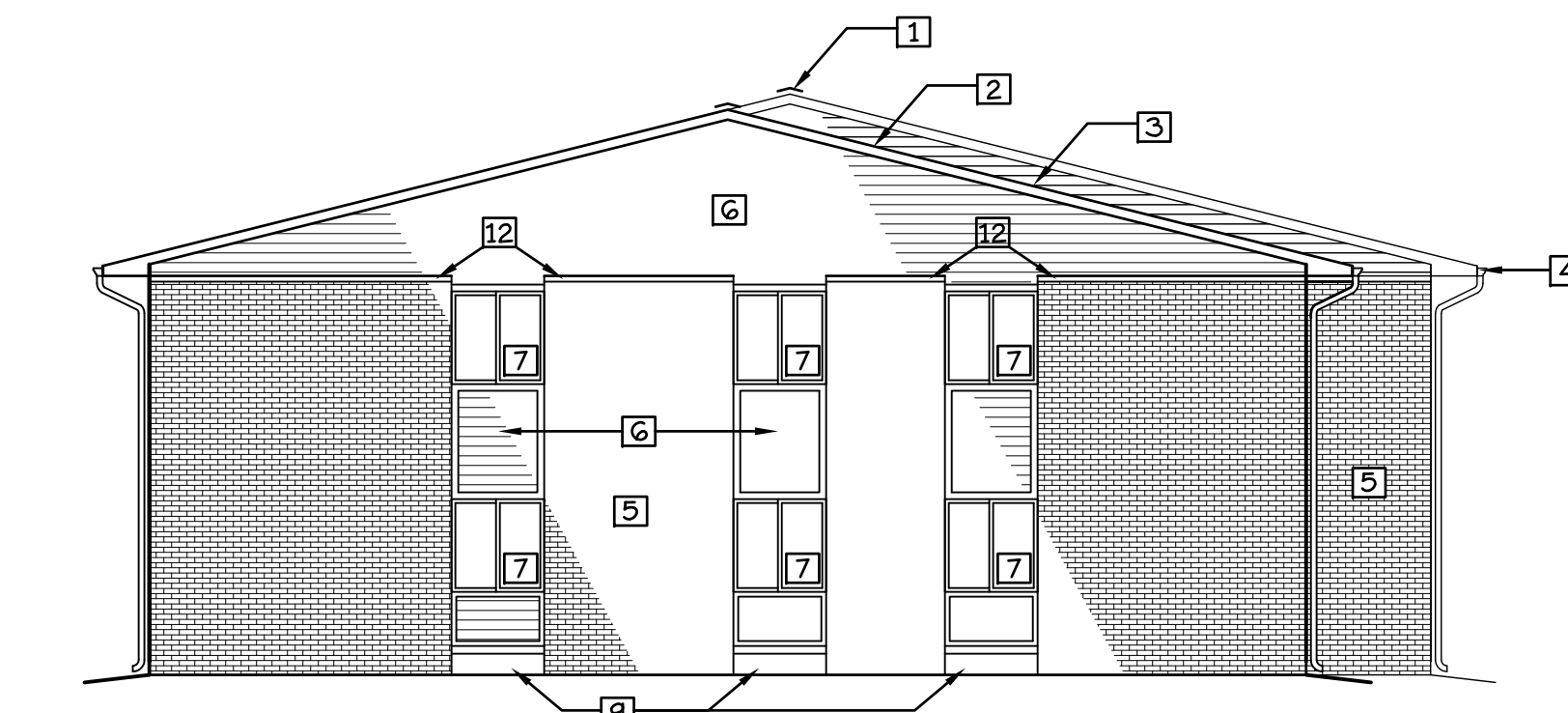
**BLDG'S '1','4','6','7'
SIDE ELEVATION**
SCALE: 1/8"=1'-0"



**BLDG'S '1','4','6','7'
SIDE ELEVATION**
SCALE: 1/8"=1'-0"



**BLDG'S '2','3','5','8'
SIDE ELEVATION**
SCALE: 1/8"=1'-0"



**BLDG'S '2','3','5','8'
SIDE ELEVATION**
SCALE: 1/8"=1'-0"

| | | | |
|---------------|---------------|---------------|---------------|
| CAD FILE: | | | |
| DRWN. BY: MGA | CHKD. BY: MDA | APPR. BY: MDA | DATE: 6-30-16 |
| REVISIONS | | | |

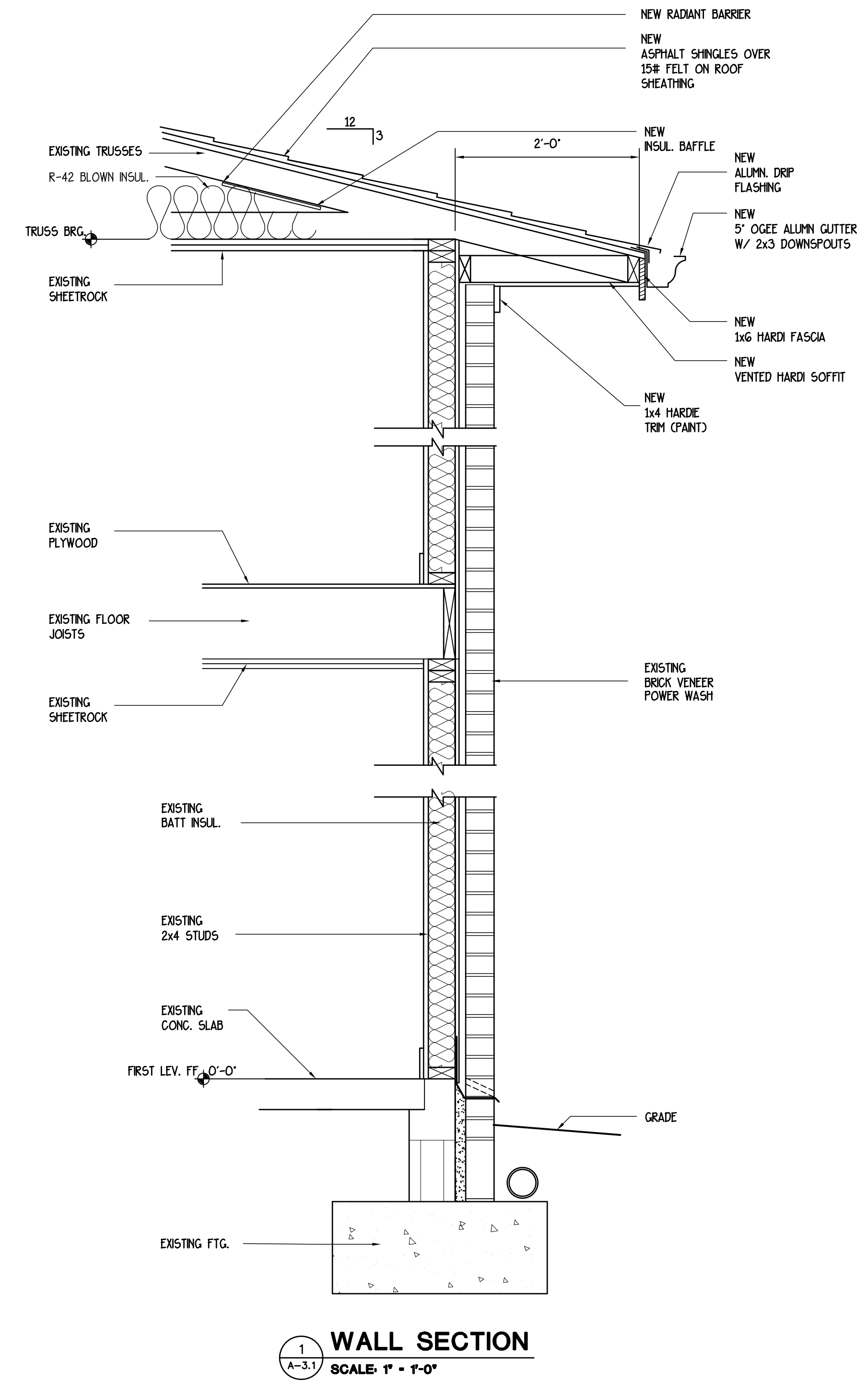
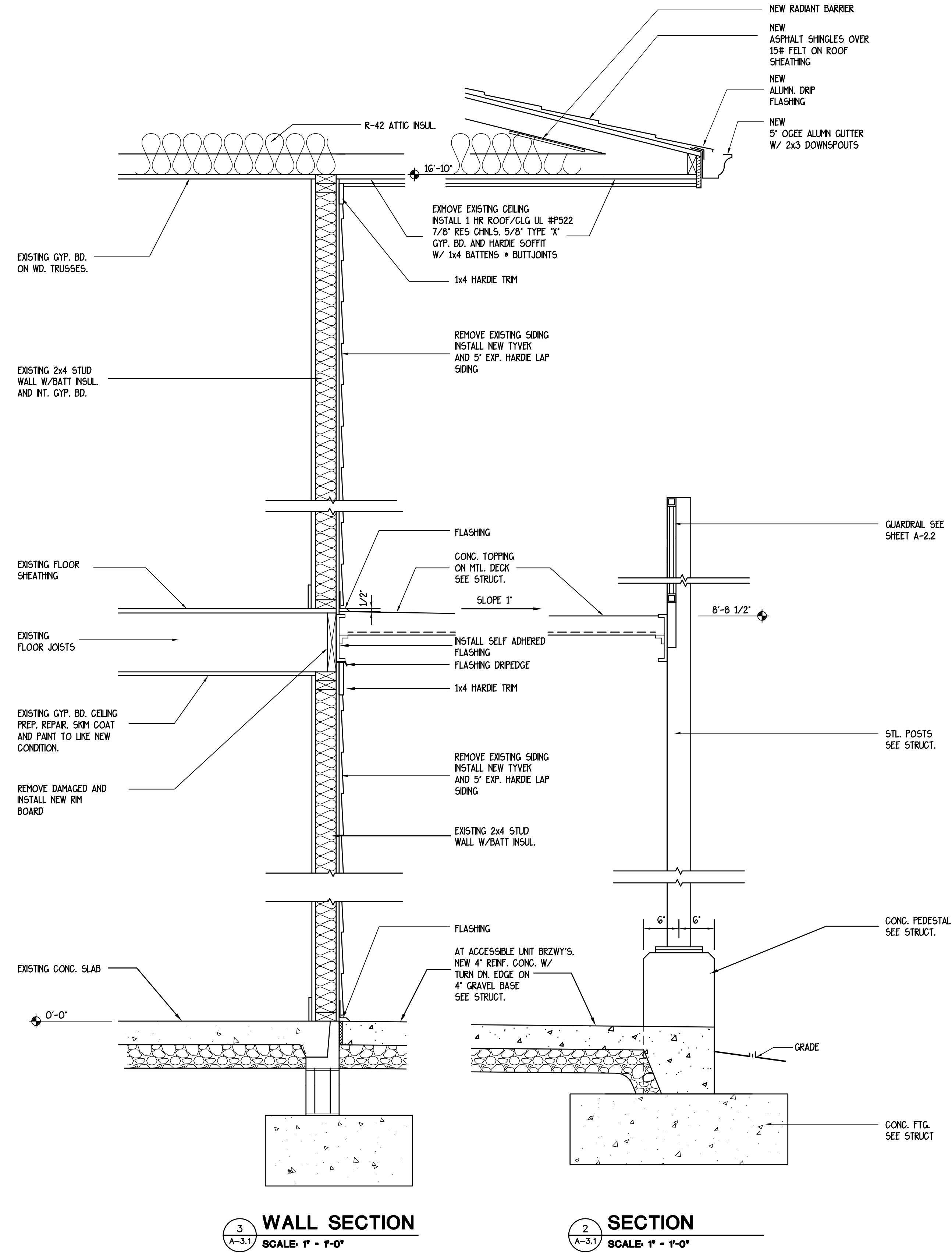
WHITE RIVER APARTMENTS
 2800 MARION DRIVE
 DIAZ, ARKANSAS

EXTERIOR ELEVATIONS

ALLAN ASSOCIATES ARCHITECTS, PLLC

6516 WALLWOOD ROAD
 KNOXVILLE, TENNESSEE 37912
 865 / 689-1302

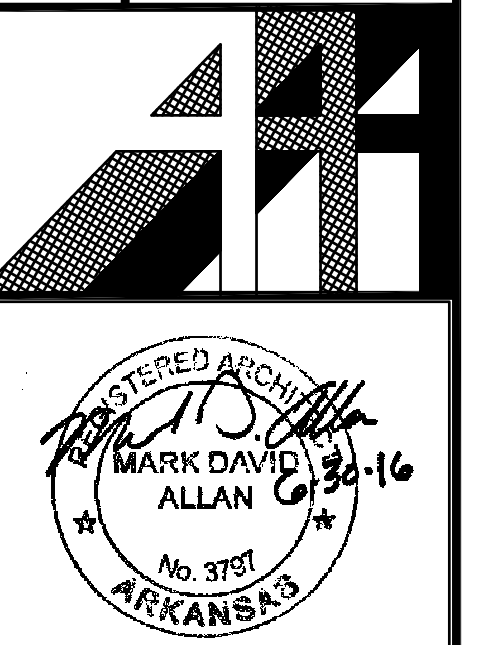
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| DRWN. BY: MGA |
| CHKD. BY: MDA |
| APPR. BY: MDA |
| DATE: 6-30-16 |
| REVISIONS |



WHITE RIVER APARTMENTS WALL SECTIONS

2800 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC



SHEET NUMBER

A-3.1

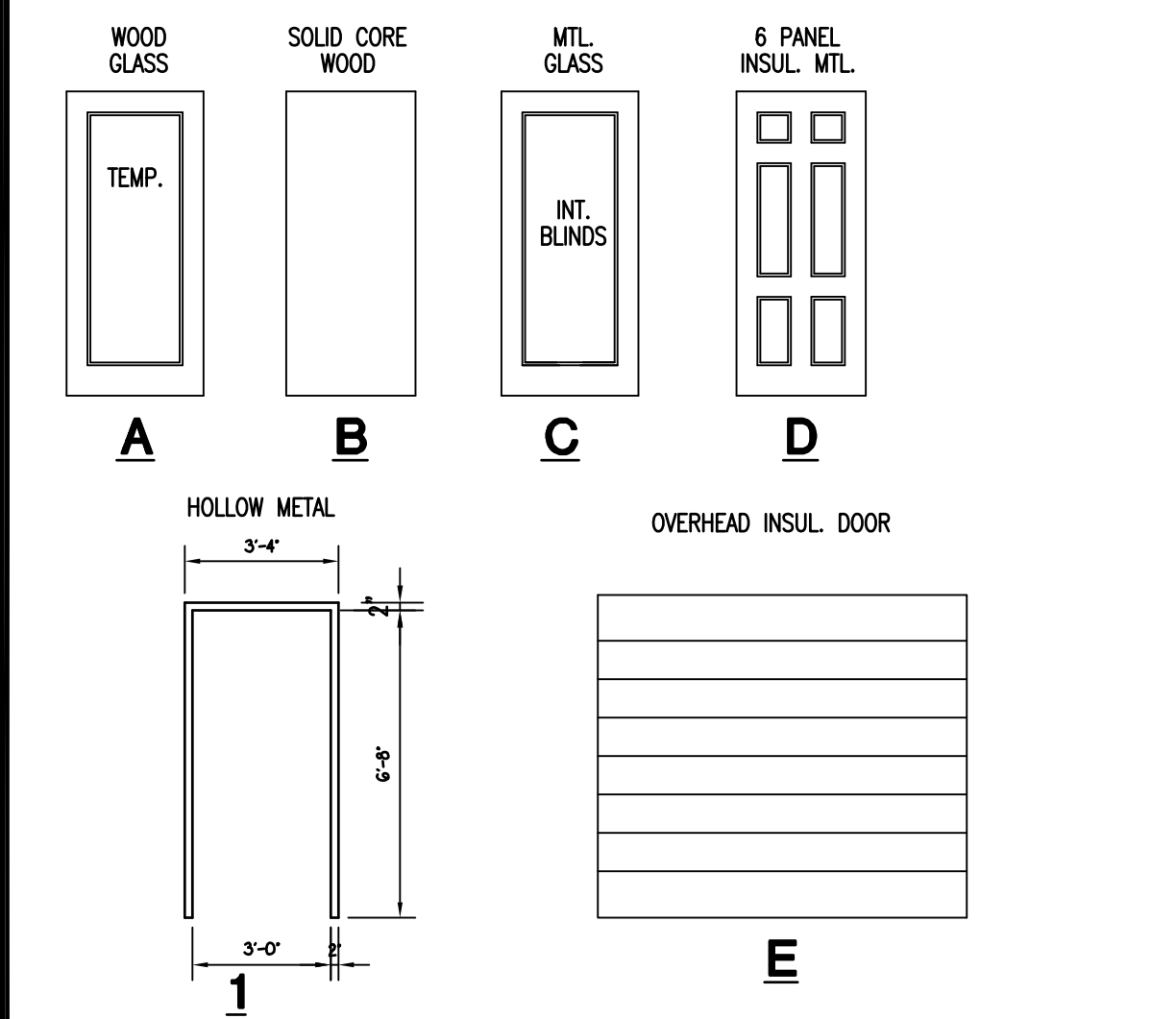
KNOXVILLE, TENNESSEE 37912

865 / 689-1302

6516 WALLWOOD ROAD

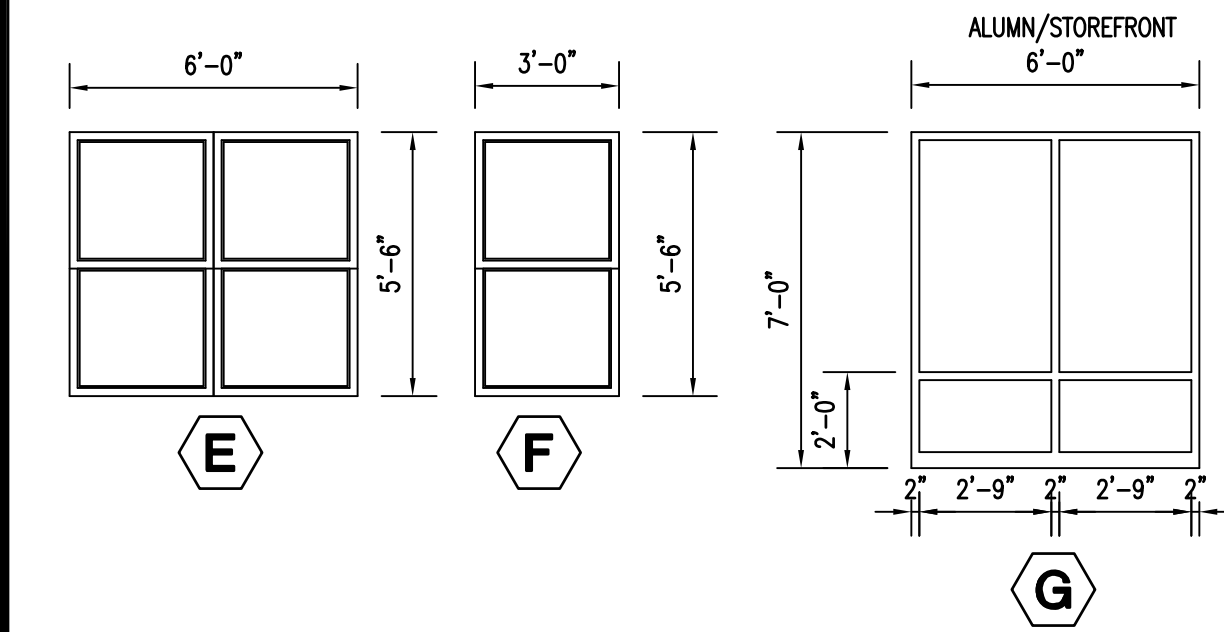
| RM. NO. | ROOM NAME | FLOOR | BASE | WALLS | CEIL. | CEIL. HT. | REMARKS |
|---------|-----------------|-------|------|-------|-------|-----------|---------|
| 101 | WAITING | VP | V | PNT | PNT | 9'-0" | |
| 102 | RECEPTION | VP | V | PNT | PNT | 9'-0" | |
| 103 | MANAGER | VP | V | PNT | PNT | 9'-0" | |
| 104 | FILES | VP | V | PNT | PNT | 9'-0" | |
| 105 | ELEC./ SECURITY | VP | V | PNT | PNT | 9'-0" | |
| 106 | COMMUNITY ROOM | VP | V | PNT | PNT | 9'-0" | |
| 107 | LAUNDRY | VP | V | PNT | PNT | 9'-0" | |
| 108 | WOMEN | PT | V | PNT | PNT | 9'-0" | |
| 109 | MEN | PT | V | PNT | PNT | 9'-0" | |
| 110 | MAINTENANCE | EPOXY | V | PNT | PNT | 9'-0" | |

| NO. | SIZE | TYPE | FRAME | T-HOLD | HDWE. | REMARKS |
|-----|------------------------|------|-------|--------|-------|-----------------------|
| 1 | 3'-0" X 6'-8" X 1 3/4" | C | MTL | ADA | LOCK | |
| 2 | 3'-0" X 6'-8" X 1 3/4" | A | MTL | | LOCK | |
| 3 | 3'-0" X 6'-8" X 1 3/4" | B | MTL | | LOCK | |
| 4 | 3'-0" X 6'-8" X 1 3/4" | B | MTL | | LOCK | |
| 5 | 3'-0" X 6'-8" X 1 3/4" | A | MTL | | LOCK | |
| 6 | 3'-0" X 6'-8" X 1 3/4" | C | MTL | ADA | LOCK | W/FULL VIEW SIDELITE |
| 7 | 3'-0" X 6'-8" X 1 3/4" | B | MTL | | LOCK | 45 MIN RATED W/CLOSER |
| 8 | OPEN | | | | | |
| 9 | 3'-0" X 6'-8" X 1 3/4" | B | MTL | | PRIV | |
| 10 | 3'-0" X 6'-8" X 1 3/4" | B | MTL | | PRIV | |
| 11 | 3'-0" X 6'-8" X 1 3/4" | B | MTL | | LOCK | 45 MIN RATED W/CLOSER |
| 12 | 3'-0" X 6'-8" X 1 3/4" | D | MTL | ADA | LOCK | |
| 13 | 8'-0" X 7'-0" X | E | TRACK | | LOCK | OVERHEAD COIL |

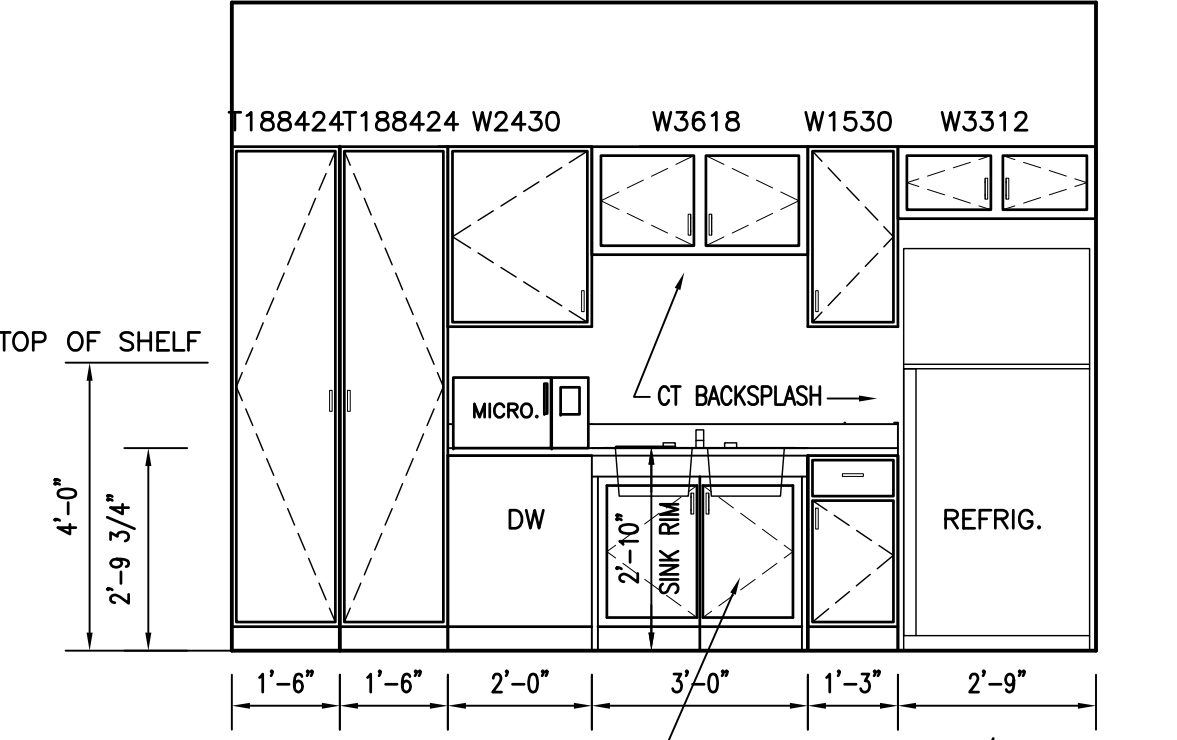
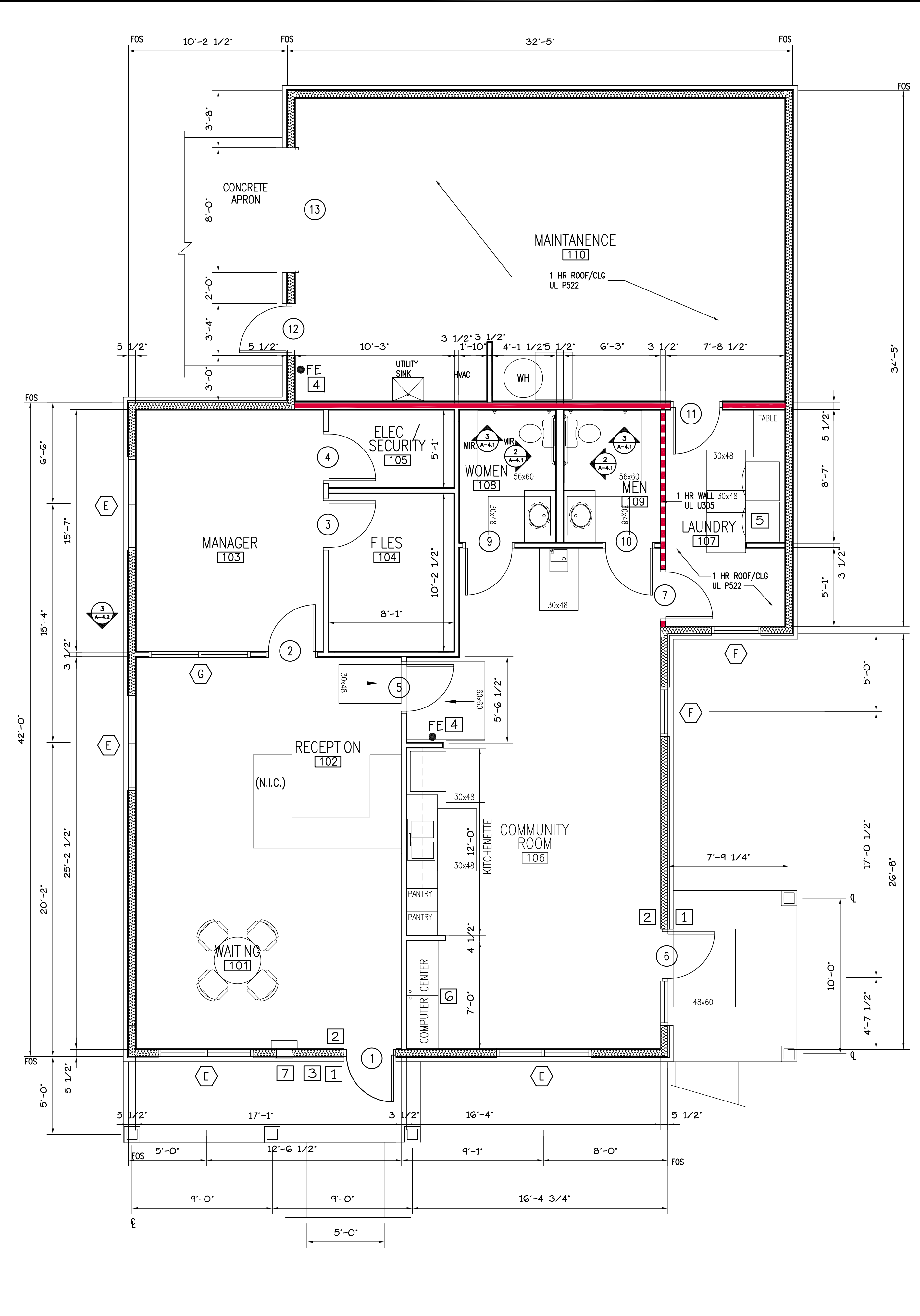


| NO. | SIZE | GLAZING | TYPE |
|-----|-------------------|---------|---|
| E | (2) 3'-0" X 5'-6" | 5/8" | VINYL SINGLE HUNG INSULATED GLASS, LOW E W/ ARGON |
| F | 3'-0" X 5'-6" | 5/8" | VINYL SINGLE HUNG INSULATED GLASS, LOW E W/ ARGON |

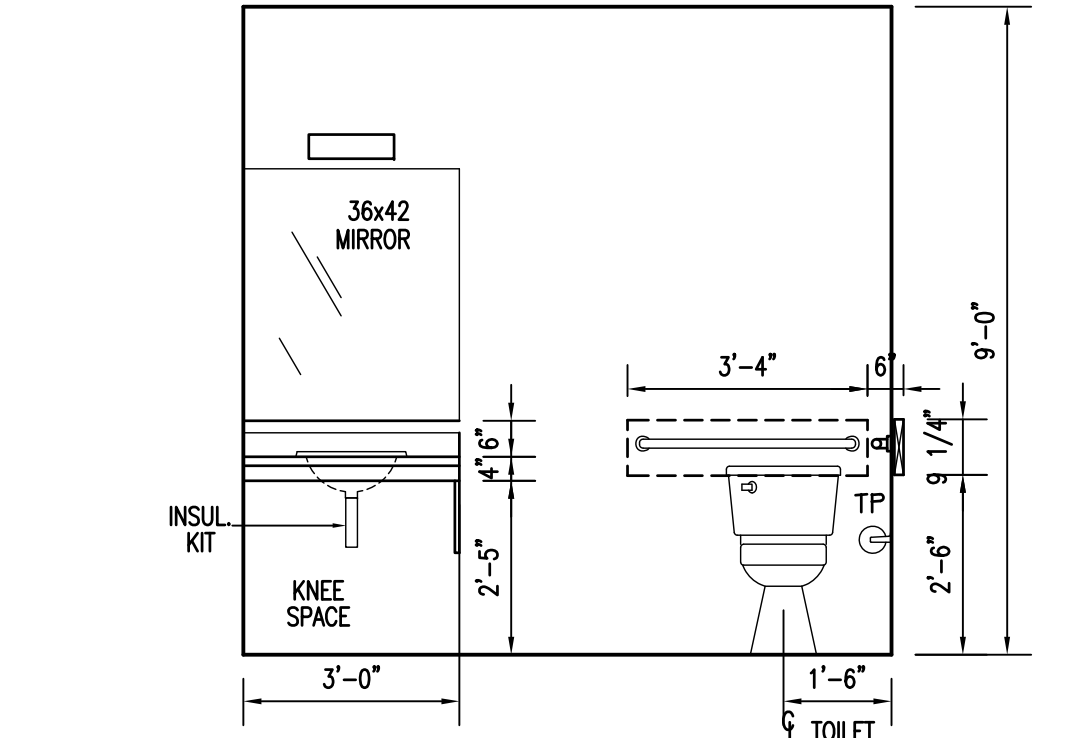
NOTE: PROVIDE VINYL BLINDS W/ ALL ACCESSORIES AS RECOMMENDED FOR REQ'D INSTALLATION AT ALL WINDOWS.



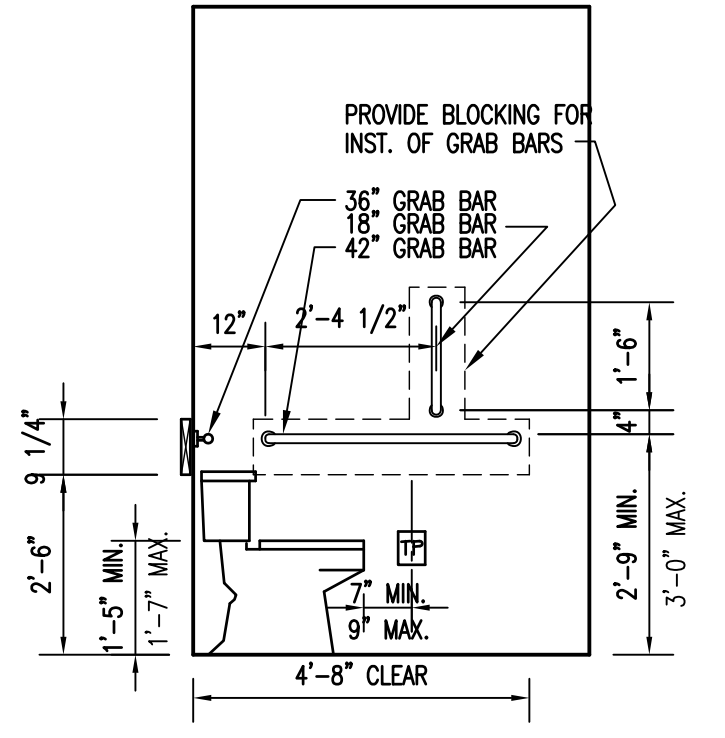
COMMUNITY/OFFICE FLOOR PLAN
SCALE: 1/4" = 1'-0" 2,275 SF GROSS



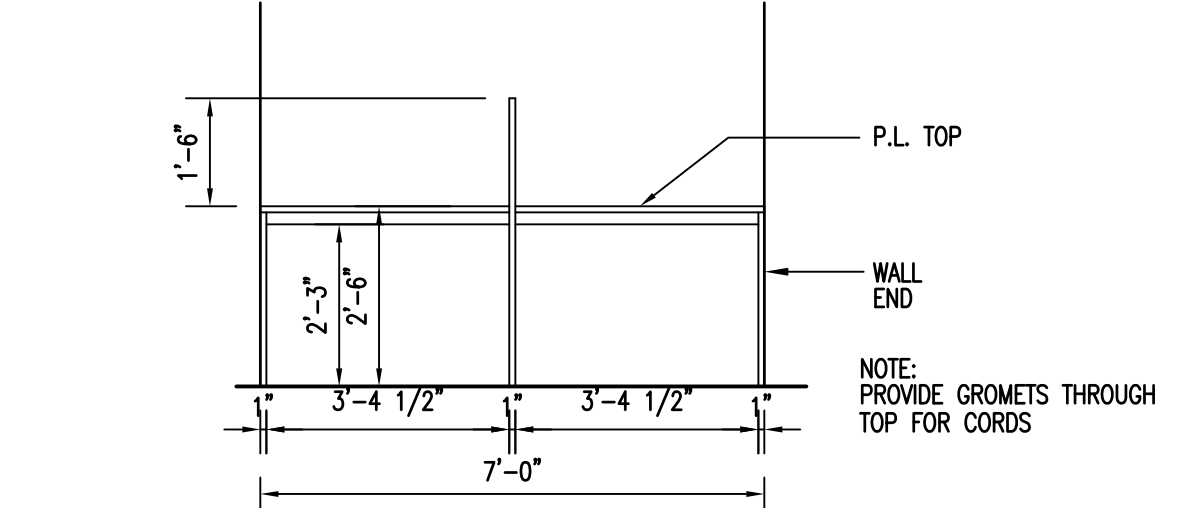
1 KITCHEN
SCALE: 3/8" = 1'-0"



2 TOILET
SCALE: 3/8" = 1'-0"



3 TOILET
SCALE: 3/8" = 1'-0"



4 COMPUTER CENTER
SCALE: 3/8" = 1'-0"

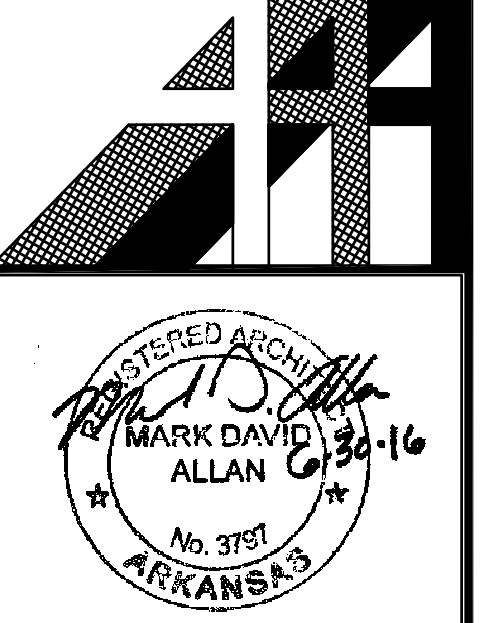
- PLAN NOTES:**
- ACCESSIBLE BUILDING ENTRANCE SIGN W/ INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED W/CENTERLINE 54" A.F.F.
 - TACTILE SIGNAGE STATING "EXIT" W/BRAILLE MOUNTED W/CENTERLINE 54" A.F.F.
 - LEASING CENTER OFFICE HOURS SIGN. SEE CS-1
 - WALL MOUNTED FIRE EXTINGUISHER. REFER TO SPEC BOOK
 - PROVIDE AND INSTALL ONE "ENERGY STAR" WASHER AND DRYER THAT MEET ACCESSIBILITY STANDARDS OF UFAS AND ADA WITH RESPECT TO REACH RANGE AND CONTROLS.
 - COMPUTER CENTER W/HIGH SPEED INTERNET
 - RENT DROP BOX. REFER TO SPEC BOOK.

- WALL LEGEND**
- INDICATES 1 HR RATED WALL. UL# U305
 - TYPICAL INTERIOR PARTITION: 2x4 WD. STUDS + 16" O.C. W/ 5/8" GYP. BD. EA. SIDE. PROVIDE AND INSTALL 3" SOUND BATT W/IN ALL STUD CAVITIES
 - INDICATES 1 HR RATED WALL. UL# U305 W/ FLYWD. ONE SIDE SEE STRUCT. DWG'S.

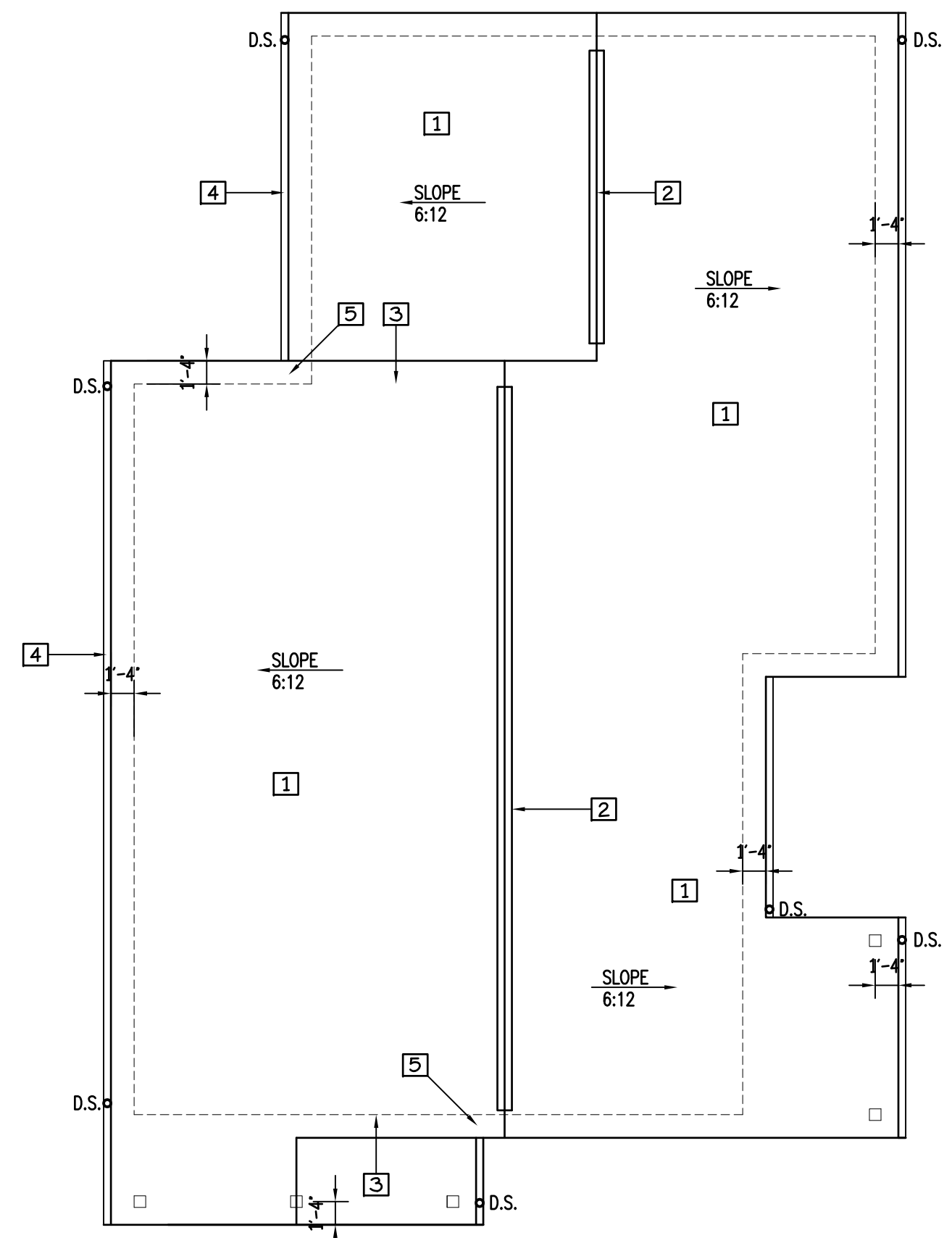
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| DRWN. BY: MGA |
| CHKD. BY: MDA |
| APPR. BY: MDA |
| DATE: 8-30-16 |
| REVISIONS |

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC
686 / 689-1302
5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912

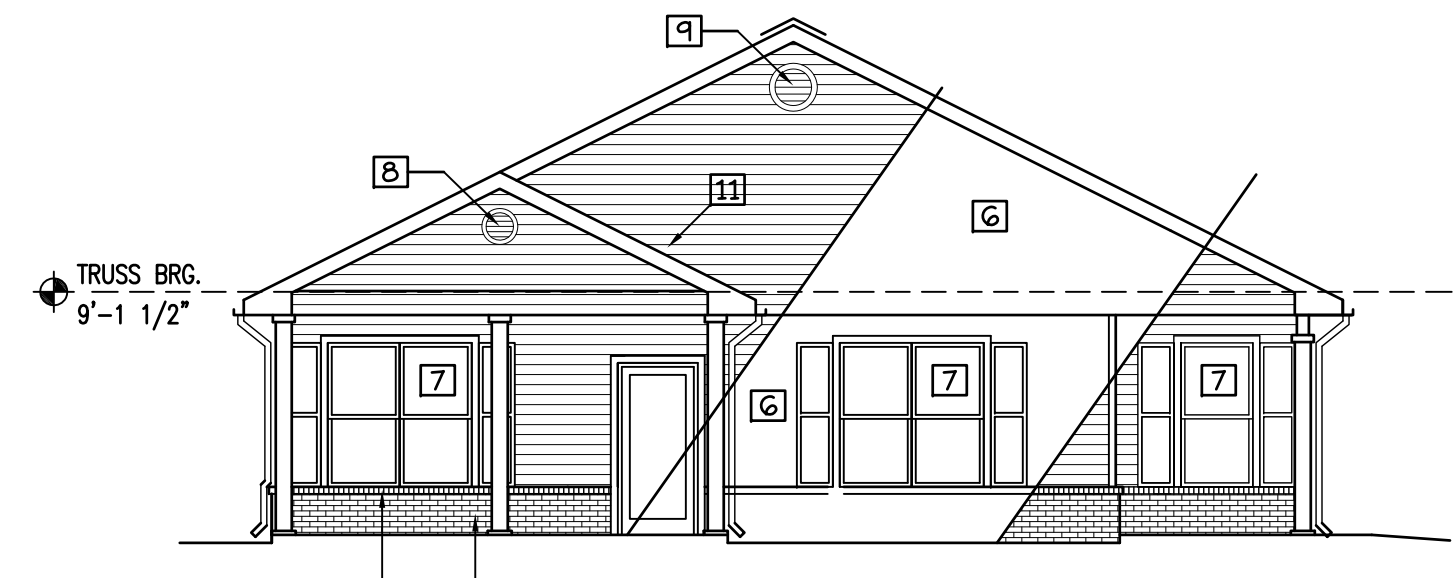


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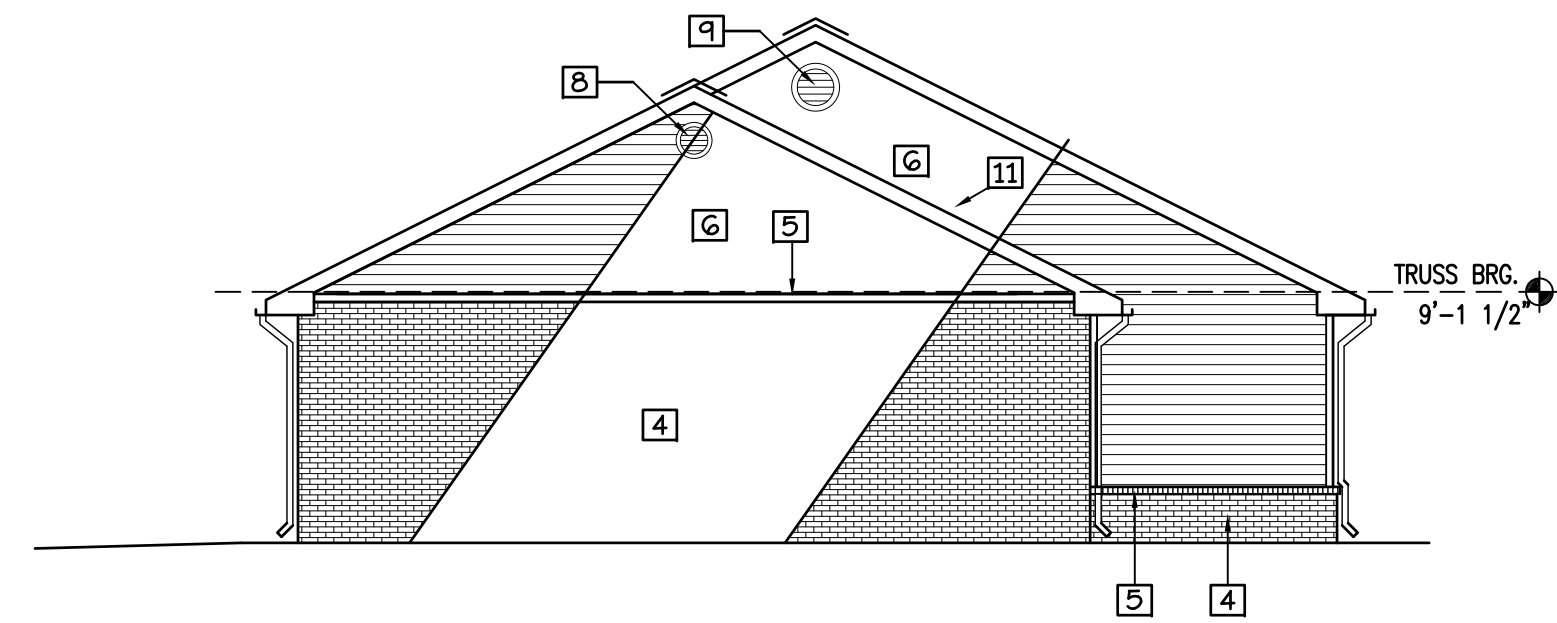


COMMUNITY/OFFICE ROOF PLAN
SCALE: 1/8" = 1'-0"

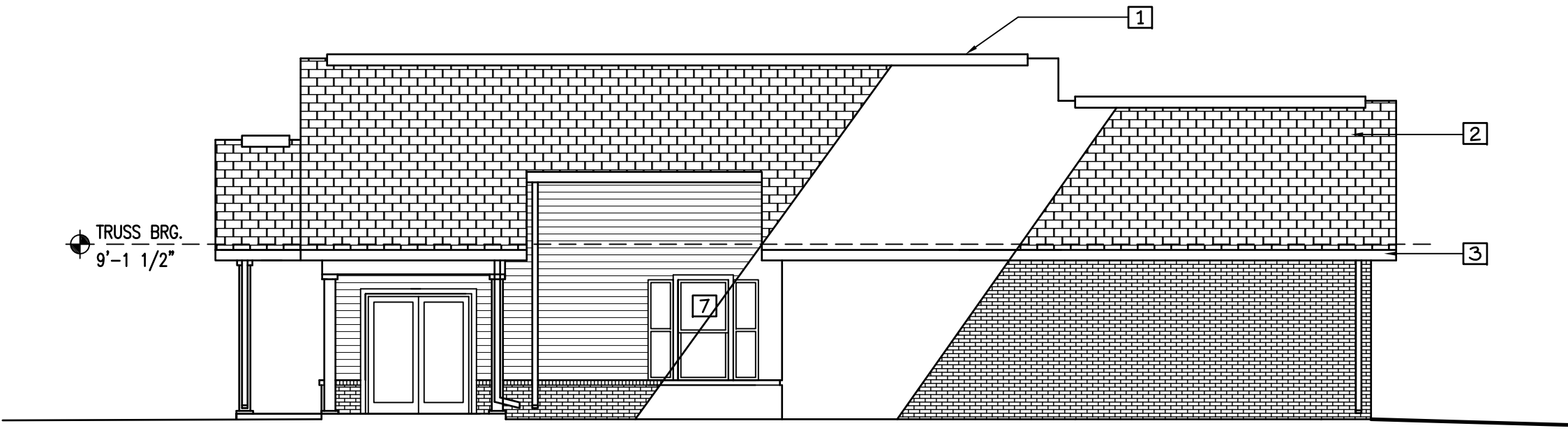
- ROOF PLAN NOTES:**
- 1 30 YR DIM. ROOF SHINGLES, ANTI-FUNGAL ON 15# FELT SEE SPEC.
 - 2 SHINGLE OVER RIDGE VENT. SEE SPEC.
 - 3 PROVIDE AND INSTALL STEP FLASHING.
 - 4 5" ALUMN OGEE GUTTERS AND 3x4 DOWNSPOUTS W/ CONC. SPLASH BLOCKS.
 - 5 KICK-OUT FLASHING • GUTTER.



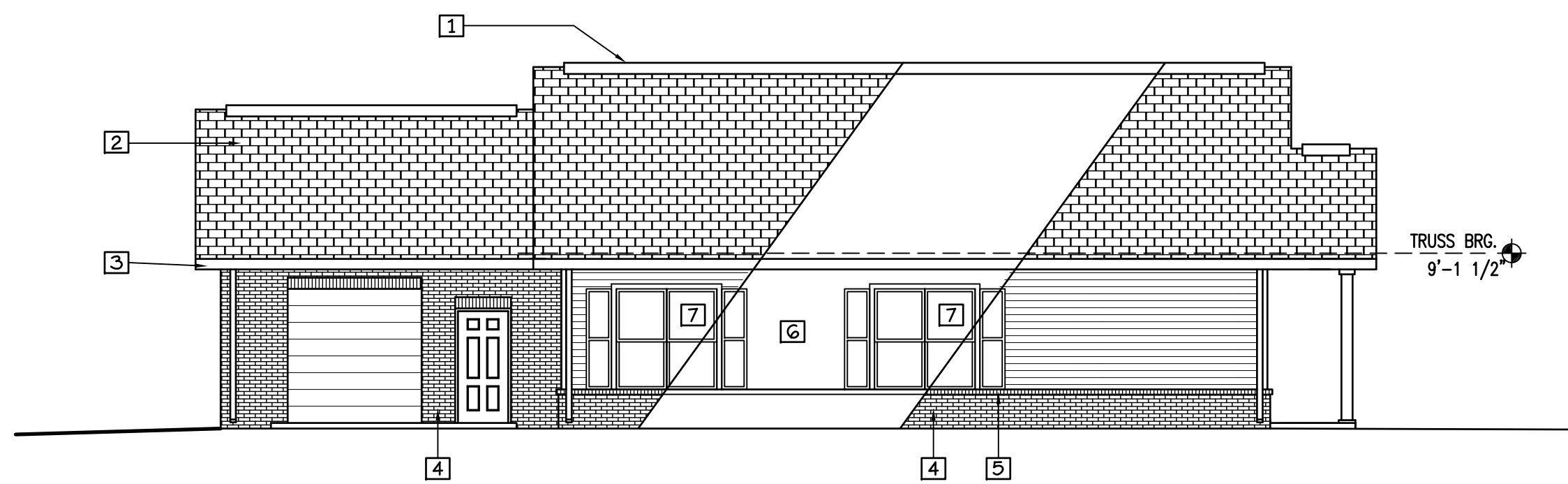
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION NOTES:**
- 1 SHINGLE OVER RIDGE VENT.
 - 2 ASPHALT 30 YR. DIM. ROOF SHINGLES (ANTI-FUNGAL) ON 15# FELT
 - 3 5" OGEE ALUMN GUTTER, 3x4 DOWN SPOUTS AND CONC. SPLASH BLOCKS.
 - 4 BRICK VENEER OVER TYVEK
 - 5 BRICK ROWLOCK W/1' SLOPE
 - 6 HARDI-LAP SIDING OVER TYVEK.
 - 7 VINYL WINDOWS W/INSULATED ARGON FILLED GLASS W/ LOW-E COATING. U-0.32 + 5HGC 0.29
 - 8 16" DIA. VINYL VENT W/ INSECT SCREEN
 - 9 24" DIA. VINYL VENT W/ INSECT SCREEN
 - 10 ROOF SUPPORT COLUMNS W/ 1x8 HARDI TRIM WRAP AND 1x4 HARDI TRIM CAP AND BASE
 - 11 PROVIDE AND INSTALL STEP FLASHING. SIDING SHALL BE MIN. 2' ABOVE ROOF LINE.

| | |
|---------------|---------------|
| DRWN. BY: MGA | CHKD. BY: MDA |
| APPR. BY: MDA | DATE: 6-30-16 |
| REVISIONS | |
| | |
| | |
| | |

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

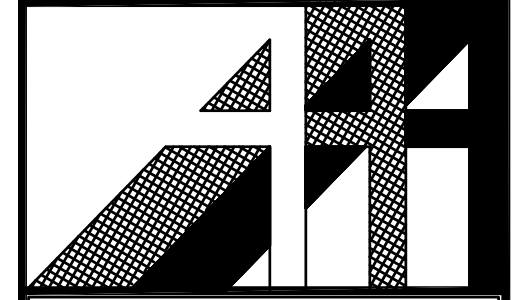
OFFICE / COMMUNITY ROOM ELEVATIONS

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

866 / 689-1302

5616 WALLWOOD ROAD

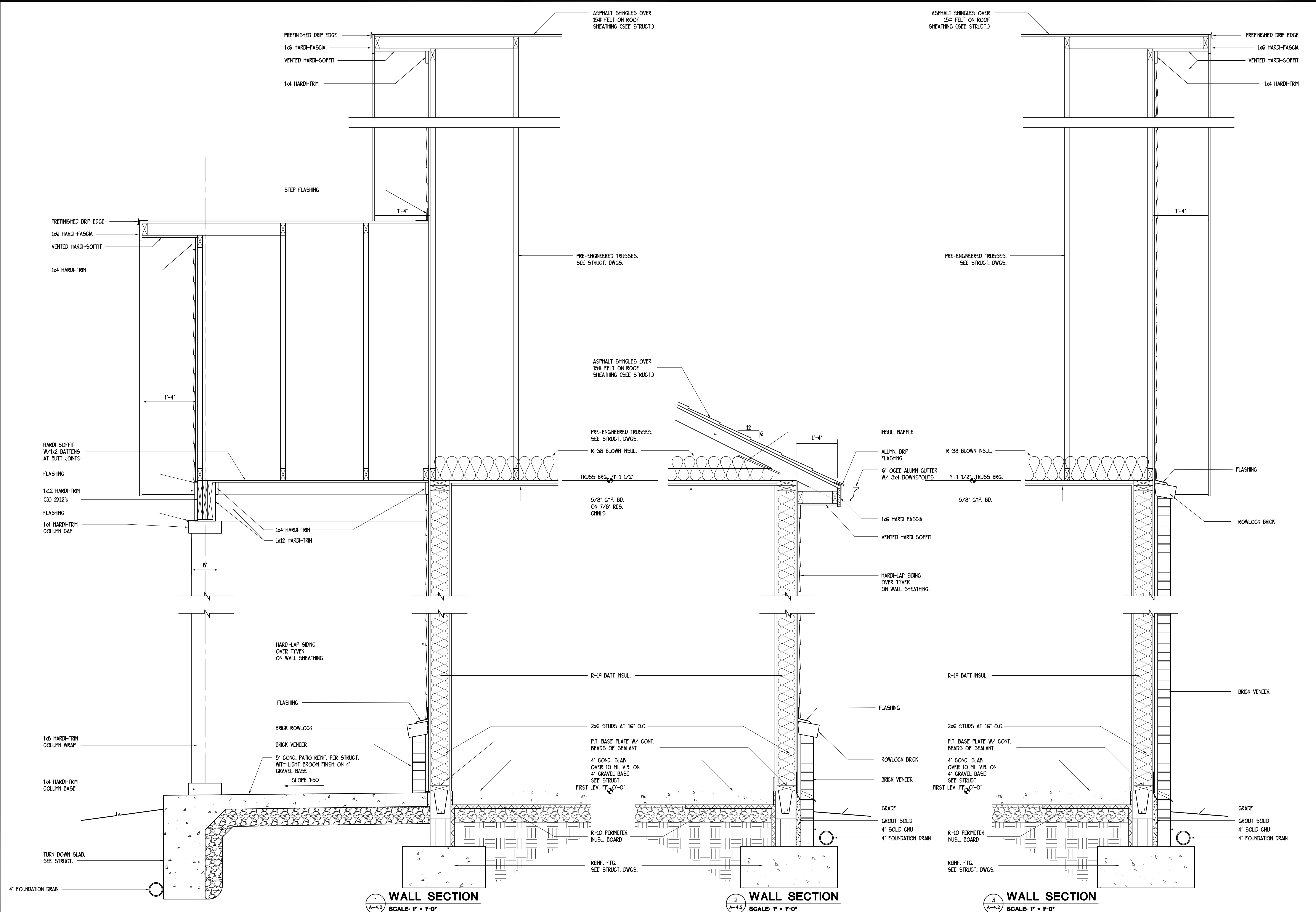


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| CHKD. BY: MDA | |
| APPR. BY: MDA | |
| DATE: 6-30-16 | |
| REVISIONS | |

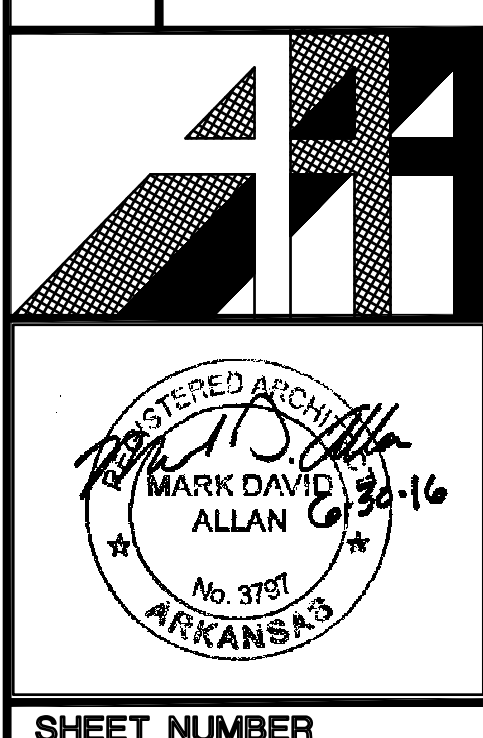
WHITE RIVER APARTMENTS WALL SECTIONS
 2800 MARION DRIVE DIAZ, ARKANSAS
ALLAN ASSOCIATES ARCHITECTS, PLLC
 6516 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912
 865 / 689-1302



1 WALL SECTION
 SCALE: 1" = 1'-0"

2 WALL SECTION
 SCALE: 1" = 1'-0"

3 WALL SECTION
 SCALE: 1" = 1'-0"



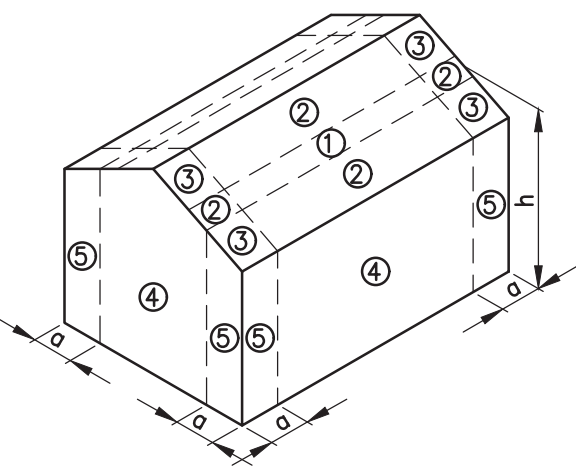
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A-4.2

STRUCTURAL GENERAL NOTES

1.0 DESIGN AND CODE INFORMATION

- 1.1 THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE. ALL DESIGN, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REFERENCED CODE(S). UNLESS SPECIFIED OTHERWISE, ALL EDITIONS OF CODES AND STANDARDS SHALL BE AS SET FORTH IN THE ABOVE GOVERNING CODE.
- 1.2 THESE STRUCTURAL DRAWINGS PERTAIN TO THE STAIR AND ELEVATED WALKWAY FRAMING REPLACEMENT AT THE EXISTING APARTMENT BUILDINGS AND TO THE NEW OFFICE / COMMUNITY ROOM. THE CURRENT 5" THICK ELEVATED SLAB & DISTRESSED / CORRODED FLOOR FRAMING ON THE EXISTING APARTMENT BUILDINGS IS BEING REPLACED WITH NEW 4 1/2" THICK ELEVATED FLOOR SLAB & FLOOR FRAMING. AS THE REPLACEMENT DOES NOT RESULT IN AN INCREASE IN SEISMIC DESIGN LOAD, THE EXISTING STRUCTURES WERE NOT ANALYZED FOR LATERAL STABILITY. FOR THE NEW ONE-STORY COMMUNITY ROOM AND OFFICE FACILITY, LATERAL STABILITY IS ACHIEVED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE.
- 1.3 ROOF DEAD LOADS:
 ROOFING 2.5 PSF
 SHEATHING 2.0 PSF
 WOOD TRUSSES 4.0 PSF
 INSULATION ALLOWANCE 2.0 PSF
 M.P. & E ALLOWANCE 5.0 PSF
 CEILING 3.0 PSF
- 1.4 ELEVATED STAIR LANDING DEAD LOADS:
 CONCRETE SLAB & METAL FORM DECK 45.0 PSF
 SOFFIT 5.0 PSF
 M. P. & E ALLOWANCE 3.0 PSF
- 1.5 STRUCTURAL ROOF MEMBERS SHALL BE DESIGNED FOR A BASE ROOF LIVE LOAD OF 20 PSF. BASE ROOF LIVE LOADS MAY BE REDUCED AS PERMITTED BY THE BUILDING CODE.
- 1.6 ELEVATED FLOORS ARE DESIGNED FOR THE FOLLOWING BASE LIVE LOADS. BASE LIVE LOADS ARE REDUCED AS ALLOWED IN THE BUILDING CODE.
- 1.7 INTERIOR PARTITION MINIMUM DESIGN LATERAL LOAD = 5 PSF
- 1.8 SNOW LOADS: DISTRIBUTION COEFFICIENTS SHALL BE APPLIED TO THE BASE LOAD AS REQUIRED BY THE BUILDING CODE WHERE:
 $P_g = 10$ PSF
 $C_e = 1.0$
 $C_d = 1.0$
 $C_t = 1.0$
- 1.9 THE ITEMS INCLUDED IN THIS PROJECT ARE DESIGNED FOR THE FOLLOWING WIND LOADS:
 BASIC WIND SPEED: 115 MPH
 RISK CATEGORY: II
 BUILDING CATEGORY: ENCLOSED
 WIND EXPOSURE: B
 INTERNAL PRESSURE COEFFICIENT: +0.18/-0.18
 DESIGN WIND PRESSURE COMPONENTS AND CLADDING:

| LOCATION | ZONE | EFFECTIVE WIND AREA (SF) | DESIGN WIND PRESSURE |
|----------|------|--------------------------|----------------------|
| ROOF | 1 | 10 | +16 -21.8 |
| | | 20 | +16 -21.1 |
| | | 50 | +16 -20.3 |
| | | 100 | +16 -19.7 |
| | | 10 | +16 -37.9 |
| | 2 | 20 | +16 -34.8 |
| | | 50 | +16 -30.8 |
| | | 100 | +16 -27.8 |
| | | 10 | +16 -56.0 |
| | | 20 | +16 -52.0 |
| 3 | 50 | +16 -47.9 | |
| | 100 | +16 -43.9 | |
| | 10 | +23.8 -25.8 | |
| | 20 | +22.7 -24.7 | |
| | 50 | +21.3 -23.3 | |
| 4 | 100 | +20.2 -22.2 | |
| | 10 | +23.8 -31.8 | |
| | 20 | +22.7 -29.7 | |
| | 50 | +21.3 -26.9 | |
| | 100 | +20.2 -24.7 | |
| WALLS | 5 | 10 | +23.8 -31.8 |
| | | 20 | +22.7 -29.7 |
| | | 50 | +21.3 -26.9 |
| | | 100 | +20.2 -24.7 |



- ZONE 1 ROOF
 ZONE 2 WITHIN 4.0' OF EDGE OF ROOF
 ZONE 3 WITHIN 4.0' OF CORNER OF ROOF
 ZONE 4 WALLS
 ZONE 5 WITHIN 4.0' OF CORNER OF BUILDING
- DESIGN WIND PRESSURES - "+" AND "-" SIGNS SIGNIFY PRESSURE ACTING TOWARD AND AWAY FROM EXTERIOR SURFACE

- 1.10 THE STRUCTURAL COMPONENTS ARE DESIGNED USING THE FOLLOWING SEISMIC LOAD DATA:
 OCCUPANCY CATEGORY: II
 SEISMIC IMPORTANCE FACTOR: I = 1.00
 SITE CLASS: D
 SPECTRAL RESPONSE COEFFICIENTS:
 $S_s = 0.887$
 $S_1 = 0.317$
 $S_{D1} = 0.677$
 $S_{D2} = 0.373$
- SEISMIC DESIGN CATEGORY: B BEARING WALL SYSTEM
 BASIC STRUCTURAL SYSTEM: CONTROLLING BASIC SEISMIC FORCE RESISTING SYSTEM:
 LIGHT-FRAMED WALL SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
- RESPONSE MODIFICATION FACTOR: R = 6.5
 DEFLECTION AMPLIFICATION FACTOR: C_d = 4.0
 SEISMIC RESPONSE COEFFICIENT: C_s = 0.104
 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

- 1.11 THE ROOF FRAMING SYSTEM HAS BEEN DESIGNED WITH THE ASSUMPTION THAT A DRAINAGE SYSTEM ADEQUATE TO PREVENT PONDING WILL BE PROVIDED.
- 1.12 SLABS-ON-GRADE ARE NOT DESIGNED FOR CONCENTRATED LOADS SUCH AS THOSE FROM FORKLIFTS OR STORAGE RACKS.
- 1.13 DESIGN LOADS FOR HANDRAILS SHALL BE AS FOLLOWS:
 A. 200 LB CONCENTRATED LOAD APPLIED AT ANY POINT AND IN ANY DIRECTION.
 50 P.L.F. APPLIED IN ANY DIRECTION.
 THESE LOADS ARE NOT TO BE APPLIED SIMULTANEOUSLY, BUT EACH SHALL BE APPLIED TO PRODUCE MAXIMUM STRESSES IN EACH OF THE RESPECTIVE HANDRAIL COMPONENTS.
- 1.14 DESIGN LOADS FOR GUARDRAILS SHALL BE AS FOLLOWS:
 A. 200 LB CONCENTRATED LOAD APPLIED AT ANY POINT AND IN ANY DIRECTION AT THE TOP OF THE GUARDRAIL.
 B. 50 P.L.F. APPLIED HORIZONTALLY AND A SIMULTANEOUS LOAD OF 100 P.L.F. APPLIED VERTICALLY DOWNWARD AT THE TOP OF THE GUARDRAIL.
 C. 200 LB CONCENTRATED HORIZONTAL LOAD APPLIED ON A ONE FOOT SQUARE AREA AT ANY POINT IN THE SYSTEM.
- 1.15 HANDRAILS SHALL BE 1 1/2 INCH x 1 1/2 INCH SQUARE TUBE. GUARDRAIL HORIZONTAL MEMBERS SHALL BE 1 1/2 INCH SQUARE TUBE. GUARDRAIL POSTS SHALL BE 1 1/2 INCH SQUARE TUBE SPACED 5'-0" MAXIMUM ON CENTER.
- 1.16 HANDRAILS AND GUARDRAILS SHALL BE DESIGNED AND DETAILED TO COMPLY WITH ALL APPLICABLE OSHA STANDARDS. PROVIDE TIE GUARDS AS REQUIRED BY OSHA.

2.0 ADDITIONAL CONTRACTOR RESPONSIBILITIES AND DEFINITIONS

- 2.1 SHOP DRAWINGS SHALL NOT BE REVIEWED FOR APPROVAL UNLESS CHECKED BY THE FABRICATOR AND APPROVED BY THE CONTRACTOR. REPRODUCTION OF CONTRACT DOCUMENTS FOR SHOP DRAWINGS WILL NOT BE PERMITTED OR ACCEPTED.
- 2.2 THE CONTRACTOR SHALL PROVIDE 10 WORKING DAYS IN HIS SCHEDULE FOR THE ENGINEER'S REVIEW OF EACH SUBMITTAL. THE 10 WORKING DAYS COMMENCE UPON THE ENGINEER'S RECEIPT OF A PROPERLY COMPLETED SUBMITTAL IN HIS OFFICE.
- 2.3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CERTIFY THAT HE HAS NOT MADE A CHANGE TO SPECIFIED MATERIALS ON SUBMITTALS.
- 2.4 THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION LOADS DO NOT EXCEED THE DESIGN LOADS INDICATED ON THE STRUCTURAL DRAWINGS AND THAT THESE LOADS ARE NOT PUT ON THE STRUCTURAL MEMBERS PRIOR TO THE TIME THAT ALL FRAMING MEMBERS AND THEIR CONNECTIONS ARE IN PLACE.
- 2.5 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, HORIZONTAL AND VERTICAL DIMENSIONS AND COORDINATION OF ARCHITECTURAL AND STRUCTURAL DRAWINGS. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. FOR DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS, SEE THE ARCHITECTURAL DRAWINGS.
- 2.6 DIMENSIONS SHOWN INDICATE SPANS FOR WHICH MEMBERS ARE STRUCTURALLY ADEQUATE. THE CONTRACTOR SHALL COORDINATE AND CONFIRM ALL DIMENSIONS. CONTRACTOR SHALL INCLUDE IN HIS BID THE COSTS OF DIMENSIONAL COORDINATION AND COORDINATION COORDINATE ALL OPENINGS, SUPPORT SYSTEMS, DUCTWORK LOCATIONS, MECHANICAL ELEMENTS SPRINKLERS ETC., WITH STRUCTURAL ELEMENTS. CONSULT THE ENGINEER/ARCHITECT AND OBTAIN APPROVAL PRIOR TO MAKING CHANGES TO STRUCTURAL SYSTEMS.
- 2.7 THESE DRAWINGS AND SPECIFICATIONS ARE A PERFORMANCE SPECIFICATION. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO EXECUTE AND COMPLETE ALL ITEMS OF WORK AS SHOWN OR INDICATED ON THE DRAWINGS AND AS SPECIFIED IN THIS SECTION, INCLUDING INCIDENTAL ITEMS TO EFFECT A FINISHED AND COMPLETE JOB, EVEN THOUGH SUCH ITEMS ARE NOT SHOWN OR PARTICULARLY MENTIONED ON THE CONSTRUCTION DOCUMENTS.
- 2.8 SEE ARCHITECTURAL DRAWINGS FOR ELEVATIONS NOT SHOWN AND FOR EXACT LOCATIONS OF ALL SLAB DEPRESSIONS. THE CONTRACTOR SHALL COMPARE THE STRUCTURAL SECTIONS WITH THE ARCHITECTURAL SECTIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO FABRICATING OR INSTALLING STRUCTURAL MEMBERS.
- 2.9 THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 2.10 ERECTION AND BRACING OF STEEL STRUCTURES SHALL COMPLY WITH THE LIMITS AND RECOMMENDATIONS OF THE CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION. PROVIDE BRACING WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECTED, INCLUDING EQUIPMENT AND THE OPERATION OF THE SAME.
- 2.11 THE DETAILS SHOWN ON THE STRUCTURAL DRAWINGS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN ALL AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS.
- 2.12 NOTES ON THE STRUCTURAL GENERAL NOTES SHEET ARE APPLICABLE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 2.13 PRELIMINARY SHOW THE DRAWINGS. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR SLEEVES, CURBS, INSERTS AND OTHER OPENINGS NOT SHOWN. THE CONTRACTOR SHALL PROVIDE FOR ALL OPENINGS, WHETHER SHOWN ON THE STRUCTURAL DRAWINGS OR NOT. SIZE AND LOCATION OF ALL OPENINGS SHALL BE VERIFIED WITH THE MECHANICAL AND ELECTRICAL CONTRACTORS. ANY DEVIATION FROM OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR APPROVAL PRIOR TO FABRICATING OR INSTALLATION OF STRUCTURAL MEMBERS.
- 2.14 INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING AND ADVISE THE ARCHITECT OF ALL INTERFERENCES.

3.0 FOUNDATION

- 3.1 THE ENGINEER HAS NOT YET RECEIVED A GEOTECHNICAL REPORT, HOWEVER IT IS UNDERSTOOD THAT A REPORT IS CURRENTLY BEING PREPARED. CONTRACTOR SHALL UTILIZE THE RECOMMENDATIONS IN THE FORTHCOMING GEOTECHNICAL REPORT TO ACHIEVE THE FOLLOWING DESIGN PARAMETERS. A TESTING LABORATORY SHALL BE EMPLOYED AND PAID FOR BY THE CONTRACTOR TO VERIFY AND INSPECT THE FOLLOWING DESIGN PARAMETERS. A GEOTECHNICAL ENGINEER LICENSED IN THE PROJECT STATE EMPLOYED BY THE TESTING LABORATORY SHALL REVIEW AND VERIFY THE FOLLOWING DESIGN PARAMETERS. GEOTECHNICAL ENGINEER SHALL BE PAID BY THE FIRM THAT PREPARED THE REPORT OR SHALL BE APPROVED BY THE ARCHITECT.
- 3.2 ASSUMED SHALLOW FOUNDATION DESIGN PARAMETERS ARE AS FOLLOWS. SHOULD ACTUAL CONDITIONS BE DETERMINED TO DEVIATE FROM THE VALUES SPECIFIED, THE TESTING LABORATORY AND THE CONTRACTOR SHALL BOTH NOTIFY ARCHITECT/ENGINEER BEFORE CONSTRUCTION OF THE SHALLOW FOUNDATION SYSTEM.
- 3.3 ASSUMED ALLOWABLE BEARING PRESSURE FOR A MAXIMUM TOTAL SETTLEMENT OF 1.0 INCH AND A MAXIMUM DIFFERENTIAL SETTLEMENT OF 1/2 INCHES:
 ISOLATED SPREAD FOOTINGS 2000 PSF
 CONTINUOUS FOOTINGS 2000 PSF
- 3.4 FOUNDATIONS ARE DESIGNED TO BEAR ON FIRM UNDISTURBED EARTH OR APPROVED CONTROLLED FILL. NO FOOTING SHALL BEAR DIRECTLY ON ROCK. WHERE UNACCEPTABLE BEARING MATERIAL OCCURS, EXCAVATE AND REPLACE WITH FILL MATERIAL AS APPROVED BY THE GEOTECHNICAL ENGINEER.
- 3.5 PROOF-ROLL THE AREAS UNDER THE STRUCTURE AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- 3.6 WHEN COMPACTED EARTH FILL IS SHOWN ON THE CONTRACT DOCUMENTS, IT SHALL BE PLACED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- 3.7 AGGREGATE BASE BELOW CONCRETE SLAB-ON-GRADE SHALL CONSIST OF MATERIAL AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND BASED ON LOCAL AVAILABILITY.
- 3.8 FOUNDATION AND/OR RETAINING WALLS SHALL BE BACK FILLED WITH FREE-DRAINING MATERIAL AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND BASED ON LOCAL AVAILABILITY.
- 3.9 FOUNDATION CONCRETE SHALL BE PLACED THE SAME DAY THE EXCAVATION IS MADE WHEN FEASIBLE. WHERE FOUNDATION EXCAVATIONS MUST REMAIN OPEN OR EXPOSED, SPECIAL CARE SHOULD BE TAKEN TO PROTECT THE EXPOSED SOILS FROM BEING DISTURBED, SATURATED, OR DRIED OUT PRIOR TO THE PLACEMENT OF SELECT FILL OR CONCRETE WITH A MUD MAT OF LEAN (2500 PSI) CONCRETE OR AS APPROVED BY THE GEOTECHNICAL ENGINEER.
- 3.10 EXTERIOR VERTICAL FACE OF ALL EXPOSED SLAB TURNDOWNS SHALL BE FORMED. THE SIDES OF FOOTINGS MAY BE EARTH FORMED AS LONG AS THE SOIL WILL MAINTAIN A VERTICAL FACE.

4.0 REINFORCEMENT

- 4.1 REINFORCING BARS SHALL CONFORM TO ASTM A615 OR A706, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- 4.2 DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI DETAILING MANUAL, SP-66, THE CRSI MANUAL OF STANDARD PRACTICE AND ACI 318.
- 4.3 REINFORCING SHALL NOT BE HEATED OR WELDED.
- 4.4 REINFORCING PLACEMENT SHALL BE APPROVED BY THE ARCHITECT OR THEIR AUTHORIZED REPRESENTATIVE BEFORE CONCRETE IS PLACED.
- 4.5 PROVIDE THE FOLLOWING CONCRETE COVER FOR REINFORCEMENT (EXPOSED MEMBERS ARE MEMBERS EXPOSED TO WEATHER OR EARTH IN SERVICE):
- | | NOT EXPOSED | EXPOSED | CAST AGAINST EARTH |
|----------------------------|-------------|---------|--------------------|
| FOOTINGS | — | 2" | 3" |
| SLABS, WALLS #5 OR SMALLER | 3/4" | 1-1/2" | — |
| #6 OR LARGER | 3/4" | 2" | — |
- 4.6 MASONRY REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE WALL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- 4.7 BARS DESIGNATED CONTINUOUS OR BARS REQUIRED TO BE SPLICED FOR PLACEMENT SHALL BE LAPPED AS FOLLOWS:
 CONCRETE REINFORCEMENT: CLASS "B" TENSION LAP
 MASONRY REINFORCEMENT: 48 BAR DIAMETERS
- 4.8 WELDED WIRE FABRIC (WWF) SHALL LAP TWO FULL MESHES AND BE SECURELY WIRED AT EACH SIDE AND END. WELDED WIRE FABRIC SHALL BE FABRICATED FROM SHEETS. ROLLS ARE NOT ALLOWED.
- 4.9 PROVIDE CORNER BARS AT ALL CONTINUOUS FOOTING INTERSECTIONS, WALL AND BOND BEAM CORNERS. AT A MINIMUM, BARS SHALL BE THE SAME SIZE AND SPACING AS HORIZONTAL REINFORCING IN EACH DIRECTION.

4.0 REINFORCEMENT (CONT'D)

- 4.10 HOOKS WHERE SHOWN ON BARS SHALL BE ACI STANDARD 90° OR 180° HOOKS AS GRAPHICALLY INDICATED UNLESS NOTED OTHERWISE. DIMENSIONS OTHERWISE. HOOKS ON TIES OR STIRRUPS SHALL BE ACI STANDARD 90° OR 135° STIRRUP HOOKS AS GRAPHICALLY INDICATED UNLESS NOTED OR DIMENSIONED OTHERWISE.
- 4.11 PROVIDE MATCHING FOUNDATION DOWELS FOR ALL VERTICAL WALL, COLUMN AND PEDESTAL REINFORCEMENT UNLESS NOTED OTHERWISE. PROVIDE STANDARD 90° HOOKS ON ENDS OF ALL DOWELS EMBEDDED IN FOUNDATIONS UNLESS NOTED OTHERWISE.
- 5.0 CONCRETE
- 5.1 ALL CONCRETE WORKMANSHIP AND MATERIALS SHALL CONFORM TO ACI 318 AND ALL LOCAL LAWS AND ORDINANCES.
- 5.2 THE CONCRETE MIX REQUIREMENTS TABLE SHOWN BELOW SHALL APPLY TO ALL CONCRETE MIX DESIGNS USED ON THIS PROJECT. MIX DESIGN SUBMITTALS SHALL BE IDENTIFIED FOR INTENDED STRUCTURAL USE.
- 5.3 FLYASH CONTENT SHALL NOT EXCEED 25% OF THE TOTAL WEIGHT OF CEMENT PLUS FLYASH.
- 5.4 GROUT USED UNDER COLUMN BASE PLATES SHALL BE CEMENT BASED, NON-SHRINK, NON-METALLIC GROUT. THE GROUT SHALL EXHIBIT NO SHRINKAGE IN ACCORDANCE WITH ASTM C827 AND SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 5000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C109.
- 5.5 PROVIDE ENTRAINED AIR AS SPECIFIED UNDER THE DURABILITY REQUIREMENTS OF ACI 318.
- 5.6 ALL CONCRETE SHALL BE VIBRATED.
- 5.7 NO REPAIR OR RUBBING OF CONCRETE SURFACES SHALL BE MADE PRIOR TO INSPECTION BY AND WITH APPROVAL OF THE ARCHITECT, OWNER, OR THEIR AUTHORIZED REPRESENTATIVES.
- 5.8 SAWN CONTROL JOINTS IN SLABS-ON-GRADE SHALL BE CUT IN ACCORDANCE WITH ACI 302.1R. JOINTS SHALL BE CUT WITHIN 12 HOURS OF SLAB PLACEMENT. THE LENGTH TO WIDTH RATIOS OF SLAB AREAS SHALL NOT EXCEED 1.25. THE MAXIMUM AREA OF SLAB WITHIN JOINTS SHALL BE 144 SF.
- 5.9 ALL PIPE PENETRATIONS THROUGH SLABS SHALL BE SLEEVED IN CONFORMANCE WITH ACI 318, SECTION 6.3.
- 5.10 HORIZONTAL RUNS OF ELECTRICAL CONDUITS AND PIPING LARGER THAN 3/4 INCH DIAMETER SHALL NOT BE PERMITTED WITHIN THE SLAB-ON-GRADE. MINIMUM CONCRETE COVER AND A SPACING BETWEEN ADJACENT EMBEDDED ELEMENTS OF AT LEAST 4 INCHES SHALL BE MAINTAINED.
- 5.11 REFER TO DRAWINGS OF OTHER DISCIPLINES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON STRUCTURAL DRAWINGS.
- 5.12 CURING COMPOUNDS AND/OR SEALERS MUST BE COMPATIBLE WITH ADHESIVE SPECIFIED FOR FLOOR FINISHES OR BE REMOVED PRIOR TO APPLYING FLOOR FINISH.
- 5.13 ALL CONCRETE MIX DESIGNS SHALL BE PROPORTIONED IN ACCORDANCE WITH SECTION 5.3 (FIELD EXPERIENCE AND/OR TRIAL MIXTURES) OF ACI 318. SUBMIT MIX DESIGN FOR EACH CLASS OF CONCRETE. IF A STANDARD DEVIATION ANALYSIS IS USED, THE CONCRETE SHALL ACHIEVE AN AVERAGE STRENGTH IN ACCORDANCE WITH TABLE 5.3.2.2 OF ACI 318. SUBMITTALS MADE WHICH DO NOT CONFORM TO ACI 318 SECTION 5.3 SHALL BE REJECTED.
- 5.14 LABORATORY TESTING WILL BE REQUIRED IN ACCORDANCE WITH ASTM C31. PERFORM COMPRESSION TEST PER ASTM C39; AIR CONTENT TEST PER ASTM C138 (GRAVIMETRIC METHOD), ASTM C173 (VOLUMETRIC METHOD), OR ASTM C231 (PRESSURE METHOD); SLUMP TEST PER ASTM C143.
- 5.15 LABORATORY SHALL TEST THE NUMBER OF CYLINDERS SPECIFIED BELOW FOR EACH 100 CUBIC YARDS OR FRACTION THEREOF:
 2 AT 7 DAYS FOR INFORMATION
 2 AT 28 DAYS FOR ACCEPTANCE
 2 AT 56 DAYS (HOLD IN RESERVE TO BE TESTED ONLY IF 28 DAY TEST RESULTS ARE DEFICIENT. PROVIDE 3 HOLD CYLINDERS IF 4x8 CYLINDERS ARE USED.)

CONCRETE MIX REQUIREMENTS

| USE OR TYPE OF STRUCTURAL ELEMENT | MIN.COMP. STRENGTH (PSI) | TOTAL AIR CONTENT (%) | MAXIMUM W/C RATIO | SLUMP (INCHES) |
|--|--|-----------------------|-------------------|----------------|
| FOUNDATIONS | | | | |
| FOOTINGS | 3000 | NOT REQ. | 0.60 | 5 |
| PEDESTALS | 4000 | NOT REQ. | 0.55 | 4 |
| SLAB-ON-GRADE | | | | |
| INTERIOR | 3000 | NOT REQ. | 0.58 | 3 |
| ELEVATED WALKWAY/STAIR LANDINGS | | | | |
| SUBJECT TO SALT SPRAY, BRACKISH WATER OR DEICERS | 5000 | 4-6 | 0.40 | 3 |
| SITE CONCRETE | SEE CIVIL FOR SITE CONCRETE REQUIREMENTS | | | |

- NOTES:
 1) MIN. COMP. STRENGTH SHALL BE DETERMINED BY TESTING AT 28 DAYS IN ACCORDANCE W/ASTM C 39.

6.0 STRUCTURAL STEEL AND METAL FORM/DECK

- 6.1 ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, JUNE 22, 2010" OF THE STEEL CONSTRUCTION MANUAL, 13TH EDITION, UTILIZING ALLOWABLE STRESS DESIGN.
- 6.2 ALL STRUCTURAL STEEL WIDE FLANGE MEMBERS AND COLUMN BASE PLATES SHALL BE ASTM A992 OR A572 GRADE 50. ALL OTHER PLATE, ANGLES AND CHANNELS, SHALL CONFORM TO ASTM A36, A572 GRADE 50, OR A992.
- 6.3 SQUARE AND RECTANGULAR HOLLOW STRUCTURAL SECTIONS (HSS) SHALL CONFORM TO ASTM A500, GRADE B (F_y = 46 KSI).
- 6.4 ANCHOR RODS SHALL BE ASTM F1554 HEADED RODS (REFER TO DRAWINGS FOR STRENGTH REQUIREMENTS). PROVIDE HEAVY HEX NUTS AND WASHERS COMPLYING WITH THE REQUIREMENTS OF TABLE 14-2 IN THE AISC STEEL CONSTRUCTION MANUAL UNLESS THICKER AND/OR LARGER WASHERS ARE NOTED ON THE DRAWINGS. HOLE DIAMETER IN WASHERS SHALL BE THE ANCHOR ROD DIAMETER + 1/16 INCH. IN LIEU OF HEADED RODS, THREADED RODS WITH A HEAVY HEX NUT FULLY ENGAGED AND TACK WELDED TO THE EMBEDDED END MAY BE USED.
- 6.5 ALL BOLTED CONNECTIONS SHALL BE MADE WITH 3/4 INCH DIAMETER ASTM A325 BOLTS IN BEARING TYPE CONNECTIONS UNLESS NOTED OTHERWISE. ALL BOLTS IN BEARING TYPE CONNECTIONS SHALL BE TIGHTENED TO AT LEAST THE SNUG TIGHT CONDITION AS DEFINED BY AISC. BOLTS IN CONNECTIONS THAT ARE DESIGNATED AS SLIP CRITICAL, FULLY TENSIONED, OR SUBJECT TO TENSION LOADS, SHALL BE FULLY TENSIONED USING APPROVED LOAD INDICATOR BOLTS. REFER TO CALCULATIONS AND SECTION DATA FOR REVIEW BY THE ENGINEER.
- 6.6 ALL STEEL BEAM CONNECTIONS NOT DETAILED ON THE DRAWINGS SHALL BE DESIGNED BY THE STRUCTURAL STEEL FABRICATOR AS FOLLOWS:
 NON-COMPOSITE BEAMS: THE BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTION SHALL DEVELOP THE END CONNECTIONS FOR THE CONNECTED BEAM. WHERE BEAM CONNECTIONS ARE NOT SHOWN ON THE DRAWINGS, THE END REACTION OF THE CONNECTED BEAM SHALL BE OBTAINED FROM THE MAXIMUM UNIFORM LOAD TABLES IN PART 3 (DESIGN OF FLEXURAL MEMBERS) OF THE THIRTEENTH EDITION OF THE AISC STEEL CONSTRUCTION MANUAL UTILIZING ALLOWABLE STRESS DESIGN. THE END REACTION IS EQUAL TO 1/2 THE TOTAL ALLOWABLE LOAD IN KIPS FOR THE GIVEN BEAM. SPAN AND GRADE OF STEEL SHALL BE SPECIFIED. A MINIMUM SHEAR CAPACITY OF 12 KIPS OR 35 PERCENT OF THE BEAM WEB SHEAR CAPACITY, WHICHEVER IS GREATER, SHALL BE PROVIDED FOR ALL BEAMS. THE REACTIONS GIVEN ON THE DRAWINGS SUPERSEDE THIS NOTE. IN NO CASE SHALL THE LENGTH OF A CONNECTION BE LESS THAN 1/2 OF THE TEE DIMENSION OF THE BEAM WEB.
- 6.7 THE STRUCTURAL STEEL FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL CONNECTIONS NOT FULLY DETAILED ON THE DRAWINGS. THE FABRICATOR SHALL SUBMIT CONNECTION DESIGN CALCULATIONS AND SECTION DATA FOR REVIEW BY THE ENGINEER OF RECORD THAT INDICATE THE CONNECTION DESIGN IS IN ACCORDANCE WITH ALL APPLICABLE CODES AND SPECIFICATIONS.
- 6.8 ALL BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE SIMPLE OR PARTIALLY-RESTRAINED (PR) MOMENT CONNECTIONS IN ACCORDANCE WITH AISC SPECIFICATION B3.8.
- 6.9 FABRICATION AND ERECTION SHALL BE DONE BY STEEL FABRICATORS AND ERECTORS WHO HAVE BEEN CERTIFIED BY THE AISC QUALITY CERTIFICATION PROGRAM, CATEGORY STD OR HAVE AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ARCHITECT CERTIFY THAT THE FABRICATION PROCEDURES USED IN THIS WORK ARE IN ACCORDANCE WITH AISC SPECIFICATIONS AND THESE REQUIREMENTS. ERECTION SHALL BE DONE BY STEEL ERECTORS WHO HAVE BEEN CERTIFIED BY THE AISC QUALITY CERTIFICATION PROGRAM, CATEGORY CSE.
- 6.10 WELDING SHALL BE DONE BY CERTIFIED WELDERS USING ASTM E70 SERIES ELECTRODES FOR SHOP WELDING A36 STEEL, AND E70 SERIES LOW HYDROGEN ELECTRODES FOR ALL WELDING OF HIGH STRENGTH STEEL AND FOR ALL FIELD WELDING.

- 6.11 WELDS SHOWN ON STRUCTURAL DRAWINGS ARE MINIMUM DESIGN REQUIREMENTS. THE FABRICATOR'S SHOP DRAWINGS SHALL REFLECT WELDS IN ACCORDANCE WITH AWS REQUIREMENTS.
- 6.12 ALL FILLET WELDS BY EACH WELDER SHALL BE VISUALLY INSPECTED.
- 6.13 WHEN WELDS ARE NOT CALLED-OUT ON DRAWINGS, THEY ARE MINIMUM SIZE CONTINUOUS FILLET WELDS IN ACCORDANCE WITH AWS D1.1. FILLET WELDS NOT SPECIFIED AS TO LENGTH SHALL BE CONTINUOUS.
- 6.14 PROVIDE FILLET WELDS AT ALL CONTACT JOINTS BETWEEN STEEL MEMBERS SUFFICIENT TO DEVELOP THE ALLOWABLE TENSILE STRENGTH OF THE SMALLER MEMBER AT THE JOINT.
- 6.15 METAL FORM DECK AND ROOF DECK SHALL BE CONTINUOUS OVER THREE SPANS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 6.16 METAL DECK IS DESIGNED FOR UNIFORM LOADS ON THE SPANS SHOWN. NO CONCENTRATED POINT OR LINE LOADS SHALL BE INDUCED ON METAL DECK.
- 6.17 THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF A METHOD TO TRANSFER GRAVITY AND LATERAL LOADS FROM NON-STRUCTURAL ITEMS OCCURRING BETWEEN STRUCTURAL FRAMING TO ADJACENT FRAMING MEMBERS. IF STRUCTURAL FRAMING CONSISTS OF JOISTS OR JOIST GIRDERS, SPECIAL PROVISIONS APPLY. SEE STEEL JOIST AND JOIST GIRDER NOTES FOR FURTHER INFORMATION.
- 6.18 COORDINATE ALL OPENINGS AND DIMENSIONS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. FIELD CONFIRM ALL DIMENSIONS.
- 6.19 PROTECT ALL STEEL BELOW GRADE BY ENCASEMENT IN CONCRETE OR PAINTING WITH BITUMASTIC 6.24 STEEL ENCASED IN CONCRETE OR WITH CEMENTITIOUS FIREPROOFING SHALL NOT BE PAINTED.
- 6.20 STRUCTURAL STEEL STAIR, HANDRAIL & GUARDRAIL SHOP DRAWINGS SHALL BEAR THE SEAL AND SIGNATURE OF AN ENGINEER REGISTERED IN THE PROJECT STATE. STAIRS ARE TO BE DESIGNED FOR A 100 PSF LIVE LOAD.
- 6.21 HARDENED WASHERS SHALL BE INSTALLED OVER SHORT SLOTTED OR OVERSIZE HOLES OCCURRING IN THE OUTER PLY OF A CONNECTION. A PLATE WASHER AT LEAST 5/16 INCH THICK WITH STANDARD HOLES SHALL BE INSTALLED OVER LONG SLOTTED HOLES OCCURRING IN AN OUTER PLY OF A CONNECTION.
- 6.22 GUSSET PLATES SHALL BE A MINIMUM OF 3/8 INCH THICK UNLESS NOTED OTHERWISE.
- 6.23 BASE PLATE CONNECTIONS ARE NOT DESIGNED TO PROVIDE STABILITY OF COLUMNS DURING ERECTION. COLUMNS SHALL BE TEMPORARILY BRACED BY THE ERECTOR PRIOR TO RELEASE OF THE COLUMN FROM THE HOISTING EQUIPMENT.
- 6.24 COLUMN ANCHOR BOLT HOLES SHALL BE OVERSIZED IN ACCORDANCE WITH THE FOLLOWING:
 ROD DIAMETERS 3/4 INCH TO ONE INCH 5/16 INCH OVERSIZE
 ROD DIAMETERS ONE INCH TO 2 INCHES 1/2 INCH OVERSIZE
 ROD DIAMETERS OVER 2 INCHES ONE INCH OVERSIZE

7.0 MASONRY

- 7.1 ALL MASONRY CONSTRUCTION SHALL COMPLY WITH ACI 530, "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES".
- 7.2 MASONRY FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REFERENCED CODE AS INSPECTED MASONRY WITH A LEVEL B QUALITY ASSURANCE PROGRAM. THE OWNER SHALL EMPLOY AN AGENT IN COMPLIANCE WITH CODE CRITERIA TO INSURE THAT THE CODE REQUIREMENTS ARE CARRIED OUT. INSPECTION AND TESTING SHALL CONFORM TO ACI 530.1 SPECIFIC TEST METHODS FOR SECTIONS 1.5 AND 1.6.
- 7.3 MINIMUM COMPRESSIVE STRENGTH OF CONCRETE MASONRY AT 28 DAYS SHALL BE 1"m = 1,500 PSI. ALL LOAD-BEARING BLOCK MASONRY SHALL HAVE A MINIMUM NET AREA UNIT STRENGTH OF 1900 PSI AT 28 DAYS.
- 7.4 CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 OR ASTM C55 AND BE SAMPLED AND TESTED IN ACCORDANCE WITH ASTM C140.
- 7.5 BED JOINT THICKNESS SHALL NOT EXCEED 5/8 INCH.
- 7.6 GROUT USED FOR FILLING CELLS AND BOND BEAMS SHALL COMPLY WITH ASTM C476 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS DETERMINED IN ACCORDANCE WITH ASTM C140. THE SLUMP SHALL BE BETWEEN 8 INCHES AND 11 INCHES. TEST GROUT STRENGTH IN ACCORDANCE WITH ASTM C1019.
- 7.7 WHERE THE MINIMUM DIMENSION OF ANY CONTINUOUS VERTICAL CELL IS 3 INCHES OR LESS, USE FINE GROUT, OTHERWISE USE COARSE (PEA GRAVEL) GROUT.
- 7.8 MORTAR SHALL CONFORM TO THE FOLLOWING TYPES AS DEFINED IN THE BUILDING CODE:
 MASONRY IN CONTACT WITH EARTH: TYPE M
 EXTERIOR BLOCK WALLS AND BEARING WALLS: TYPE M OR S MORTAR
 BRICK WALLS OR BRICK VENEER: TYPE N
 MORTAR SHALL BE PROPORTIONED TO MEET THE REQUIREMENTS OF ASTM C270.
 MORTAR SHALL BE TESTED IN THE FIELD IN ACCORDANCE WITH ASTM C780, APPENDIX A-4
 MORTAR AGGREGATE RATIO TEST.
- 7.9 JOINT REINFORCEMENT SHALL MEET ASTM A82. PROVIDE THE FOLLOWING MINIMUM CONTINUOUS HORIZONTAL MASONRY REINFORCING AT 16 INCHES O.C.:
 (MANUFACTURED BY DUR-O-WAL)
 - SINGLE WYTHE:
 UNREINFORCED: STANDARD WEIGHT TRUSS TYPE
 REINFORCED: 8" WIDTH STANDARD WEIGHT LADUR TYPE
 10"/12" WIDTH MEDIUM WEIGHT LADUR TYPE

8.0 WOOD TRUSSES

- 8.1 TRUSS DESIGN/SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROJECT STATE. WOOD TRUSS DESIGN IS SOLELY THE RESPONSIBILITY OF THE TRUSS SUPPLIER AND ITS DESIGN ENGINEER LICENSED IN THE PROJECT STATE. THIS IS A REMINDER TO ALL PROFESSIONAL ENGINEERS THAT IN AFFIXING THEIR SEAL TO CONSTRUCTION DOCUMENTS, SHOP DRAWINGS AND/OR CALCULATIONS, THEY HAVE ACCEPTED RESPONSIBILITY FOR THE DESIGN OF THE TRUSSES. IN ADDITION TO SUBMITTALS TO ARCH., SUBMIT CERTIFICATION AND ERECTION DETAILS TO THE PROPER HUD AUTHORITY FOR REVIEW PRIOR TO FABRICATION.
- 8.2 DESIGN ALL ROOF TRUSSES AND FRAMING MEMBERS WITH A MINIMUM 10 PSF DEAD LOAD APPLIED ALONG THE TOP CHORD AND A MINIMUM 10 PSF DEAD LOAD APPLIED ALONG THE BOTTOM CHORD. IN ADDITION, PROVIDE FOR CONCENTRATED MECHANICAL LOADS AND OTHER CONCENTRATED LOADS FROM ITEMS SHOWN ON DRAWINGS OF OTHER DISCIPLINES.
- 8.3 DESIGN TRUSSES FOR THE LIVE, SNOW AND WIND LOADS SPECIFIED IN THE BUILDING CODE. THE DESIGN OF THE TRUSS SHALL ASSUME A TOTAL DEAD LOAD OF 5.0 PSF ON THE TOP CHORD AND 3.0 PSF ON THE BOTTOM CHORD WHEN CONSIDERING WIND LOADS.
- 8.4 TRUSS DESIGNER SHALL DESIGN & SPECIFY ALL CONNECTIONS OF TRUSSES TO EACH OTHER AND TO THE REST OF THE STRUCTURE UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
- 8.5 TRUSS ERECTOR SHALL HAVE 5 YEARS EXPERIENCE IN THE ERECTION OF WOOD TRUSSES.
- 8.6 ERECTION AND TEMPORARY BRACING OF PREFABRICATED WOOD TRUSSES SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE TRUSS MANUFACTURER AND THE TRUSS PLATE INSTITUTE'S "BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS". FABRICATOR SHALL PROVIDE TPI PUBLICATION AND ANY SPECIAL ERECTION INSTRUCTIONS TO THE CONTRACTOR AT THE TIME OF DELIVERY.
- 8.7 COORDINATE GEOMETRY OF WOOD TRUSS MEMBERS WITH MECHANICAL, ELECTRICAL, ARCHITECTURAL AND BUILDING CODE REQUIREMENTS. ALL AREAS WHERE TRUSSES ARE NOT SPECIFICALLY NOTED SHALL BE STICK FRAMED. VALLEY AND RIDGE SETS OF TRUSSES WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE ARCHITECT PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- 8.8 TRUSS DESIGNER SHALL DESIGN AND SPECIFY ALL PERMANENT BRACING REQUIRED FOR SAFE PERFORMANCE OF TRUSSES.

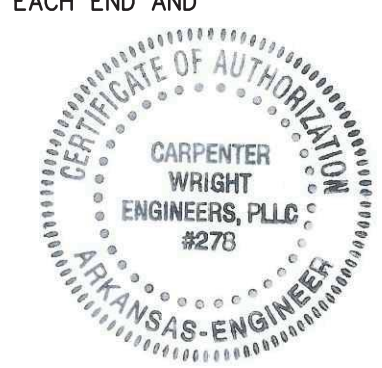
9.0 WOOD FRAMING

- 9.1 ALL LUMBER SHALL BE SOUTHERN PINE NO. 2 (MC = 19 PERCENT).
- 9.2 NAILING SHALL CONFORM TO THE MINIMUM NAILING REQUIREMENTS AS SET FORTH IN THE BUILDING CODE.
- 9.3 CONNECTIONS FOR STRUCTURAL MEMBERS SHALL BE GALVANIZED STRONG-TIE CONNECTORS BY THE SIMPSON COMPANY.
- 9.4 WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE FOUNDATION GRADE PRESSURE-TREATED SOUTHERN PINE. USE GALVANIZED NAILS IN PRESSURE-TREATED WOOD.
- 9.5 SILL AND FOUNDATION RATES SHALL BE ANCHORED TO THE FOUNDATION AS INDICATED. CONNECT EACH SILL MEMBER WITH ONE BOLT LOCATED WITHIN (12)-INCHES OF EACH END AND USING A MINIMUM OF (2)-BOLTS PER MEMBER.

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STRUCTURAL GENERAL NOTES
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CAD FILE: 16-103 STRUCTURAL

10.0 SPECIAL INSPECTIONS PER 2012 IBC:

- 10.1 THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED UNDER SECTION 1705. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING INSPECTION.
- 10.2 THESE INSPECTIONS ARE IN ADDITION TO THE INSPECTIONS SPECIFIED IN SECTION 110 OF THE BUILDING CODE, AND ALL QUALITY CONTROL TESTING SPECIFIED IN THE RESPECTIVE SPECIFICATION SECTIONS IN THE PROJECT MANUAL.
- 10.3 REPORTS:
 - A. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. REPORTS SHALL INDICATE THAT THE WORK INSPECTED WAS DONE IN CONFORMANCE WITH APPROVED CONSTRUCTION DOCUMENTS.
 - B. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THE DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK.
 - C. REPORTS OF ALL INSPECTIONS, TESTS PERFORMED, DISCREPANCY NOTICES AND CORRECTIVE ACTIONS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL ON A WEEKLY BASIS. SUCH REPORTS SHALL ALSO BE SUBMITTED TO THE BUILDING OFFICIAL IF REQUESTED.
 - D. A FINAL REPORT OF INSPECTIONS DOCUMENTING ALL REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED AT A POINT IN TIME AGREED UPON BY THE PERMIT APPLICANT AND THE BUILDING OFFICIAL PRIOR TO THE START OF THE WORK.
- 10.4 THE INSPECTION AND TESTING AGENT(S) SHALL BE ENGAGED BY THE OWNER'S REPRESENTATIVE OR THE SPECIAL INSPECTOR, AND NOT BY THE CONTRACTOR OR SUBCONTRACTOR WHOSE WORK IS TO BE INSPECTED OR TESTED. ANY CONFLICT OF INTEREST MUST BE DISCLOSED PRIOR TO COMMENCING WORK. THE QUALIFICATIONS OF THE SPECIAL INSPECTOR(S) AND/OR TESTING AGENCIES SHALL BE SUBJECT TO THE APPROVAL OF BUILDING OFFICIAL AND/OR THE DESIGN PROFESSIONAL.
- 10.5 INSPECTIONS REQUIRED:

SCHEDULE OF SPECIAL INSPECTION SERVICES PER 2012 IBC

| MATERIAL / ACTIVITY | SERVICE | REMARKS | CONTINUOUS | PERIODIC |
|---|---|---|------------|----------|
| 1704.2.5 INSPECTION OF FABRICATORS | | | | |
| VERIFY FABRICATION/QUALITY CONTROL PROCEDURES | IN PLANT REVIEW | | | X |
| 1705.2 STEEL CONSTRUCTION | | | | |
| FABRICATOR AND ERECTOR DOCUMENTS (VERIFY REPORTS AND CERTIFICATES AS LISTED IN AISC 360, CHAPTER N, PARAGRAPH 3.2 FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS) | SUBMITTAL REVIEW | EACH SUBMITTAL | | |
| MATERIAL VERIFICATION OF STRUCTURAL STEEL | SHOP AND FIELD INSPECTION | | | X |
| EMBEDMENTS (VERIFY DIAMETER, GRADE, TYPE, LENGTH, EMBEDMENT. SEE 1705.3 FOR ANCHORS) | FIELD INSPECTION | | | X |
| VERIFY MEMBER LOCATIONS, BRACES, STIFFENERS, AND APPLICATION OF JOINT DETAILS AT EACH CONNECTION COMPLY WITH CONSTRUCTION DOCUMENTS | FIELD INSPECTION | | | X |
| STRUCTURAL STEEL WELDING: | | | | |
| A. INSPECTION TASKS PRIOR TO WELDING (OBSERVE, OR PERFORM FOR EACH WELDED JOINT OR MEMBER, THE QA TASKS LISTED IN AISC 360, TABLE N5.4-1) | SHOP AND FIELD INSPECTION | OBSERVE OR PERFORM AS NOTED | | |
| B. INSPECTION TASKS DURING WELDING (OBSERVE, OR PERFORM FOR EACH WELDED JOINT OR MEMBER, THE QA TASKS LISTED IN AISC 360, TABLE N5.4-1) | SHOP AND FIELD INSPECTION | OBSERVE | | |
| C. INSPECTION TASKS AFTER WELDING (OBSERVE, OR PERFORM FOR EACH WELDED JOINT OR MEMBER, THE QA TASKS LISTED IN AISC 360, TABLE N5.4-3) | SHOP AND FIELD INSPECTION | OBSERVE OR PERFORM AS NOTED | | |
| D. NON-DESTRUCTIVE TESTING (NDT) OR WELDED JOINTS | | | | |
| 1) COMPLETE PENETRATION GROOVE WELDS 5/16" OR GREATER IN RISK CATEGORY III OR IV | SHOP OR FIELD ULTRASONIC TESTING - 100% | | | X |
| 2) COMPLETE PENETRATION GROOVE WELDS 5/16" OR GREATER IN RISK CATEGORY II | SHOP OR FIELD ULTRASONIC TESTING - 10% OF WELDS MINIMUM | | | X |
| 5) FABRICATOR'S NDT REPORTS WHEN FABRICATOR PERFORMS NDT | VERIFY REPORTS | EACH SUBMITTAL | | |
| STRUCTURAL STEEL BOLTING | SHOP AND FIELD INSPECTION | | | |
| A. INSPECTION TASKS PRIOR TO BOLTING (OBSERVE, OR PERFORM FOR EACH BOLTED CONNECTION, IN ACCORDANCE WITH THE QA TASKS LISTED IN AISC 360, TABLE N5.6-1) | | OBSERVE OR PERFORM AS NOTED | | |
| B. INSPECTION TASKS DURING BOLTING (OBSERVE THE QA TASKS LISTED IN AISC 360, TABLE N5.6-2) | | OBSERVE | | |
| 1) SNUG-TIGHT JOINTS | | | | X |
| C. INSPECTION TASKS AFTER BOLTING (PERFORM TASKS FOR EACH BOLTED CONNECTION IN ACCORDANCE WITH QA TASKS LISTED IN AISC 360, TABLE N5.6-3) | | PERFORM | | |
| 1705.2.2 STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL | | | | |
| 1. MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK | | | | |
| A. IDENTIFICATION MARKINGS | FIELD INSPECTION | | | X |
| B. MANUFACTURER'S CERTIFIED TEST REPORTS | SUBMITTAL REVIEW | EACH SUBMITTAL | | |
| 2. CONNECTION OF COLD-FORMED STEEL DECK TO SUPPORTING STRUCTURE | SHOP AND FIELD INSPECTION | | | |
| A. WELDING | | | | X |
| B. OTHER FASTENERS (IN ACCORDANCE WITH AISC 360, SECTION N6) | | | | |
| 1) VERIFY FASTENERS ARE IN CONFORMANCE WITH APPROVED SUBMITTAL | | | | X |
| 2) VERIFY FASTENER INSTALLATION IS IN CONFORMANCE WITH APPROVED SUBMITTAL AND MANUFACTURER'S RECOMMENDATIONS | | | | X |
| 1705.3 CONCRETE CONSTRUCTION | | | | |
| INSPECTION OF REINFORCING STEEL INSTALLATION | SHOP AND FIELD INSPECTION | | | X |
| INSPECTION OF ANCHORS AND REINFORCING STEEL POST-INSTALLED IN HARDENED CONCRETE: PER RESEARCH REPORTS INCLUDING VERIFICATION OF ANCHOR TYPE, ANCHOR DIMENSIONS, HOLE DIMENSIONS, HOLE CLEANING PROCEDURES, ANCHOR SPACING, EDGE DISTANCES, CONCRETE MINIMUM THICKNESS, ANCHOR EMBEDMENT AND TIGHTENING TORQUE | FIELD INSPECTION | PERIODIC OR AS REQUIRED BY THE RESEARCH REPORT ISSUED BY AN APPROVED SOURCE | | |
| VERIFY USE OF APPROVED DESIGN MIX | SHOP AND FIELD INSPECTION | | | X |
| FRESH CONCRETE SAMPLING, PERFORM SLUMP AND AIR CONTENT TESTS AND DETERMINE TEMPERATURE OF CONCRETE | SHOP AND FIELD INSPECTION | | | X |
| INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES | SHOP AND FIELD INSPECTION | | | X |
| INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES | SHOP AND FIELD INSPECTION | | | X |
| INSPECT FORMWORK FOR SHAPE, LINES, LOCATION AND DIMENSIONS | FIELD INSPECTION | | | X |
| CONCRETE STRENGTH TESTING AND VERIFICATION OF COMPLIANCE WITH CONSTRUCTION DOCUMENTS | FIELD TESTING AND REVIEW OF LABORATORY REPORTS | | | X |
| 1705.5 WOOD CONSTRUCTION | | | | |
| METAL-PLATE-CONNECTED WOOD TRUSSES: VERIFY TEMPORARY AND PERMANENT RESTRAINT/BRACING ARE INSTALLED IN ACCORDANCE WITH THE APPROVED TRUSS SUBMITTAL PACKAGE | FIELD INSPECTION | | | X |

NOTES: 1. N/A - DENOTES NOT APPLICABLE

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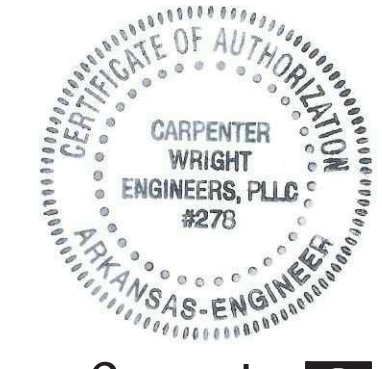
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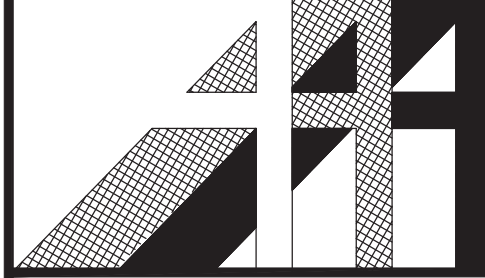
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5516 WALLWOOD ROAD

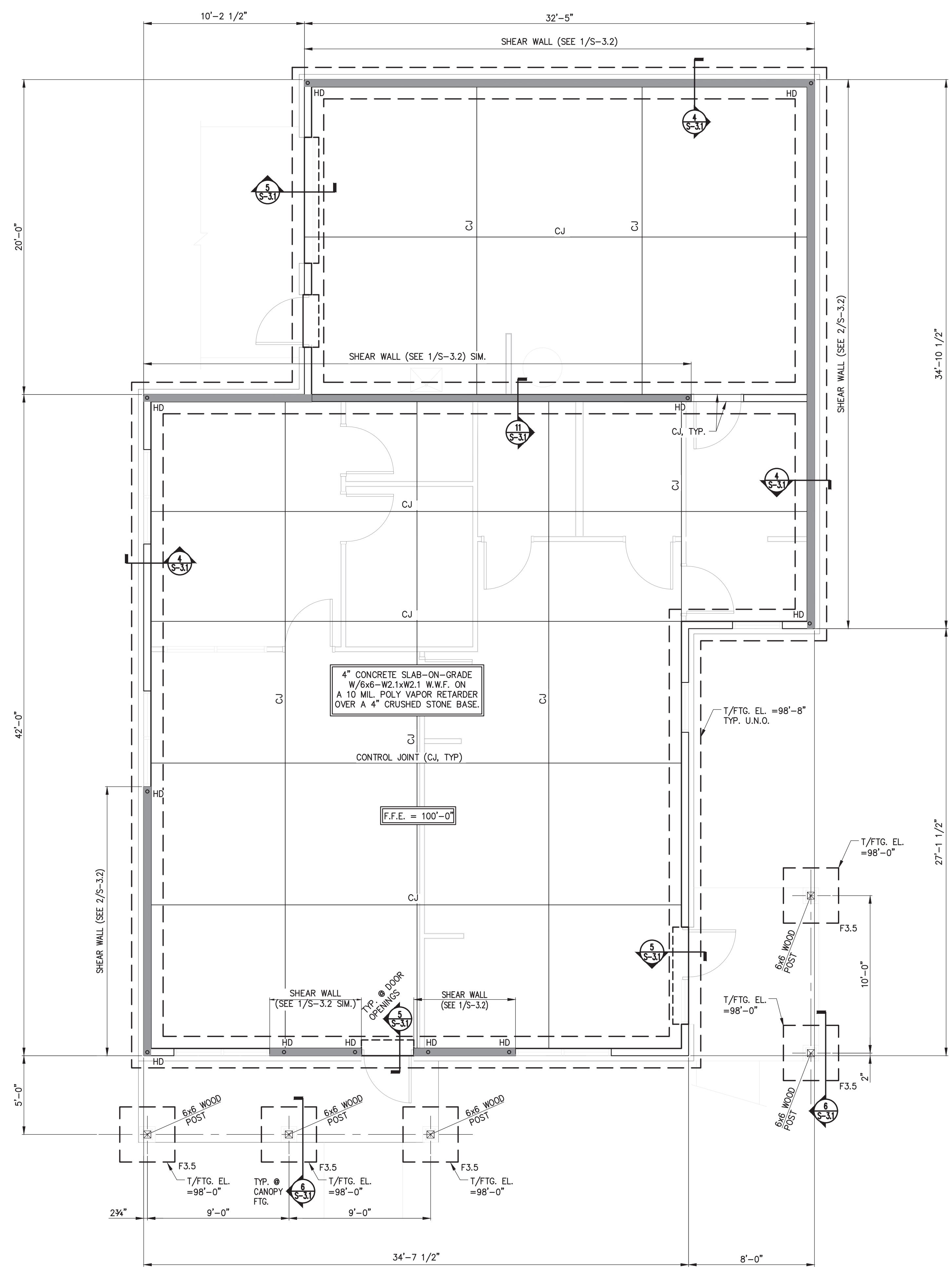


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| CHKD. BY: CAM |
| APPR. BY: JJF |
| DATE: 06.30.16 |
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NOTE:
 A GRADING PLAN HAS NOT BEEN PROVIDED TO THE ENGINEER. TOP OF FOOTING ELEVATION SHALL PROVIDE ADEQUATE FOOTING EMBEDMENT PER NOTE 3.4 ON SHEET S-1.0. CONTRACTOR SHALL COORDINATE AND NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF SPECIFIED TOP OF FOOTING ELEVATION DOES NOT PROVIDE ADEQUATE EMBEDMENT OR PROVIDES AN EXPOSED TOP OF FOOTING.

| FOOTING SCHEDULE | | | |
|------------------|-------------------|-----------------|---------|
| MARK | SIZE | REINFORCING | REMARKS |
| F3.5 | 3'-6"x3'-6"x1'-4" | (5)-#5 E.W. T&B | |

- FOUNDATION PLAN NOTES:**
- ALL ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS ARE REFERENCED FROM A FINISHED FLOOR DATUM ELEVATION AT THE GROUND FLOOR OF 100'-0" AT EACH BUILDING. REFER TO ARCH./CIVIL DRAWINGS FOR ACTUAL EQUIVALENT MEAN SEA-LEVEL FLOOR ELEVATION.
 - EXTERIOR WALLS SHALL BE CONSTRUCTED W/ 2x6 WOOD STUDS @ 16" O.C., PROVIDE APA STRUCTURAL I RATED SHEATHING WITH AN EXPOSURE I DURABILITY CLASSIFICATION AND A MINIMUM THICKNESS OF 1/2" ON THE EXTERIOR FACE OF STUDS. FASTEN W/10d NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
 - REFER TO 2/S-3.1 FOR TYPICAL SLAB CONSTRUCTION & CONTROL JOINT DETAILS.
 - 'HD' DENOTES SHEAR WALL HOLDDOWN LOCATION REFER TO 3/S-3.1 FOR DETAIL AND HOLDDOWN DEVICES REQUIRED.
 - REFER TO 1/S-3.1 FOR TYPICAL CONTINUOUS FOOTING DETAILS.
 - COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ARCH. DRAWINGS

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

WHITE RIVER APARTMENTS
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OFFICE / COMMUNITY ROOM
FOUNDATION PLAN

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 CWE # 2016103.00

SHEET NUMBER

S-2.1

DRWN. BY: DJW
CHKD. BY: CAM
APPR. BY: JJF
DATE: 06.30.16
REVISIONS

WHITE RIVER APARTMENTS
OFFICE / COMMUNITY ROOM
ROOF FRAMING PLAN

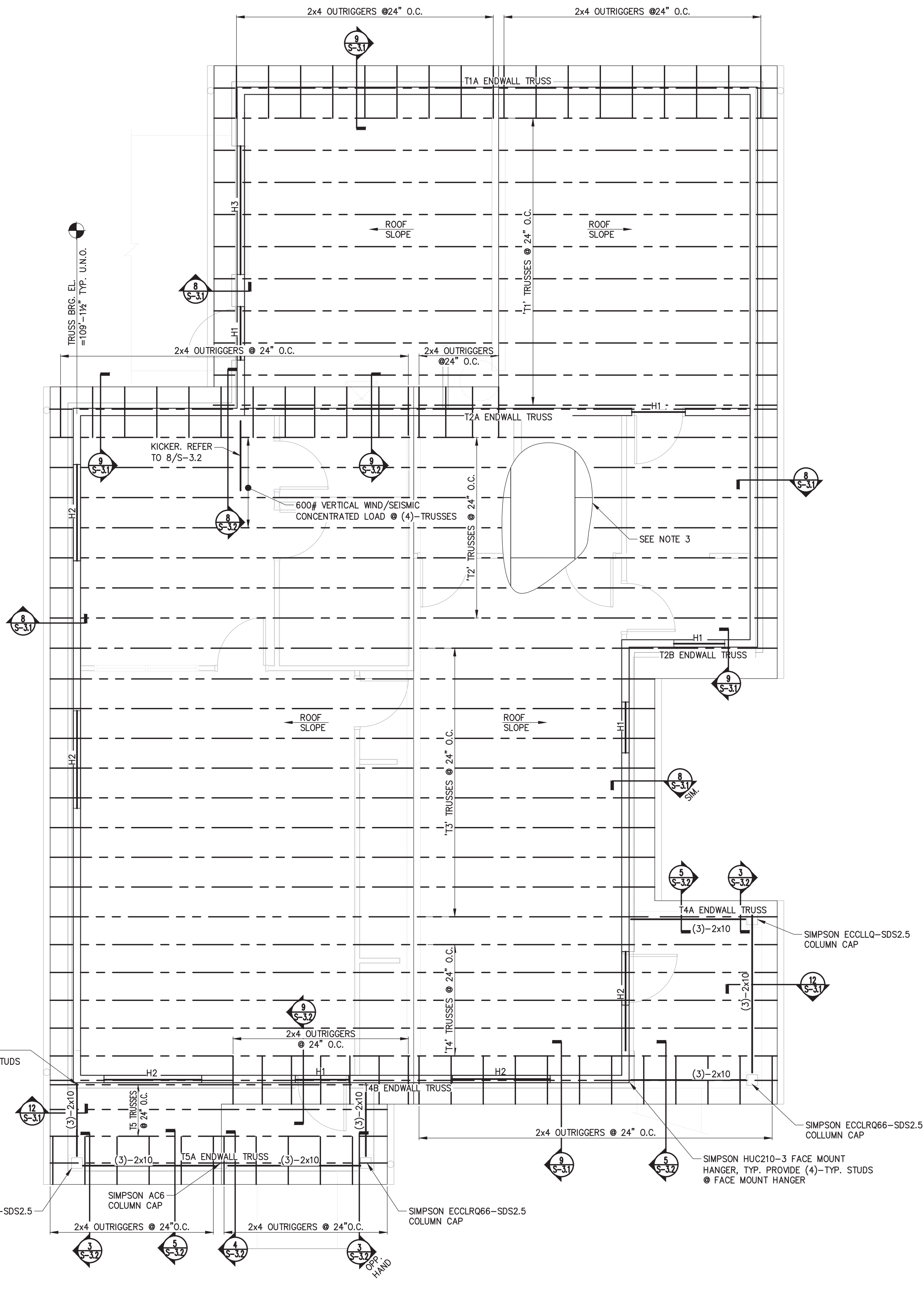
2900 MARION DRIVE
DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1802

5516 WALLWOOD ROAD

KNOXVILLE, TENNESSEE 37912



- ROOF FRAMING PLAN NOTES:**
- ALL ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS ARE REFERENCED FROM A FINISHED FLOOR DATUM ELEVATION AT THE GROUND FLOOR OF 100'-0" AT EACH BUILDING. REFER TO ARCH./CIVIL DRAWINGS FOR ACTUAL EQUIVALENT MEAN SEA-LEVEL FLOOR ELEVATION.
 - COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DRAWINGS.
 - ROOF SHEATHING SHALL BE 19/32" APA STRUCTURAL I RATED SHEATHING W/ A SPAN RATING OF 40/20 AND AN 'EXPOSURE 1' DURABILITY CLASSIFICATION. SPAN PANELS WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS. PROVIDE ONE PANEL EDGE CLIP MIDWAY BETWEEN EACH SUPPORT OR SUPPLY TONGUE & GROOVE EDGES. ATTACH PANELS TO SUPPORT FRAMING W/ 10d NAILS @ 6" O.C. AT PANEL EDGES & @ 12" O.C. @ INTERMEDIATE SUPPORTS.
 - REFER TO 10/S-3.1 FOR TYPICAL FRAMING AT WALL OPENINGS.
 - "H" DENOTES WOOD BEAM HEADER. REFER TO 7/S-3.1 FOR HEADER SCHEDULE AT WALL OPENINGS.
 - EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS SPACED @ 16" O.C.
 - ALL PREFABRICATED WOOD ROOF TRUSSES SHALL BE SPACED AT 2'-0" O.C. U.N.O.
 - TRUSSES NOTED 'ENDWALL TRUSS' SHALL HAVE 2x VERTICAL INFILL WEB MEMBERS @ 16" O.C. FACE OF TRUSS SHALL BE ALIGNED WITH RESPECTIVE FACE OF STUD WALL BELOW AND SHALL BE SHEATHED WITH WOOD SHEATHING SIMILAR TO THAT SPECIFIED FOR WALLS (INCLUDING ATTACHMENT REQUIREMENTS). REFER TO ARCH. FOR ENDWALL TRUSS OPENINGS. REFER TO 9/S-3.1 FOR ENDWALL TRUSS DETAIL.
 - DROP TOP CHORD OF TRUSSES NOTED 'ENDWALL TRUSSES' 3/4" FOR 2x4 OUTRIGGERS. @ SPACING INDICATED ON PLAN.
 - REFER TO SHEET S-3.3 FOR TRUSS PROFILES.

SIMPSON HUC210-3 FACE MOUNT HANGER, TYP. PROVIDE (4)-TYP. STUDS @ FACE MOUNT HANGER

SIMPSON ECCLQ66-SDS2.5 COLUMN CAP

SIMPSON AC6 COLUMN CAP

SIMPSON ECCLRQ66-SDS2.5 COLUMN CAP

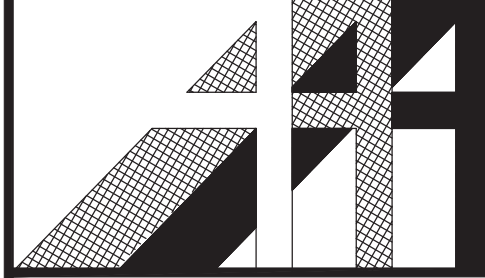
SIMPSON HUC210-3 FACE MOUNT HANGER, TYP. PROVIDE (4)-TYP. STUDS @ FACE MOUNT HANGER

SIMPSON ECCLRQ66-SDS2.5 COLUMN CAP

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



Carpentier Wright Engineers
Structural Consultants
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Knoxville, TN 37922
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CWE # 2016103.00

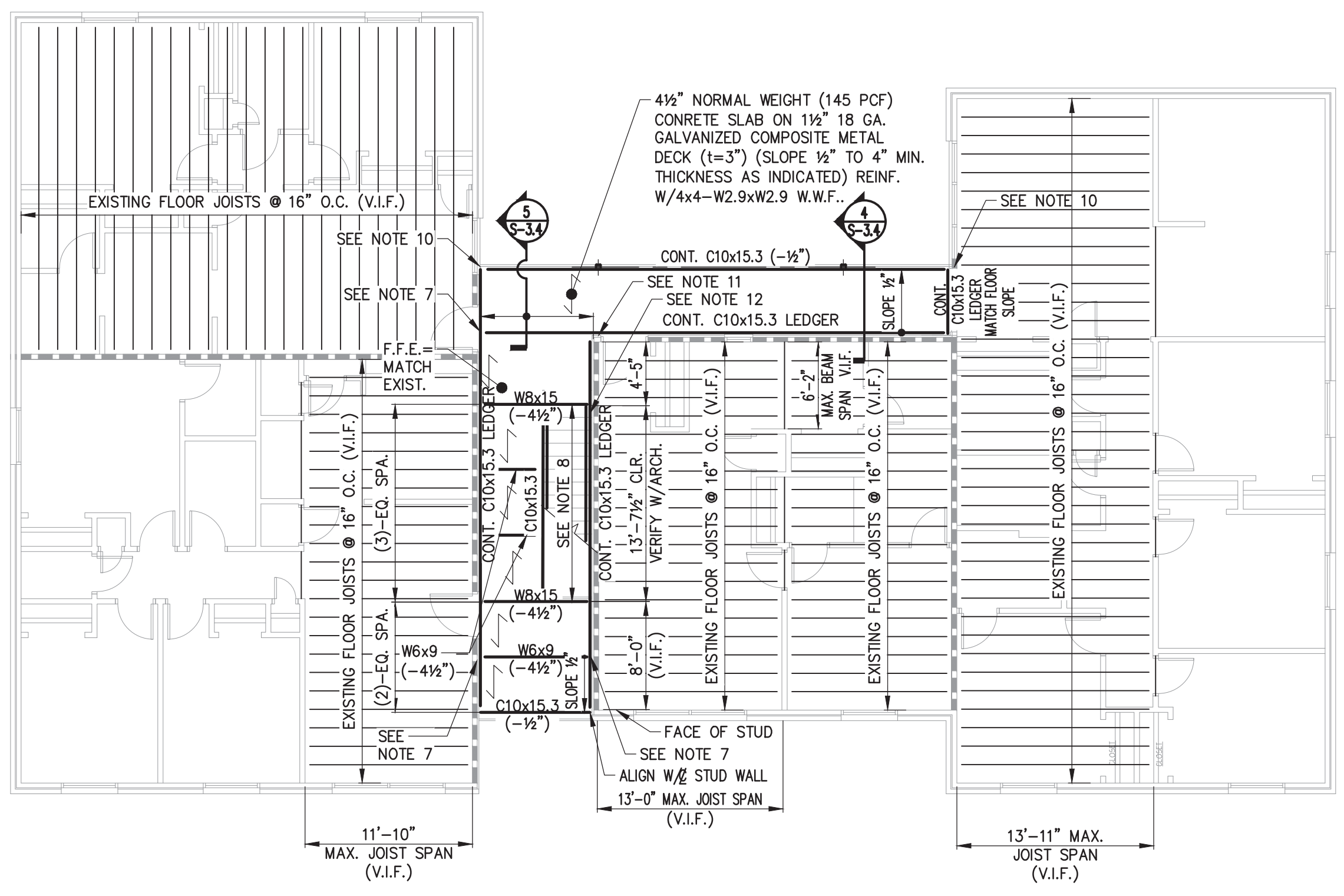


REGISTERED PROFESSIONAL ENGINEER
No. 11754
JODELE J. FOWLER

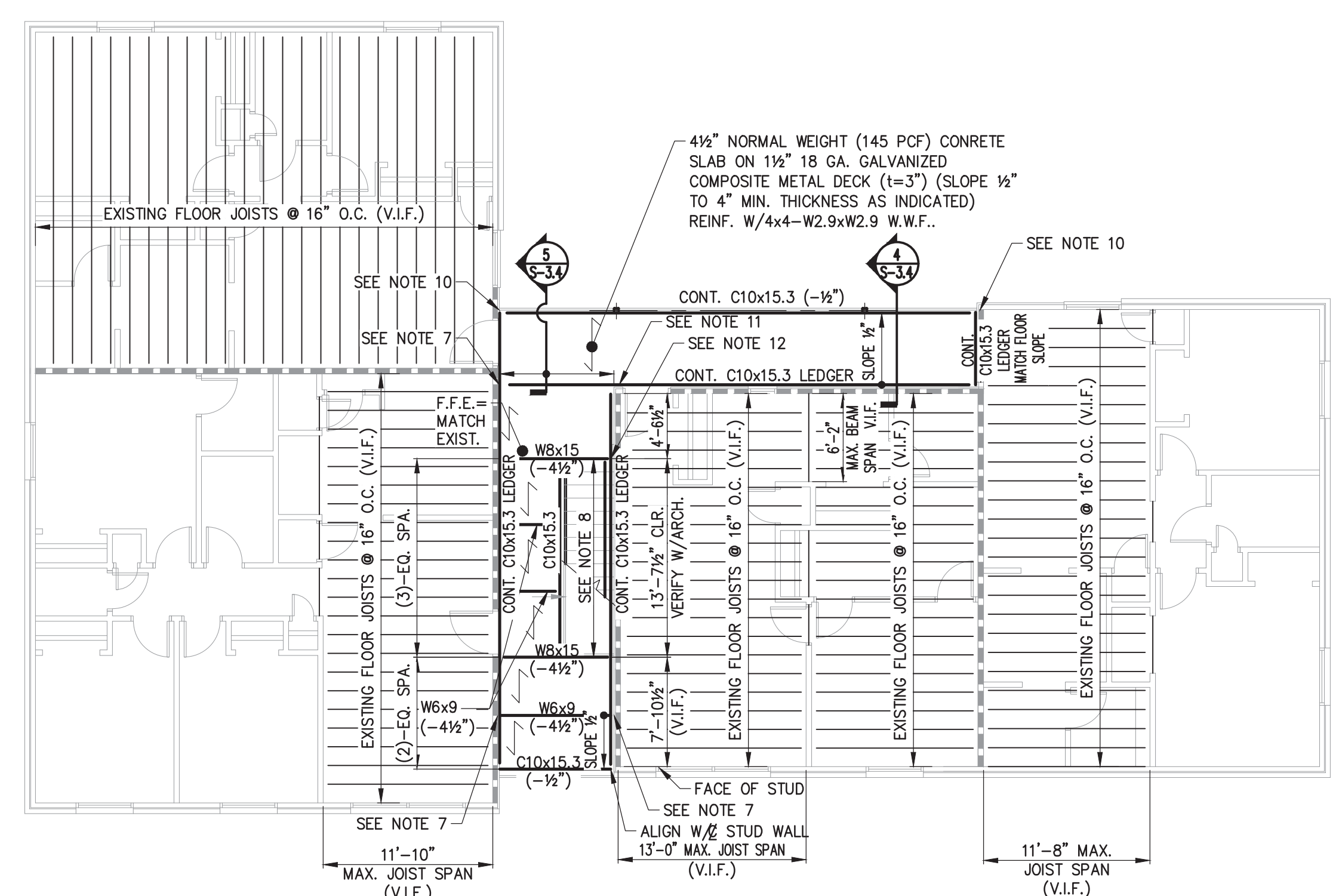
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S-2.2

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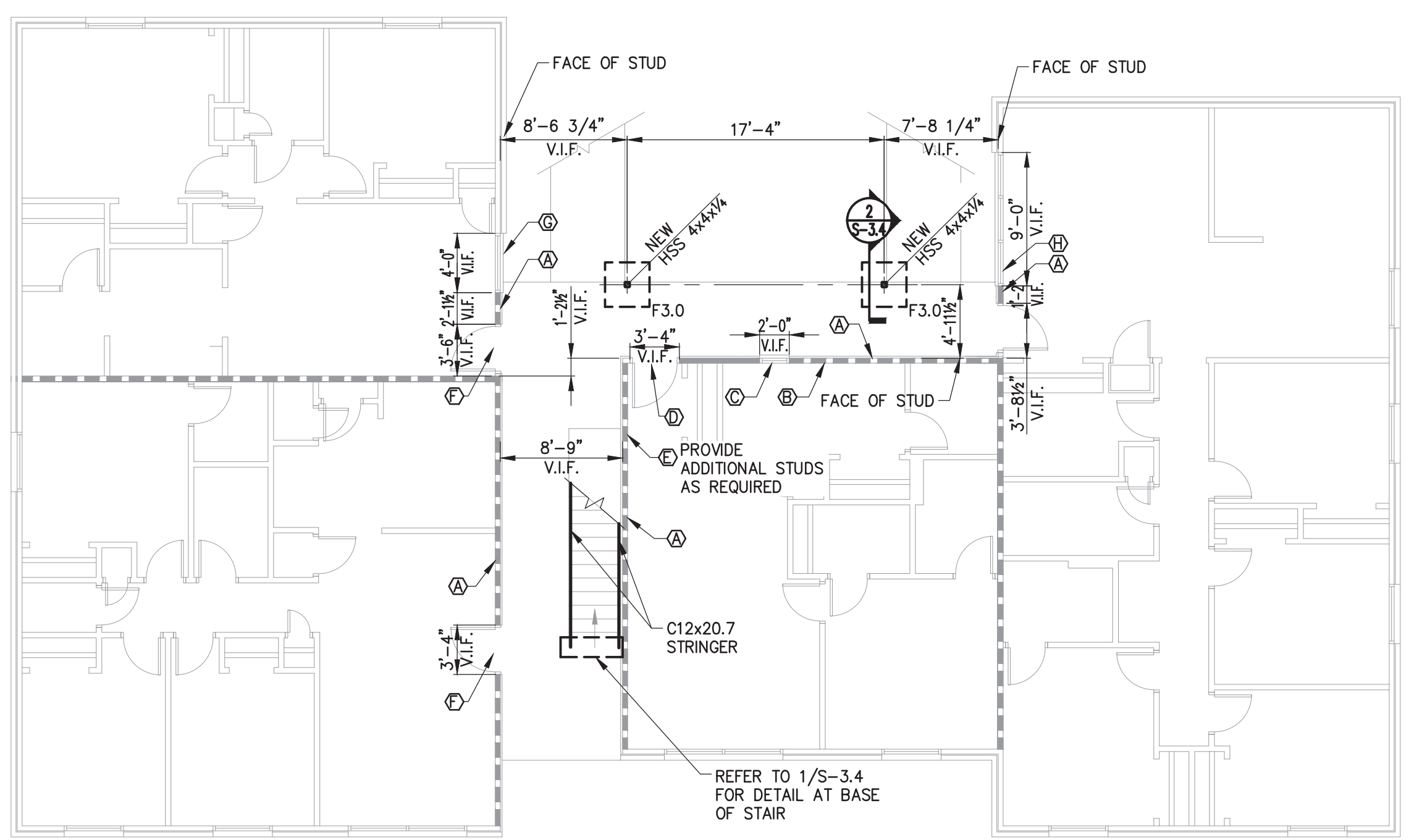


STAIR / ELEVATED WALKWAY FRAMING PLAN
BLDGS 2, 3, 5, 8
 SCALE: 1/8" = 1'-0"

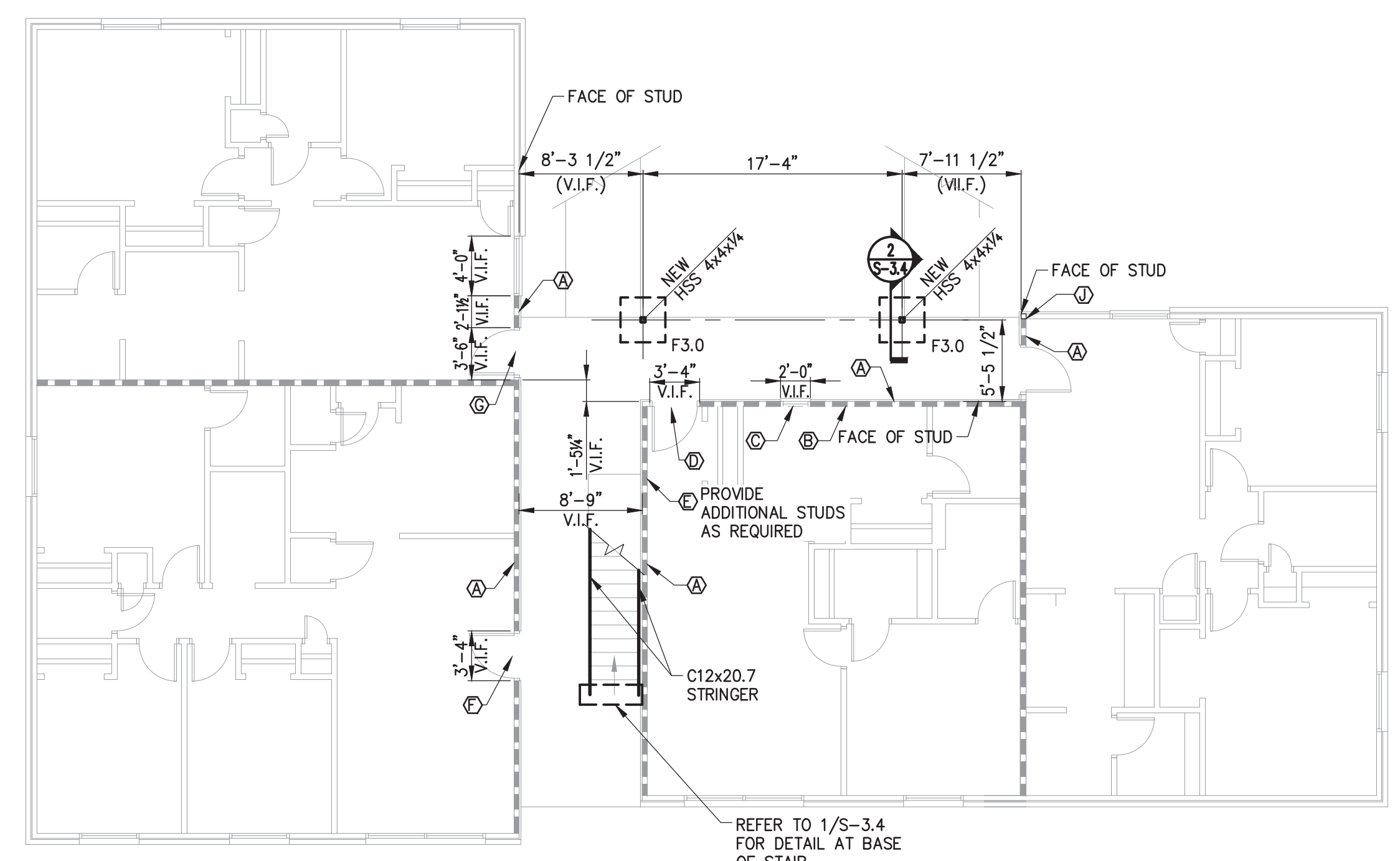


STAIR / ELEVATED WALKWAY FRAMING PLAN
BLDGS 1, 4, 6, 7
 SCALE: 1/8" = 1'-0"

- NOTES:**
- ALL ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS ARE REFERENCED FROM A FINISHED FLOOR DATUM ELEVATION AT THE GROUND FLOOR OF 100'-0" AT EACH BUILDING. REFER TO ARCH./CIVIL DRAWINGS FOR ACTUAL EQUIVALENT MEAN SEA-LEVEL FLOOR ELEVATION.
 - DIMENSIONS SHOWN ARE ASSUMED FOR DESIGN. CONTRACTOR SHALL SUBMIT A DIMENSIONED PLAN WITH FIELD VERIFIED DIMENSIONS INDICATED THIS SHEET AT EACH BUILDING FOR ENGINEER REVIEW PRIOR TO SUBMITTAL OF SHOP DRAWINGS. FIELD VERIFY EXISTING CONDITIONS PRIOR TO STEEL FABRICATION. STEEL SHOP DRAWINGS SHALL INDICATE ACTUAL FIELD CONDITIONS AND DIMENSIONS.
 - ASSUMED EXISTING ROOF DEAD LOADS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION:
 ROOFING: 2.5 PSF
 PLYWOOD SHEATHING: 2.0 PSF
 ROOF TRUSSES: 4.0 PSF
 GYP CEILING: 3.0 PSF
 BATT INSULATION: 1.5 PSF
 M, P, & E ALLOWANCE: 5.0 PSF
 - ASSUMED EXISTING (INTERIOR) FLOOR DEAD LOADS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION:
 FLOOR COVERING: 1.5 PSF
 3/4" GYPCRETE TOPPING: 6.5 PSF
 PLYWOOD SHEATHING: 2.3 PSF
 2x FLOOR JOISTS @ 16" O.C.: 3.3 PSF
 CEILING: 3.0 PSF
 M, P, & E ALLOWANCE: 5.0 PSF
 PARTITION ALLOWANCE: 15.0 PSF
 - EXISTING FLOOR FRAMING CONFIGURATIONS INDICATED ARE ASSUMED FOR DESIGN. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO CONSTRUCTION.
 - (C) DENOTES EXISTING WALL FRAMING CONDITION TO BE VERIFIED IN FIELD. REFER TO 10/S3.4 FOR REQUIRED FRAMING.
 - PROVIDE MITERED FULL PENETRATION WELDED SPLICE IN LEDGER TO ALLOW END OF LEDGER TO SLOPE W/TOP OF FLOOR SLAB.
 - PROVIDE BENT @ POUR STOP ON TOP OF CHANNEL AT STAIR OPENING.
 - REFER TO 6/S-3.4 FOR TYPICAL GUARDRAIL DETAILS.
 - PROVIDE (8)-ADDITIONAL THRU-BOLTS (2-ROWS OF 4-BOLTS) AT LEDGER IN ADDITION TO TYPICAL BOLT SPACING @ END OF C10 LEDGER. SPACE ADDITIONAL BOLTS @ 3" O.C. (3" MIN. END DISTANCE FOR WOOD MEMBERS).
 - PROVIDE (14)-ADDITIONAL THRU-BOLTS (2-ROWS OF 7-BOLTS) AT LEDGER IN ADDITION TO TYPICAL BOLT SPACING @ WALL CORNER. SPACE ADDITIONAL BOLTS @ 3" O.C. (3" MIN. END DISTANCE FOR WOOD MEMBERS).
 - PROVIDE (20)-ADDITIONAL THRU-BOLTS (2-ROWS OF 10-BOLTS) AT LEDGER IN ADDITION TO TYPICAL BOLT SPACING. CENTER ADDITIONAL BOLTS ABOUT STAIR HEADER. SPACE ADDITIONAL BOLTS @ 3" O.C. (3" MIN. END DISTANCE FOR WOOD MEMBERS.)
 - REFER TO 7/S-3.4 FOR TYPICAL C10 LEDGER CONNECTION TO EXISTING WALL FRAMING.



STAIR / ELEVATED WALKWAY FOUNDATION PLAN & REQUIRED EXISTING WALL FRAMING PLAN
BLDGS 2, 3, 5, 8
 SCALE: 1/8" = 1'-0"



STAIR / ELEVATED WALKWAY FOUNDATION PLAN & REQUIRED EXISTING WALL FRAMING PLAN
BLDGS 1, 4, 6, 7
 SCALE: 1/8" = 1'-0"

| FOOTING SCHEDULE | | | |
|------------------|-------------------|--------------------|---------|
| MARK | SIZE | REINFORCEMENT | REMARKS |
| F3.0 | 3'-0"x3'-0"x1'-0" | (4)-#5 EA. WAY T&B | |

WHITE RIVER APARTMENTS
 2900 MARION DRIVE
 DIAZ, ARKANSAS

FOUNDATION & FLOOR FRAMING PLANS
AT STAIRS/ELEVATED WALKWAYS

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 869-1802

5616 WALLWOOD ROAD



Carpenter Wright Engineers

Structural Consultants
 111 Sheriata Lane, Suite 200
 Knoxville, TN 37922
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 CWE # 2016103.00

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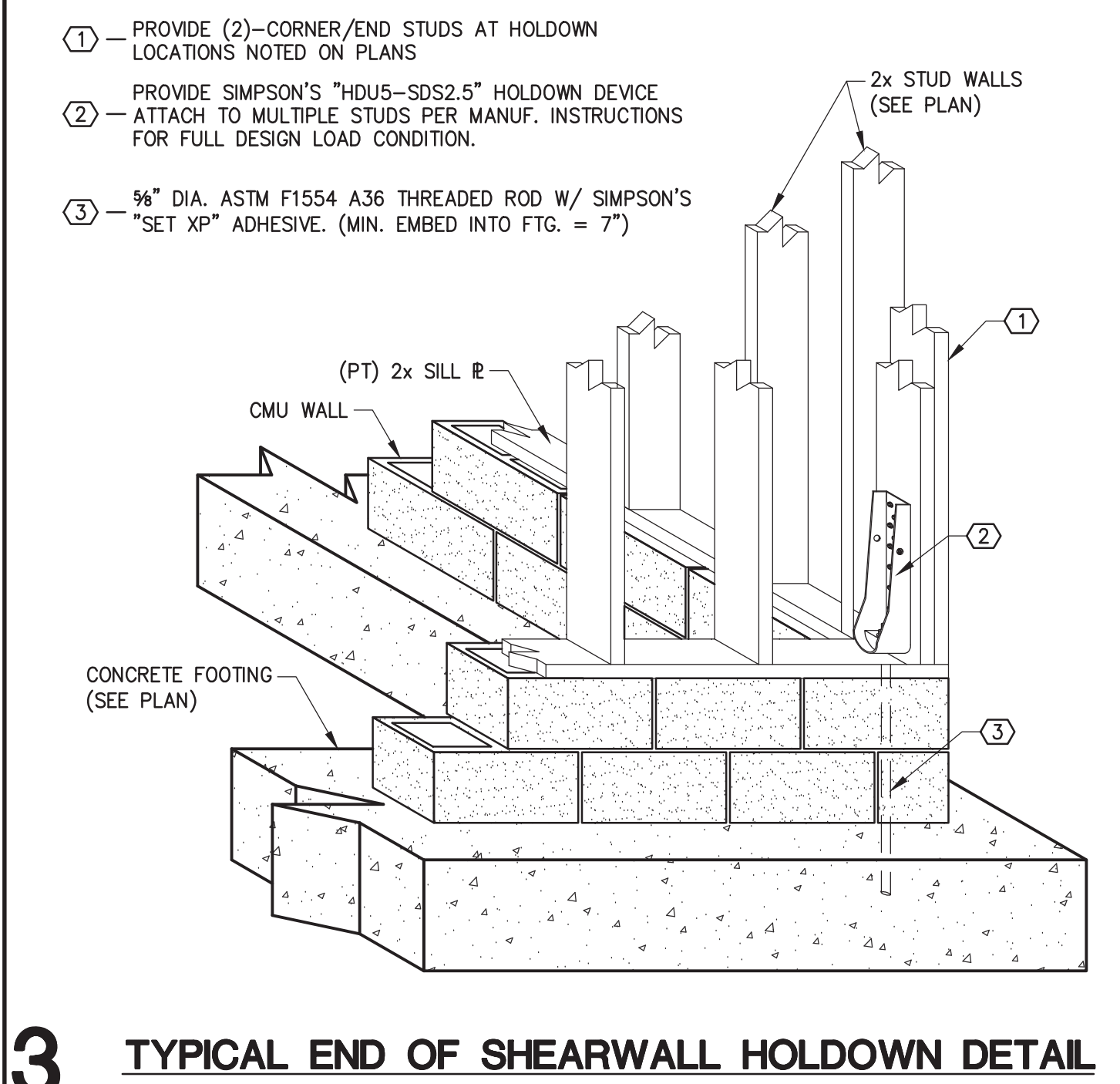
S-2.3

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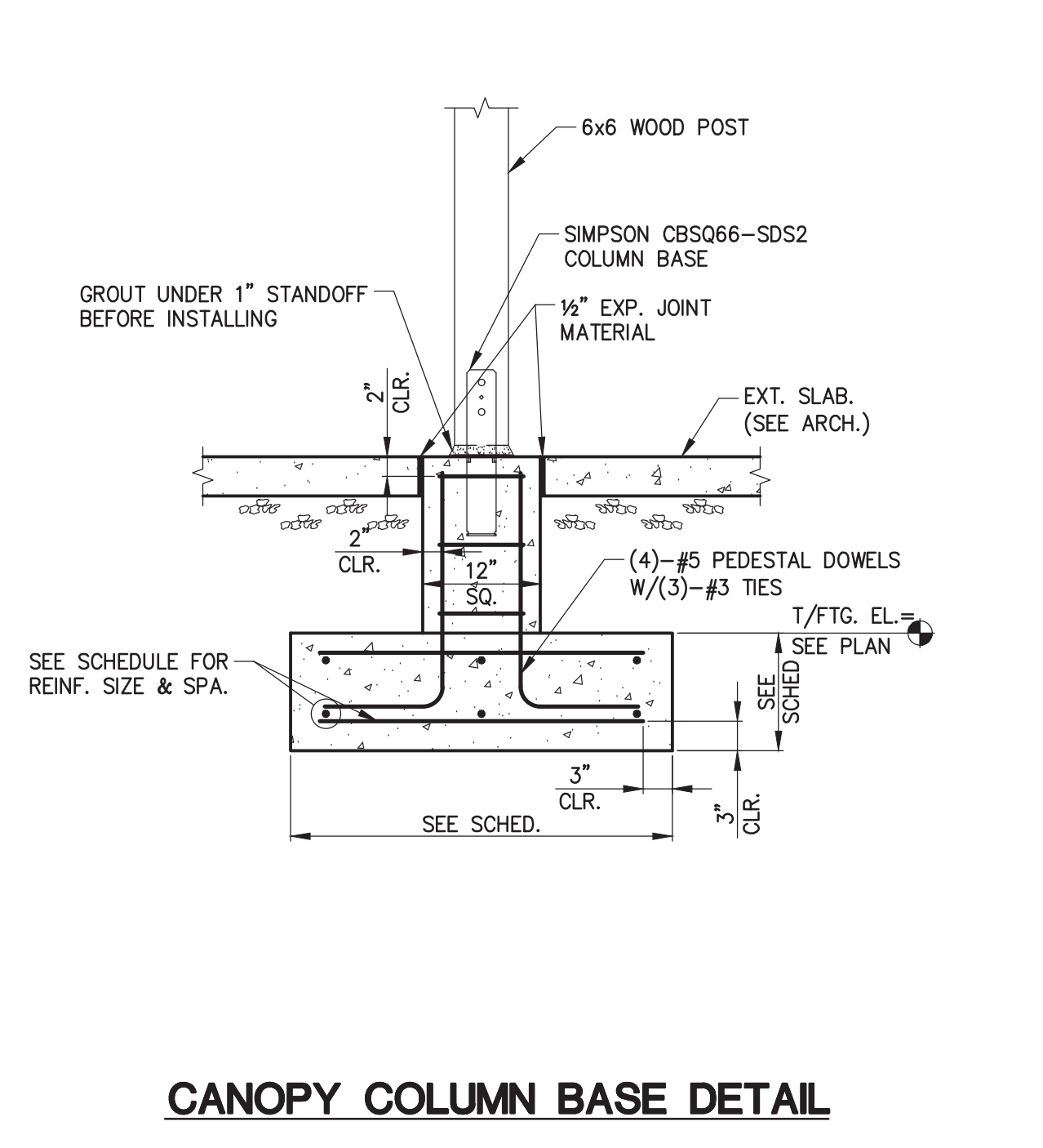
WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS
SECTIONS AND DETAILS
ALLAN ASSOCIATES ARCHITECTS, PLLC
KNOXVILLE, TENNESSEE 37912
865 / 689-1802
5616 WALLWOOD ROAD



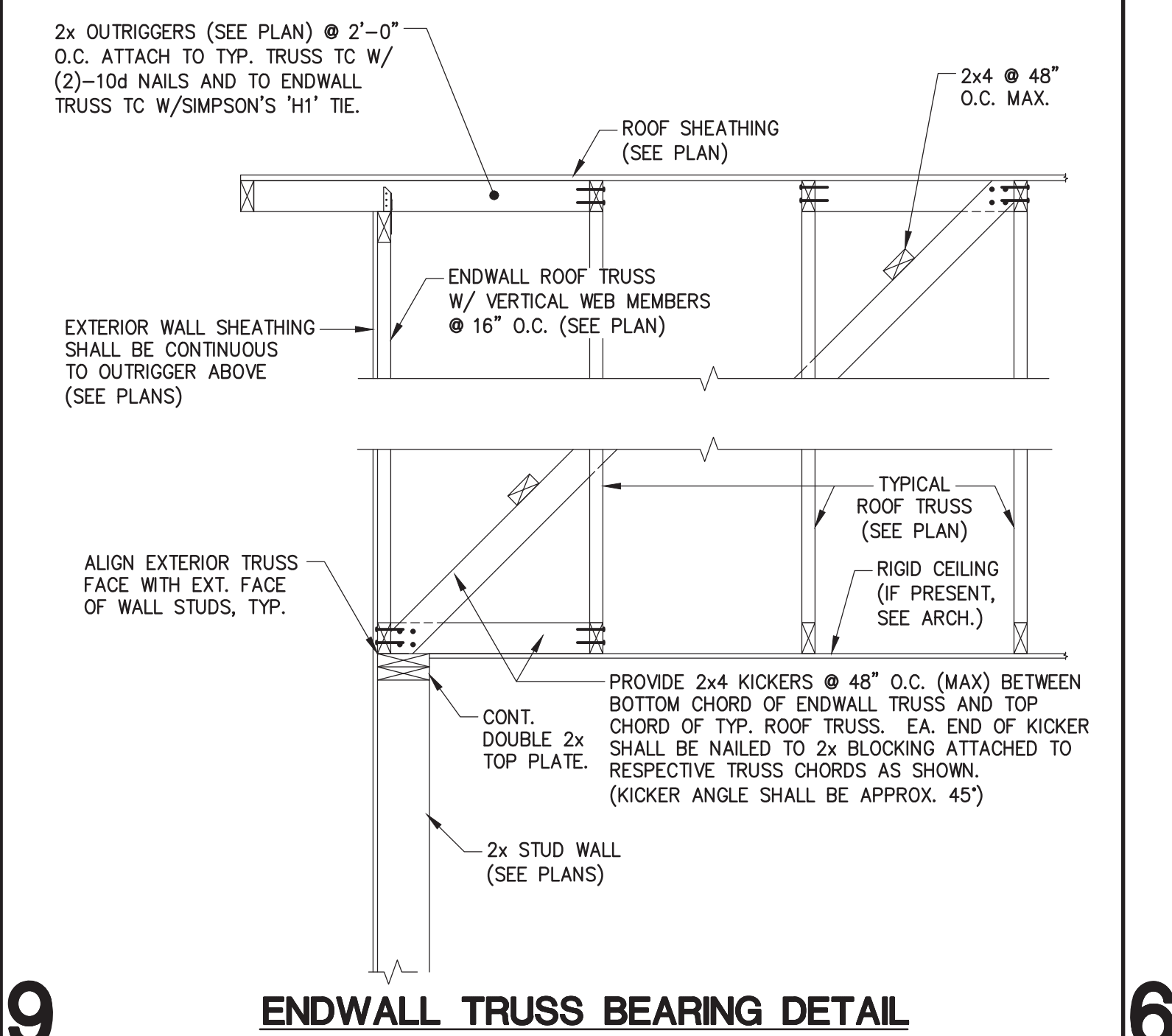
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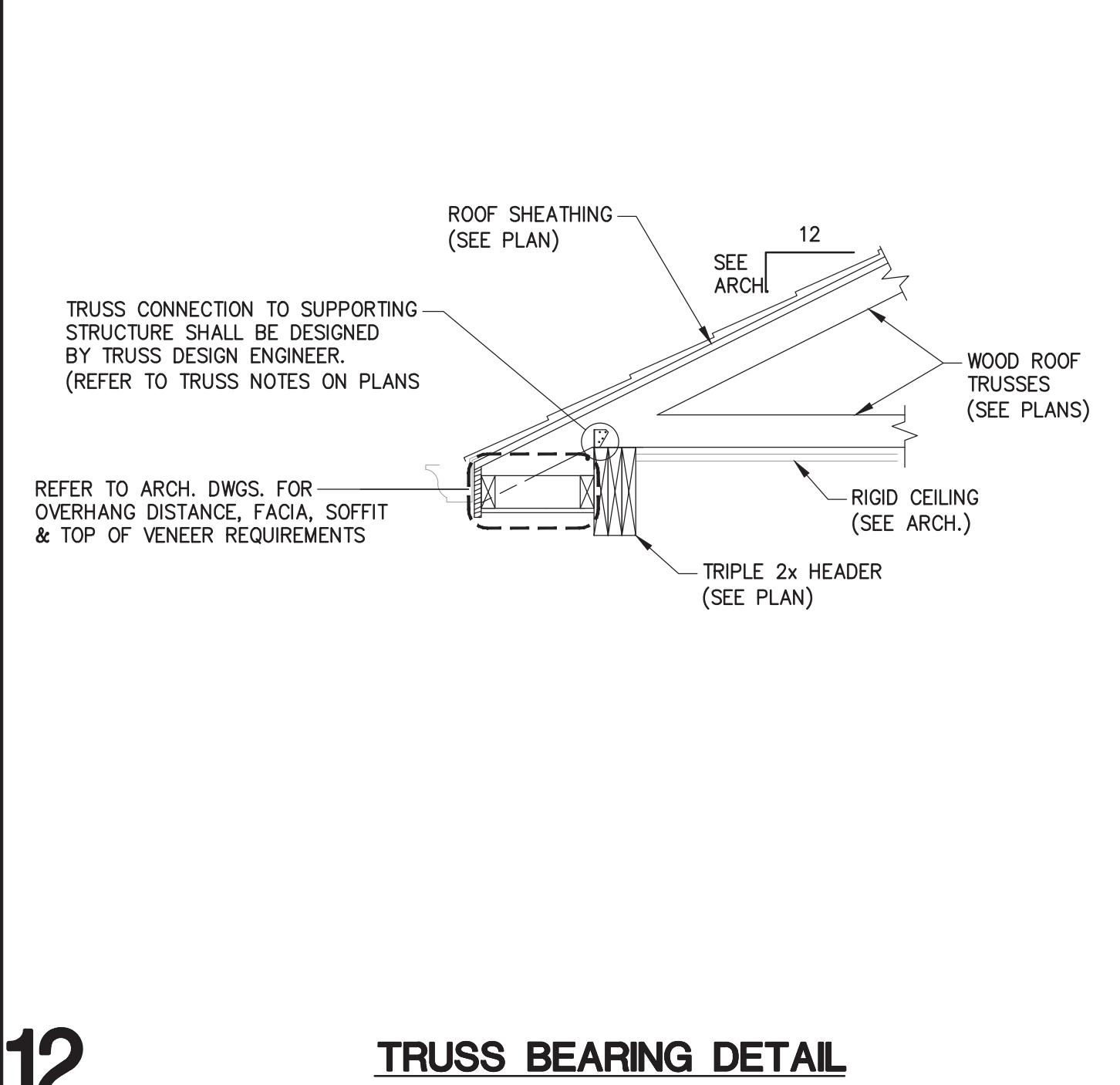
3 TYPICAL END OF SHEARWALL HOLDOWN DETAIL



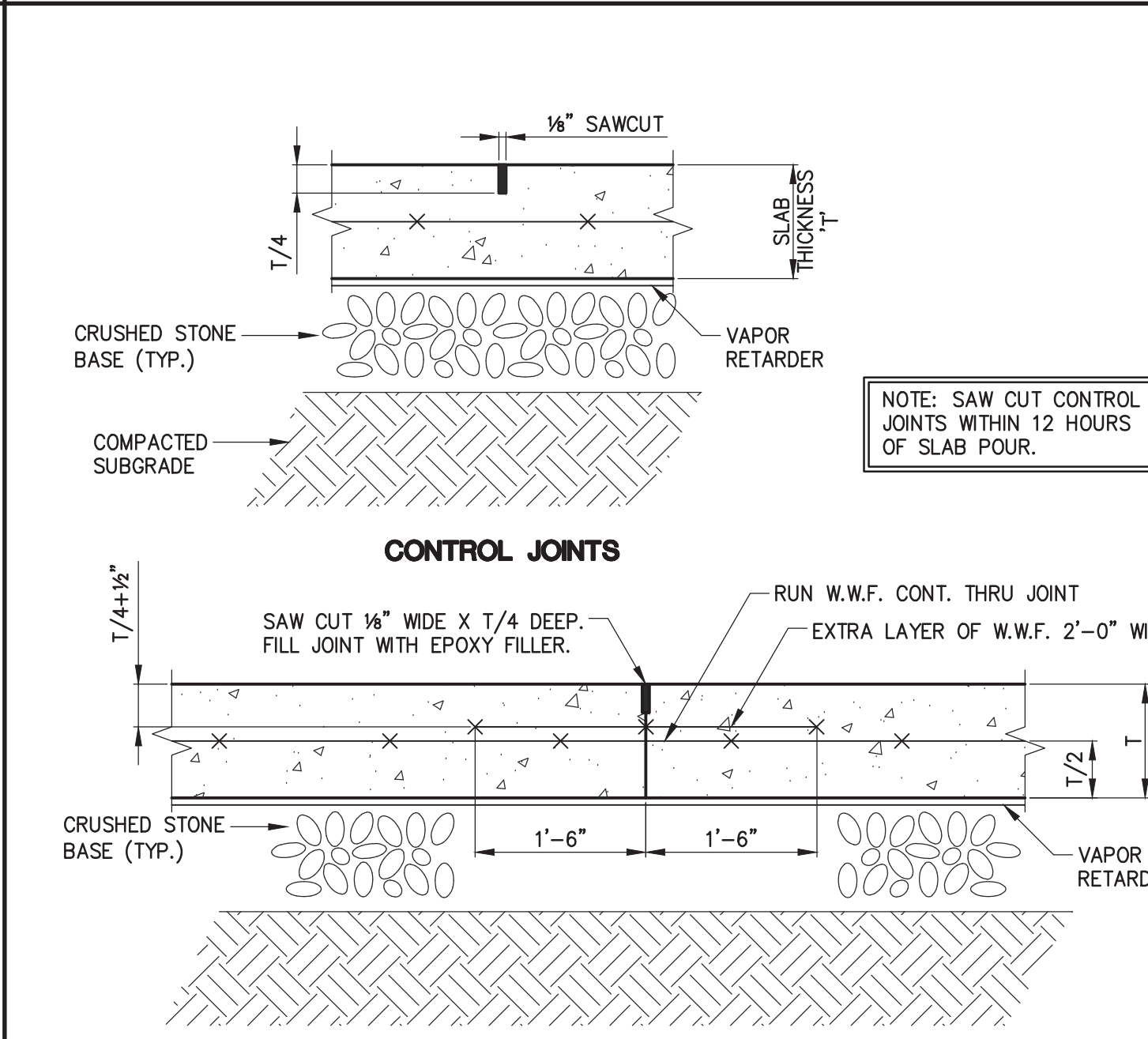
6 CANOPY COLUMN BASE DETAIL



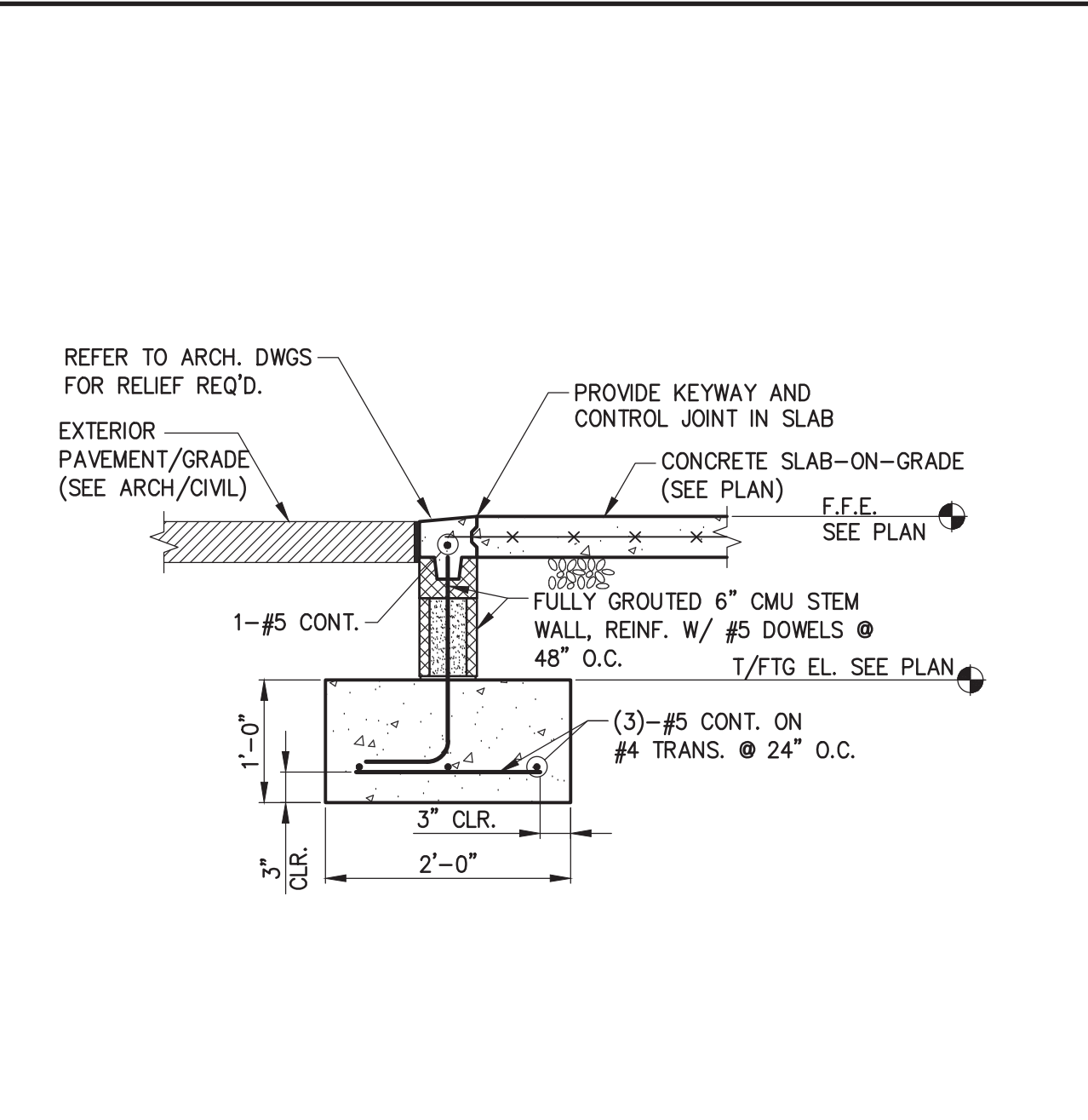
9 ENDWALL TRUSS BEARING DETAIL



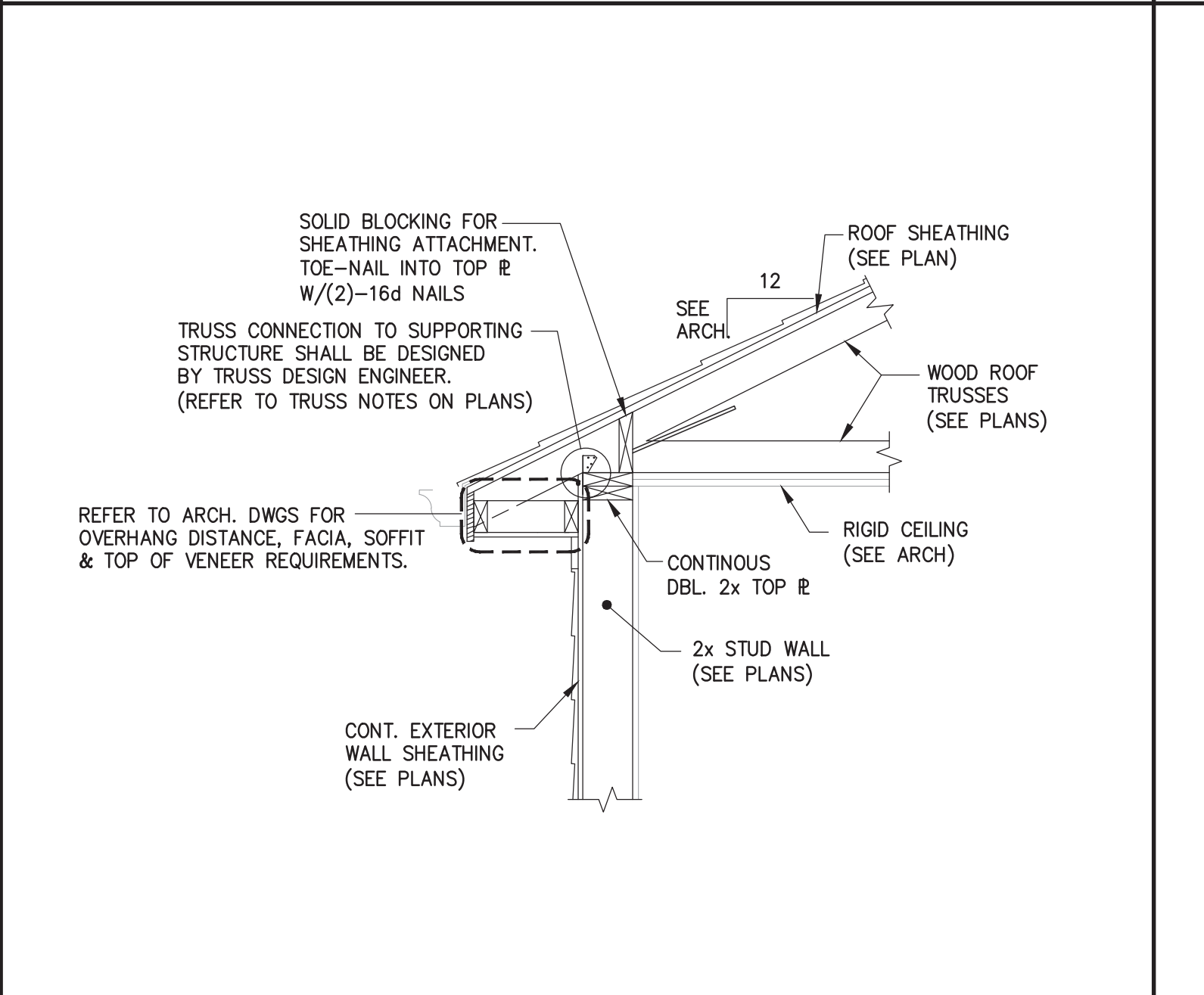
12 TRUSS BEARING DETAIL



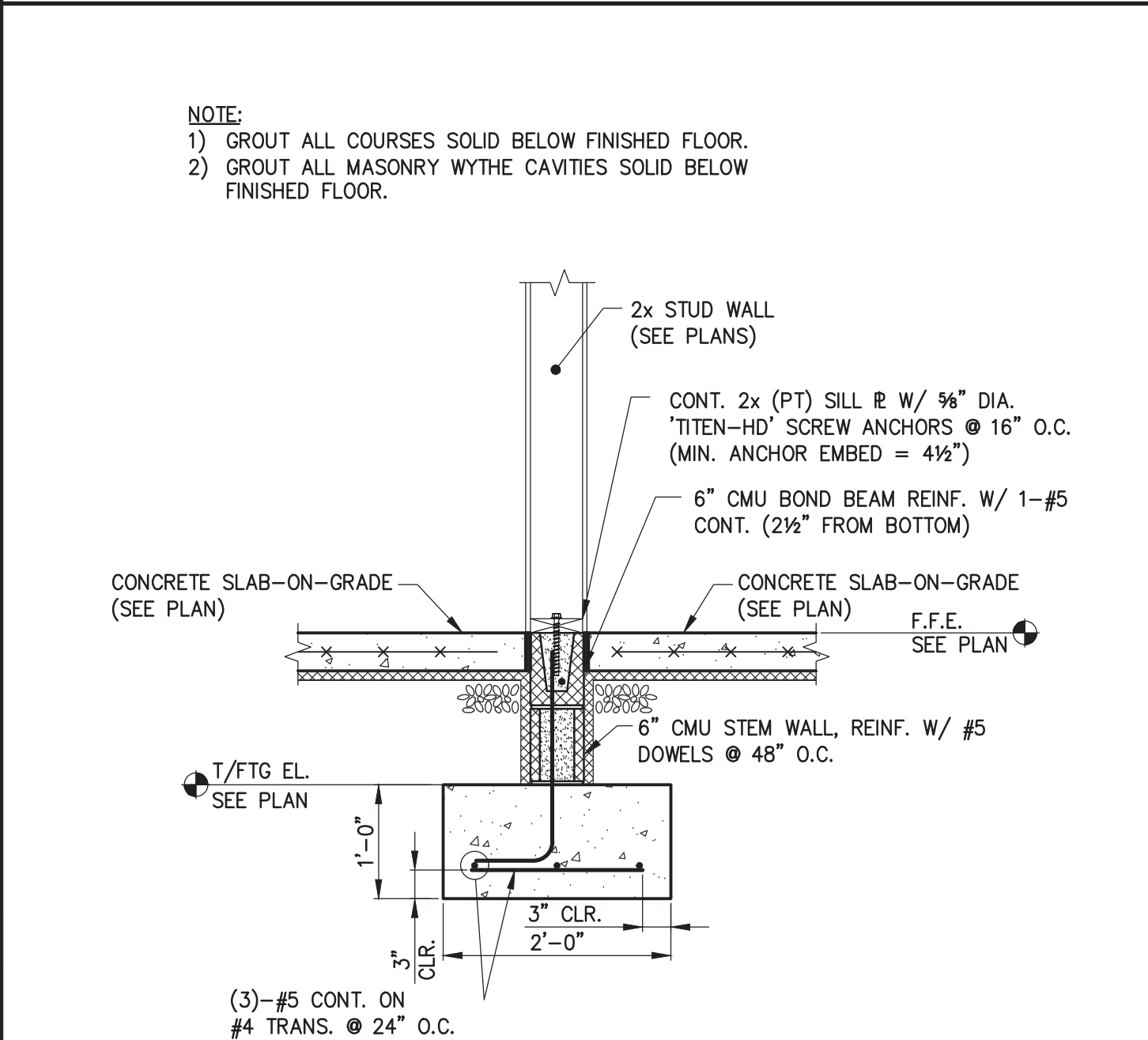
2 TYP. SLAB-ON-GRADE JOINT DETAILS



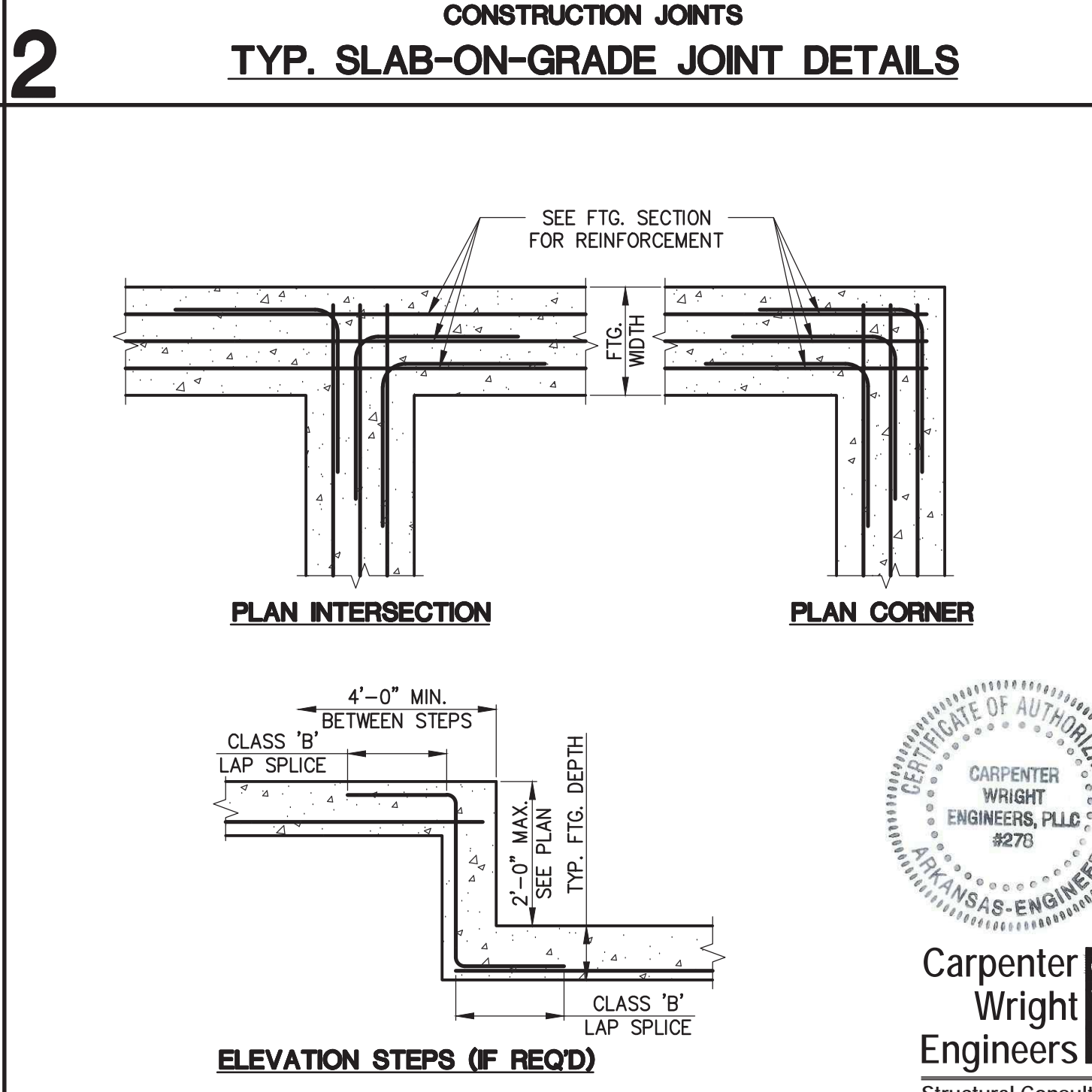
5 EXTERIOR WALL FOOTING DETAIL AT DOOR OPENINGS



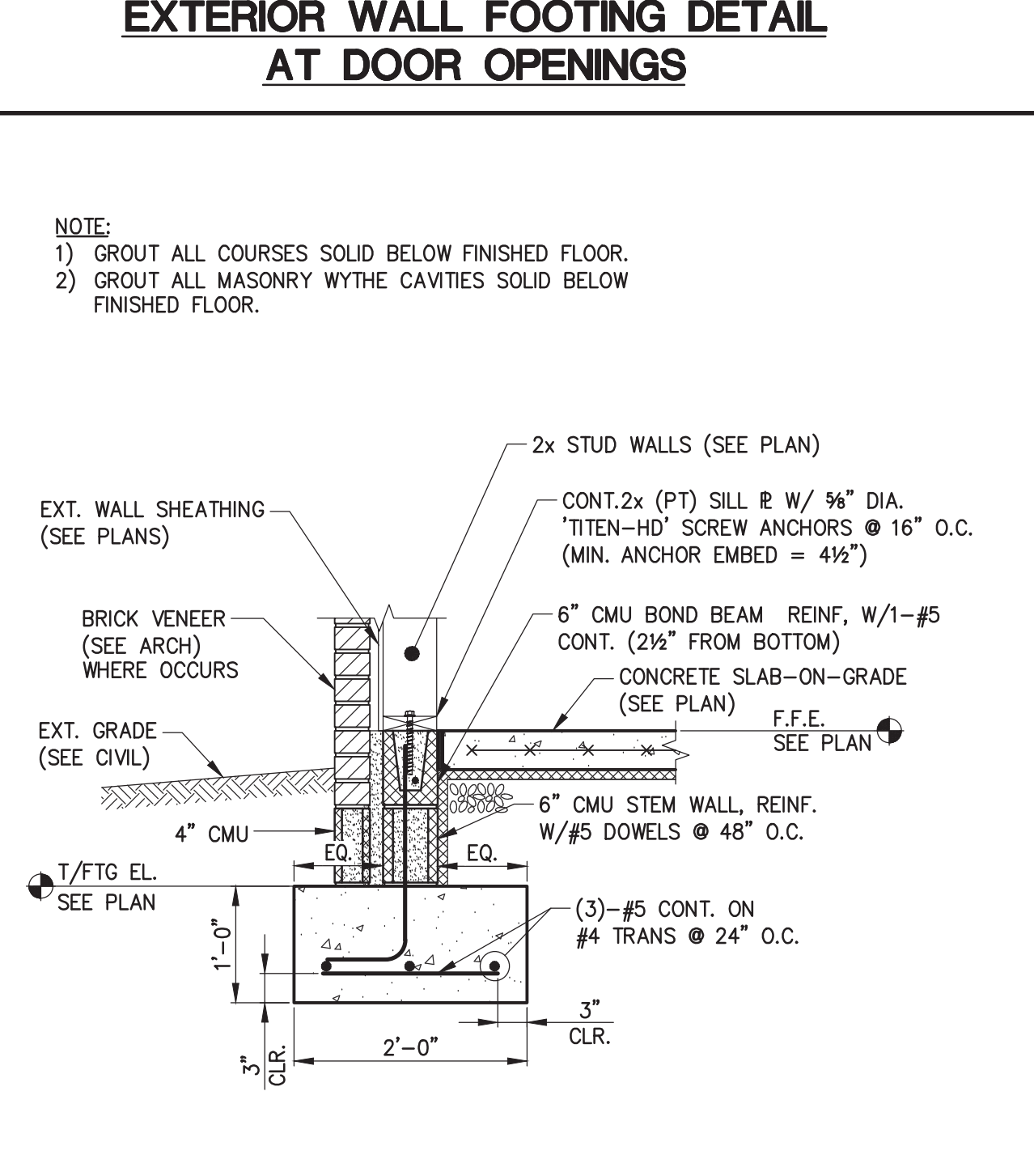
8 TYP. ROOF TRUSS BEARING DETAIL



11 INTERIOR WALL FOOTING DETAIL



1 TYPICAL FOOTING DETAILS



4 TYP. EXTERIOR WALL FOOTING DETAIL

WOOD STUD HEADER AND JAMB SCHEDULE

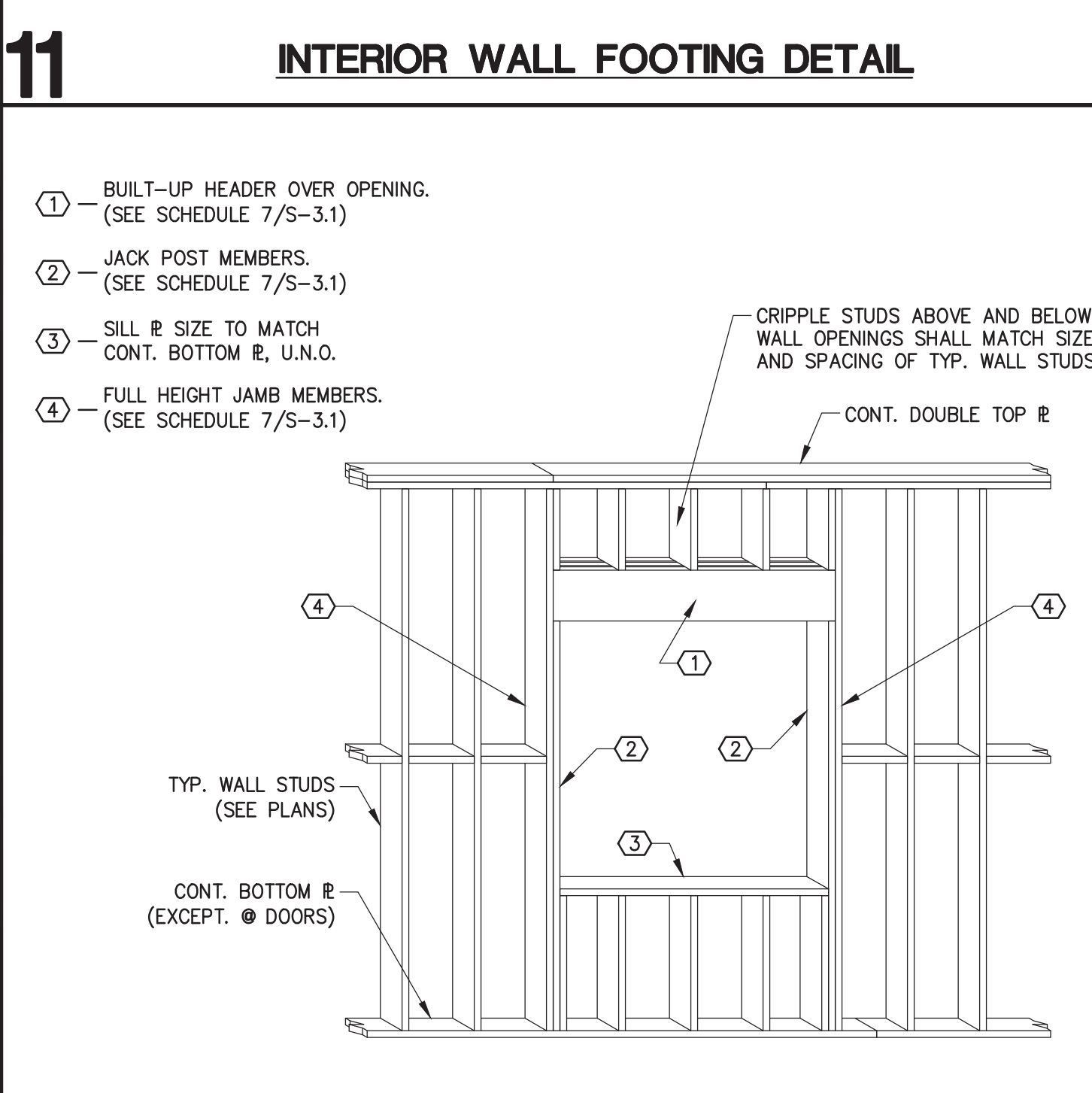
| MARK/SIZE | HEADER MEMBERS | FULL-HEIGHT JAMBS | JACK POSTS | REMARKS |
|-----------|----------------|-------------------|------------|--|
| H1 | (3)-2x8 | 2x6 | 1-2x6 | L4x4 1/4 LOOSE BRICK LINTEL WHERE REQUIRED |
| H2 | (3)-2x12 | (2)-2x6 | 1-2x6 | |
| H3 | (3)-2x12 | (2)-2x6 | 1-2x6 | L6x4 3/8 (LLV) LOOSE BRICK LINTEL WHERE REQUIRED |

NOTES:
1. ALL HEADER MEMBERS, JAMBS AND JACK POSTS SHALL BE #2 SO. PINE, U.N.O.
2. SCHEDULED QUANTITY AND SIZE OF FULL-HEIGHT JAMBS AND JACK POSTS SHALL BE PROVIDED AT EACH END OF HEADER U.N.O. ON PLANS.
3. PROVIDE CONT. PLYWOOD SPACERS BETWEEN HEADER LAMINATIONS AS NECESSARY. TOTAL HEADER WIDTH SHALL BE EQUAL TO ACTUAL DEPTH OF ADJACENT STUDS.
4. LOOSE BRICK LINTELS SHALL HAVE 8" BEARING LENGTH EA. END.

CONTINUOUS PLYWOOD SPACER
(3)-2x MEMBERS
SEE SCHEDULE

NOTE:
FASTEN PLIES TOGETHER W/NAILED EA. SIDE @ 12" O.C. STAGGER NAILS TOP & BOTTOM. USE 16d NAILS FOR (3)-2x MEMBERS.

7 TYPICAL HEADER AND JAMB SCHEDULE



10 TYP. WALL OPENING FRAMING DETAIL

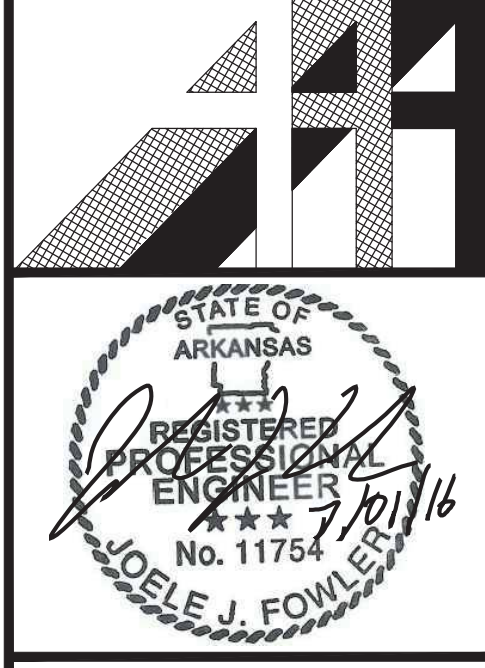
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| DRWN. BY: DJW | CHKD. BY: CAM |
| APPR. BY: JUF | DATE: 06.30.16 |
| REVISIONS | |

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

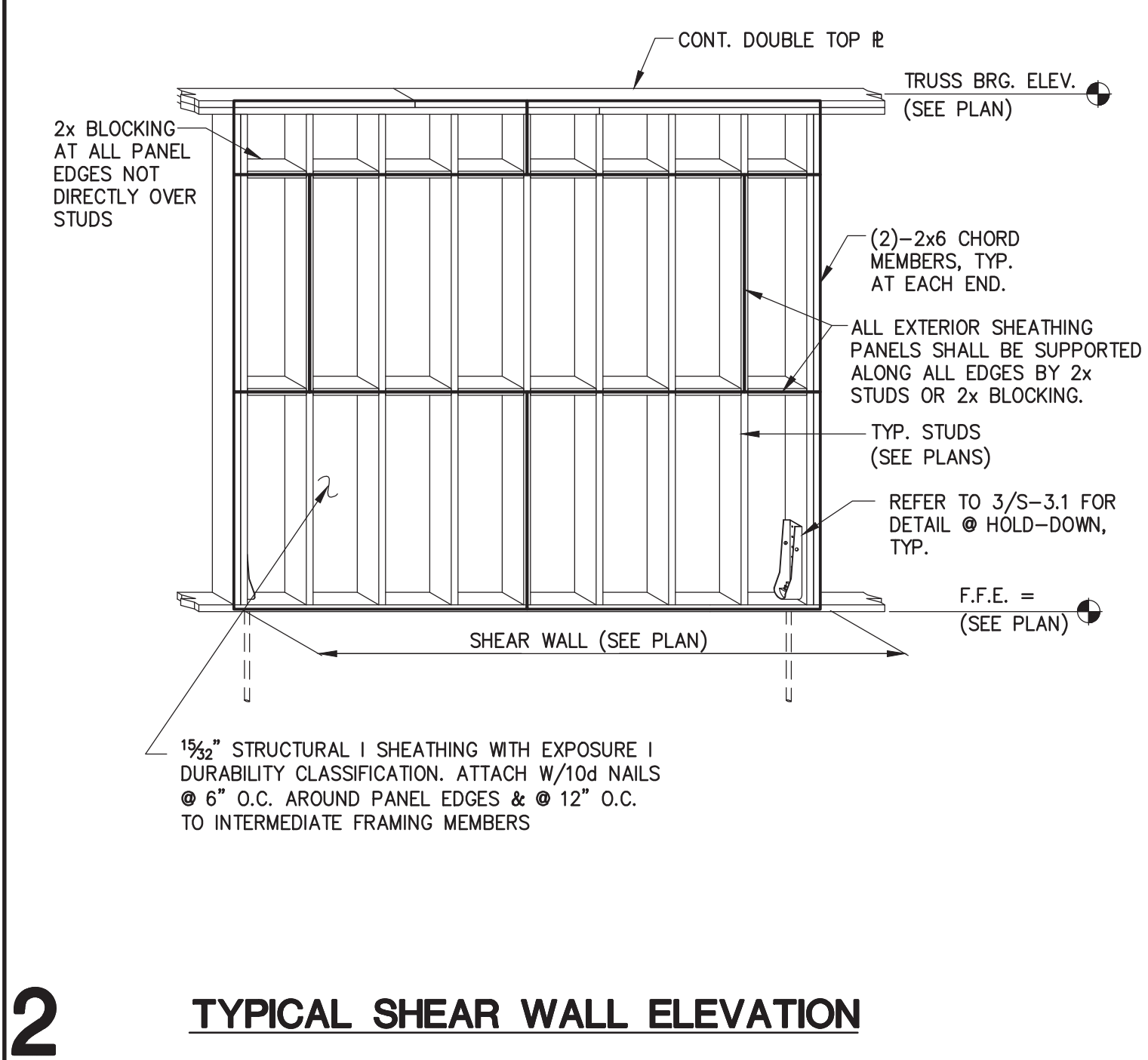
SECTIONS AND DETAILS

ALLAN ASSOCIATES ARCHITECTS, PLLC
KNOXVILLE, TENNESSEE 37912

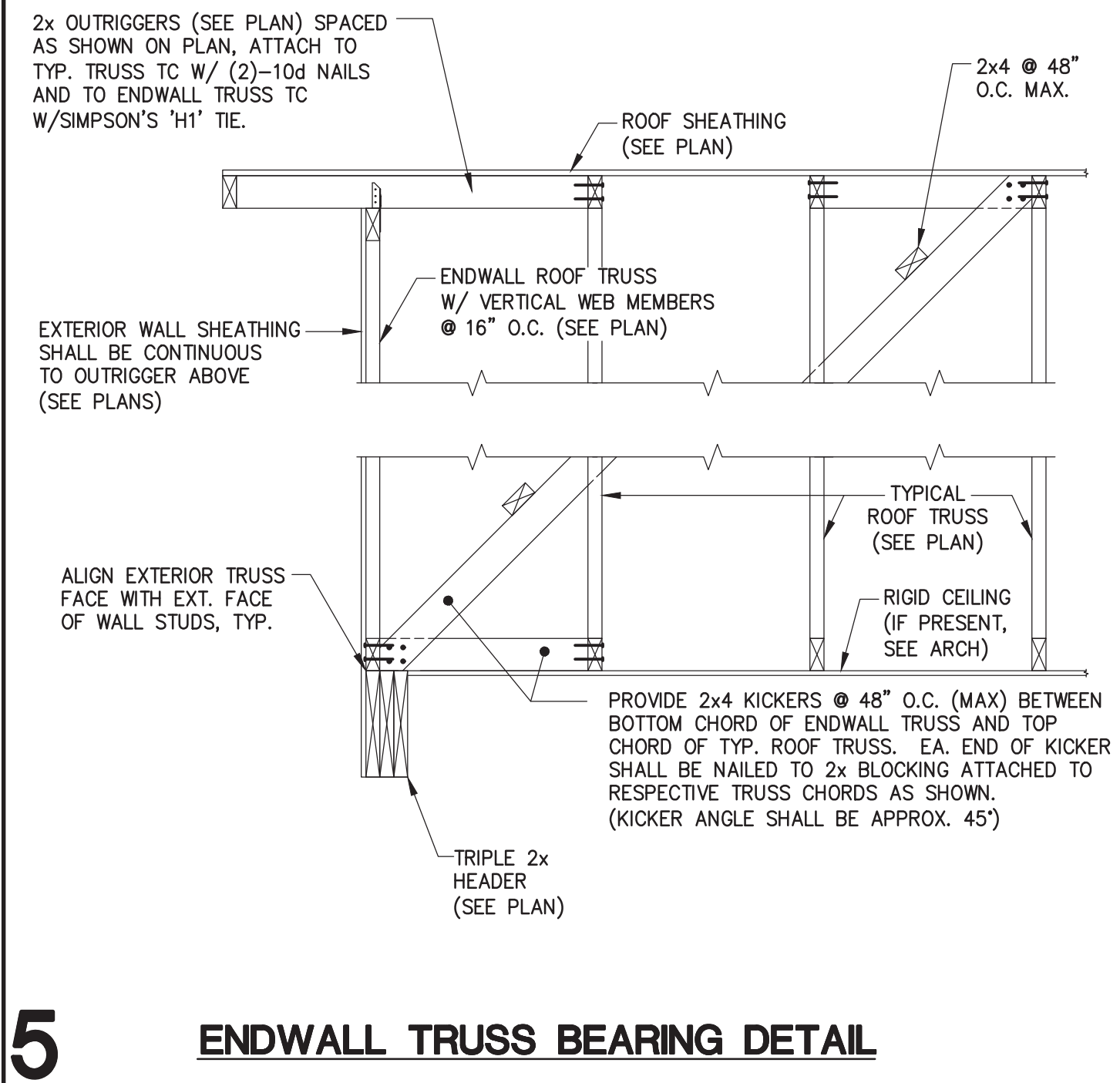
865 / 689-1802



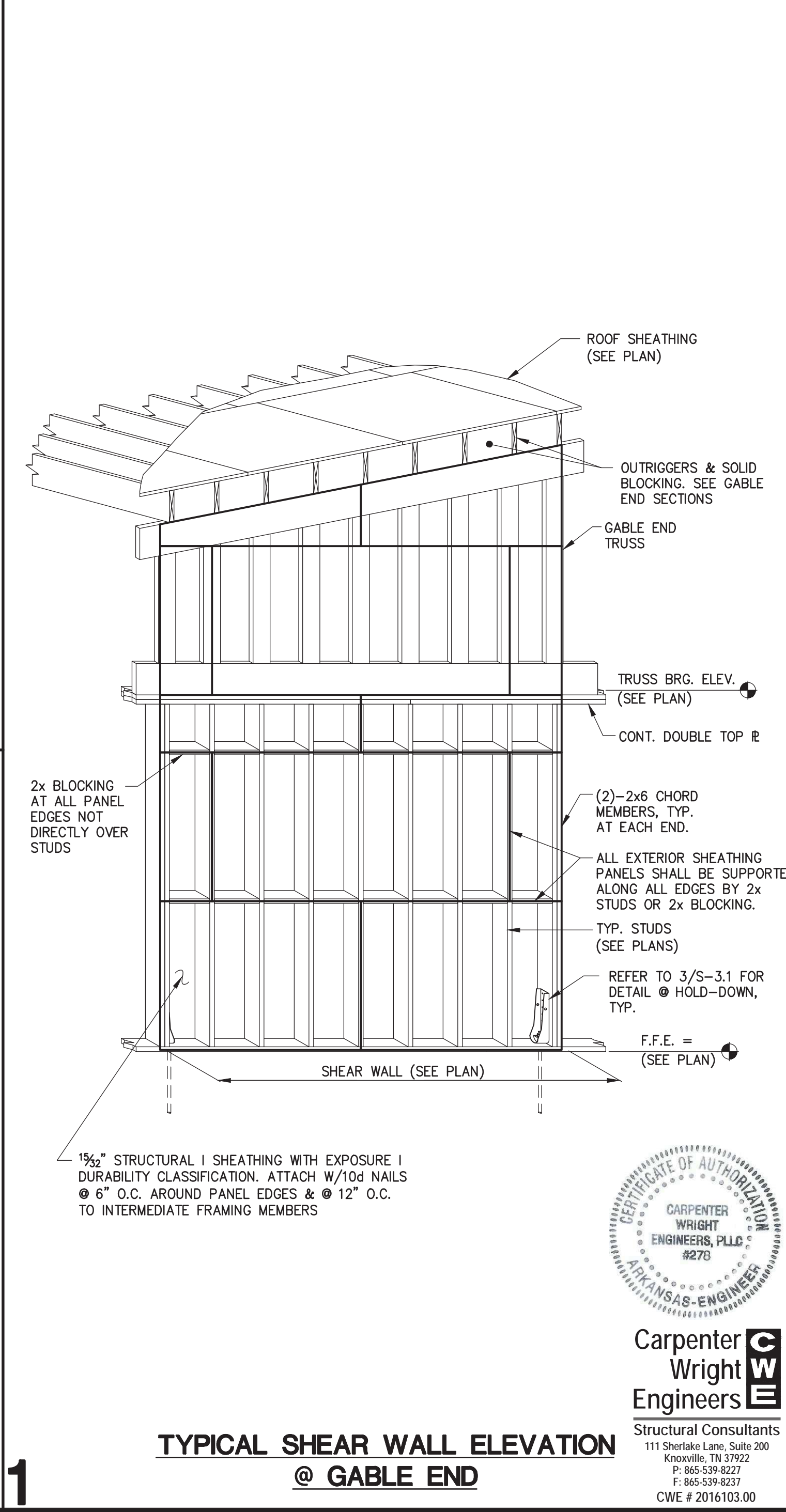
SHEET NUMBER
S-3.2



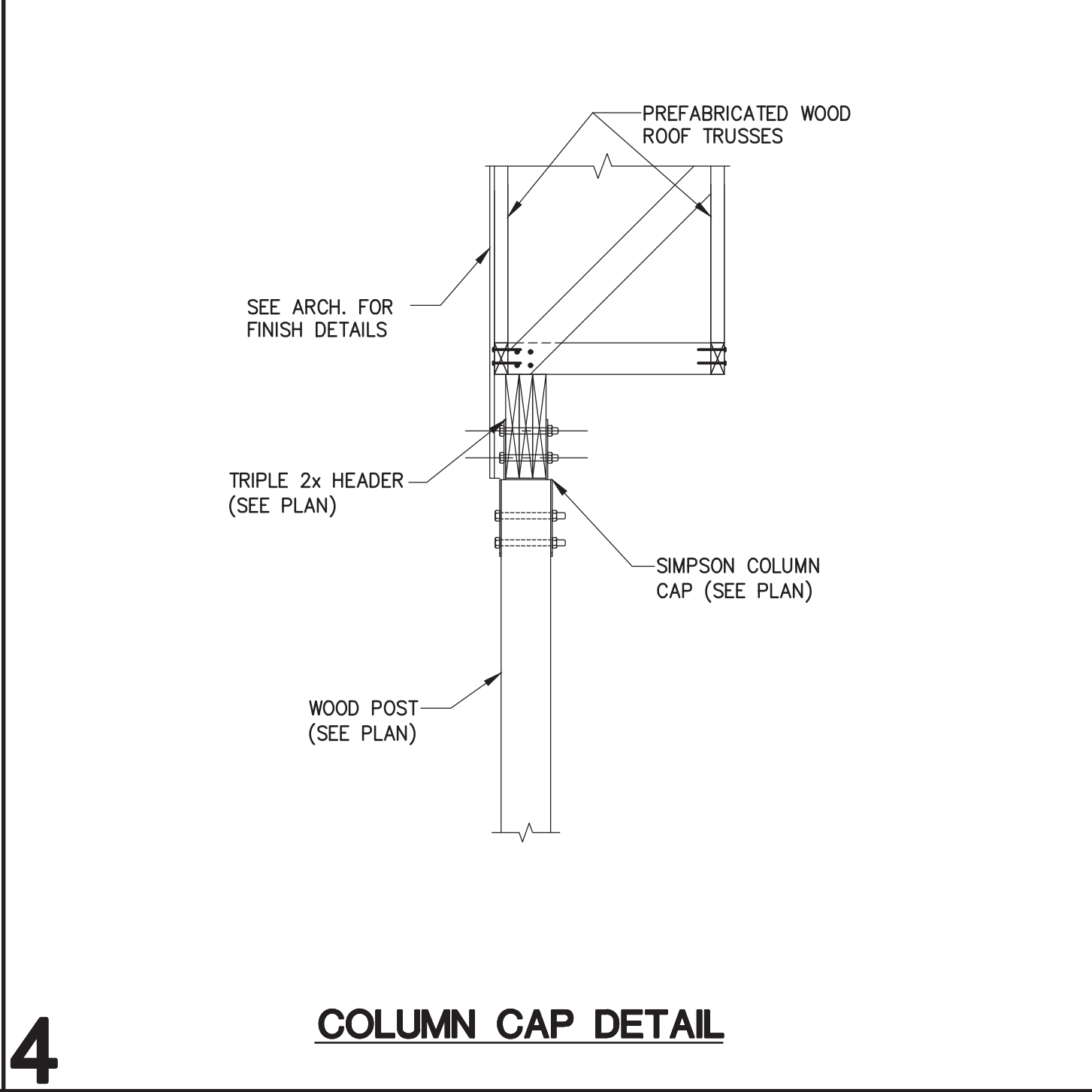
2 TYPICAL SHEAR WALL ELEVATION



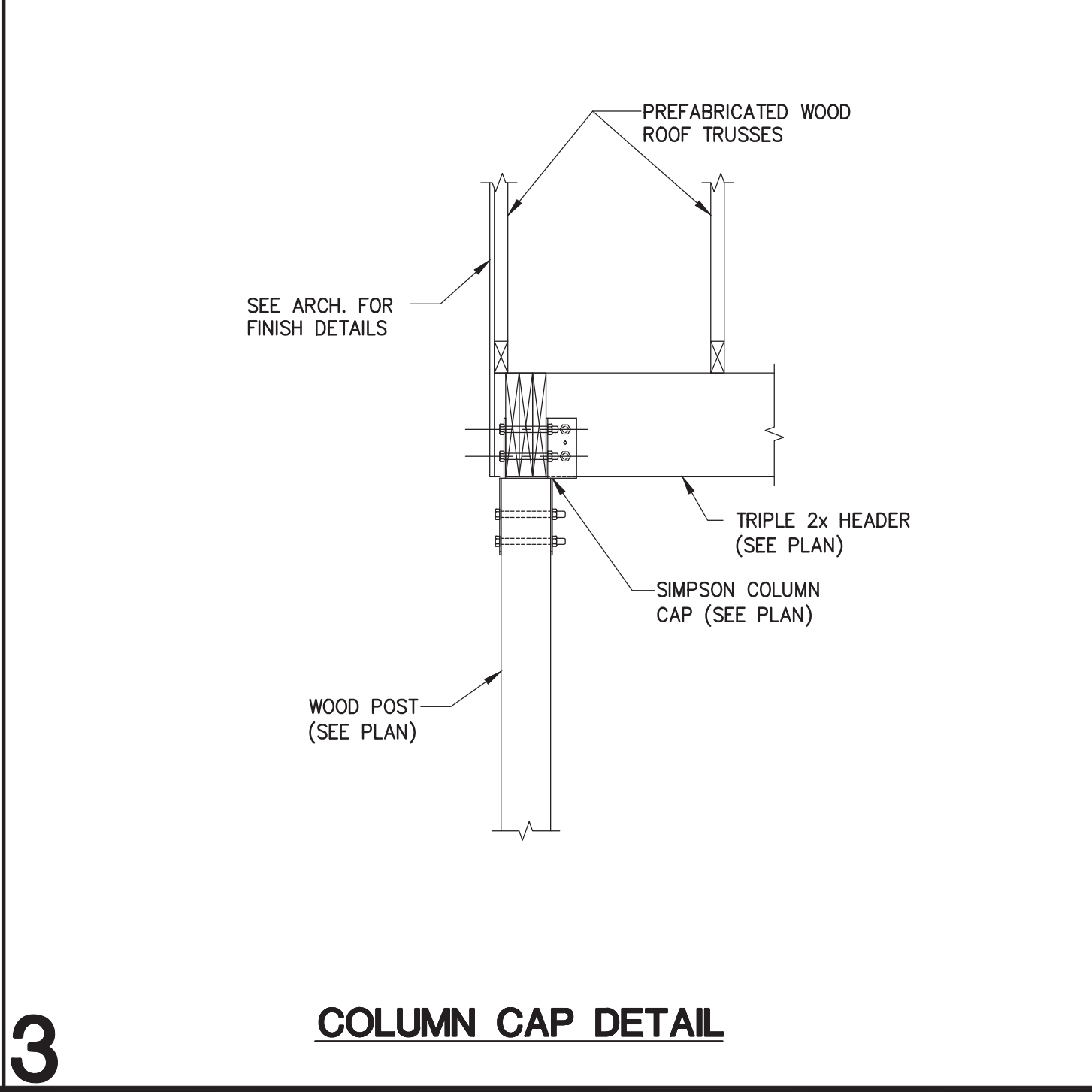
5 ENDWALL TRUSS BEARING DETAIL



1 TYPICAL SHEAR WALL ELEVATION @ GABLE END



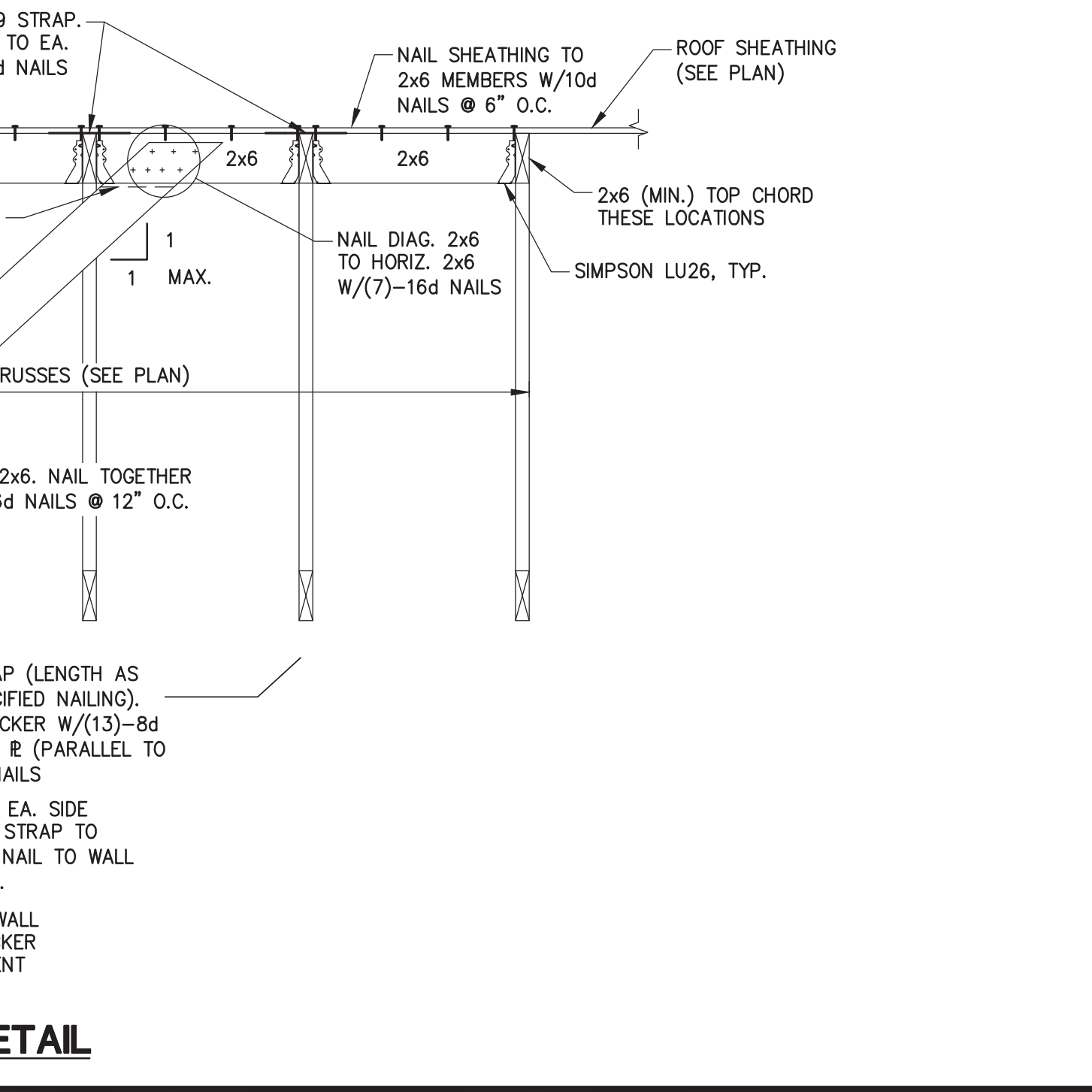
4 COLUMN CAP DETAIL



3 COLUMN CAP DETAIL



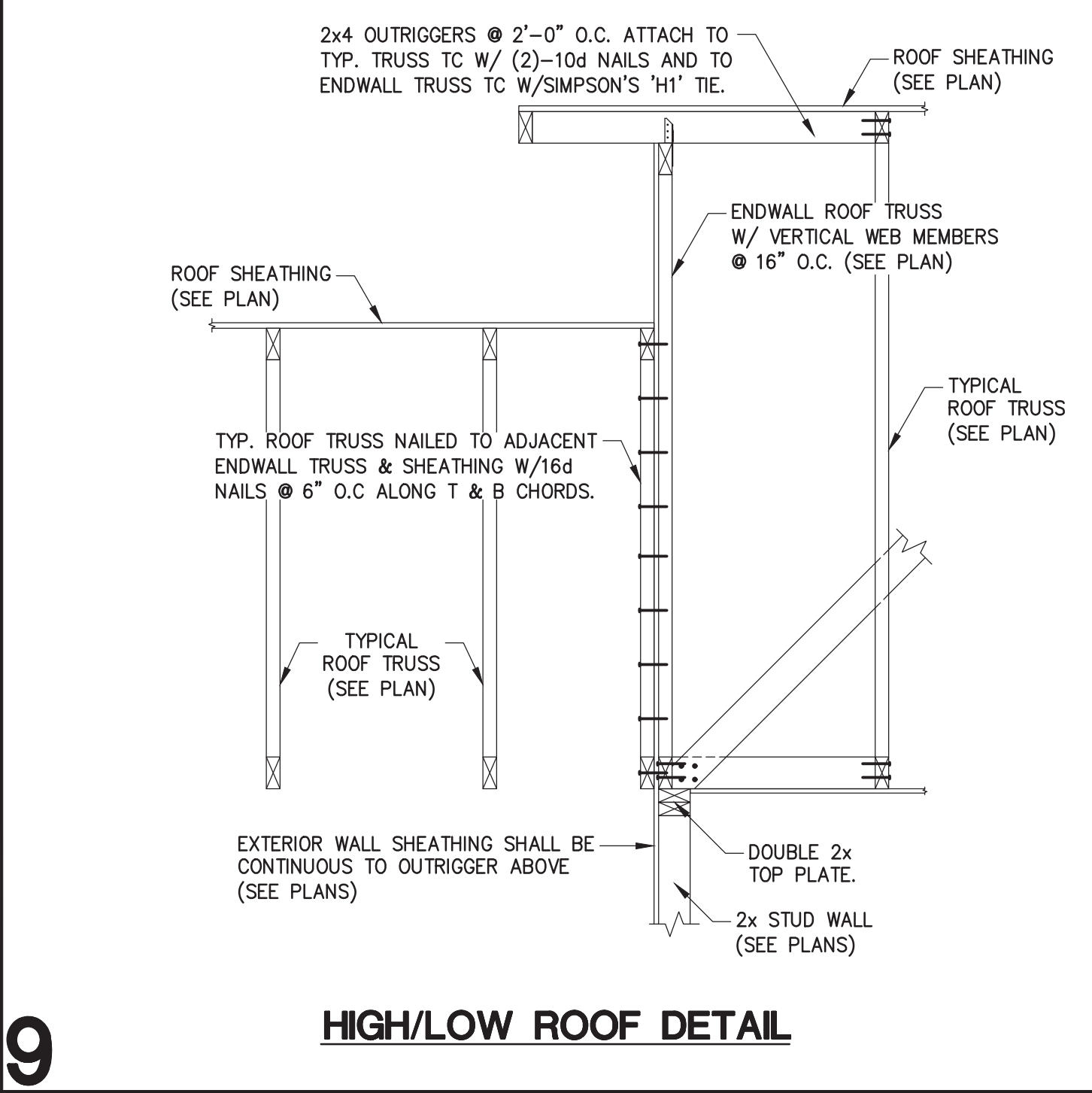
7 KICKER DETAIL



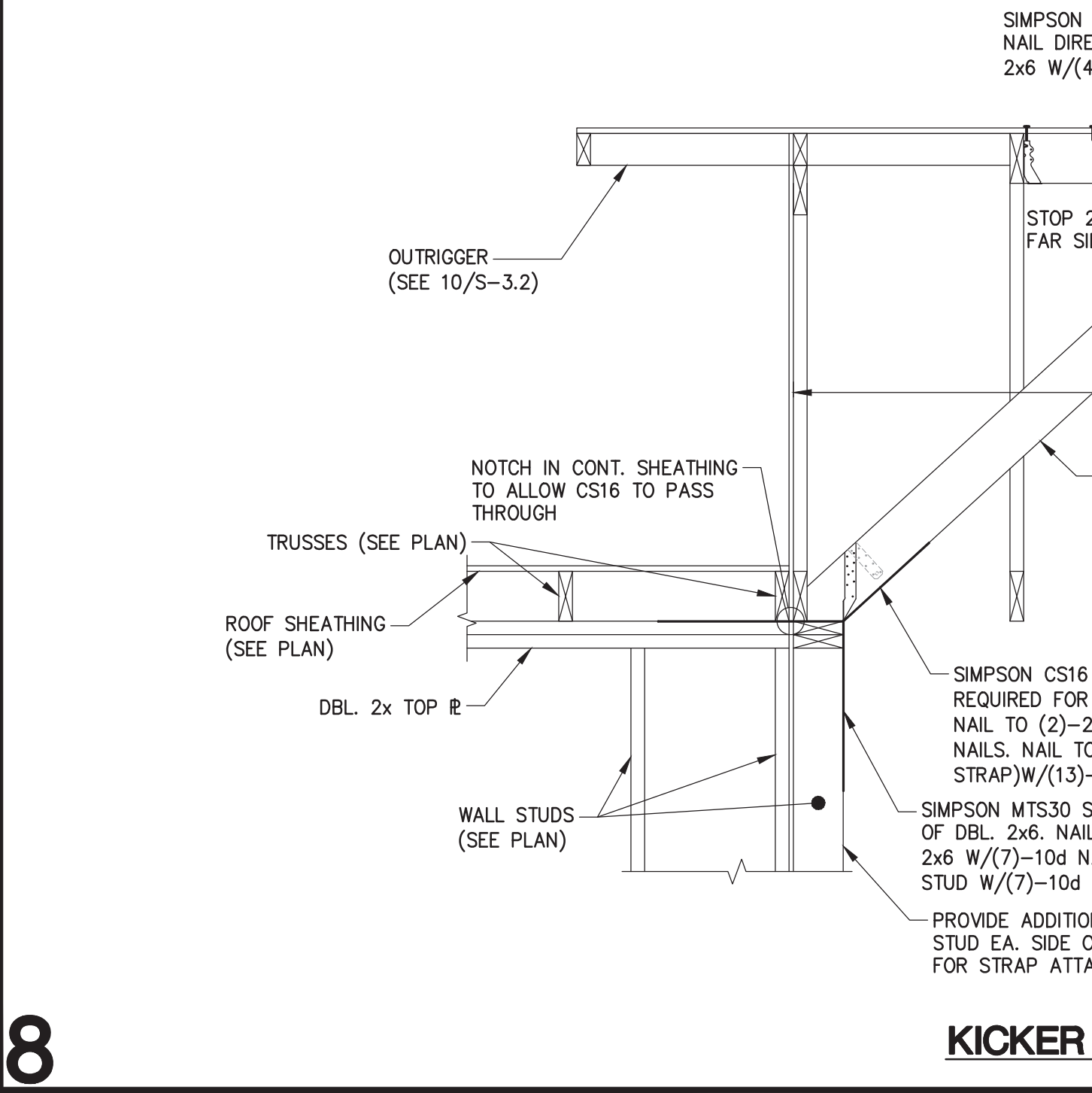
6 KICKER DETAIL



10 HIGH/LOW ROOF DETAIL



9 HIGH/LOW ROOF DETAIL



8 KICKER DETAIL

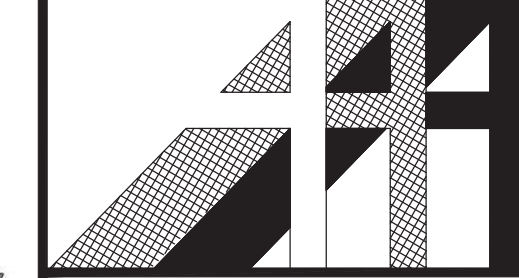
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DATE: 06.30.16
REVISIONS

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

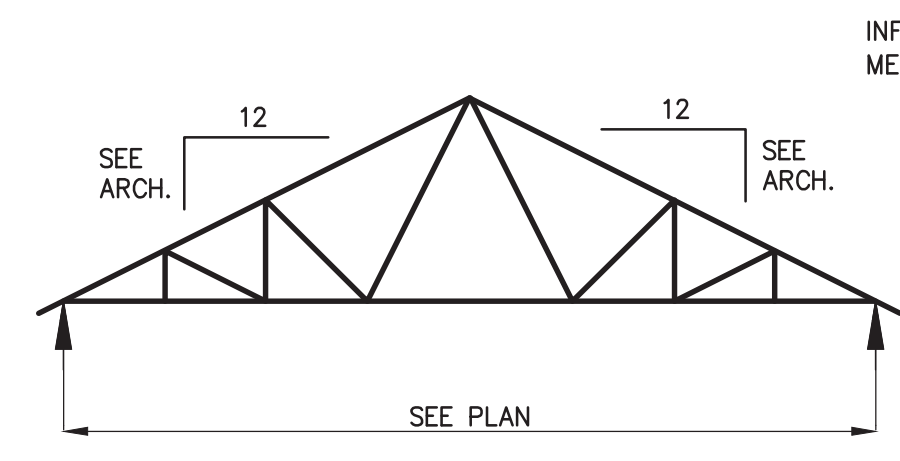
ROOF TRUSS PROFILES

ALLAN ASSOCIATES ARCHITECTS, PLLC

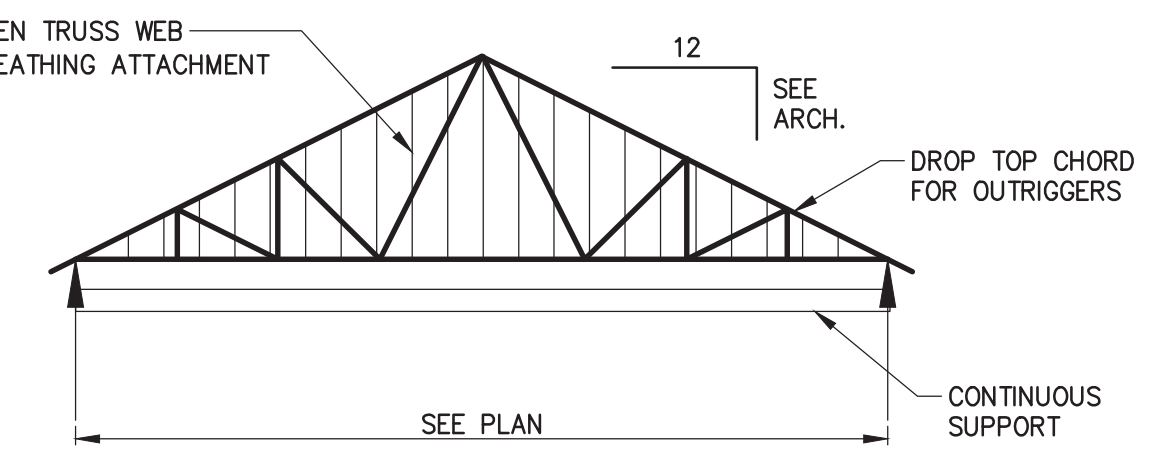
6516 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912
865 / 689-1802



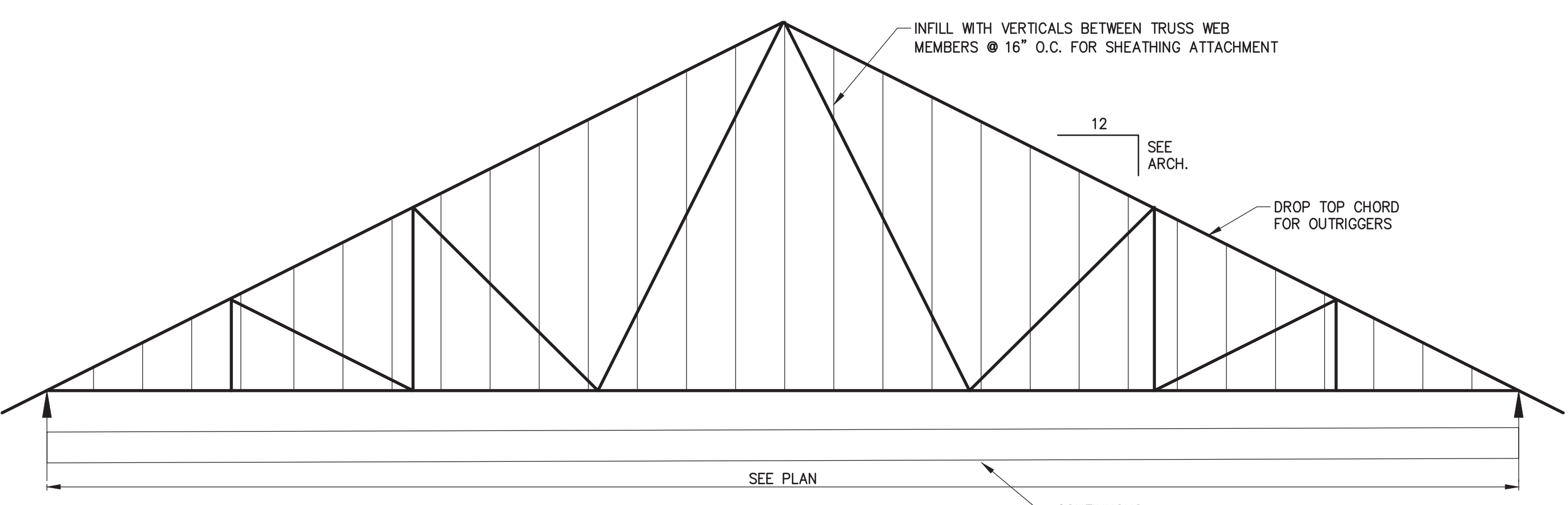
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S-3.3



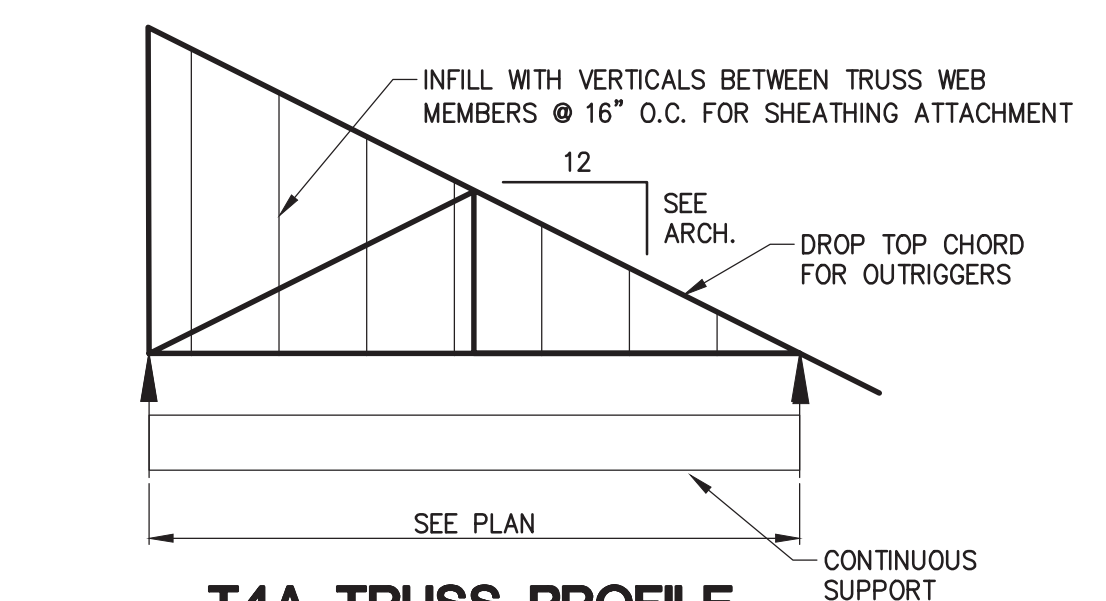
T5 TRUSS PROFILE



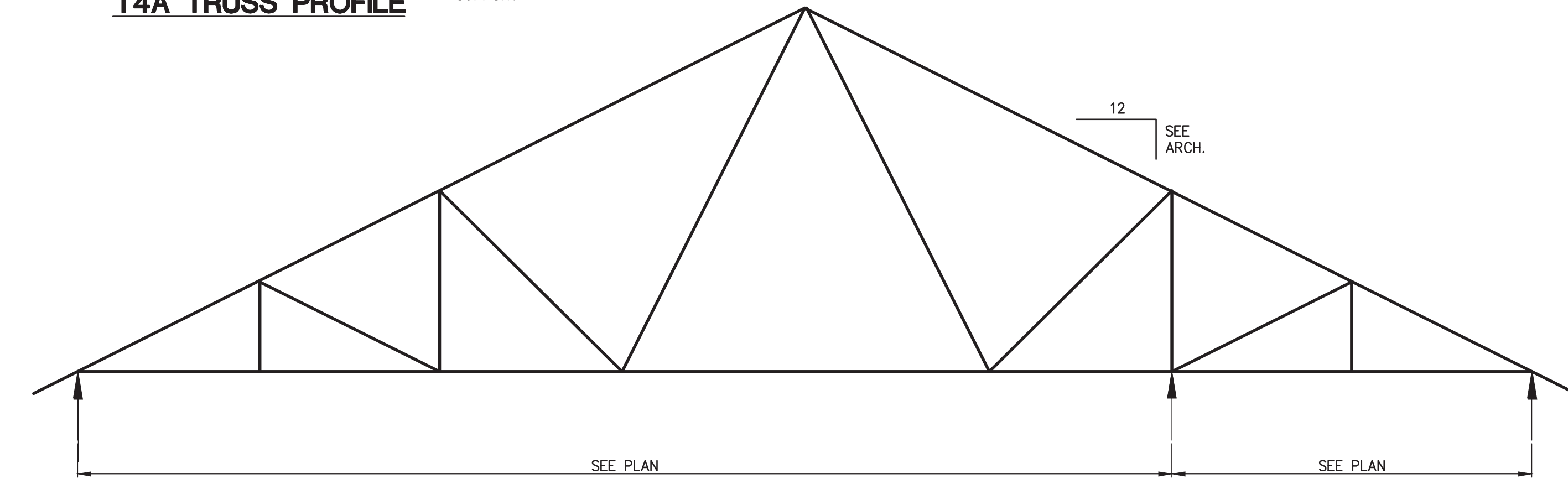
T5A TRUSS PROFILE



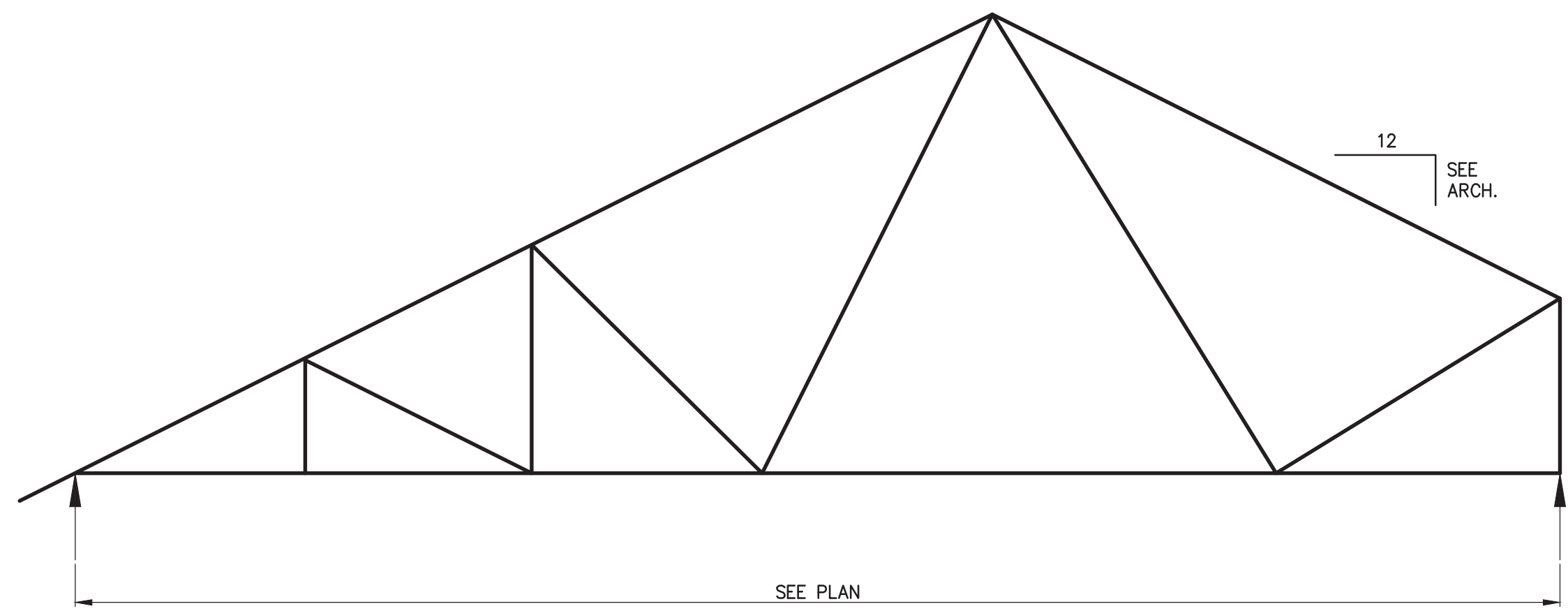
T4B TRUSS PROFILE



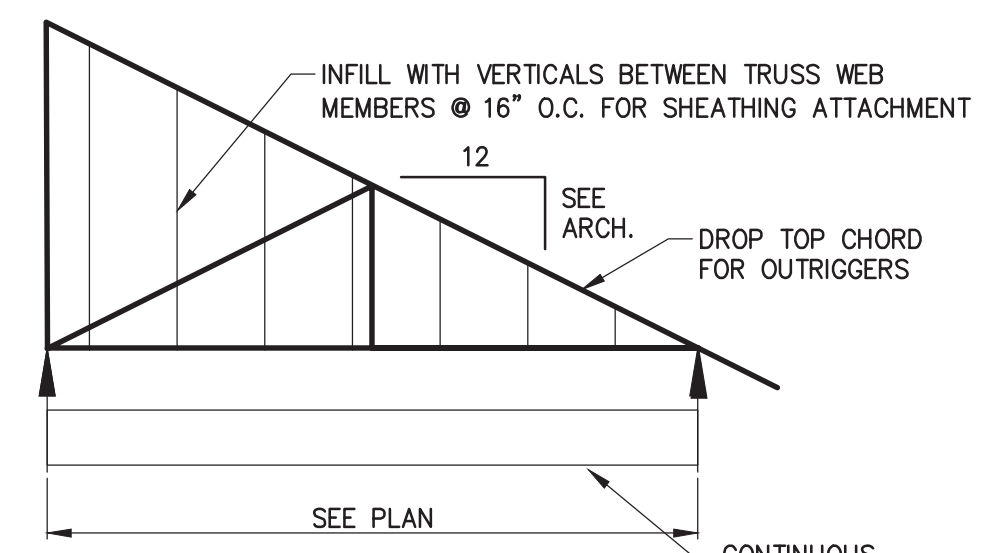
T4A TRUSS PROFILE



T4 TRUSS PROFILE

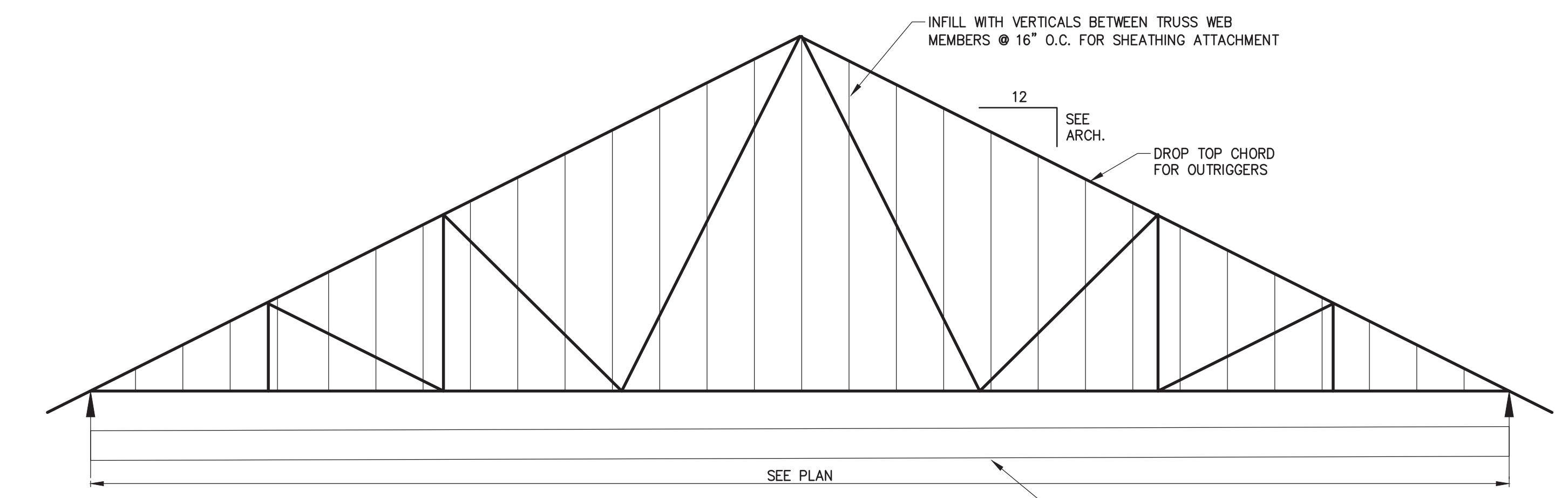


T3 TRUSS PROFILE

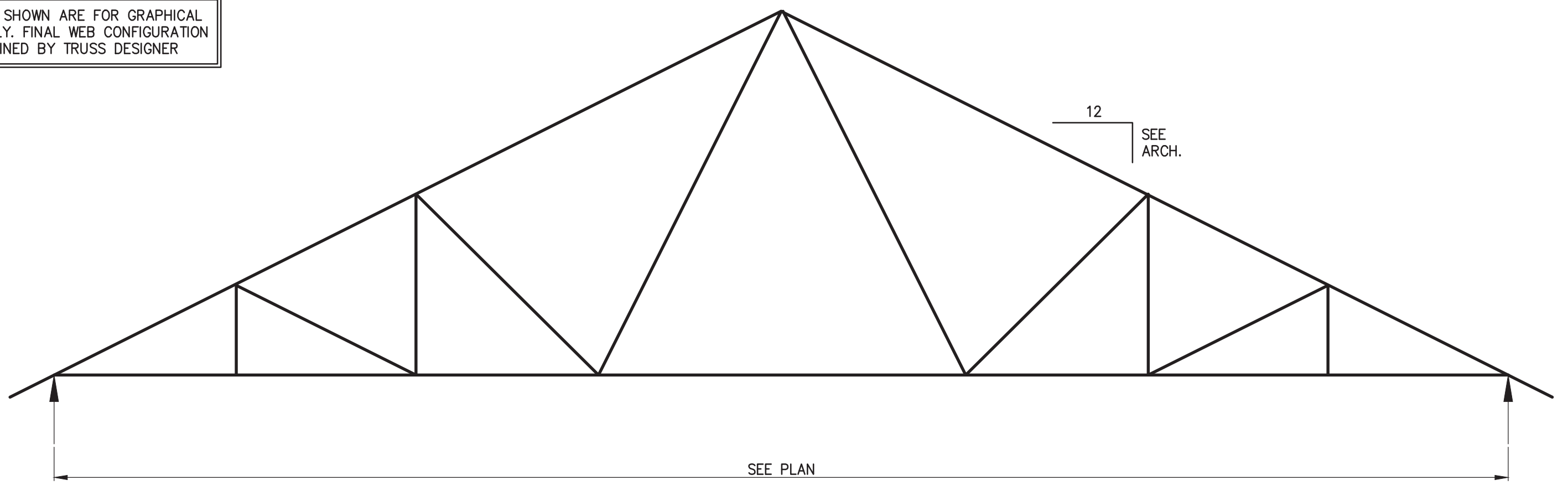


T2B TRUSS PROFILE

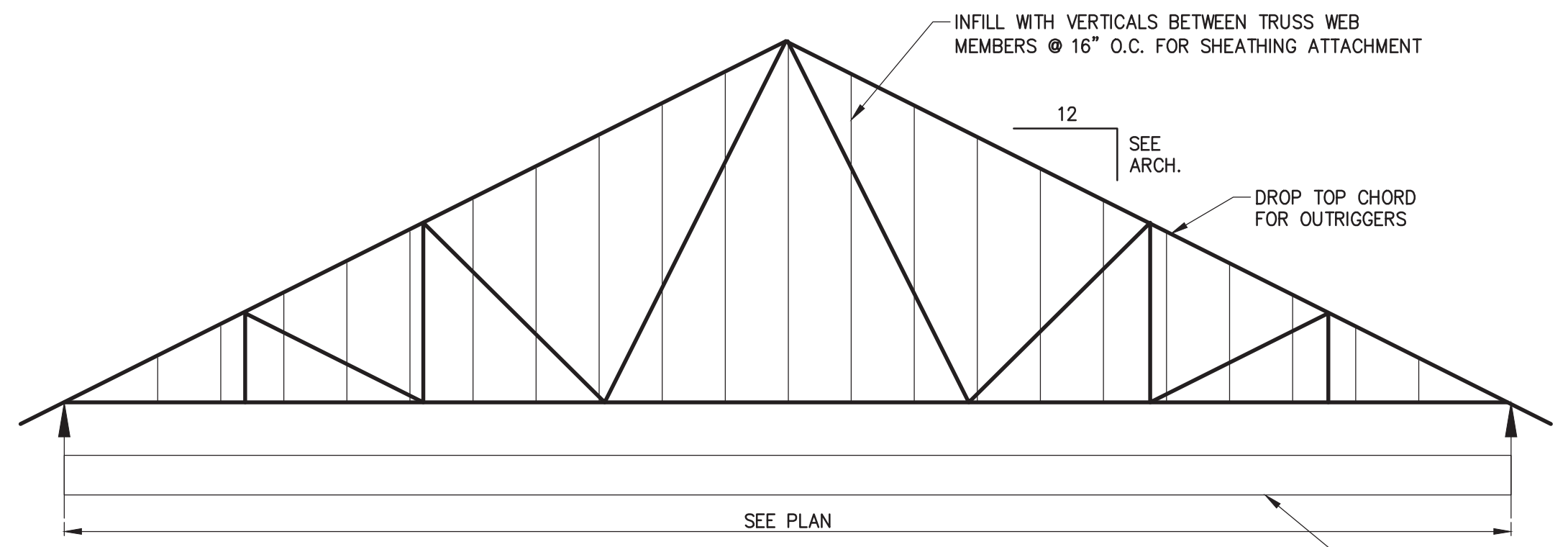
WEB MEMBERS SHOWN ARE FOR GRAPHICAL PURPOSES ONLY. FINAL WEB CONFIGURATION TO BE DETERMINED BY TRUSS DESIGNER



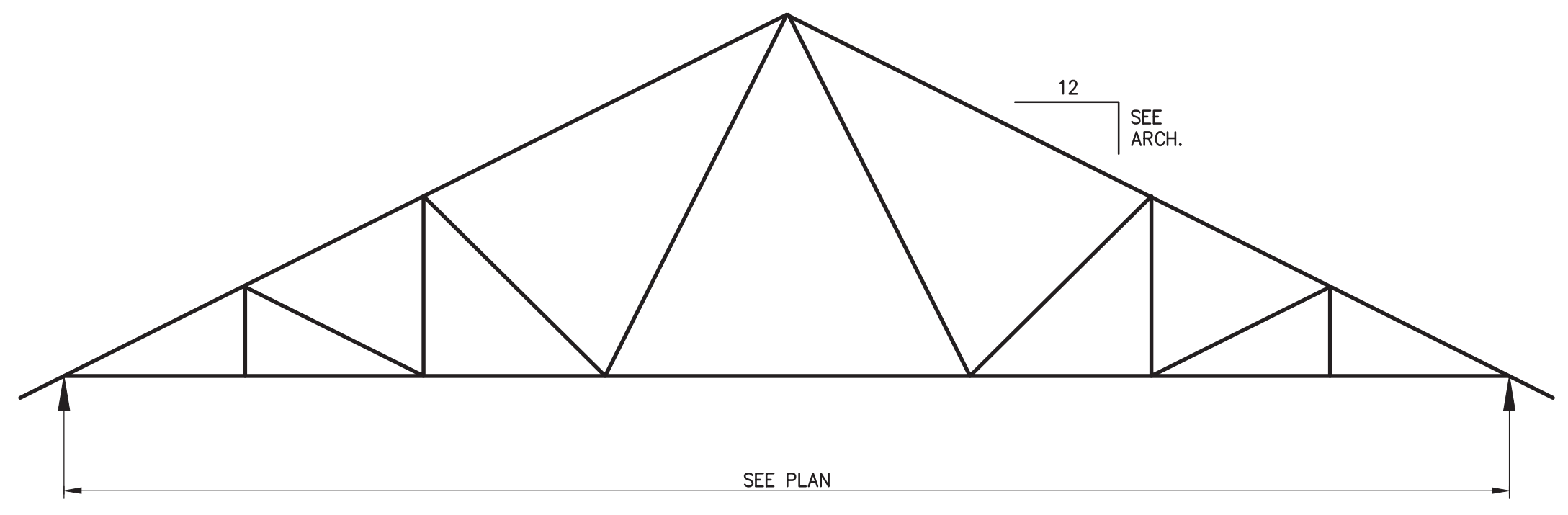
T2A TRUSS PROFILE



T2 TRUSS PROFILE



T1A TRUSS PROFILE



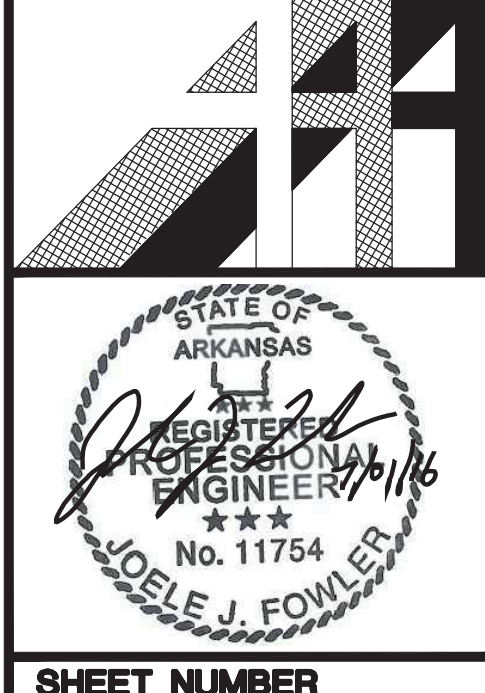
T1 TRUSS PROFILE



Carpentier
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Engineers
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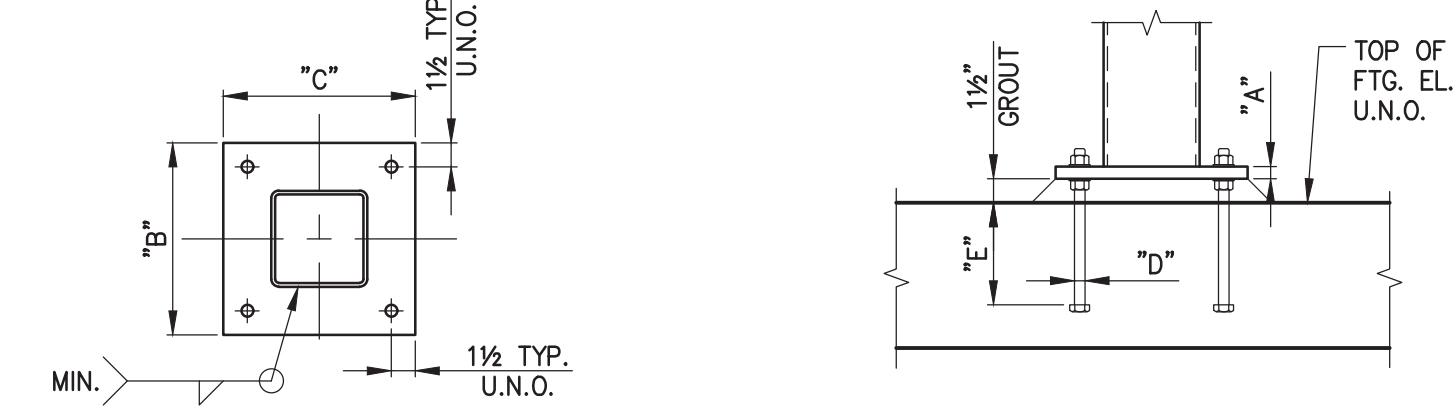
WHITE RIVER APARTMENTS
 2900 MARION DRIVE
 DIAZ, ARKANSAS
 ALLAN ASSOCIATES ARCHITECTS, PLLC
 KNOXVILLE, TENNESSEE 37912
 865 / 689-1802
 5616 WALLWOOD ROAD



SHEET NUMBER
S-3.4

| COLUMN SIZE | BASE PLATE | | | ANCHOR BOLTS | | | REMARKS |
|-------------|------------|-----|-----|--------------|----|---|---------|
| | A | B | C | D | E | # | |
| HSS 4x4 | 3/4" | 10" | 10" | 3/4" | 9" | 4 | |
| | | | | | | | |
| | | | | | | | |

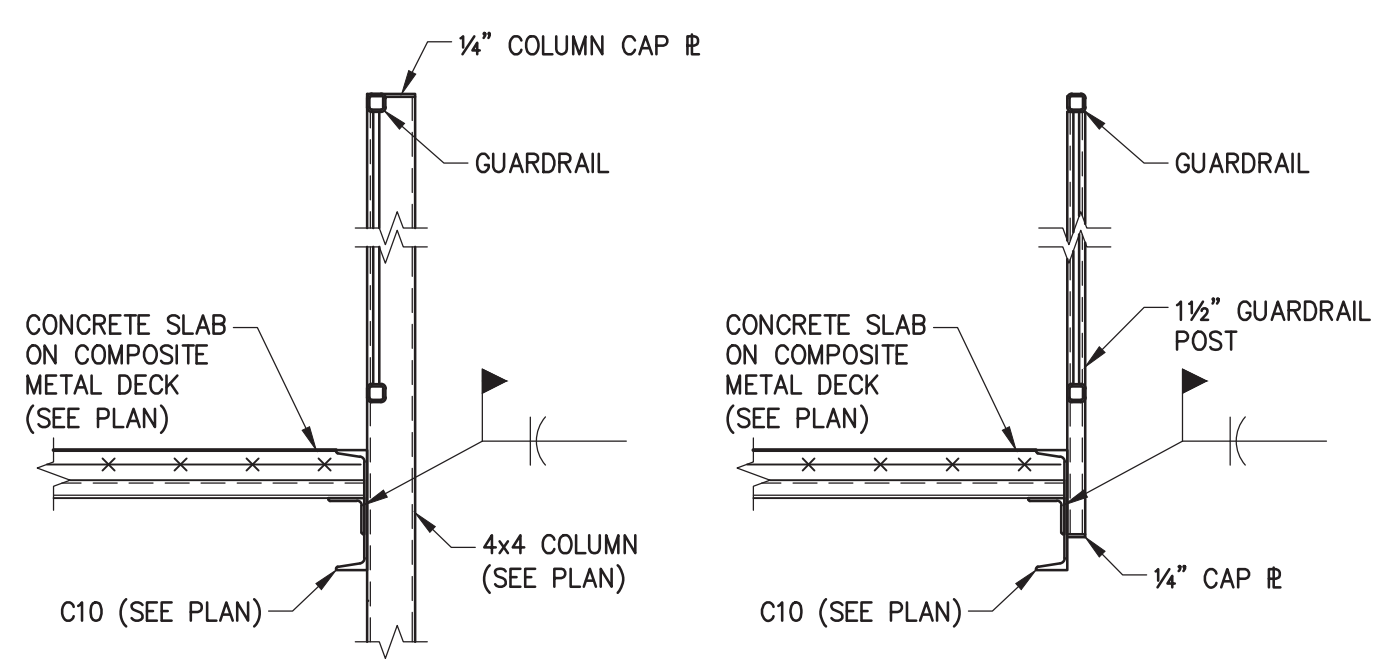
NOTES:
 1) ALL BASE PLATE MATERIAL SHALL BE ASTM A572 GRADE 50 U.N.O.
 2) ALL ANCHOR BOLTS ARE HEADED ANCHOR RODS WITH (2) PLATE WASHERS & (2) HEAVY HEX NUTS (TYP.)
 3) ANCHOR BOLTS/RODS SHALL BE ASTM F1554, GRADE (AS SPECIFIED)



HSS CONFIGURATION

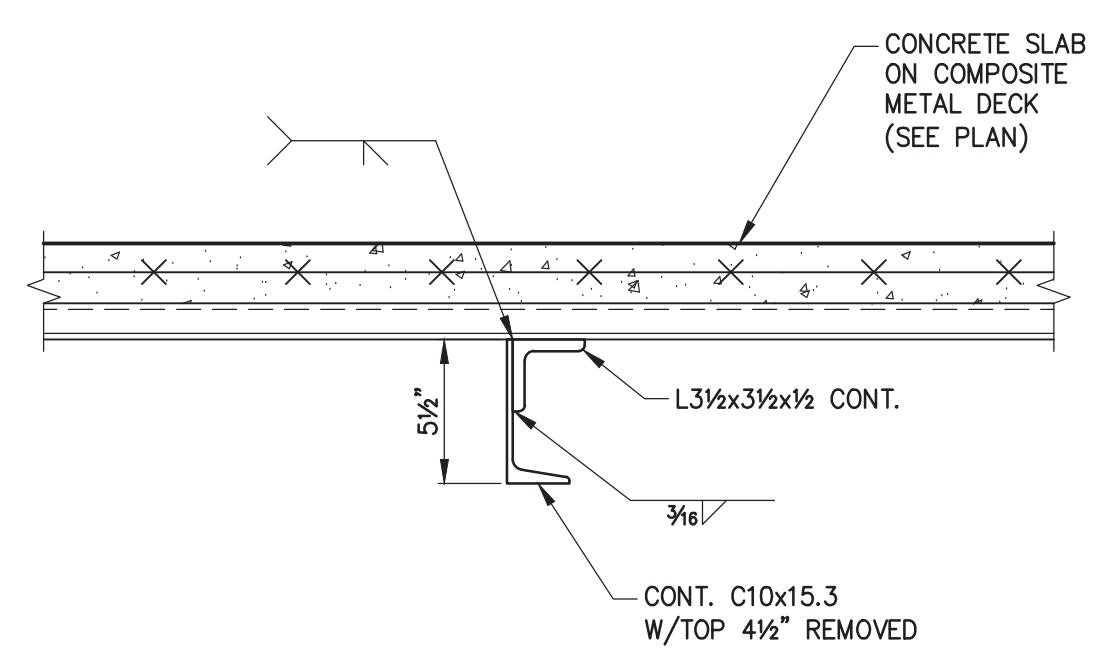
COLUMN BASEPLATE DETAIL

3



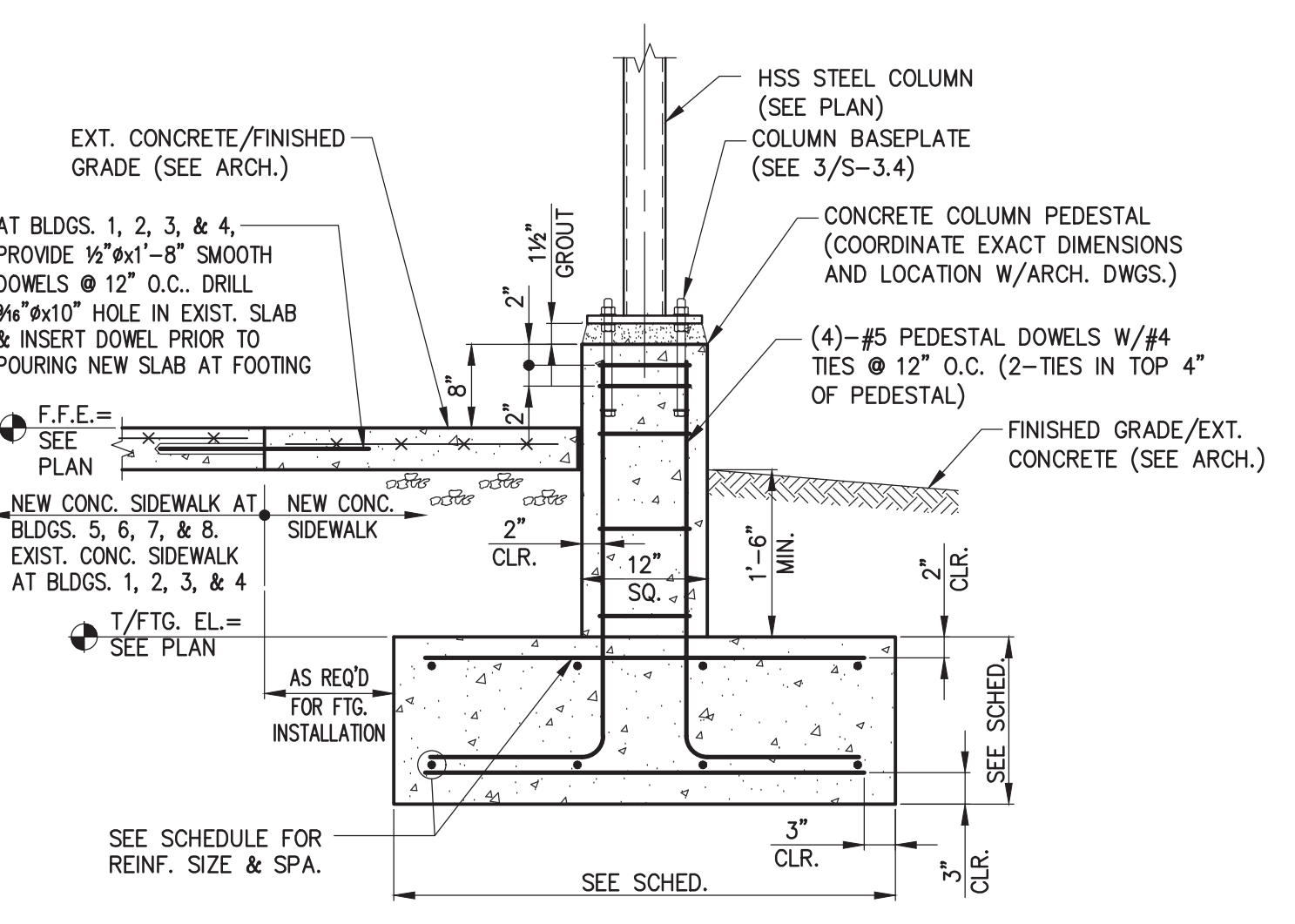
GUARDRAIL DETAILS

6



FLOOR SLAB SECTION

5

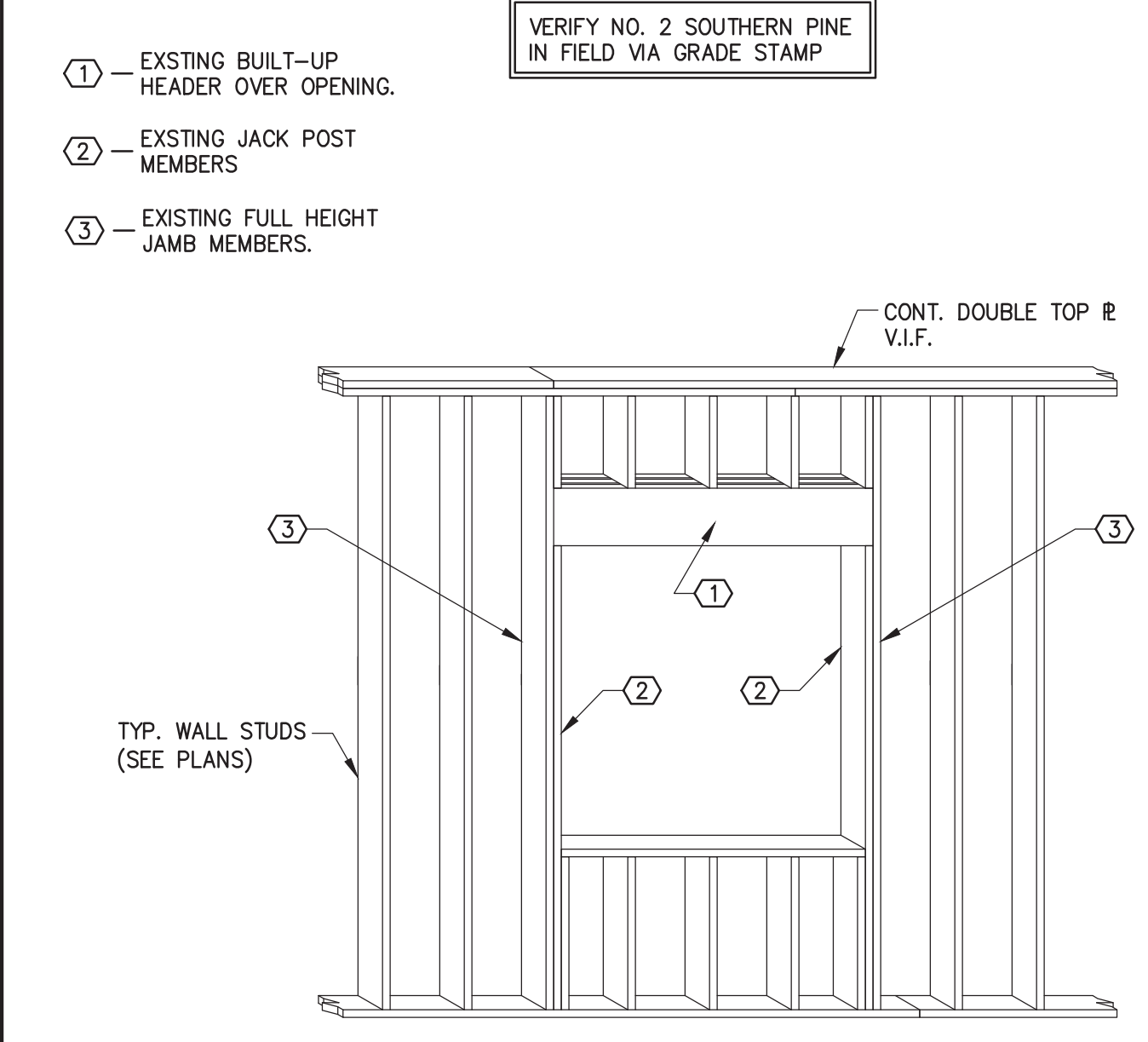


COLUMN FOUNDATION DETAIL

2

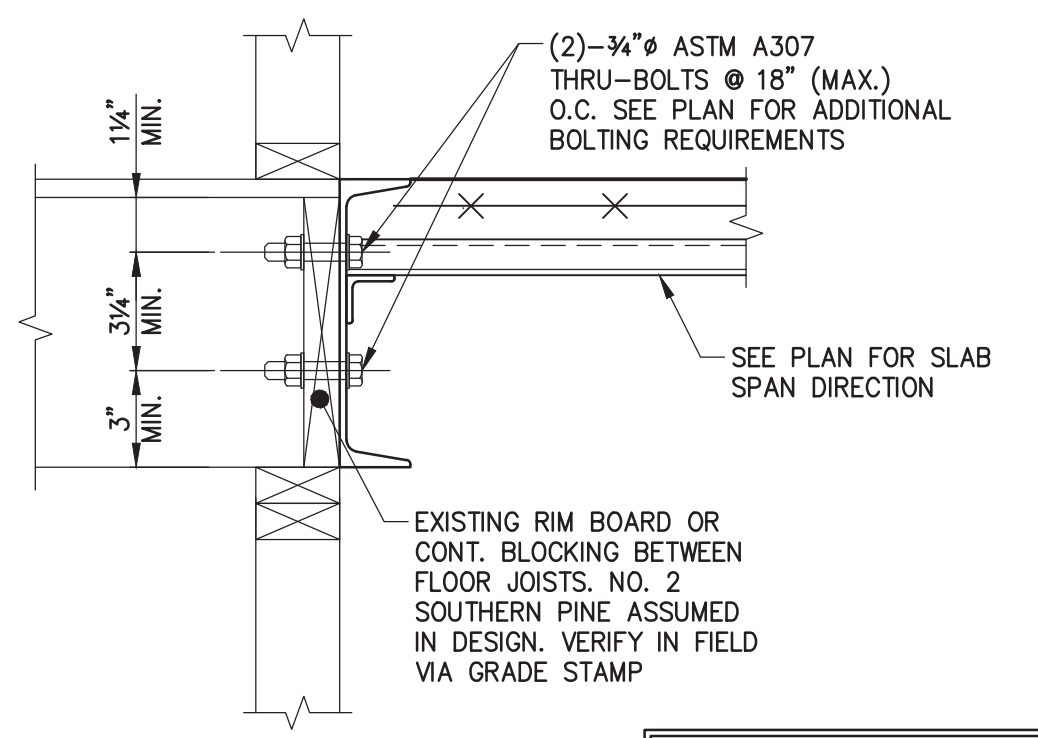
| PLAN MARK | CONDITION | REQUIRED WALL FRAMING TO BE VERIFIED IN FIELD |
|-----------|---------------------------------|---|
| (A) | TYPICAL EXISTING WALL FRAMING | NO. 2 SOUTHERN PINE 2x4 WALL STUDS @ 16" O.C. |
| (B) | EXISTING FLOOR BEAM BEARING | NO. 2 SOUTHERN PINE (2)-2x4 BELOW BEAM BEARING |
| (C) | EXISTING WINDOW OPENING | NO. 2 SOUTHERN PINE (2)-2x6 HEADER NO. 2 SOUTHERN PINE 2x4 JACK POST EA. SIDE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS EA. SIDE |
| (D) | EXISTING DOOR OPENING | NO. 2 SOUTHERN PINE (2)-2x8 HEADER NO. 2 SOUTHERN PINE 2x4 JACK POST EA. SIDE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS OPPOSITE UNIT CORNER NO. 2 SOUTHERN PINE (3)-2x4 JAMBS @ UNIT CORNER |
| (E) | BELOW STAIR HEADER CONNECTION | NO. 2 SOUTHERN PINE (3)-2x4 NAILED TOGETHER W/16d NAILS @ 12" O.C. (PROVIDE ADDITIONAL STUDS AS REQUIRED) |
| (F) | EXISTING DOOR OPENING | NO. 2 SOUTHERN PINE (2)-2x10 HEADER NO. 2 SOUTHERN PINE 2x4 JACK POST EA. SIDE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS EA. SIDE |
| (G) | EXISTING WINDOW / DOOR OPENING | NO. 2 SOUTHERN PINE (2)-2x10 HEADER NO. 2 SOUTHERN PINE (2)-2x4 JACK POST @ SIDE NEAREST EDGE OF WALKWAY ABOVE NO. 2 SOUTHERN PINE 2x4 JACK POST OPPOSITE EDGE OF WALKWAY ABOVE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS EA. SIDE |
| (H) | EXISTING WINDOW OPENING | NO. 2 SOUTHERN PINE (2)-2x4 JACK POST @ CORNER OF WALKWAY NO. 2 SOUTHERN PINE (3)-2x4 JAMBS @ CORNER OF WALKWAY * FIELD VERIFY WALKWAY DOES NOT EXTEND ABOVE WINDOW HEADER SPAN |
| (J) | CORNER POST @ CORNER OF WALKWAY | NO. 2 SOUTHERN PINE (2)-2x4 BELOW CORNER OF WALKWAY |

8



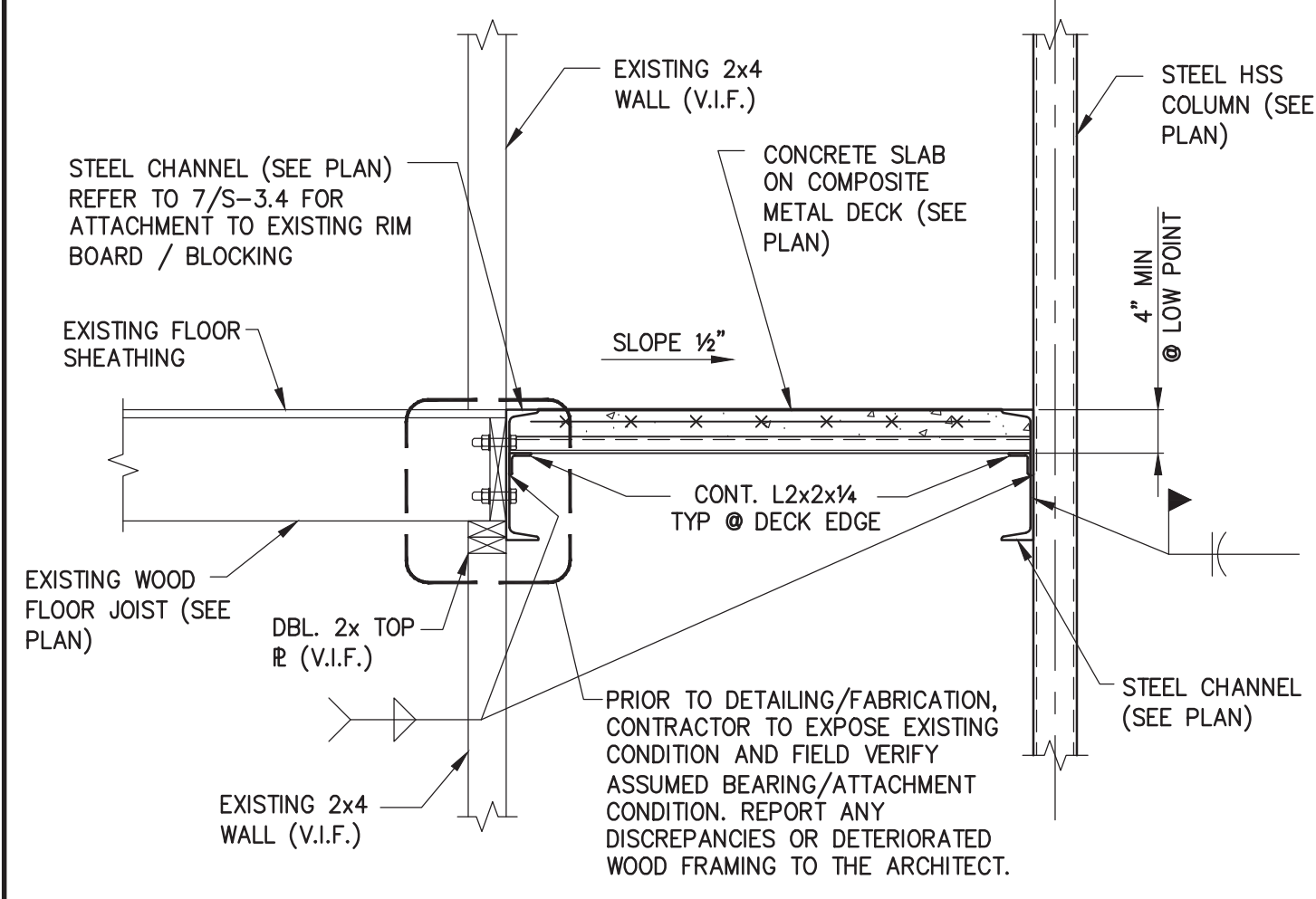
(EXISTING WALL FRAMING REQUIREMENTS)
 (SIMILAR AT DOOR OPENINGS)

10



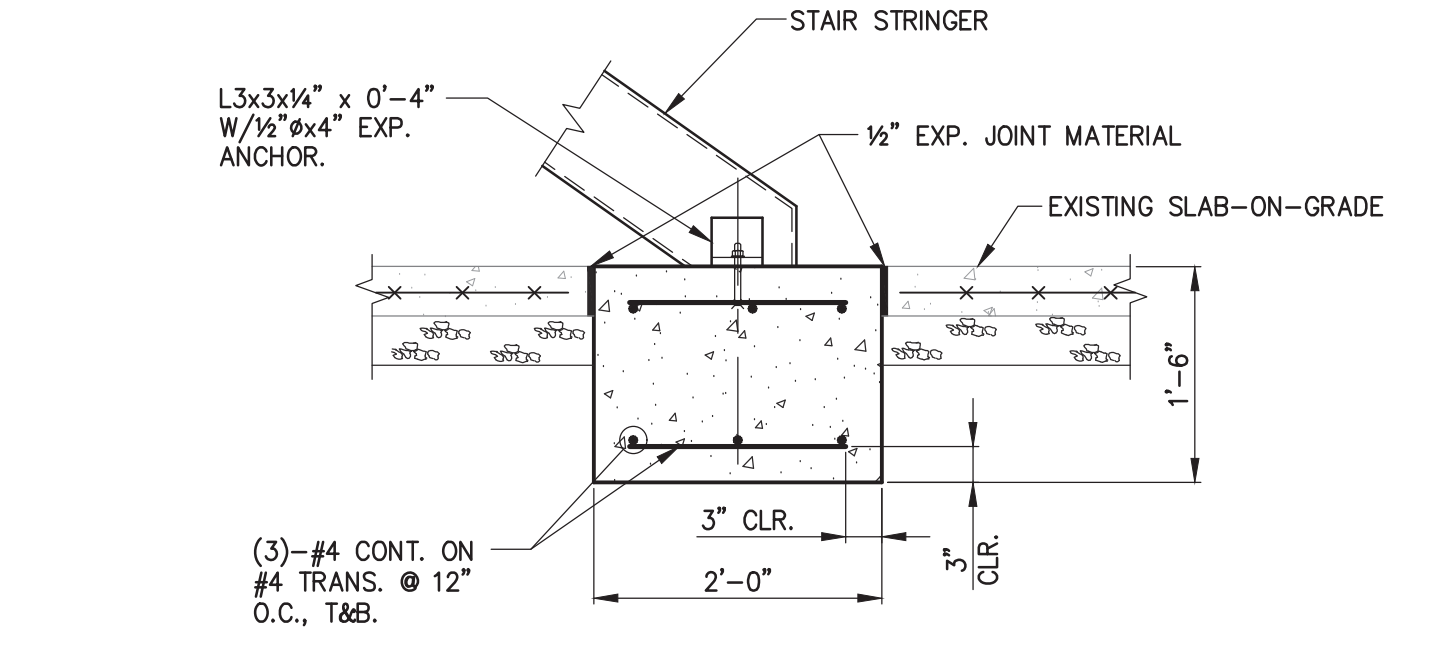
LEDGER DETAIL

7

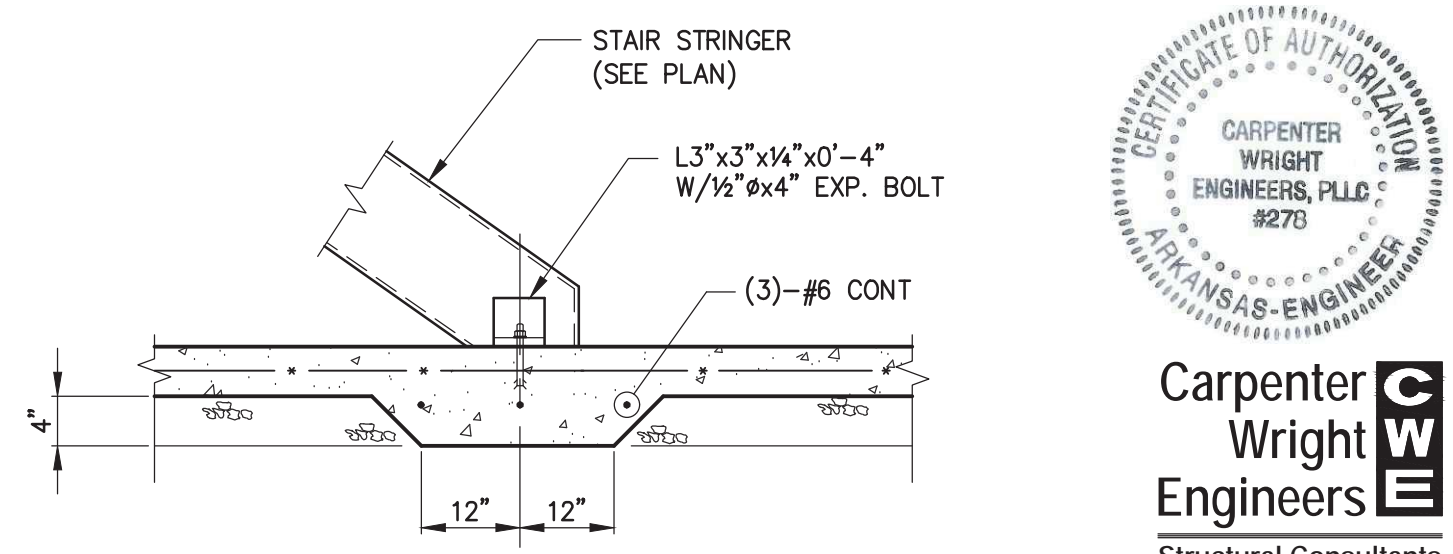


SECTION @ WALKWAY

4



TYP. STRINGER ANCHORAGE DETAIL AT EXISTING SLAB



TYPICAL STRINGER ANCHORAGE DETAIL @ NEW SLAB

1

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 CWE # 2016103.00

| HVAC LEGEND | |
|-------------|--|
| | RECTANGULAR DUCT |
| | ROUND DUCT |
| | OVAL DUCT |
| | RECTANGULAR DUCT BRANCH AND TRANSITION (USE 45 DEGREE THROAT) |
| | ROUND DUCT BRANCH AND TRANSITION, W/ STICK-ON BRANCH TAP AND VOLUME DAMPER. USE EXTENDED QUADRANTS WHEN DUCT IS INSULATED. |
| | SQUARE TO ROUND TRANSITION |
| | SQUARE TURN WITH SINGLE THICKNESS TURNING VANES |
| | RADIUSED TURN R=1.5 W, UNLESS OTHERWISE NOTED |
| | VOLUME DAMPER IN DUCTWORK |
| | SUPPLY DUCT WITH SIDEWALL REGISTER OR GRILLE |
| | TEE WITH SINGLE THICKNESS TURNING VANES |
| | AIR DISTRIBUTION DEVICE TAG. SEE SCHEDULE FOR DETAILS. |
| | FLEXIBLE CONNECTION IN DUCT |
| | FIRE DAMPER |
| | SMOKE DAMPER |
| | FIRE/SMOKE DAMPER |
| | DUCT SMOKE DETECTOR |
| | SUPPLY DUCT TURNING UP |
| | SUPPLY DUCT TURNING DOWN |
| | RETURN DUCT TURNING UP |
| | RETURN DUCT TURNING DOWN |
| | SPIN-IN OR STICK-ON TAKEOFF WITH VOLUME DAMPER. USE EXTENDED QUADRANTS WHEN DUCT IS INSULATED. |
| | CEILING SUPPLY DIFFUSER W/ FLEX DUCT |
| | CEILING RETURN OR EXHAUST GRILLE W/ FLEX DUCT |
| | LINEAR (SLOT) DIFFUSER |
| | POINT OF TIE-IN WITH EXISTING |
| | DOOR UNDERCUT (1" MAXIMUM) |
| | WALL MOUNTED THERMOSTAT OR SENSOR (48" A.F.F.) |
| | ONE-HOUR FIRE WALL |

GENERAL NOTES/SPECIFICATIONS

1.0 GENERAL

1.1 SCOPE: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL HVAC WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

1.2 PERMITS: OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS WORK. RETAIN CERTIFICATES OF INSPECTIONS AND SUBMIT WHEN WORK IS COMPLETE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES ADOPTED BY CITY, COUNTY, AND/OR STATE AUTHORITIES.

1.3 SUBMIT SCHEDULED EQUIPMENT FOR APPROVAL BY THE ENGINEER. SUBMITTAL DATA SHALL INCLUDE DIMENSIONS, WEIGHTS, CONNECTION POINTS FOR PIPING, DUCT, AND WIRING AND PERFORMANCE DATA INCLUDING ELECTRICAL REQUIREMENTS. A MINIMUM OF SIX SETS SHALL BE PROVIDED.

1.4 INSTRUCTIONS: INSTRUCT THE OWNER'S REPRESENTATIVE ABOUT THE PROPER OPERATION OF ALL EQUIPMENT. PROVIDE TO THE OWNER TWO SETS AND CD OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL MECHANICAL EQUIPMENT AT THE COMPLETION OF WORK. NEATLY ORGANIZE ALL INFORMATION WITHIN THREE-RING BINDERS AND CD.

1.5 RECORD DRAWINGS: MAINTAIN A SET OF DRAWINGS AT THE PROJECT SITE AND RECORD ANY AND ALL SIGNIFICANT CHANGES OF EQUIPMENT LOCATIONS, DUCT, AND PIPING ROUTING, AND OTHER INFORMATION THAT WOULD BE BENEFICIAL TO THE OWNER AFTER CONSTRUCTION IS COMPLETE. TURN RECORD DRAWINGS OVER TO THE ARCHITECT, ENGINEER, OR OWNER UPON PROJECT SUBSTANTIAL COMPLETION AIA G704 ISSUED BY ARCHITECT.

1.6 PROVIDE A ONE-YEAR PARTS AND LABOR WARRANTY ON ALL WORK PERFORMED AND EQUIPMENT PROVIDED FOR THE PROJECT. COMPRESSORIZED EQUIPMENT SHALL INCLUDE A FIVE-YEAR WARRANTY. WARRANTY SHALL COMMENCE UPON PROJECT SUBSTANTIAL COMPLETION AIA G704 ISSUED BY ARCHITECT.

1.7 EQUIPMENT SCHEDULED ON THE DRAWINGS HAS BEEN USED AS A BASIS OF DESIGN. ALTERNATIVE MANUFACTURERS ARE AS INDICATED IN EQUIPMENT SCHEDULE. HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL REQUIRED SIZES, WEIGHTS, ELECTRICAL CONNECTIONS, AND CLEARANCES ARE COMPATIBLE WITH THE DESIGN CONCEPT SHOWN ON THE DRAWINGS. ANY REQUIRED CHANGES TO ACCOMMODATE THE ALTERNATIVE EQUIPMENT SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALTERNATIVE MANUFACTURERS LISTED ARE CONSIDERED GENERALLY ACCEPTABLE SUPPLIERS. HOWEVER THEIR SPECIFIC PRODUCTS HAVE NOT BEEN EVALUATED FOR THIS DESIGN.

1.8 THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE LOCATION OF EQUIPMENT, PIPING, AND DUCTWORK. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. DO NOT SCALE THE DRAWINGS FOR EXACT SIZES OR LOCATIONS. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.

1.9 CHECK ALL DIMENSIONS, SUPPORT REQUIREMENTS, ETC. BEFORE MAKING FINAL CONNECTIONS TO PURCHASED EQUIPMENT. MAKE ADJUSTMENTS BEFORE FABRICATING DUCT, SUPPORTS, PIPING, OR ELECTRICAL SERVICE.

1.10 INSTALL ALL EQUIPMENT IN ACCORDANCE WITH CODE REQUIREMENTS AND THE MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLING ANY EQUIPMENT SHIPPED IN SECTIONS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

1.11 MAINTAIN A MINIMUM OF 10 FOOT SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.

1.12 PROVIDE FLASHING FOR ALL ROOF PENETRATIONS IN ACCORDANCE WITH ROOF MANUFACTURER'S RECOMMENDATIONS.

2.0 DUCTWORK

2.1 HVAC DUCTWORK: SUPPLY, RETURN, AND EXHAUST DUCTS SHALL BE FABRICATED, SUPPORTED, AND INSTALLED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS. FABRICATE DUCT TO WITHSTAND A 2-INCH POSITIVE PRESSURE ON THE DISCHARGE SIDE OF THE FAN AND 1-INCH NEGATIVE PRESSURE ON THE SUCTION SIDE OF THE FAN. DUCT SEAMS SHALL BE SEALED PER SMACNA SEAL CLASS "C". DUCTWORK SHALL BE GALVANIZED STEEL CONSTRUCTION. ROUND DUCT SHALL BE SPIRAL OR LONGITUDINAL SEAM CONSTRUCTION AND MEET ALL REQUIREMENTS STATED ABOVE. EXPOSED ROUND DUCT SHALL BE SPIRAL SEAM ONLY.

2.2 TAKEOFFS: RECTANGULAR BRANCH TAKEOFFS SHALL BE 45 DEGREE THROAT TYPES. ROUND BRANCH TAKEOFFS SHALL BE SPIN-IN OR STICK-ON SADDLE TYPES.

2.3 ELBOWS: USE RADIUSED ELBOWS WHERE POSSIBLE. RADIUSED ELBOWS SHALL HAVE A CENTERLINE RADIUS EQUAL TO AT LEAST 1.0 TIMES THE DUCT WIDTH OR DIAMETER. UNLESS NOTED OTHERWISE, WHERE SPACE DOES NOT ALLOW RADIUSED ELBOWS, USE 90 DEGREE SQUARE ELBOWS HAVING SINGLE THICKNESS TURNING VANES. DO NOT INSTALL TURNING VANES AT ANY ANGLE BUT 45 DEGREES.

2.4 VOLUME DAMPERS: INSTALL VOLUME DAMPERS FOR BALANCING AS SHOWN ON THE PLANS. RECTANGULAR BALANCING DAMPERS SHALL BE OPPOSED BLADE TYPES HAVING A LOCKING QUADRANT OPERATOR THAT IS DESIGNED TO BE EXPOSED OUTSIDE OF DUCT INSULATION. ROUND BALANCING DAMPERS SHALL BE BUTTERFLY TYPES HAVING A LOCKING QUADRANT OPERATOR THAT IS DESIGNED TO BE EXPOSED OUTSIDE OF DUCT INSULATION.

2.5 FURNISH AND INSTALL ALL HANGERS AND SUPPORTS REQUIRED TO PROPERLY SUPPORT PIPING, DUCTWORK, AND EQUIPMENT ACCORDING TO INDUSTRY STANDARDS AND THE AUTHORITY HAVING JURISDICTION.

2.6 FINAL DUCT CONNECTIONS TO DIFFUSERS IN AREAS WITH CONCEALED CEILINGS SHALL BE MADE WITH INSULATED FLEXIBLE ROUND DUCTWORK. FLEXIBLE DUCTWORK SHALL BE INSTALLED STRAIGHT AS POSSIBLE WITH 6-FOOT MAXIMUM DUCT RUNS.

2.7 COORDINATE CEILING/WALL DIFFUSER AND REGISTER LOCATIONS WITH THE ARCHITECT'S FINAL REFLECTED CEILING PLAN/PLAN.

2.8 WHERE DUCTWORK PENETRATES WALLS, SEAL VOIDS TO PREVENT AIR TRANSFER BETWEEN SPACES AND TO MAINTAIN FIRE RATING. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

2.9 INSTALL FIRE DAMPERS AT ALL RATED WALLS AS DETAILED ON THE DRAWINGS. INSTALL ACCESS DOORS AS REQUIRED FOR TESTING AND RESETTING DAMPER ASSEMBLIES. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

2.10 DUCTWORK TO CURB MOUNTED ROOF EXHAUST FANS AND OUTSIDE AIR INTAKE OR EXHAUST HOODS SHALL BE CONNECTED TO FRAMED OPENINGS AND SEALED AIRTIGHT AND WATERTIGHT. PROVIDE DUCT TRANSITION PIECE WHERE REQUIRED TO SUIT OPENING.

3.0 REFRIGERANT AND CONDENSATE PIPING

3.1 INSTALL REFRIGERANT PIPING IN ACCORDANCE WITH CODE REQUIREMENTS AND THE REFRIGERANT SYSTEM MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL REQUIRE MANUFACTURER OF THE SPLIT SYSTEM REFRIGERATION EQUIPMENT TO GENERATE A DETAILED SCHEMATIC OF EACH REFRIGERANT PIPING SYSTEM. THE SCHEMATIC SHALL SHOW ALL RISES AND DROPS IN ELEVATION, SUCTION LINE TRAP LOCATIONS, DOUBLE RISERS IN THE SUCTION LINES IF REQUIRED FOR PART LOAD PERFORMANCE, DIRECTION OF SLOPE FOR ALL LINES, LINE SIZES, INSULATION TYPE AND THICKNESS, AND LOCATIONS OF ALL ACCESSORIES SUCH AS FILTER DRYERS, SIGHT GLASSES, SOLENOID VALVES, ETC.

3.2 INSTALL CONDENSATE DRAIN LINE HAVING 4" DEEP P-TRAP AT EACH AIR HANDLER'S CONDENSATE DRAIN PAN. ROUTE PIPING AS SHOWN ON THE PLUMBING DRAWINGS. USE 1" DRAIN SIZE THROUGH 10-TONS.

3.3 CONDENSATE DRAIN LINES SHALL BE CONSTRUCTED OF TYPE DWV PVC UNLESS LOCATED IN A RETURN AIR PLENUM. WHEN LOCATED IN A RETURN AIR PLENUM, CONSTRUCTION SHALL BE TYPE DWV COPPER DRAINAGE TUBE. INSULATE THE FIRST 20 FEET OF DRAIN PIPING STARTING AT THE CONNECTION TO THE DRAIN PAN. INSULATION SHALL BE 1" THICK ELASTOMERIC TYPE.

3.4 WHERE PIPING PENETRATES WALLS, SEAL VOIDS TO PREVENT AIR TRANSFER BETWEEN SPACES AND TO MAINTAIN FIRE RATING. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

3.5 FURNISH AND INSTALL ALL HANGERS AND SUPPORTS REQUIRED TO PROPERLY SUPPORT PIPING ACCORDING TO INDUSTRY STANDARD AND THE AUTHORITY HAVING JURISDICTION.

4.0 DUCTWORK INSULATION

4.1 INSULATION ASSEMBLIES DESCRIBED BELOW CONFORM TO THE 2014 VERSION OF THE ARKANSAS ENERGY CODE.

4.2 RECTANGULAR SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK LOCATED IN CEILING SPACES AND OTHER CONCEALED OR NON-CONDITIONED AREAS SHALL BE INSULATED WITH 2.2-INCH THICK FIBERGLASS BLANKET INSULATION HAVING A FOIL-SCRIM-KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A DENSITY OF 0.75 PCF WITH AN OUT-OF-PACKAGE R-VALUE OF 7.4. EFFECTIVE INSTALLED THICKNESS OF 1.5-INCHES SHALL RESULT IN AN INSTALLED R-VALUE OF 6.0. BASIS OF DESIGN: OWENS CORNING "SOFT" DUCT WRAP.

4.3 RECTANGULAR SUPPLY AND OUTSIDE AIR DUCTWORK EXPOSED TO THE CONDITIONED SPACE SHALL BE INSULATED WITH 1.5-INCH THICK FIBERGLASS RIGID BOARD INSULATION HAVING A FOIL-SCRIM-KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A DENSITY OF 3.0 LBS/CF AND A K-VALUE OF 0.24 BTU-IN/HR-SF-F. TOTAL R-VALUE: 6.25. RETURN DUCTWORK EXPOSED TO THE CONDITIONED SPACE NEED NOT BE INSULATED UNLESS SPECIFICALLY REQUIRED FOR SOUND ATTENUATION. BASIS OF DESIGN: OWENS CORNING "703 SERIES" FIBERGLASS BOARD.

4.4 ROUND SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK LOCATED IN CEILING SPACES AND OTHER CONCEALED OR NON-CONDITIONED AREAS SHALL BE INSULATED WITH 2.2-INCH THICK FIBERGLASS BLANKET INSULATION HAVING A FOIL-SCRIM-KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A DENSITY OF 0.75 PCF WITH AN OUT-OF-PACKAGE R-VALUE OF 7.4. EFFECTIVE INSTALLED THICKNESS OF 1.5-INCHES SHALL RESULT IN AN INSTALLED R-VALUE OF 6.0. BASIS OF DESIGN: OWENS CORNING "SOFT" DUCT WRAP.

4.5 ROUND SUPPLY AND OUTSIDE AIR DUCTWORK EXPOSED TO THE CONDITIONED SPACE SHALL BE INTERNALLY LINED WITH 1.5-INCH THICK FIBERGLASS LINING THAT HAS BEEN SCORED FOR "SNAP-IN" INSTALLATION IN ROUND DUCTWORK. BASIS OF DESIGN: OWENS CORNING "QUIET ZONE" SPIRAL DUCT LINER. INSULATION SHALL HAVE A R-VALUE OF 6.5. ROUND RETURN DUCTWORK EXPOSED TO THE CONDITIONED SPACE NEED NOT BE INSULATED UNLESS SPECIFICALLY REQUIRED ON DRAWINGS FOR SOUND ATTENUATION.

4.6 DUCT SIZES SHOWN ON THE DRAWINGS ARE CLEAR INSIDE DIMENSIONS. SHEET METAL FABRICATION SHALL BE ADJUSTED TO ALLOW FOR REQUIRED THICKNESS OF INSULATION.

4.7 ALL INSULATION AND ADHESIVES SHALL HAVE A FLAME-SPREAD RATING NOT EXCEEDING 25 AND A SMOKE DEVELOPED RATING NOT EXCEEDING 50.

5.0 CONTROLS/ELECTRICAL

5.1 THERMOSTAT LOCATIONS ARE APPROXIMATE AND SHALL BE COORDINATED TO SUIT FIELD CONDITIONS. THERMOSTATS SHALL BE MOUNTED 4'-0" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.

5.2 UNLESS OTHERWISE NOTED, LOW VOLTAGE WIRING (LESS THAN 120 VAC) SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. LINE VOLTAGE WIRING (120 VAC AND GREATER) SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL WIRING SHALL BE ENCASED IN EMT CONDUIT, UNLESS ROUTED THROUGH A CONCEALED SPACE, WHERE PLENUM CABLE IS ACCEPTABLE. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH DIVISION 16 AND APPLICABLE CODES.

5.3 MOTOR STARTERS FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR FOR INSTALLATION BY THE ELECTRICAL CONTRACTOR. FIELD VERIFY ALL PURCHASED EQUIPMENT ELECTRICAL CHARACTERISTICS BEFORE ORDERING EQUIPMENT. STARTERS FOR MOTORS 1/2 HP AND LARGER SHALL BE MAGNETIC TYPES WITH OVERLOAD PROTECTION AND CONTROL POWER TRANSFORMERS. PROVIDE HAND-OFF-AUTO SWITCHES WHERE EQUIPMENT IS INTERLOCKED WITH SYSTEM CONTROLS. PROVIDE REQUIRED AUXILIARY CONTACTS AND A MINIMUM OF ONE SPARE CONTACT FOR FUTURE. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH DIVISION 16 AND APPLICABLE CODES.

TEST AND BALANCE (FOR OFFICE BUILDING ONLY)

ALL HVAC SYSTEMS SHALL BE TESTED, ADJUSTED, AND BALANCED BY A CERTIFIED TEST AND BALANCE AGENCY. TEST AND BALANCE ACTIVITIES SHALL INCLUDE MEASUREMENT OF EACH AIR INLET OR OUTLET, AIR TERMINAL DEVICE, COMPARISON TO MAJOR DUCT TRAVERSES, AND ADJUSTMENT SO AS TO ACHIEVE PLUS/MINUS 10% OF DESIGN AIRFLOW RATES.

A TEST AND BALANCE REPORT SHALL BE PREPARED AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR APPROVAL. REPORT ANY SYSTEM DEFICIENCIES WITHIN THE REPORT FOR RESOLUTION BY THE ENGINEER.

AGENCY SUBMITTALS: SUBMIT QUALIFICATIONS OF PROPOSED TEST AND BALANCE AGENCY TO THE ENGINEER FOR APPROVAL. SUBMITTAL SHALL PRECEDE OR COINCIDE WITH SUBMITTALS FOR HVAC EQUIPMENT.

CAD FILE:

DRWN. BY: SA

CHKD. BY: JH

APPR. BY: JH

DATE: 6-30-16

REVISIONS

0 6/30/16 - INITIAL ISSUE

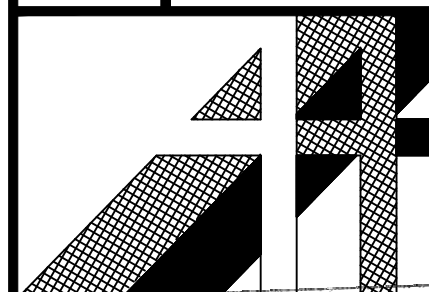
WHITE RIVER APARTMENTS LEAD SHEET - HVAC

2900 MARION DRIVE
DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

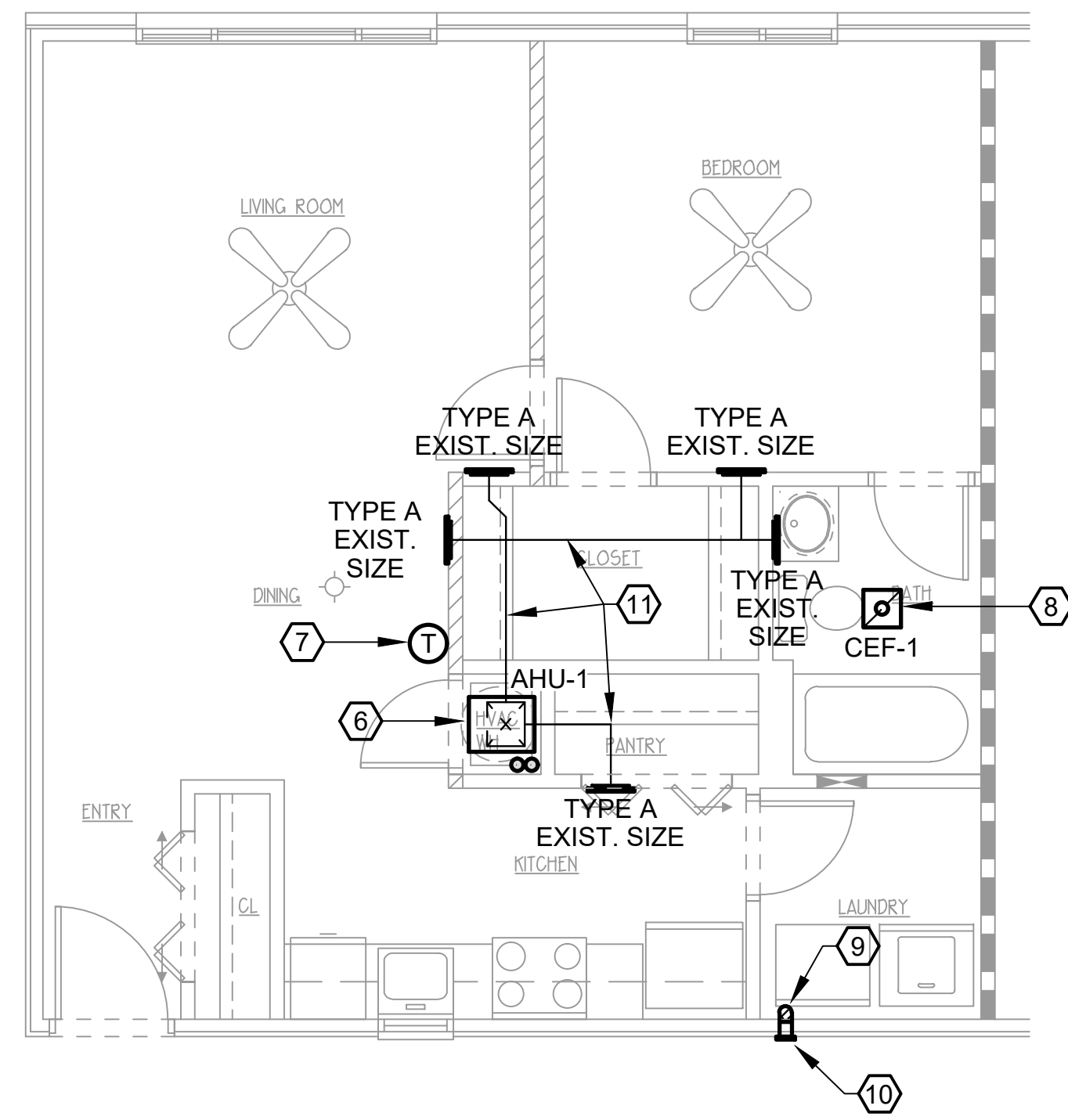
5516 WALLWOOD ROAD



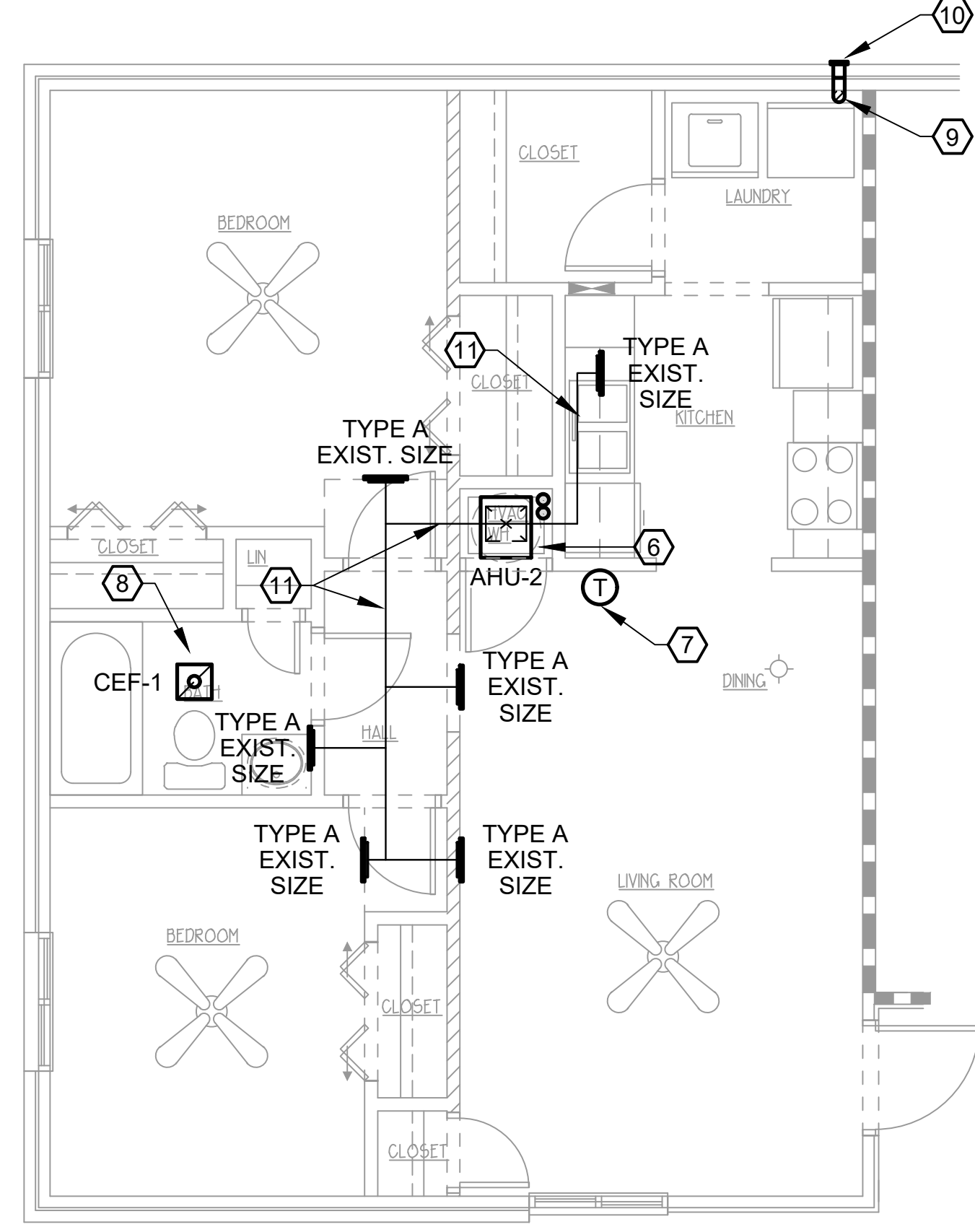
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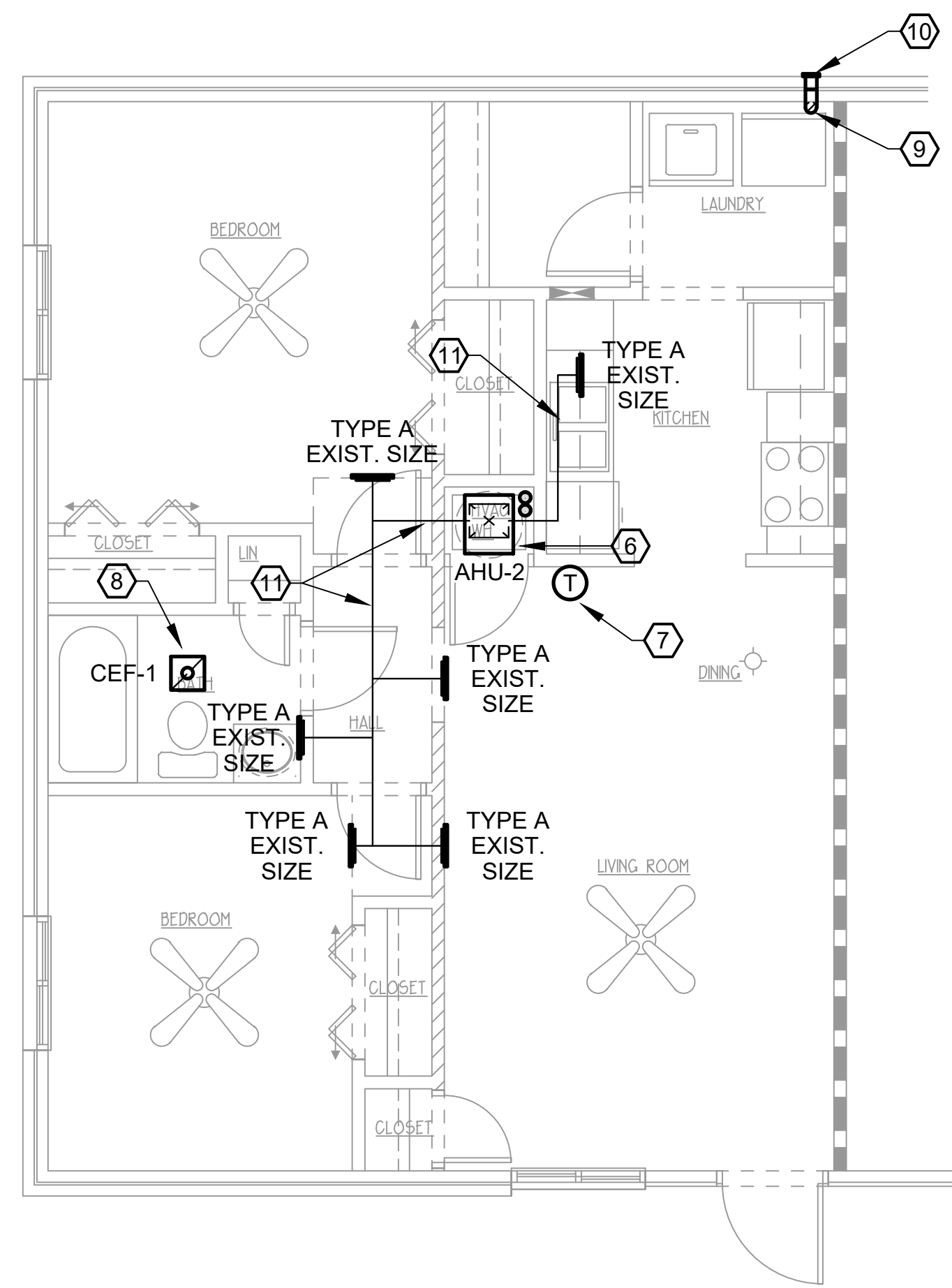
H0.1



1 ONE BEDROOM TYPICAL - HVAC
SCALE: 1/4"=1'-0"



2 TWO BEDROOM TYPICAL - HVAC
SCALE: 1/4"=1'-0"



3 TWO BEDROOM TYPICAL - HVAC
SCALE: 1/4"=1'-0"

WALL LEGEND
 - - - - - EXISTING 1 HR RATED
 - - - - - EXISTING INT. PARTITION TO REMAIN
 - - - - - PARTITION TO BE DEMO'D
 - - - - - ASSUMED EXISTING LOAD BEARING WALL

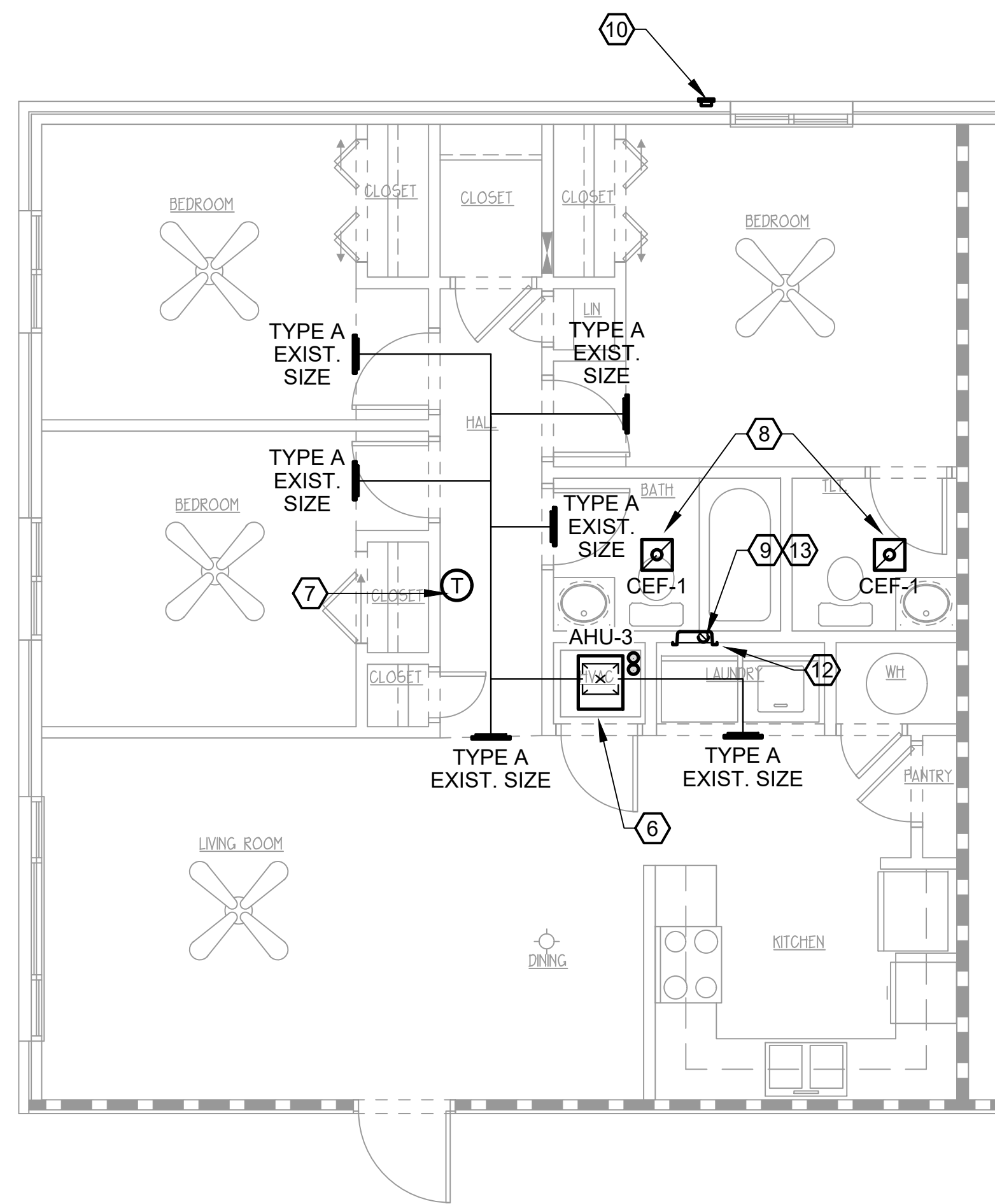
DEMOLITION NOTES:

1. REMOVE ALL EXISTING AIR HANDLING UNITS, CONDENSING UNITS, REFRIGERANT LINE SET AND CONDENSATE PIPING, ONE EACH PER APARTMENT. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL EXISTING WALL/CEILING SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
3. REMOVE EXISTING THERMOSTATS, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT.
4. REMOVE ALL EXISTING WALL SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
5. REMOVE EXISTING BATHROOM COMBINATION EXHAUST FAN/LIGHT OR FAN. DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING AS REQUIRED TO MATCH ADJACENT.
6. REMOVE EXISTING KITCHEN EXHAUST FAN, ASSOCIATED DUCTWORK & ACCESS PANELS (IF PRESENT) TO INSIDE OF WALL & CAP OFF IN ORDER TO ACHIEVE A CONTINUOUS SMOOTH WALL FINISH WHERE REMOVED (MAINTAIN FIRE RATING). DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING/WALL TO MATCH ADJACENT.

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW & EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING/ATTIC ASSEMBLIES AS SPECIFIED ON SHEETS H0.1, HP0.1 & HP0.2.
2. LOCATION OF EXISTING DUCTWORK, REFRIGERANT PIPING AND CONDENSATE PIPING IS ASSUMED/APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, & CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, & HP0.2.
4. REPLACE ALL AIR DISTRIBUTION DIFFUSERS/GRILLES WITH SAME SIZE AS EXISTING DIFFUSERS. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW DIFFUSERS TO EXISTING DUCTWORK. CONTRACTOR TO FIELD VERIFY EXISTING SIZES.
5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION TO MATCH ADJACENT. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
6. NEW AIR HANDLING UNIT TO BE INSTALLED IN EXISTING MECHANICAL CLOSET. MOUNT ON EXISTING SHELF AND PROVIDE BOTTOM FILTER RACK INSTALLATION. REFER TO DETAILS ON SHEET H5.1. FULL LOUVERED DOOR TO PROVIDE RETURN PATH, REFER TO ARCHITECTURAL DRAWINGS. CONNECT TO EXISTING DUCTWORK. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW AIR HANDLING UNIT TO EXISTING DUCTWORK. REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED LINE SETS ROUTED IN THE SAME LOCATION AS EXISTING. REFER TO PLUMBING DRAWINGS FOR CONDENSATE DISPOSAL.
7. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT IN SAME LOCATION AS EXISTING. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.
8. INSTALL NEW CEILING EXHAUST FAN IN SAME LOCATION AS EXISTING REMOVED. PROVIDE CEILING RADIATION DAMPER AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY. REFER TO SHEETS H2.0 AND H2.1 FOR CONTINUATION.
9. INSTALL NEW 4" DRYER DUCT AS REQUIRED TO CONNECT TO NEW DRYER WALL CAP/VENT. REFER TO SHEETS H2.0 AND H2.1 FOR DISCHARGE LOCATIONS.
10. DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
11. EXISTING DUCTWORK TO REMAIN.

| | |
|--|---------------------------|
| CAD FILE: | |
| DRWN. BY: SA | CHKD. BY: JH |
| APPR. BY: JH | DATE: 6-30-16 |
| REVISIONS | 0 6/30/16 - INITIAL ISSUE |
| WHITE RIVER APARTMENTS | |
| 2800 MARION DRIVE DIAZ, ARKANSAS | |
| ONE & TWO BEDROOM UNIT PLANS - HVAC | |
| ALLAN ASSOCIATES ARCHITECTS, PLLC | |
| 5616 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912 | |
| 865 / 689-1302 | |
| | |
| SHEET NUMBER | |
| H1.0 | |



1 THREE BEDROOM TYPICAL - HVAC
SCALE: 1/4"=1'-0"

RETURN PLENUM:

CONTRACTOR SHALL VISUALLY INSPECT EACH RETURN PLENUM BELOW AIR HANDLER AND SHALL VACUUM CLEAN EACH PLENUM PRIOR TO INSTALLING NEW EQUIPMENT. ALL REATTACHMENTS SHALL BE SEALED, CAULKED, OR OTHERWISE MADE AIRTIGHT AROUND UNIT. ANY HOLES REMAINING FROM PRIOR PENETRATIONS (I.E. REFRIGERANT OR CONDENSATE PIPING) SHALL BE PATCHED, SEALED, AND SIMILARLY MADE AIR TIGHT. PVC CONDENSATE PIPING SHALL NOT BE ROUTED WITHIN RETURN PLENUM. ANY EXISTING OR NEW WIRING/REFRIGERANT PIPING WITHIN THE PLENUM BOX SHALL HAVE A SMOKE DEVELOPED RATING OF 50/25, OR BE OF NON-COMBUSTIBLE MATERIALS, AND BE MATERIALS LISTED AND LABELED FOR INSTALLATION WITHIN A PLENUM AS REQUIRED BY 2012 ARKANSAS MECHANICAL CODE 602.2.1.

WALL LEGEND

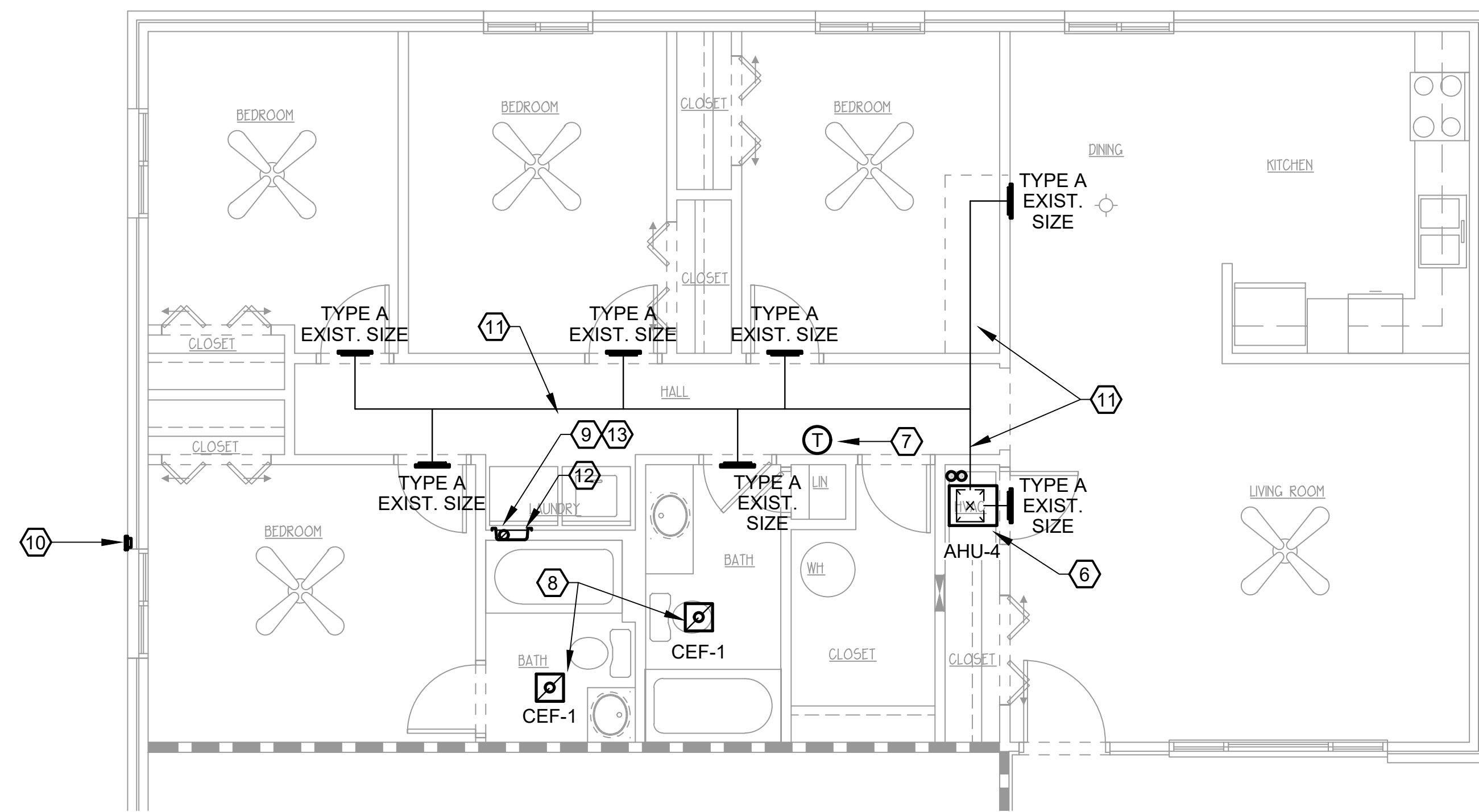
| | |
|--|------------------------------------|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
| | PARTITION TO BE DEMO'D |
| | ASSUMED EXISTING LOAD BEARING WALL |

DEMOLITION NOTES:

- REMOVE ALL EXISTING AIR HANDLING UNITS, CONDENSING UNITS, REFRIGERANT LINE SET AND CONDENSATE PIPING, ONE EACH PER APARTMENT. DISPOSAL BY CONTRACTOR.
- REMOVE ALL EXISTING WALL/CEILING SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
- REMOVE EXISTING THERMOSTATS, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT.
- REMOVE ALL EXISTING WALL SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
- REMOVE EXISTING BATHROOM COMBINATION EXHAUST FAN/LIGHT OR FAN. DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING AS REQUIRED TO MATCH ADJACENT
- REMOVE EXISTING KITCHEN EXHAUST FAN, ASSOCIATED DUCTWORK & ACCESS PANELS (IF PRESENT) TO INSIDE OF WALL & CAP OFF IN ORDER TO ACHIEVE A CONTINUOUS SMOOTH WALL FINISH WHERE REMOVED (MAINTAIN FIRE RATING). DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING/WALL TO MATCH ADJACENT.

NOTES:

- MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW & EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING/ATTIC ASSEMBLIES AS SPECIFIED ON SHEETS H0.1, HP0.1 & HP0.2.
- LOCATION OF EXISTING DUCTWORK, REFRIGERANT PIPING AND CONDENSATE PIPING IS ASSUMED/APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, & CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, & HP0.2.
- REPLACE ALL AIR DISTRIBUTION DIFFUSERS/GRILLES WITH SAME SIZE AS EXISTING DIFFUSERS. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW DIFFUSERS TO EXISTING DUCTWORK. CONTRACTOR TO FIELD VERIFY EXISTING SIZES.
- PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION TO MATCH ADJACENT. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
- NEW AIR HANDLING UNIT TO BE INSTALLED IN EXISTING MECHANICAL CLOSET. MOUNT ON EXISTING SHELF AND PROVIDE BOTTOM FILTER RACK INSTALLATION. REFER TO DETAILS ON SHEET H5.1. FULL LOUVERED DOOR TO PROVIDE RETURN PATH. REFER TO ARCHITECTURAL DRAWINGS. CONNECT TO EXISTING DUCTWORK. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW AIR HANDLING UNIT TO EXISTING DUCTWORK. REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED LINE SETS ROUTED IN THE SAME LOCATION AS EXISTING. REFER TO PLUMBING DRAWINGS FOR CONDENSATE DISPOSAL.
- PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT IN SAME LOCATION AS EXISTING. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.
- INSTALL NEW CEILING EXHAUST FAN IN SAME LOCATION AS EXISTING REMOVED. PROVIDE CEILING RADIATION DAMPER AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY. REFER TO SHEETS H2.0 AND H2.1 FOR CONTINUATION.
- INSTALL NEW 4" DRYER DUCT AS REQUIRED TO CONNECT TO NEW DRYER WALL CAP/VENT. REFER TO SHEETS H2.0 AND H2.1 FOR DISCHARGE LOCATIONS.
- DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
- EXISTING DUCTWORK TO REMAIN.
- INSTALL NEW RECESSED DRYER VENT BOX (THE DRYERBOX UL RATED) 22 GAUGE ALUMINIZED STEEL. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING TO EXTERIOR WALL CAP/VENT OR THROUGH ATTIC TO EXHAUST VIA A ROOF DRYER VENT CAP. DRYER DUCT IS TO BE LIMITED TO A MAXIMUM LENGTH OF 35 FEET, USING TABLE 504.6.4.1 FROM 2012 INTERNATIONAL MECHANICAL CODE FOR EQUIVALENT FITTING LENGTHS. USE SMOOTH, RIGID ALUMINUM VENT MATERIAL ONLY (FLEXIBLE DUCT IS NOT ACCEPTABLE). THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. DUCT SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT EXHAUST FLOW OR PROTRUDE INTO THE INSIDE OF THE DUCT. REFER TO SHEETS H2.0 AND H2.1 FOR DRYER EXHAUST DUCT ROUTING, ROOF DRYER VENT CAP AND/OR WALL CAP DISCHARGE LOCATIONS. REFER TO DETAILS X ON SHEET HX.X2.
- EXISTING DRYER EXHAUST DUCT OF LOWER FLOOR APARTMENT IS ASSUMED TO BE ROUTED TO BELOW FLOOR SLAB AND THEN TO GRADE MOUNTED PVC PIPE WITH LOUVERED VENT. THIS ARRANGEMENT IS TO BE DISCONNECTED AND ABANDONED. CAP OFF ALL DUCTWORK/PIPING WITHIN WALL AND/OR BELOW FLOOR SLAB. THE EXTERIOR PIPING/DUCT IS TO BE REMOVED BACK TO WHERE IT EXITS BELOW THE BUILDING PERIMETER AND GROUTED SOLID TO PREVENT PEST/RODENT INTRUSION. REPORT INCOMPATIBILITIES TO ARCHITECT/ENGINEER FOR RESOLUTION.



2 FOUR BEDROOM TYPICAL - HVAC
SCALE: 1/4"=1'-0"

CAD FILE:

| | |
|--------------|-------------------------|
| DRWN. BY: SA | DATE: 6-30-16 |
| CHKD. BY: JH | REVISIONS: 0 |
| APPR. BY: JH | 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

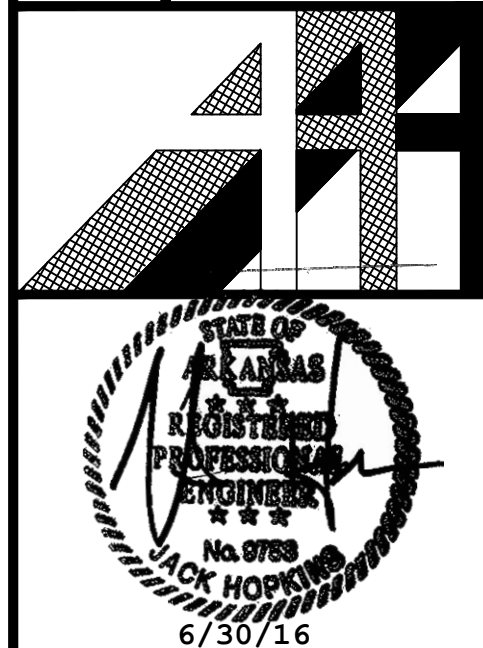
THREE & FOUR BEDROOM UNIT PLANS - HVAC

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

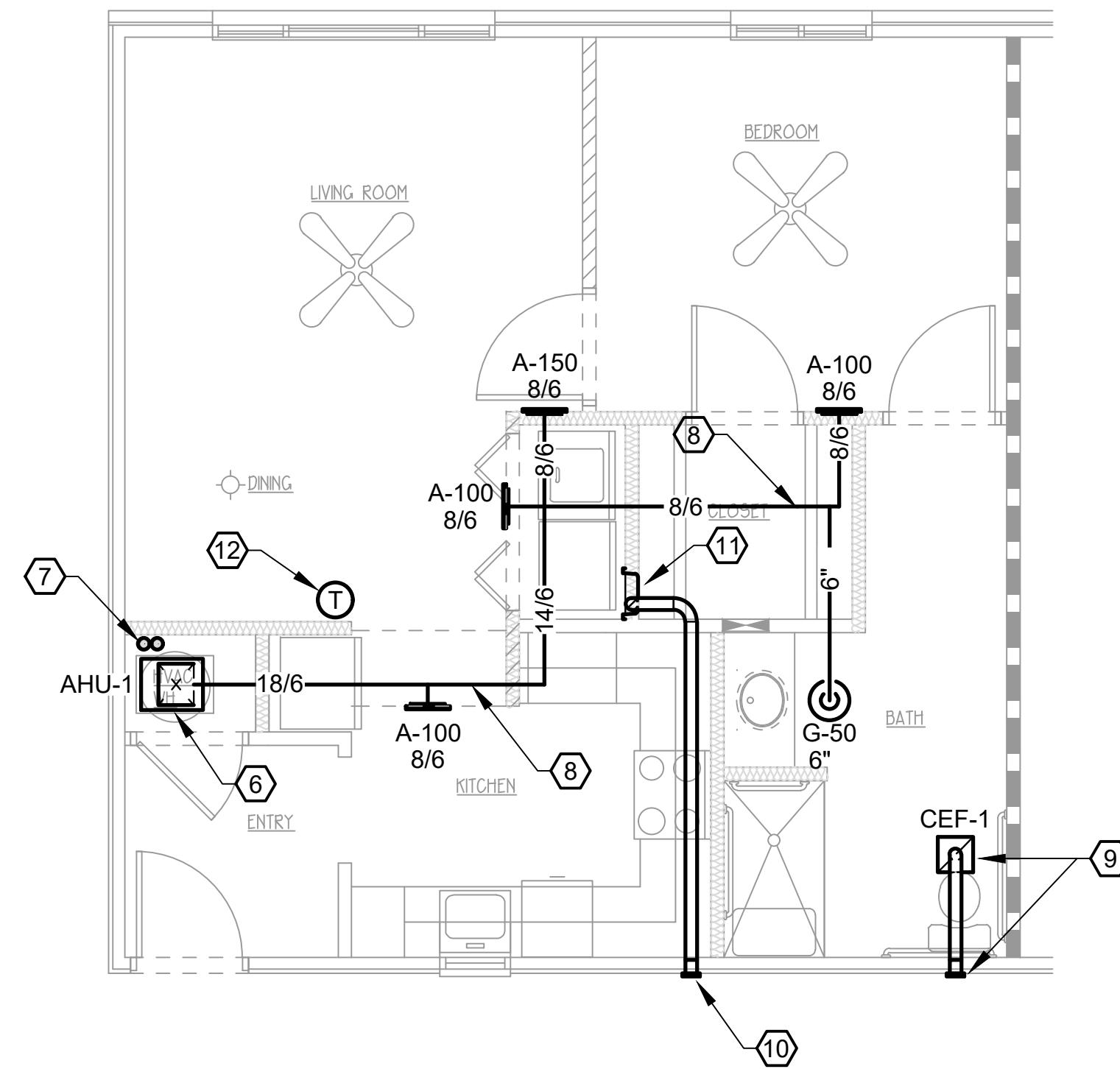
H1.1

DEMOLITION NOTES:

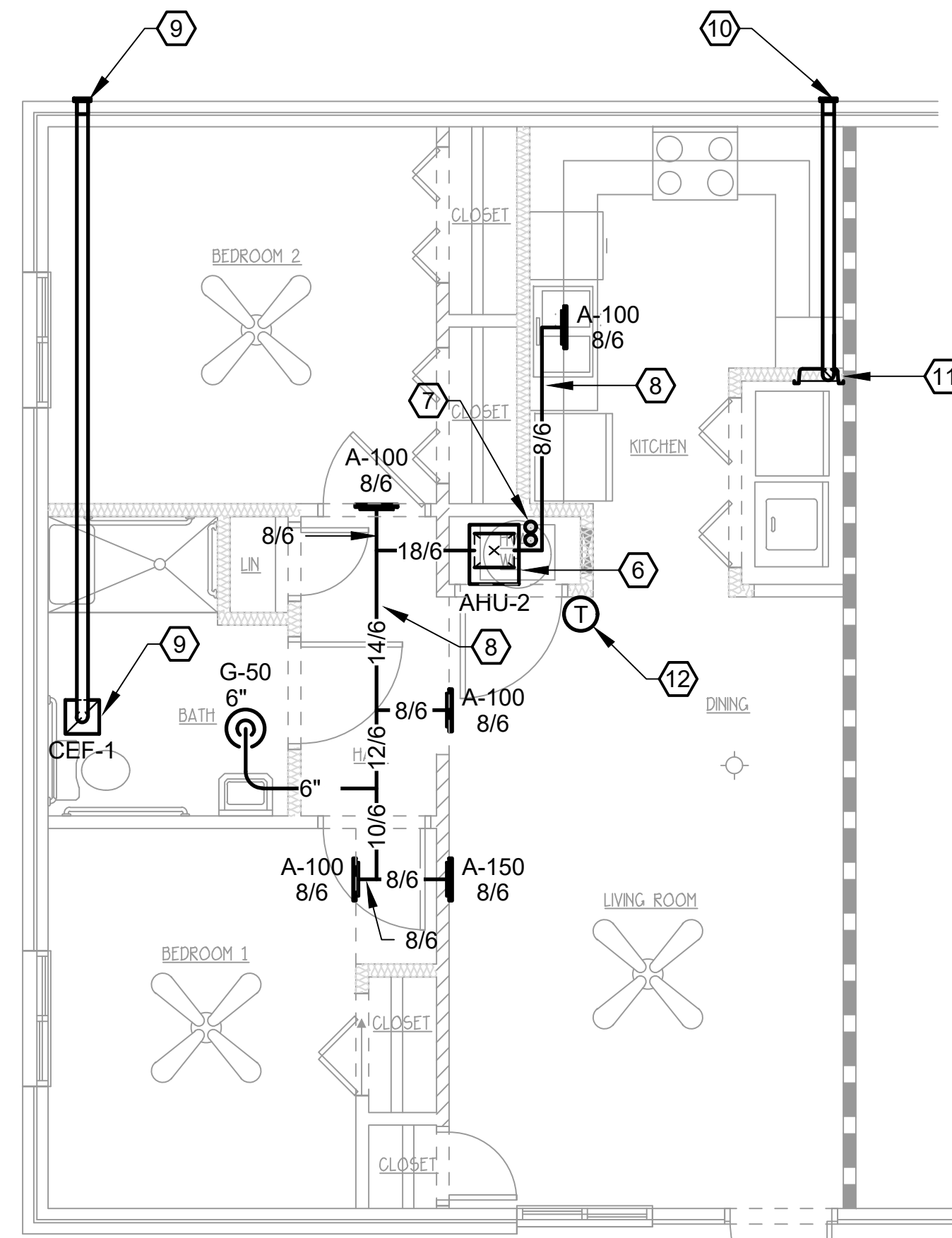
1. REMOVE ALL EXISTING AIR HANDLING UNITS, CONDENSING UNITS, REFRIGERANT LINE SET AND CONDENSATE PIPING, ONE EACH PER APARTMENT. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING DUCTWORK ASSOCIATED WITH AIR HANDLING UNIT. DISPOSAL BY CONTRACTOR.
3. REMOVE ALL EXISTING WALL/CEILING SUPPLY/RETURN GRILLES. DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
4. REMOVE EXISTING THERMOSTATS, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT.
5. REMOVE ALL EXISTING WALL SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
6. REMOVE EXISTING BATHROOM COMBINATION EXHAUST FAN/LIGHT OR FAN. DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING AS REQUIRED TO MATCH ADJACENT.
7. REMOVE EXISTING KITCHEN EXHAUST FAN, ASSOCIATED DUCTWORK & ACCESS PANELS (IF PRESENT) TO INSIDE OF WALL & CAP OFF IN ORDER TO ACHIEVE A CONTINUOUS SMOOTH WALL FINISH WHERE REMOVED (MAINTAIN FIRE RATING). DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING/WALL TO MATCH ADJACENT.
8. REMOVE EXISTING DRYER EXHAUST DUCT AND WALL VENT CAP. REPAIR/PATCH WALL TO MATCH ADJACENT.

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW & EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING/ATTIC ASSEMBLIES AS SPECIFIED ON SHEETS HO.1, HP0.1 & HP0.2.
2. LOCATION OF EXISTING DUCTWORK, REFRIGERANT PIPING AND CONDENSATE PIPING IS ASSUMED/APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, & CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, & HP0.2.
4. REPLACE ALL AIR DISTRIBUTION DIFFUSERS/GRILLES WITH SAME SIZE AS EXISTING DIFFUSERS OR AS SHOWN. CONTRACTOR TO FIELD VERIFY EXISTING SIZES.
5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION TO MATCH ADJACENT. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
6. INSTALL NEW AIR HANDLING UNIT ABOVE WATER HEATER IN NEW/EXPANDED CLOSET AS SHOWN, PROVIDE BOTTOM FILTER RACK INSTALLATION. REFER TO DETAILS ON SHEET H5.1. FULL LOUVERED DOOR TO PROVIDE RETURN PATH, REFER TO ARCHITECTURAL DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONDENSATE DISPOSAL.
7. REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED (REFER TO SHEET H4.2 FOR INSULATION REQUIREMENTS) LINE SETS ROUTED VIA SAME ROUTE AS EXISTING OR ROUTE NEW REFRIGERANT LINES WITHIN PVC SLEEVE ROUTED FROM NEW CONDENSING UNITS AT REAR/SIDE OF BUILDING (REFER TO SHEETS H2.0 AND H2.1 FOR LOCATIONS) THROUGH EXTERIOR WALL (LOW ON WALL), ROUTE UP TO ABOVE CEILING AND DOWN INTO NEW MECHANICAL CLOSET AS SHOWN. ALL PIPING & WIRING ARE TO BE ROUTED IN A CONCEALED MANNER. USE LONG SWEEP OR MECHANICAL ELBOWS AS REQUIRED.
8. ROUTE NEW INSULATED DUCTWORK ABOVE FURRED DOWN CEILING.
9. INSTALL NEW CEILING EXHAUST FAN. PROVIDE CEILING RADIATION DAMPER AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY. ROUTE 4" DUCT UP TO ABOVE CEILING AND ROUTE BETWEEN JOISTS TO NEW EXTERIOR WALL CAP. WALL CAP SHALL HAVE GRAVITY DAMPER AND INSECT SCREEN.
10. DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
11. INSTALL NEW RECESSED DRYER VENT BOX (THE DRYERBOX UL RATED) 22 GAUGE ALUMINIZED STEEL. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING TO EXTERIOR WALL CAP. DRYER DUCT IS TO BE LIMITED TO A MAXIMUM LENGTH OF 35 FEET, USING TABLE 504.6.4.1 FROM 2012 INTERNATIONAL MECHANICAL CODE FOR EQUIVALENT FITTING LENGTHS. USE SMOOTH, RIGID ALUMINUM VENT MATERIAL ONLY (FLEXIBLE DUCT IS NOT ACCEPTABLE). THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. DUCT SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT EXHAUST FLOW OR PROTRUDE INTO THE INSIDE OF THE DUCT. REFER TO DETAILS ON SHEET H5.2.
12. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.



1 ONE BEDROOM ACCESSIBLE - HVAC
SCALE: 1/4"=1'-0"



2 TWO BEDROOM ACCESSIBLE - HVAC
SCALE: 1/4"=1'-0"

WALL LEGEND

| | |
|--|---|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
| | PARTITION TO BE DEMO'D |
| | ASSUMED EXISTING LOAD BEARING WALL |
| | NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK |

CAD FILE:

| | |
|-----------|---------------------------|
| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | 0 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

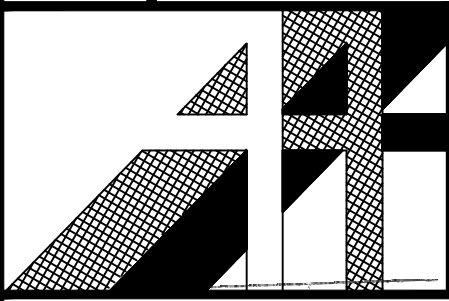
ONE & TWO BR ACC UNIT PLANS - HVAC

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

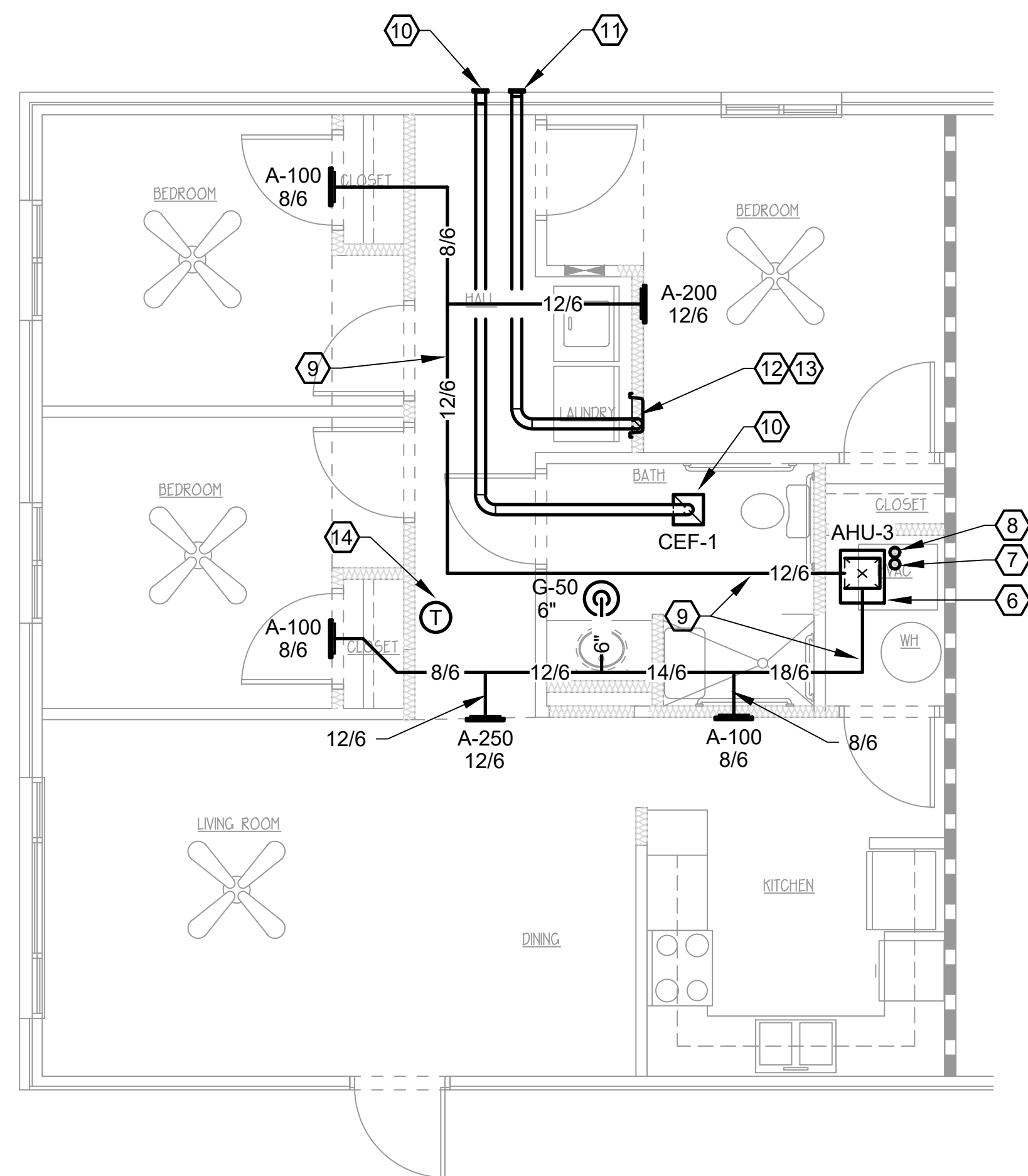
H1.2

DEMOLITION NOTES:

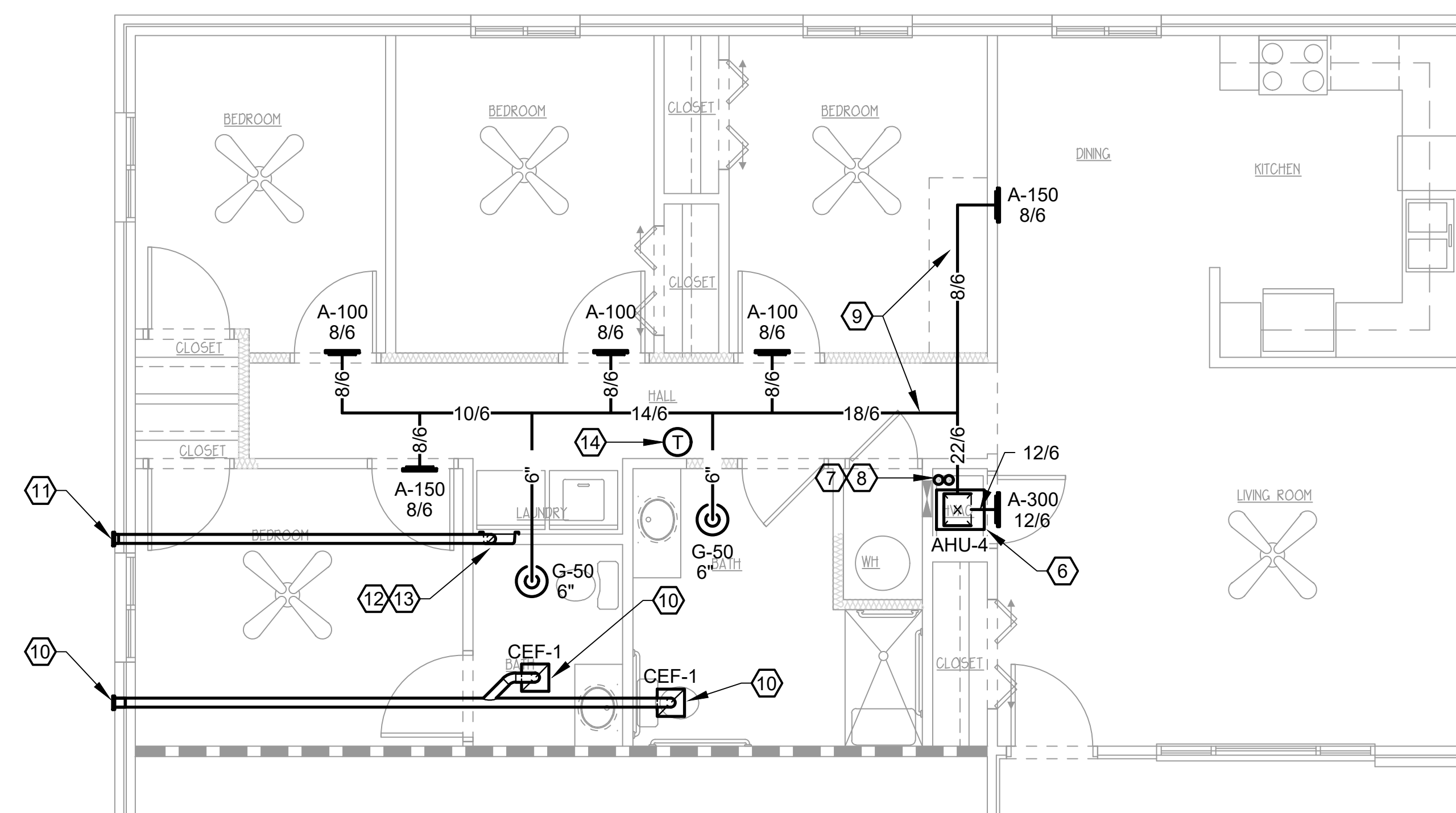
- REMOVE ALL EXISTING AIR HANDLING UNITS, CONDENSING UNITS, REFRIGERANT LINE SET AND CONDENSATE PIPING, ONE EACH PER APARTMENT. DISPOSAL BY CONTRACTOR.
- REMOVE EXISTING DUCTWORK ASSOCIATED WITH AIR HANDLING UNIT. DISPOSAL BY CONTRACTOR.
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- REMOVE EXISTING THERMOSTATS, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT.
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- REMOVE EXISTING KITCHEN EXHAUST FAN, ASSOCIATED DUCTWORK & ACCESS PANELS (IF PRESENT) TO INSIDE OF WALL & CAP OFF IN ORDER TO ACHIEVE A CONTINUOUS SMOOTH WALL FINISH WHERE REMOVED (MAINTAIN FIRE RATING). DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING/WALL TO MATCH ADJACENT.

NOTES:

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- PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION TO MATCH ADJACENT. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
- INSTALL NEW AIR HANDLING UNIT ABOVE WATER HEATER IN NEW/EXISTING CLOSET AS SHOWN, PROVIDE BOTTOM FILTER RACK INSTALLATION (AHU-4) & BOTTOM RETURN PLENUM WITH SIDE FILTER RACK (AHU-3). REFER TO DETAILS SHEET H5.1. FULL LOUVERED DOOR TO PROVIDE RETURN PATH, REFER TO ARCHITECTURAL DRAWINGS. REFER TO PLUMBING DRAWINGS FOR CONDENSATE DISPOSAL.
- REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED (REFER TO SHEET H4.2 FOR INSULATION REQUIREMENTS) LINE SETS ROUTED VIA SAME ROUTE AS EXISTING OR ROUTE NEW REFRIGERANT LINES WITHIN PVC SLEEVE ROUTED FROM NEW CONDENSING UNITS AT REAR/SIDE OF BUILDING (REFER TO SHEETS H2.0 AND H2.1 FOR LOCATIONS) THROUGH EXTERIOR WALL (LOW ON WALL), ROUTE UP TO ABOVE CEILING AND DOWN INTO NEW MECHANICAL CLOSET AS SHOWN. ALL PIPING & WIRING ARE TO BE ROUTED IN A CONCEALED MANNER. USE LONG SWEEP OR MECHANICAL ELBOWS AS REQUIRED.
- REFRIGERANT LINES TO UNIT ABOVE.
- ROUTE NEW INSULATED DUCTWORK ABOVE FURRED DOWN CEILING.
- INSTALL NEW CEILING EXHAUST FAN. PROVIDE CEILING RADIATION DAMPER AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY. ROUTE 4" DUCT UP TO ABOVE CEILING AND ROUTE BETWEEN JOISTS TO NEW EXTERIOR WALL CAP. WALL CAP SHALL HAVE GRAVITY DAMPER AND INSECT SCREEN. REFER TO SHEETS H2.0 AND H2.1 FOR CONTINUATION.
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- EXISTING DRYER EXHAUST DUCT IS ASSUMED TO BE ROUTED TO BELOW FLOOR SLAB AND THEN TO GRADE MOUNTED PVC PIPE WITH LOUVERED VENT. THIS ARRANGEMENT IS TO BE DISCONNECTED AND ABANDONED. CAP OFF ALL DUCTWORK/PIPING WITHIN WALL AND/OR BELOW FLOOR SLAB. THE EXTERIOR PIPING/DUCT IS TO BE REMOVED BACK TO WHERE IT EXISTS BELOW THE BUILDING PERIMETER AND GROUTED SOLID TO PREVENT PEST/RODENT INTRUSION. REPORT INCOMPATIBILITIES TO ARCHITECT/ENGINEER FOR RESOLUTION.
- PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.



1 THREE BEDROOM ACCESSIBLE - HVAC
SCALE: 1/4"=1'-0"

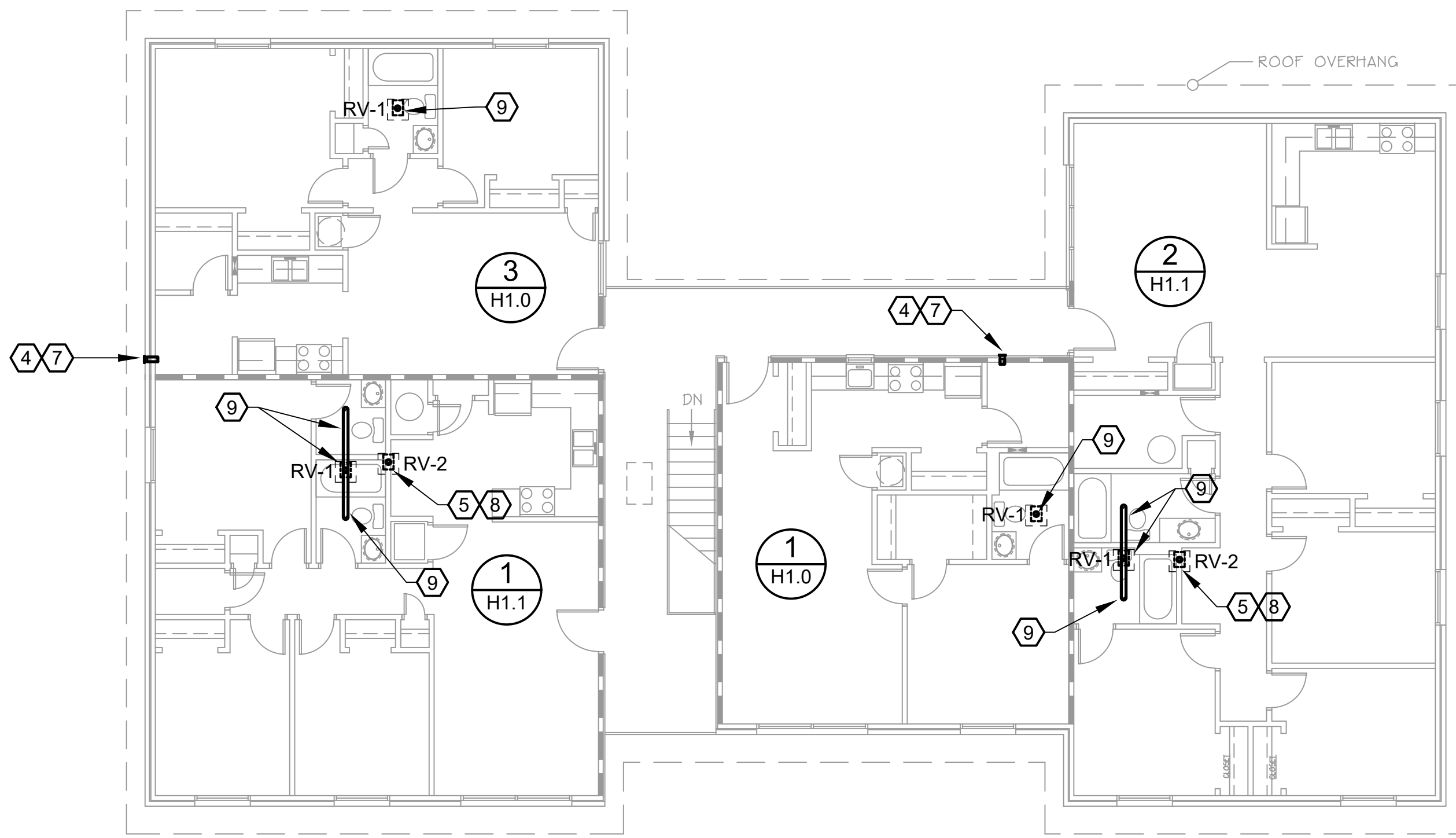


2 FOUR BEDROOM ACCESSIBLE - HVAC
SCALE: 1/4"=1'-0"

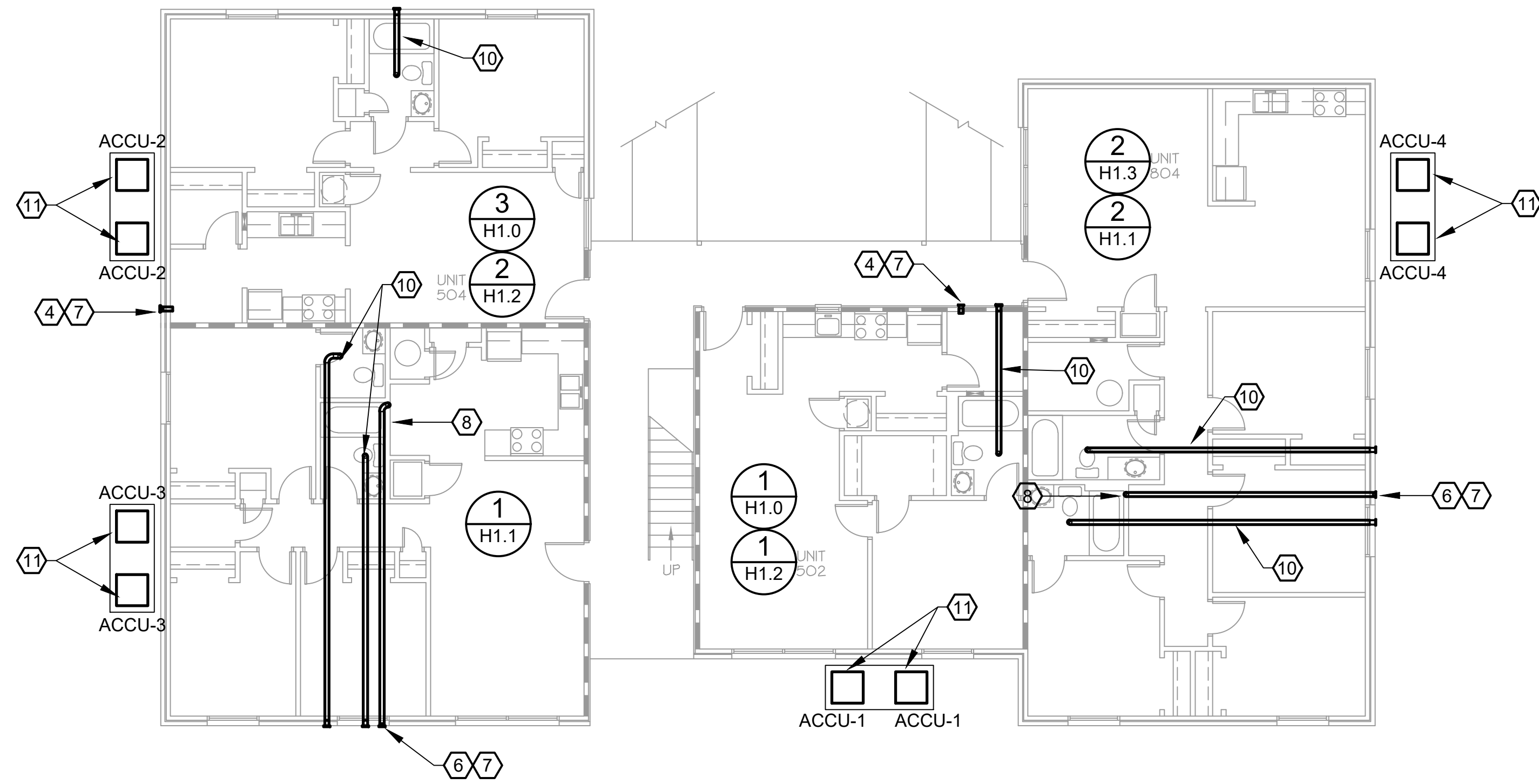
WALL LEGEND

| | |
|--|--|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
| | PARTITION TO BE DEMO'D |
| | ASSUMED EXISTING LOAD BEARING WALL |
| | NEW PARTITION 2x4 STUDS ● 16" O.C. W/5/8" SHEETROCK |

| | | | | | |
|-----------|--|---------------|---|--|----------------------------|
| CAD FILE: | | DRWN. BY: SA | | THREE & FOUR BR ACC UNIT PLANS - HVAC | |
| | | CHKD. BY: JH | | WHITE RIVER APARTMENTS | DIAZ, ARKANSAS |
| | | APPR. BY: JH | | 2900 MARION DRIVE | |
| | | DATE: 6-30-16 | | ALLAN ASSOCIATES ARCHITECTS, PLLC | KNOXVILLE, TENNESSEE 37912 |
| | | REVISIONS | 0 | 6/30/16 - INITIAL ISSUE | 865 / 689-1302 |
| | | | | 5516 WALLWOOD ROAD | |
| | | | | SHEET NUMBER | H1.3 |



2 BLDGS 2,3,5,8
SECOND FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"



1 BLDGS 2,3,5,8
FIRST FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"

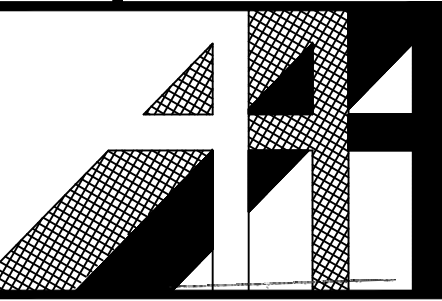
DEMOLITION NOTES:

1. REMOVE ALL EXISTING CONDENSING UNITS, ONE PER APARTMENT. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL EXISTING BATHROOM WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.
3. REMOVE EXISTING DRYER ROOF CAPS/VENTS, DISPOSAL BY CONTRACTOR.
4. REMOVE ALL EXISTING DRYER WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.

NOTES:

1. LOCATION OF EXISTING LOWER FLOOR BATHROOM EXHAUST DUCT IS ASSUMED TO BE ROUTED UP BETWEEN THE JOISTS TO THE EXTERIOR WALL AND IS ESTIMATED BASED ON FIELD OBSERVATION OF EXISTING WALL VENTS AND ASSUMED ORIENTATION OF FLOOR JOISTS. FIELD OBSERVATION OF EXISTING WALL VENTS INDICATES THAT EACH BUILDING AND/OR APARTMENT UNIT EXHAUST DUCT ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS/ROUTING ON RECORD DRAWINGS.
2. BASED ON FIELD OBSERVATION OF A SAMPLING OF INSTANCES, LOCATION OF EXISTING UPPER FLOOR BATHROOM EXHAUST WAS OBSERVED TO BE ROUTED UP AND TERMINATED IN THE ATTIC. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS/ROUTING PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS/ROUTING ON RECORD DRAWINGS.
3. NO NEW BORING OR NOTCHING OF STRUCTURAL MEMBERS ALLOWED WITHOUT OBTAINING APPROVAL OF ARCHITECT. ROUTE DUCTWORK IN EXISTING LOCATIONS OR WITHIN NEW FURRED DOWN CEILING AREA OR PROVIDE NEW BULKHEADS AS APPROVED BY ARCHITECT.
4. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT AN EXTERIOR WALL SHALL BE A DRYER WALL VENT.
5. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF UPPER FLOOR APARTMENTS SHALL BE VIA A ROOF DRYER VENT CAP. INSTALL NEW 4" DRYER DUCT AND ROUTE UP THROUGH ATTIC TO ROOF VENT CAP. REFER TO DETAILS ON SHEET H5.2.
6. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF LOWER FLOOR APARTMENTS SHALL BE A DRYER WALL VENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING OR UP BETWEEN FLOOR JOISTS TO EXTERIOR WALL VENT.
7. DRYER WALL VENT SHALL BE BY IN-O-VATE TECHNOLOGIES, INC. MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
8. DRYER DUCT IS TO BE LIMITED TO A MAXIMUM LENGTH OF 35 FEET, USING TABLE 504.6.4.1 FROM 2012 INTERNATIONAL MECHANICAL CODE FOR EQUIVALENT FITTING LENGTHS. USE SMOOTH, RIGID ALUMINUM VENT MATERIAL ONLY (FLEXIBLE DUCT IS NOT ACCEPTABLE). THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. DUCT SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT EXHAUST FLOW OR PROTRUDE INTO THE INSIDE OF THE DUCT.
9. EXISTING BATHROOM EXHAUST DUCT TO REMAIN. INSTALL NEW 4" DUCT AND ROUTE FROM EXISTING EXHAUST DUCT UP WITHIN ATTIC SPACE TO NEW ROOF VENT CAP. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW TO EXISTING CONDITION. REFER TO GENERAL NOTE 2 ABOVE.
10. INSTALL NEW 4" BATHROOM EXHAUST DUCT IN SAME LOCATION AS EXISTING OR PROVIDE NEW AS SHOWN. REFER TO GENERAL NOTE 1 ABOVE.
11. LOCATION OF CONDENSING UNITS ARE APPROXIMATE. INSTALL NEW 6" CONCRETE PAD SIZED SO THAT THERE IS A MINIMUM OF 30" BETWEEN UNITS AND WALLS. ADDITIONALLY, INSTALL "PUSH UPS" TO ELEVATE THE CONDENSING UNITS ABOVE THE CONCRETE PAD IN ORDER TO PROVIDE PROTECTION FROM POTENTIAL FUTURE FLOODING.

| | |
|-----------|-------------------------|
| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | |
| 0 | 6/30/16 - INITIAL ISSUE |



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| DRWN. BY: | SA |
| CHKD. BY: | JH |
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| DATE: | 6-30-16 |
| REVISIONS | 0 |
| | 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

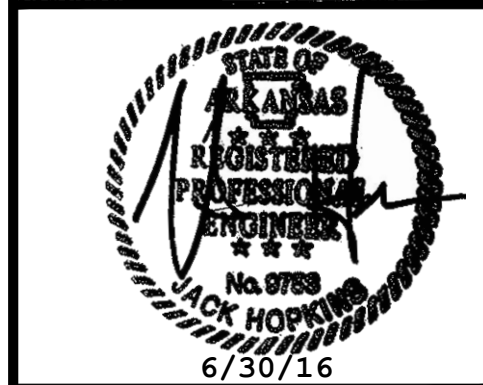
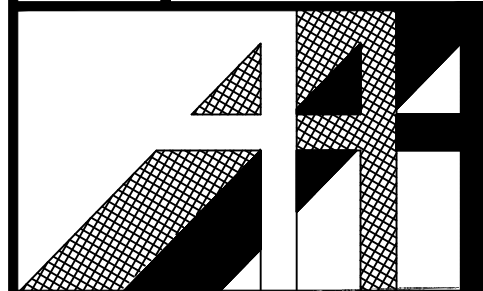
BLDG'S '1','4','6','7' PLANS - HVAC

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

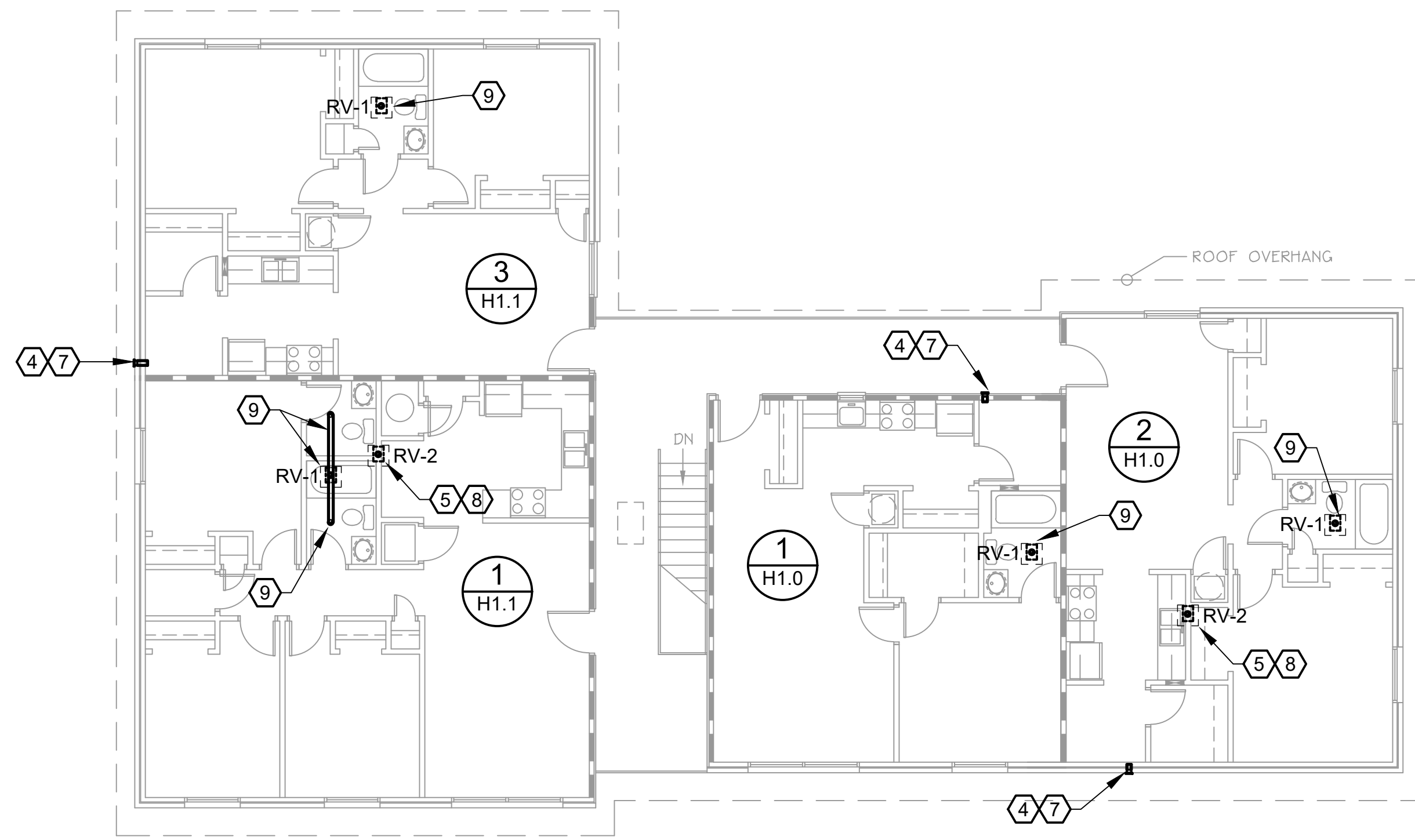
865 / 689-1302

5516 WALLWOOD ROAD

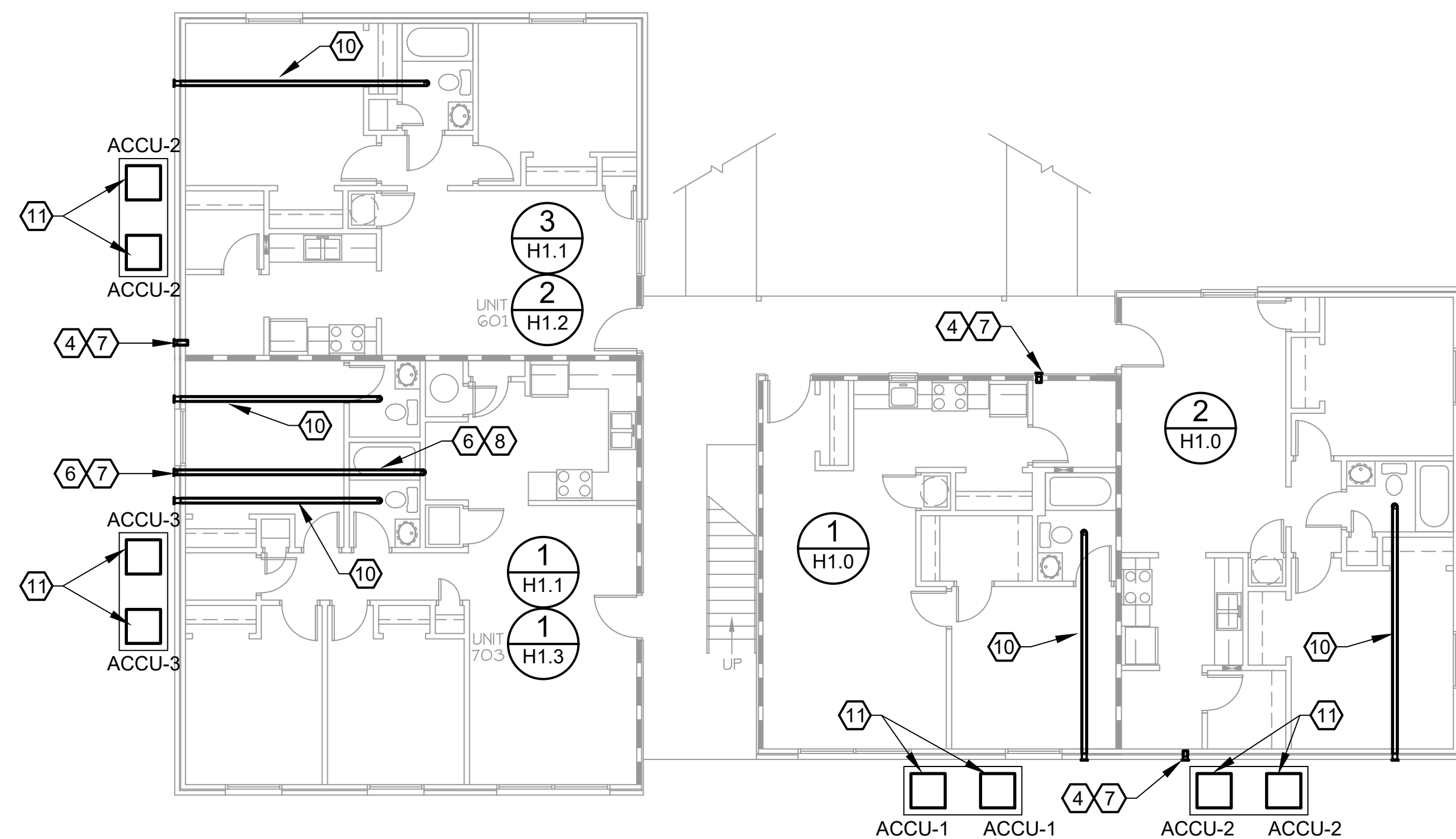


SHEET NUMBER

H2.1



2 BLDGS 1,4,6,7
SECOND FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"



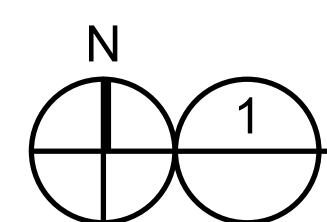
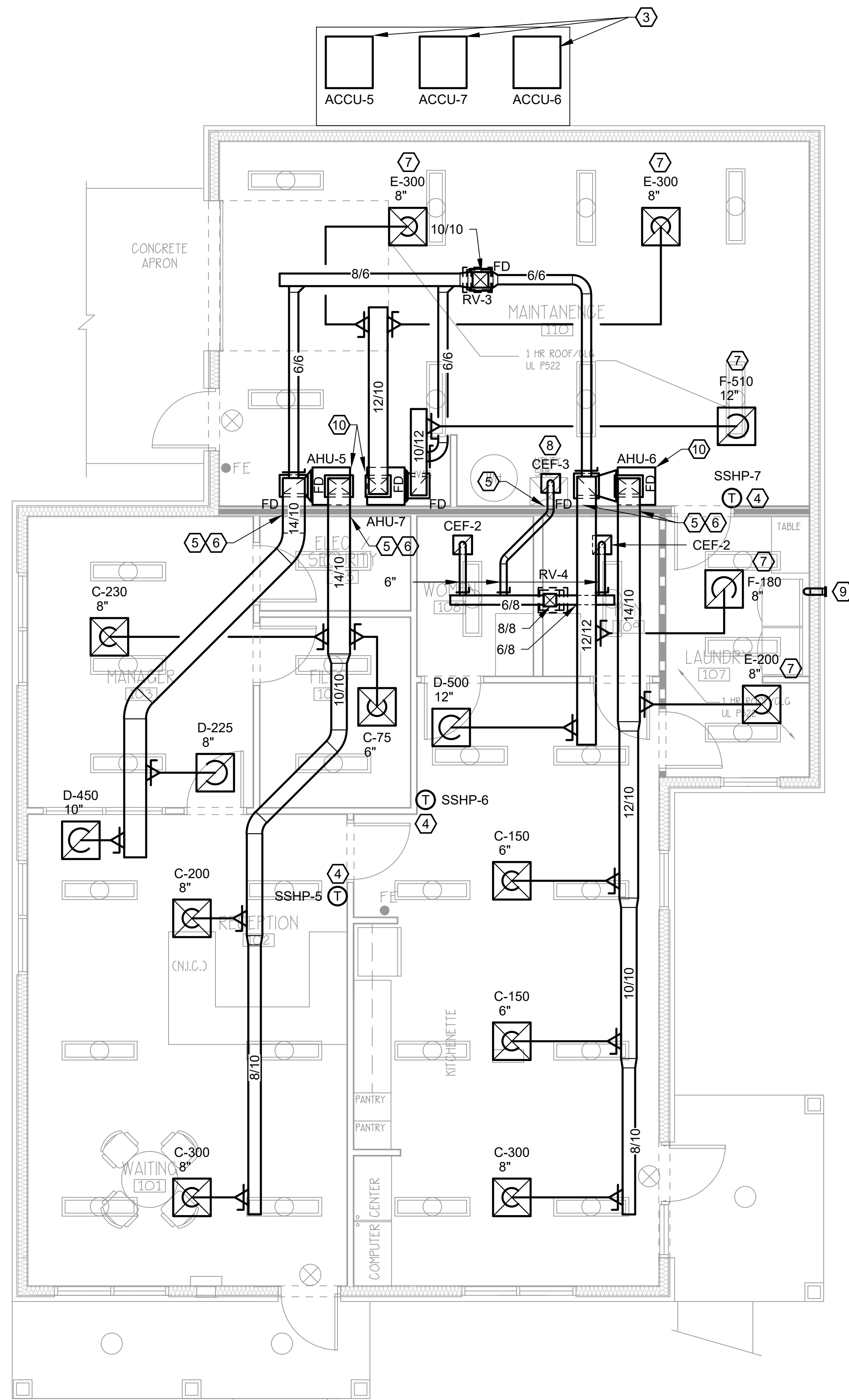
1 BLDGS 1,4,6,7
FIRST FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

1. REMOVE ALL EXISTING CONDENSING UNITS, ONE PER APARTMENT. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL EXISTING BATHROOM WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.
3. REMOVE EXISTING DRYER ROOF CAPS/VENTS, DISPOSAL BY CONTRACTOR.
4. REMOVE ALL EXISTING DRYER WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.

NOTES:

1. LOCATION OF EXISTING LOWER FLOOR BATHROOM EXHAUST DUCT IS ASSUMED TO BE ROUTED UP BETWEEN THE JOISTS TO THE EXTERIOR WALL AND IS ESTIMATED BASED ON FIELD OBSERVATION OF EXISTING WALL VENTS AND ASSUMED ORIENTATION OF FLOOR JOISTS. FIELD OBSERVATION OF EXISTING WALL VENTS INDICATES THAT EACH BUILDING AND/OR APARTMENT UNIT EXHAUST DUCT ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS/ROUTING ON RECORD DRAWINGS.
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3. NO NEW BORING OR NOTCHING OF STRUCTURAL MEMBERS ALLOWED WITHOUT OBTAINING APPROVAL OF ARCHITECT. ROUTE DUCTWORK IN EXISTING LOCATIONS OR WITHIN NEW FURRED DOWN CEILING AREA OR PROVIDE NEW BULKHEADS AS APPROVED BY ARCHITECT.
4. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT AN EXTERIOR WALL SHALL BE A DRYER WALL VENT.
5. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF UPPER FLOOR APARTMENTS SHALL BE VIA A ROOF DRYER VENT CAP. INSTALL NEW 4" DRYER DUCT AND ROUTE UP THROUGH ATTIC TO ROOF VENT CAP. REFER TO DETAILS ON SHEET H5.2.
6. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF LOWER FLOOR APARTMENTS SHALL BE A DRYER WALL VENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING OR UP BETWEEN FLOOR JOISTS TO EXTERIOR WALL VENT.
7. DRYER WALL VENT SHALL BE BY IN-O-VATE TECHNOLOGIES, INC. MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
8. DRYER DUCT IS TO BE LIMITED TO A MAXIMUM LENGTH OF 35 FEET, USING TABLE 504.6.4.1 FROM 2012 INTERNATIONAL MECHANICAL CODE FOR EQUIVALENT FITTING LENGTHS. USE SMOOTH, RIGID ALUMINUM VENT MATERIAL ONLY (FLEXIBLE DUCT IS NOT ACCEPTABLE). THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. DUCT SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT EXHAUST FLOW OR PROTRUDE INTO THE INSIDE OF THE DUCT.
9. EXISTING BATHROOM EXHAUST DUCT TO REMAIN. INSTALL NEW 4" DUCT AND ROUTE FROM EXISTING EXHAUST DUCT UP WITHIN ATTIC SPACE TO NEW ROOF VENT CAP. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW TO EXISTING CONDITION. REFER TO GENERAL NOTE 2 ABOVE.
10. INSTALL NEW 4" BATHROOM EXHAUST DUCT IN SAME LOCATION AS EXISTING OR PROVIDE NEW AS SHOWN. REFER TO GENERAL NOTE 1 ABOVE.
11. LOCATION OF CONDENSING UNITS ARE APPROXIMATE. INSTALL NEW 6" CONCRETE PAD SIZED SO THAT THERE IS A MINIMUM OF 30" BETWEEN UNITS AND WALLS. ADDITIONALLY, INSTALL "PUSH UPS" TO ELEVATE THE CONDENSING UNITS ABOVE THE CONCRETE PAD IN ORDER TO PROVIDE PROTECTION FROM POTENTIAL FUTURE FLOODING.



COMMUNITY/OFFICE FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

- WALL LEGEND**
- INDICATES 1 HR RATED WALL.
UL# U305
 - TYPICAL INTERIOR PARTITION:
2x4 WD. STUDS • 16' O.C. W/
5/8" GYP. BD. EA. SIDE. PROVIDE
AND INSTALL 3" SOUND BATT W/IN
ALL STUD CAVITIES
 - INDICATES 1 HR RATED WALL.
UL# U305 W/ PLYWD. ONE SIDE
SEE STRUCT. DWG'S.

NOTES:

1. COORDINATE DIFFUSER & DUCT LAYOUT WITH OTHER TRADES & CEILING ELEMENTS.
2. ROUTE INSULATED DUCT WITHIN ATTIC SPACE. DUCT DOES NOT PENETRATE RATED WALLS.
3. OUTDOOR CONDENSING UNIT ON NEW 6" CONCRETE PAD SIZED SO THAT THERE IS A MINIMUM OF 30" BETWEEN UNITS AND WALLS. ADDITIONALLY, INSTALL "PUSH UPS" TO ELEVATE THE CONDENSING UNITS ABOVE THE CONCRETE PAD IN ORDER TO PROVIDE PROTECTION FROM POTENTIAL FUTURE FLOODING.
4. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR. COORDINATE THERMOSTAT LOCATIONS WITH OWNER PRIOR TO INSTALLING.
5. DUCT DOES NOT PENETRATE RATED WALLS.
6. PROVIDE FIRE DAMPER AT CEILING/ATTIC DUCT PENETRATION.
7. DIFFUSER TO BE FIRE RATED WITH ADJUSTABLE FIRE DAMPER & THERMAL BLANKET. SEE AIR DISTRIBUTION SCHEDULE.
8. PROVIDE GREENHECK MODEL CRD AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY.
9. DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
10. ROUTE 1" PVC CONDENSATE PIPE TO HUB DRAIN AS SHOWN ON THE PLUMBING DRAWINGS.

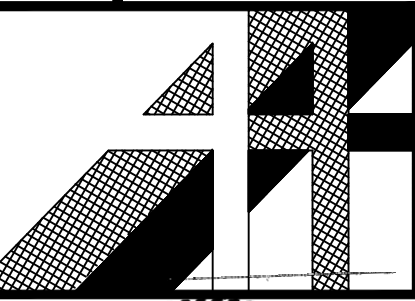
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| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | 0 |
| | 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS OFFICE FLOOR PLAN - HVAC

2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC



SHEET NUMBER

H3.0

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD

| CEILING EXHAUST FAN SCHEDULE | | | |
|---|---------|-----------|-----------|
| DESIGNATION | CEF-1 | CEF-2 | CEF-3 |
| PHYSICAL | | | |
| DIMENSIONS (WxDxH, IN.) | 13x14x4 | 14x15x7 | 14x15x7 |
| WEIGHT (LB) | 9 | 10 | 10 |
| OUTLET DIMENSIONS | 4" OVAL | 4" | 6" |
| PERFORMANCE | | | |
| AIRFLOW (CFM) | 50 | 75 | 150 |
| EXTERNAL STATIC (IN.) | 0.25 | 0.25 | 0.25 |
| SONES | 1.0 | 2.5 | 3.0 |
| ACCESSORIES | | | |
| BACKDRAFT DAMPER | YES | YES | YES |
| UNIT MOUNTED DISCONNECT | YES | YES | YES |
| SPEED CONTROLLER | YES | YES | YES |
| STARTER/CONTROL | NOTE 2 | NOTE 3 | NOTE 3 |
| ELECTRICAL | | | |
| VOLTS/PH | 120/1 | 120/1 | 120/1 |
| INPUT WATTS | 36.4 | 50 | 129 |
| BASIS OF DESIGN | | | |
| MANUFACTURER | BROAN | GREENHECK | GREENHECK |
| MODEL | LP80 | SP-B90 | SP-B150 |
| NOTES | 1,4,5,6 | 3,4,5 | 2,4,5 |
| 0. ACCEPTABLE MANUFACTURERS: GREENHECK, COOK, BROAN 1. PROVIDE BROAN MODEL 64W DEDICATED WALL SWITCH FOR FAN/LIGHT CONTROL WITH OFF-DELAY FEATURE (REFER TO ELECTRICAL DRAWINGS). 2. PROVIDE DEDICATED WALL SWITCH WITH OFF TIME DELAY. 3. PROVIDE OCCUPANCY SENSOR WITH OFF TIME DELAY. 4. PROVIDE DECORATIVE PLASTIC GRILLE AT CEILING. 5. MOUNT SPEED CONTROL TO SIDE OF FAN WITHIN SWITCH BOX. 6. PROVIDE FAN WITH LED LIGHT. | | | |

| ROOF VENT SCHEDULE | | | | |
|---|-----------|------------|---------------|---------------|
| DESIGNATION | RV-1 | RV-2 | RV-3 | RV-4 |
| TYPE | EXHAUST | DRYER EXH. | INTAKE | EXHAUST |
| PHYSICAL | | | | |
| DIMENSIONS (WxLxH)(IN.) | 19x14x7 | 12x12x5 | 23.5x27.5x9.5 | 23.5x27.5x9.5 |
| WEIGHT (LBS) | 10 | 3 | 10 | 10 |
| ROOF OPENING (IN.) | 6x9 | 5" DIA. | 10x10 | 10x10 |
| PERFORMANCE | | | | |
| AIRFLOW (CFM) | 75 | N/A | 330 | 225 |
| STATIC (IN.) | 0.017 | N/A | 0.017 | 0.017 |
| ACCESSORIES | | | | |
| BACKDRAFT DAMPER | YES | NO | YES | YES |
| ROOF FLANGE | YES | YES | YES | YES |
| INSECT SCREEN | YES | NO | YES | YES |
| BASIS OF DESIGN | | | | |
| MANUFACTURER | GREENHECK | DRYERJACK | GREENHECK | GREENHECK |
| MODEL NO. | RJ-6x9 | 466 | RJ-10x10 | RJ-10x10 |
| 0. ACCEPTABLE MANUFACTURERS: COOK, BROAN, TWIN CITY | | | | |

| SPLIT SYSTEM HEAT PUMP SCHEDULE | | | | | | | |
|--|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|
| DESIGNATION | SSPH-1(AHU-1/ACCU-1) | SSPH-2(AHU-2/ACCU-2) | SSPH-3(AHU-3/ACCU-3) | SSPH-4(AHU-4/ACCU-4) | SSPH-5(AHU-5/ACCU-5) | SSPH-6(AHU-6/ACCU-6) | SSPH-7(AHU-7/ACCU-7) |
| LOCATION | 1 BDRM | 2 BDRM | 3 BDRM | 4 BDRM | OFFICE | COMMUNITY | MAINTENANCE |
| DIMENSIONAL | | | | | | | |
| AHU DIMENSIONS (WxDxH)(IN.) | 17.5x21x45 | 17.5x21x45 | 17.5x21x54 | 21x21x54 | 17.5x21.75x50 | 17.5x21.75x50 | 17.5x21.75x50 |
| AHU WEIGHT (LBS) | 116 | 116 | 129 | 144 | 120 | 120 | 120 |
| ACCU DIMENSIONS (WxDxH)(IN.) | 29x29x34.5 | 29x29x34.5 | 29x29x34.5 | 29x29x36.25 | 30x33x33 | 30x33x33 | 30x33x29 |
| ACCU WEIGHT (LBS) | 143 | 143 | 143 | 171 | 222 | 222 | 176 |
| AHU FAN | | | | | | | |
| AIRFLOW (CFM) | 500 | 600 | 800 | 1000 | 800 | 800 | 600 |
| OUTSIDE AIR (CFM) | 0 | 0 | 0 | 0 | 120 | 120 | 90 |
| EXTERNAL STATIC (IN.) | 0.5 | 0.5 | 0.5 | 0.4 | 0.5 | 0.5 | 0.5 |
| MOTOR HP | 1/3 | 1/3 | 1/3 | 1/3 | 1/3 | 1/3 | 1/3 |
| COOLING | | | | | | | |
| TOTAL CAPACITY (BTUH) | 18,000 | 18,000 | 24,000 | 30,000 | 23,600 | 23,600 | 18,900 |
| SENSIBLE CAPACITY (BTUH) | 18,000 | 18,000 | 23,400 | 28,400 | 18,100 | 18,100 | 14,200 |
| LEAVING AIR (FDB/FWB) | 58/TBD | 58/TBD | 58/TBD | 58/TBD | 59/57.2 | 59/57.2 | 58.7/56.8 |
| ENTERING AIR (FDB/FWB) | 80/67 | 80/67 | 80/67 | 80/67 | 80/67 | 80/67 | 80/67 |
| EER/SEER □ ARI CONDITIONS | 15.0 SEER | 15.0 SEER | 15.0 SEER | 15.0 SEER | 15.0 SEER | 15.0 SEER | 15.0 SEER |
| NUMBER COMPRESSORS | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| REFRIGERANT | R-410A | R-410A | R-410A | R-410A | R-410A | R-410A | R-410A |
| HEATING | | | | | | | |
| TOTAL CAPACITY (BTUH) | 17,200 | 17,200 | 13,400 | 28,000 | 21,800 | 21,800 | 17,200 |
| AMBIENT AIR (FDB/FWB) | 47/43 | 47/43 | 47/43 | 47/43 | 47/43 | 47/43 | 47/43 |
| HPSF □ RATED CONDITIONS | 8.2 | 8.2 | 8.5 | 8.5 | 8.5 | 8.5 | 8.5 |
| AUXILIARY HEAT (KW) | 5.0 | 5.0 | 5.0 | 8.0 | 7.68 | 7.68 | 7.68 |
| FILTERS | | | | | | | |
| TYPE | 1" MERV 8 | 1" MERV 8 | 1" MERV 8 | 1" MERV 8 | 1" MERV 8 | 1" MERV 8 | 1" MERV 8 |
| ELECTRICAL | | | | | | | |
| AHU (VOLTS/PH) | 240/1 | 240/1 | 240/1 | 240/1 | 240/1 | 240/1 | 240/1 |
| AHU MCA/MOCP | 31/35 | 31/35 | 31/35 | 47/50 | 44/45 | 44/45 | 44/45 |
| ACCU (VOLTS/PH) | 240/1 | 240/1 | 240/1 | 240/1 | 240/1 | 240/1 | 240/1 |
| ACCU MCA/MOCP | 12.4/20 | 12.4/20 | 14.7/25 | 17.9/30 | 12/20 | 12/20 | 9/15 |
| BASIS OF DESIGN | | | | | | | |
| MANUFACTURER | GOODMAN | GOODMAN | GOODMAN | GOODMAN | TRANE | TRANE | TRANE |
| AHU MODEL NO. | ASPT25B14 | ASPT25B14 | ASPT29B14 | ASPT37C14 | GAM5B0A24 | GAM5B0A24 | GAM5B0A18 |
| ACCU MODEL NO. | GSZ140181 | GSZ140181 | GSZ140241 | GSZ140301 | 4TWR5024 | 4TWR5024 | 4TRWR5018 |
| NOTES: | 1, 3, 4, 5 | 1, 3, 4, 5 | 1, 3, 4, 5 | 1, 3, 4, 5 | 1, 2, 3, 4, 5 | 1, 2, 3, 4, 5 | 1, 2, 3, 4, 5 |
| 0. ACCEPTABLE MANUFACTURERS: GOODMAN, TRANE, CARRIER & LENNOX 1. PROVIDE HONEYWELL TN2210D1007 OR TH6220D1002 PROGRAMMABLE THERMOSTAT/HUMIDISTAT. 2. PROVIDE LOW AMBIENT COOLING TO 0° F. 3. PROVIDE NON-BLEED THERMAL EXPANSION VALVE. 4. PROVIDE SINGLE POINT ELECTRICAL KIT WHERE NECESSARY. 5. PROVIDE FREEZE PROTECTION KIT. | | | | | | | |

| WALL CAP VENT SCHEDULE | |
|--|-----------------|
| DESIGNATION | WC-1 |
| PHYSICAL | |
| DIMENSIONS (WxH)(IN.) | 6-1/2x6-1/2 |
| WALL OPENING (IN.) | 4 |
| ACCESSORIES | |
| BACKDRAFT DAMPER | NO |
| BIRD/INSECT SCREEN | NO |
| BASIS OF DESIGN | |
| MANUFACTURER | DRYER WALL VENT |
| MODEL NO. | DMV4B |
| 1. NO SUBSTITUTES 2. LOW PROFILE, 26 GA. GALVANIZED, POWDER COATED STEEL BODY WITH MAGNETIC CLOSURE AND RUBBER BUMPERS. 3. CONTRACTOR IS TO VERIFY EXISTING WALL CAP/OPENING SIZE PRIOR TO ORDERING. 4. CONTRACTOR IS TO VERIFY COLOR SELECTION WITH ARCHITECT. | |

CAD FILE

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| DRWN. BY: SA | |
| CHKD. BY: JH | |
| APPR. BY: JH | |
| DATE: 6-30-16 | |
| REVISIONS | |
| 0 | 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS SCHEDULES - HVAC

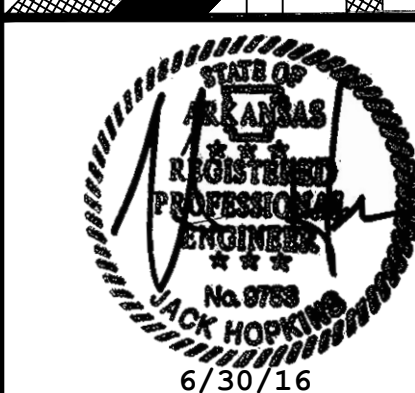
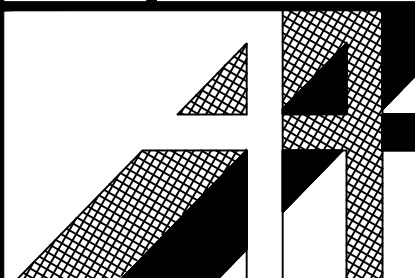
2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

H4.1

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| DRWN. BY. SA | CHKD. BY. JH | APPR. BY. JH | DATE. 6-30-16 | REVISIONS | 0 | 6/30/16 - INITIAL ISSUE |
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| AIR DISTRIBUTION SCHEDULE | | | | | | |
|---------------------------|---------------------------|---|------------------------------------|--------------------------------------|---------------------|-----------|
| DESIGNATION | SERVICE | DESCRIPTION | MATERIAL AND FINISH | AIR CONTROL | BASIS OF DESIGN | NOTES |
| A-CFM NECK | SIDEWALL SUPPLY | DOUBLE DEFLECTION VERTICAL FACE BLADES | STEEL/ WHITE | OPPOSED BLADE | PRICE SERIES 520D | 5,6 |
| B-CFM NECK | SIDEWALL RETURN | 45 DEGREE FIXED HORIZ BLADES, 3/4" SPACING | STEEL/ WHITE | OPPOSED BLADE | PRICE SERIES 530D | 5,6 |
| C-CFM NECK | CEILING SUPPLY | 20"x20" OR 22"x22" ROUND NECK PLAQUE FACE | STEEL/ WHITE | NONE RADIALLY OPPOSED BLADE VCR-7 | PRICE SPD | 1,2,3 |
| D-CFM NECK | CEILING RETURN W/ FILTER | 22"x22"x 1/2" CUBE CORE FACE WITH SQUARE NECK | ALUMINUM/ WHITE | OPPOSED BLADE DAMPER NONE | PRICE SERIES 80FF | 1,2,3 |
| E-CFM NECK | FIRE-RATED CEILING SUPPLY | 22"x22" LOUVERED FACE WITH ROUND NECK | STEEL/ WHITE | ADJUST FIRE DAMPER | PRICE SERIES SCD-FR | 1,2,3,4,5 |
| F-CFM NECK | FIRE-RATED CEILING RETURN | 22"x22"x 1/2" CUBE CORE FACE WITH SQUARE NECK | STEEL FRAME & ALUMINUM CORE/ WHITE | NONE | PRICE SERIES 80-FR | 1,2,3,4,5 |
| G-CFM NECK | CEILING SUPPLY | STEP-DOWN DIFFUSER RINGS WITH ROUND NECK | STEEL/ WHITE | # 12 BUTTERFLY DAMPER | HART & COOLEY #16 | 1,3,4,5 |

0. ACCEPTABLE MANUFACTURERS: KRUEGER, TITUS
 1. COORDINATE ALL DEVICE ACCESSORIES WITH ACTUAL CEILING SYSTEM INSTALLED. REFER TO ARCHITECTURAL SHEETS FOR CEILING DETAILS.
 2. PROVIDE SQUARE-TO-ROUND TRANSITION TO NOTED NECK SIZE WHEN SHOWN ON DRAWINGS.
 3. WHERE NECESSARY, PROVIDE MOUNTED T-BAR FRAME FOR GYPSUM CEILING INSTALLATION. PROVIDE ALUMINUM FOR NON-RATED CEILINGS, STEEL FOR FIRE RATED CEILINGS.
 4. PROVIDE GREENHECK MODEL CRD AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY.
 5. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
 6. PROVIDE CLIPS FOR SIDEWALL INSTALLATION.

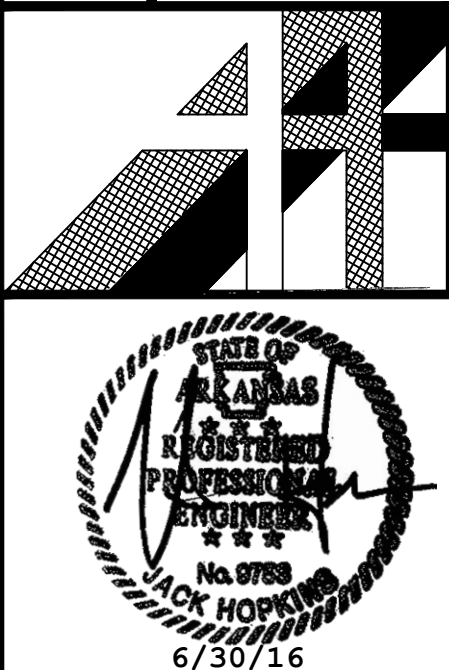
| PIPE INSULATION SCHEDULE | | | | | | | | |
|--------------------------|-----------------------|--------------------------------|------------|------------|--------|-----|-----------------|----------------|
| FLUID TYPE | TEMPERATURE RANGE (F) | NOMINAL PIPE OR TUBE SIZE (IN) | | | | | INSULATION TYPE | JACKETING TYPE |
| | | 1 OR LESS | 1 TO 1-1/4 | 1-1/2 TO 3 | 4 TO 6 | 8 | | |
| REFRIGERANT LIQUID | VARIES | NOTE 3 | N/A | N/A | N/A | N/A | ELASTOMERIC | N/R |
| REFRIGERANT SUCTION | VARIES | 1" | 1" | 1" | N/A | N/A | ELASTOMERIC | N/R |

1. THESE VALUES ARE COMPLIANT WITH THE 2012 INTERNATIONAL ENERGY CODE.
 2. ELASTOMERIC INSULATION: INSULATE PIPING WITH CLOSED CELL ELASTOMERIC CELLULAR (I.E. ARMAFLEX) INSULATION, HAVING AN ANTI-MICROBIAL AGENT FOR MOLD RESISTANCE.
 3. REFER TO MANUFACTURER'S RECOMMENDATION.

WHITE RIVER APARTMENTS SCHEDULES - HVAC
 2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

5616 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912
 865 / 689-1302

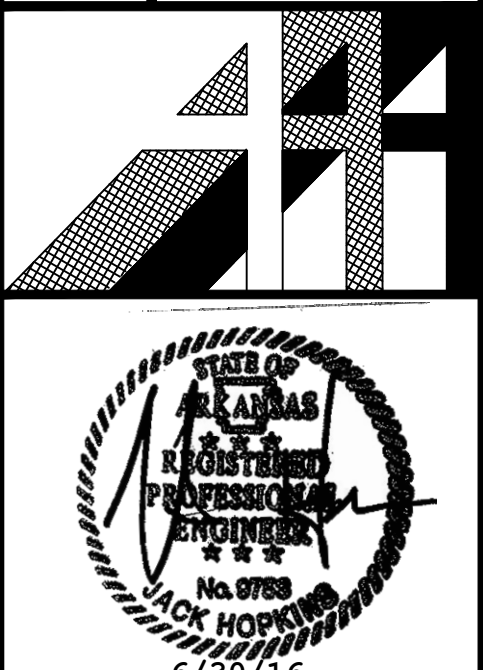


SHEET NUMBER

H4.2

| | |
|-----------|---------------------------|
| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | 0 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
 2800 MARION DRIVE
 DIAZ, ARKANSAS
ALLAN ASSOCIATES ARCHITECTS, PLLC
 5516 WALLWOOD ROAD
 KNOXVILLE, TENNESSEE 37912
 865 / 689-1302



SHEET NUMBER

H5.1

SPLIT SYSTEM UNIT CONTROL SEQUENCE

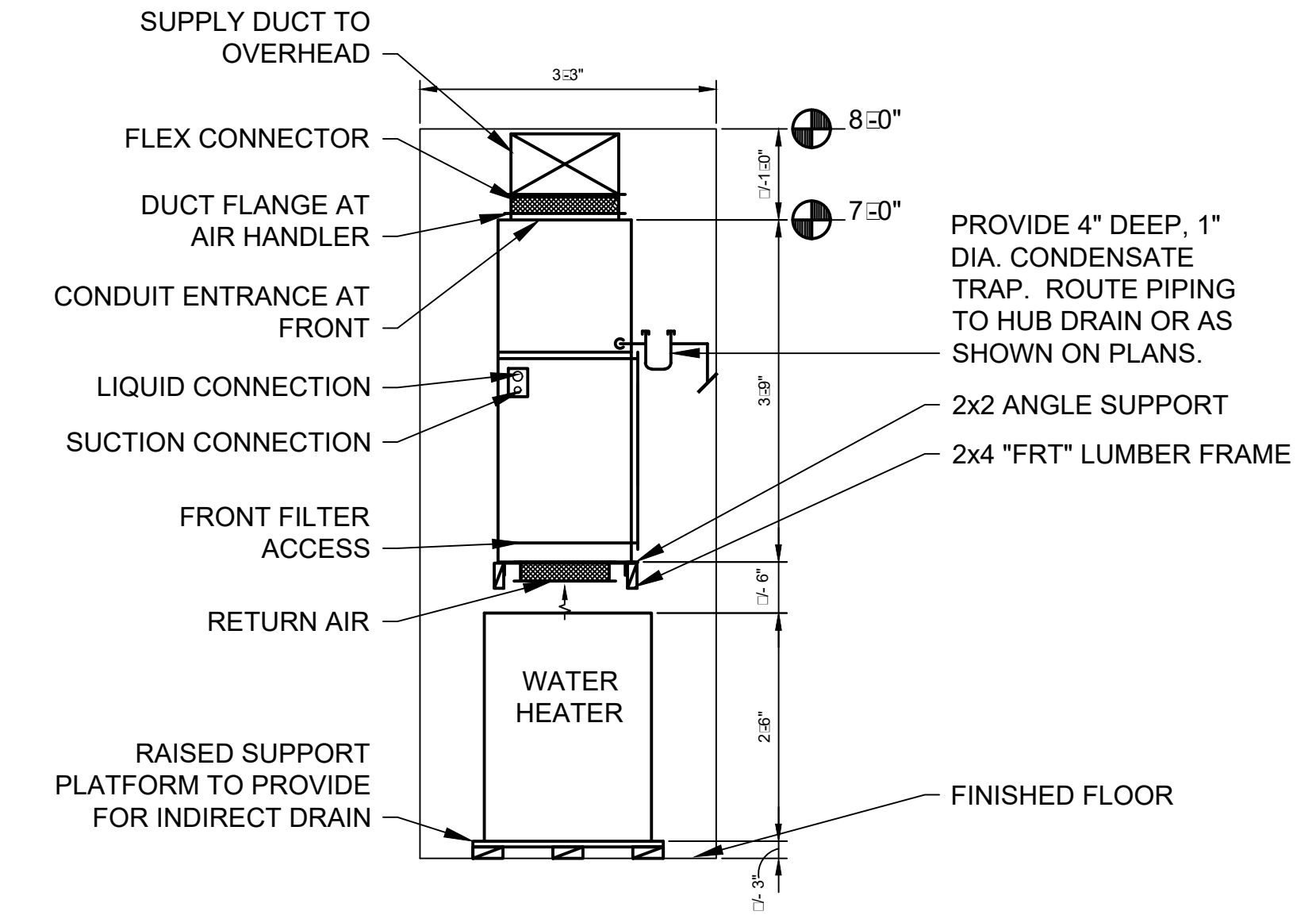
COOLING

WHEN THE SPACE TEMPERATURE RISES ABOVE THE PROGRAMMED SETPOINT, THE CONTROLS SHALL ENERGIZE THE UNIT COMPRESSOR(S) AS REQUIRED TO MAINTAIN SETPOINT.

HEATING

WHEN THE SPACE TEMPERATURE FALLS BELOW THE PROGRAMMED SETPOINT, THE UNIT CONTROLS SHALL ENERGIZE THE UNIT HEATING STAGE(S) AS REQUIRED TO MAINTAIN SETPOINT.

UPON DETECTION OF CONDENSATE IN THE DRAIN PAN, THE FLOAT SWITCH SHALL CAUSE THE UNIT TO STOP UNTIL SUCH TIME THAT CONDENSATE DRAIN STOPPAGE IS REPAIRED.



2 STACKED INSTALLATION APARTMENT SPLIT SYSTEM AIR HANDLER DETAIL
NOT TO SCALE

SPLIT SYSTEM UNIT CONTROL SEQUENCE

THE SYSTEM SHALL BE CONTROLLED BY A PROGRAMMABLE THERMOSTAT WHICH HAS THE CAPABILITY OF DEFINING OCCUPIED AND UNOCCUPIED PERIODS FOR THE BUILDING. IN ADDITION, THE THERMOSTAT SHALL HAVE THE ABILITY TO CONTROL UNIT HEATING AND COOLING FUNCTIONS SO AS TO PROVIDE CONTROL OF HUMIDITY WITHIN THE SPACE. THERMOSTAT SHALL BE BY HONEYWELL, MODEL T7350D.

OCCUPIED MODE

WHEN THE THERMOSTAT CALLS FOR THE UNIT TO BE PLACED IN THE "OCCUPIED" MODE, THE NORMALLY CLOSED FRESH AIR DAMPER SHALL MODULATE OPEN, THE FAN SHALL START AND RUN CONTINUOUSLY, AND THE UNIT CONTROLS SHALL ENERGIZE HEATING, COOLING, AND DEHUMIDIFICATION FUNCTIONS AS DESCRIBED BELOW.

WHEN THE THERMOSTAT CALLS FOR THE UNIT TO BE PLACED IN THE UNOCCUPIED MODE, THE NORMALLY CLOSED FRESH AIR DAMPER SHALL MODULATE CLOSED AND THE FAN SHALL STOP. UNIT HEATING, COOLING, AND DEHUMIDIFICATION FUNCTIONS SHALL BE DISABLED, UNLESS THOSE VALUES REACH SETBACK LIMITS AS DEFINED BY THE THERMOSTAT PROGRAM. IF SETPOINT VALUES REACH SUCH LIMITS, THE UNIT HEATING AND COOLING FUNCTIONS SHALL BE ENABLED FOR SUCH TIME REQUIRED TO RETURN THE BUILDING TO SETBACK LIMITS.

COOLING

WHEN THE SPACE TEMPERATURE RISES ABOVE THE PROGRAMMED SETPOINT, THE CONTROLS SHALL ENERGIZE THE UNIT COMPRESSOR(S) AS REQUIRED TO MAINTAIN SETPOINT.

HEATING

WHEN THE SPACE TEMPERATURE FALLS BELOW THE PROGRAMMED SETPOINT, THE UNIT CONTROLS SHALL ENERGIZE THE UNIT HEATING STAGE(S) AS REQUIRED TO MAINTAIN SETPOINT.

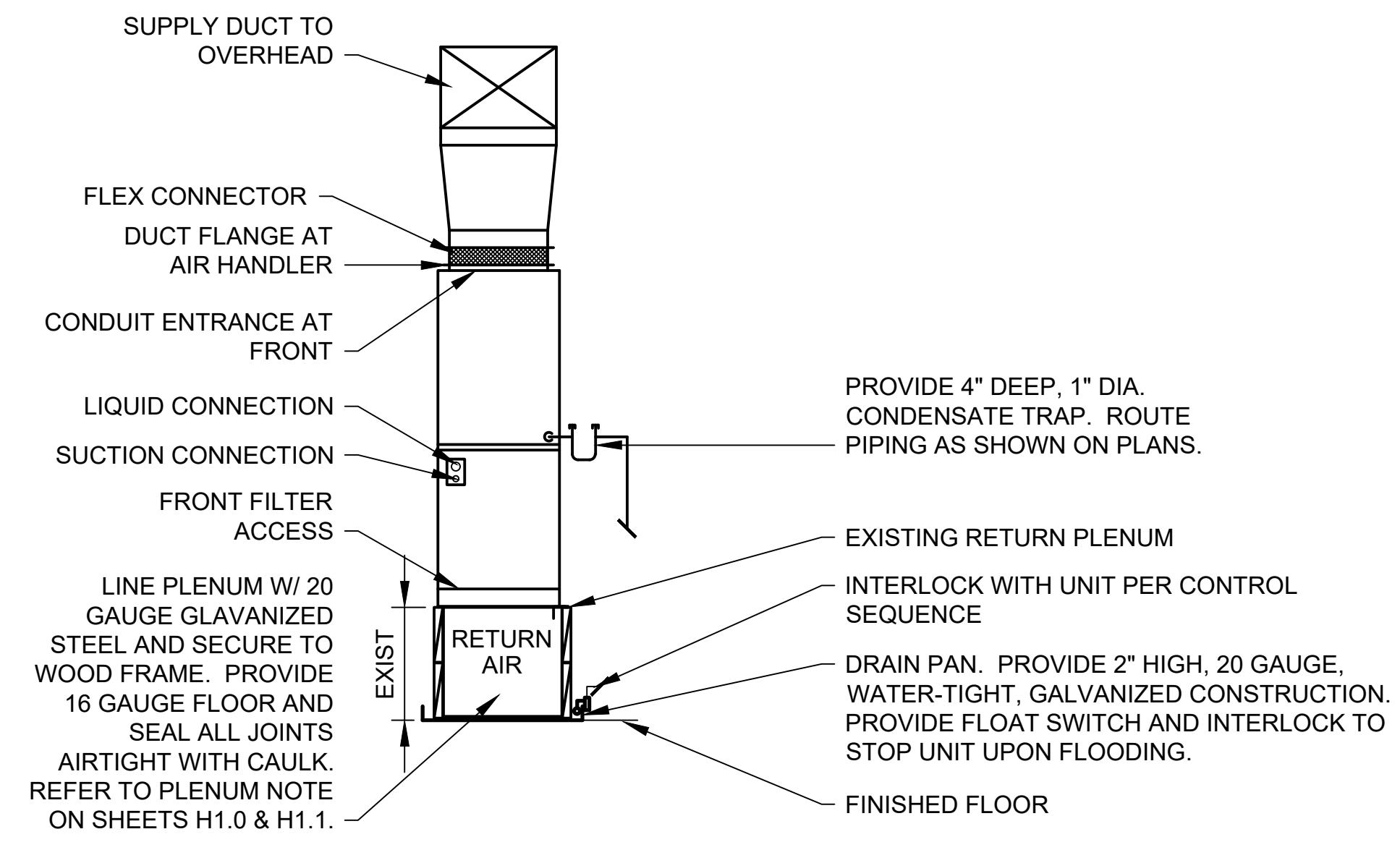
DEHUMIDIFICATION

WHEN THE SPACE HUMIDITY RISES ABOVE THE PROGRAMMED SETPOINT, THE UNIT COMPRESSORS SHALL CONTINUE TO RUN REGARDLESS OF A CALL FOR COOLING. THE UNIT THERMOSTAT SHALL THEN ENERGIZE THE UNIT HEATING STAGE(S) AS REQUIRED TO MAINTAIN TEMPERATURE SETPOINT.

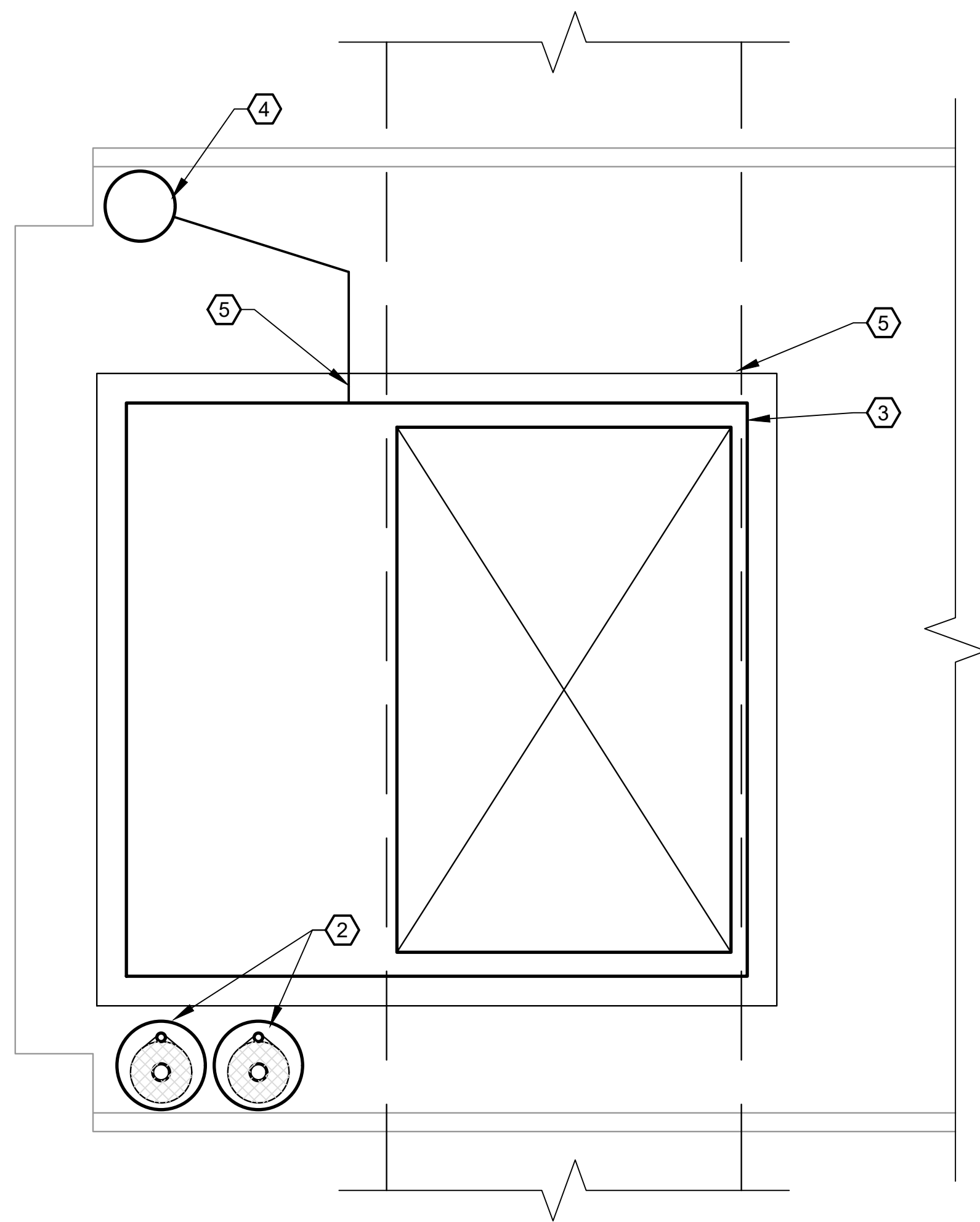
SAFETIES

UPON DETECTION OF PRODUCTS OF COMBUSTION, THE SYSTEM SMOKE DETECTORS SHALL STOP THE SUPPLY FAN AND ALL CONTROLS SHALL GO TO THEIR NORMAL POSITIONS.

UPON DETECTION OF CONDENSATE IN THE DRAIN PAN, THE FLOAT SWITCH SHALL CAUSE THE UNIT TO STOP UNTIL SUCH TIME THAT CONDENSATE DRAIN STOPPAGE IS REPAIRED.



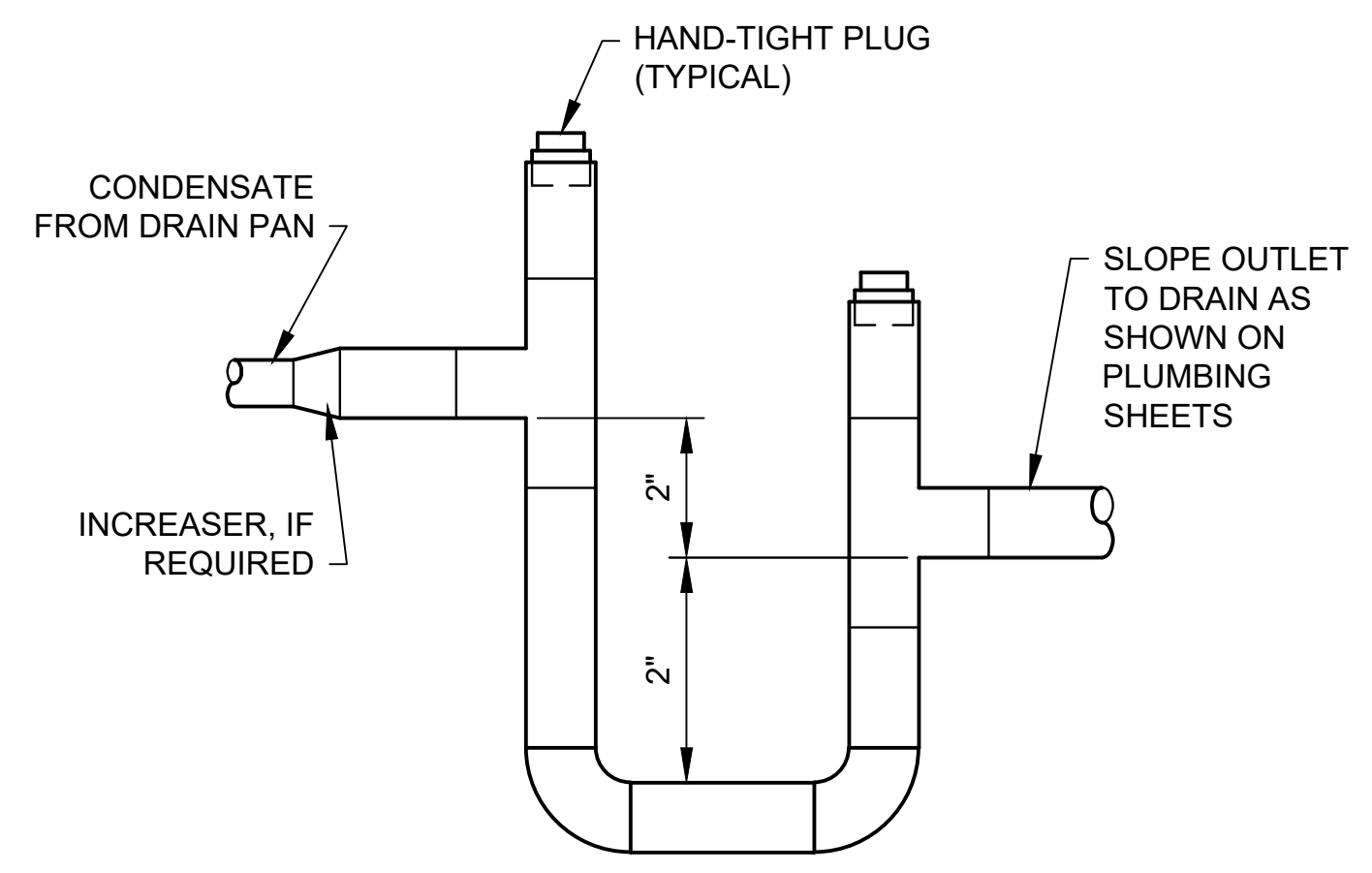
1 TYPICAL APARTMENT SPLIT SYSTEM AIR HANDLER - VERTICAL
NOT TO SCALE



3 ENLARGED TYP. UNIT MECHANICAL CLOSET PLAN
NOT TO SCALE

NOTES:

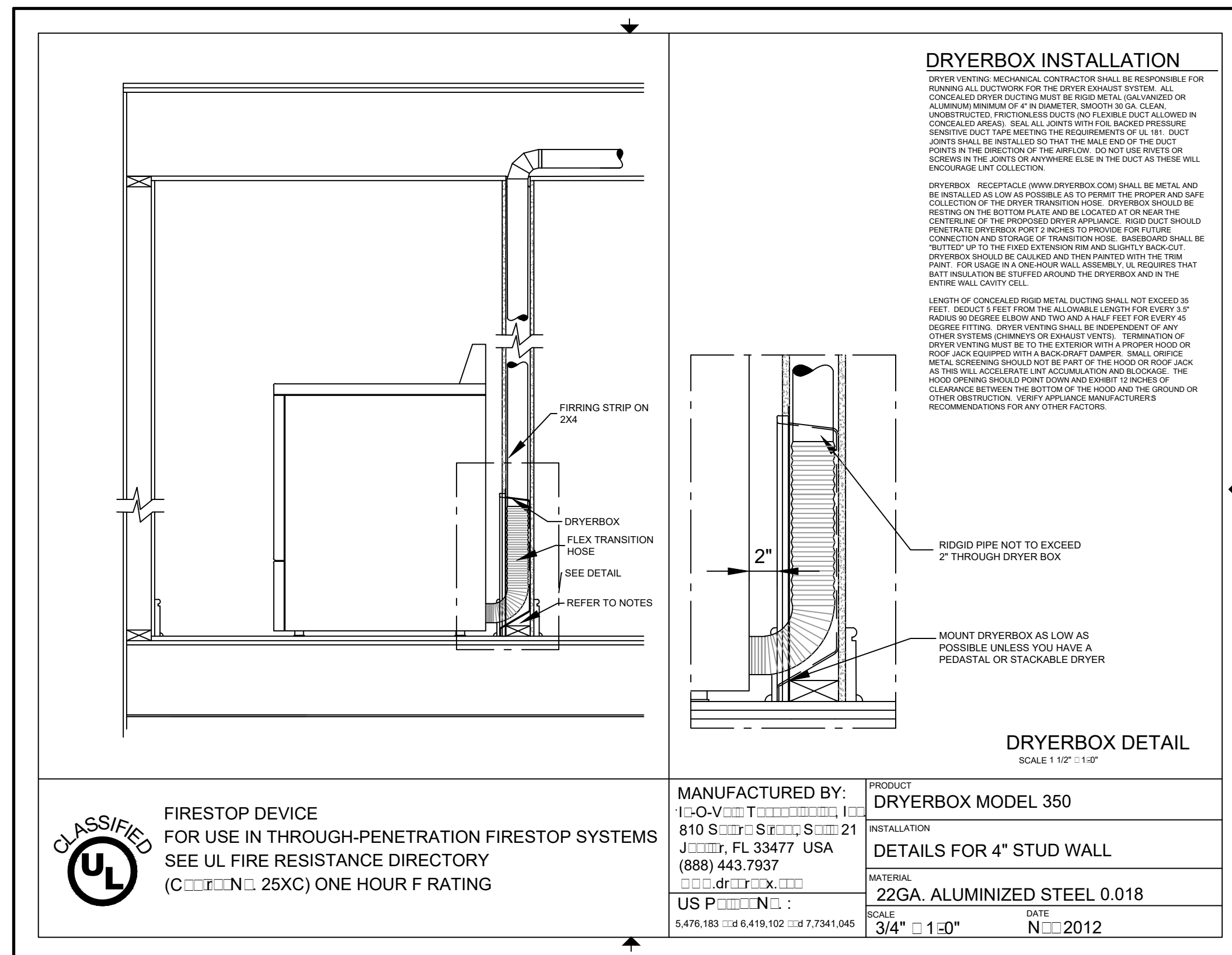
1. REFER TO DRAWING H0.1 FOR GENERAL NOTES AND SYMBOL LEGENDS.
2. REFRIGERANT LIQUID AND SUCTION LINES FROM AIR HANDLING UNIT TO CONDENSING UNIT AT GRADE (TYPICAL FOR ALL UNITS).
3. AIR HANDLING UNIT. PROVIDE PLENUM RETURN BOX BELOW UNIT. REFER TO PLENUM NOTE ON SHEETS H1.0 & H1.1.
4. ROUTE CONDENSATE DRAIN INDIRECT TO FLOOR DRAIN. REFER TO PLUMBING SHEETS FOR WASTE PIPE ROUTING.
5. MAIN SUPPLY TRUNK DUCT ABOVE.



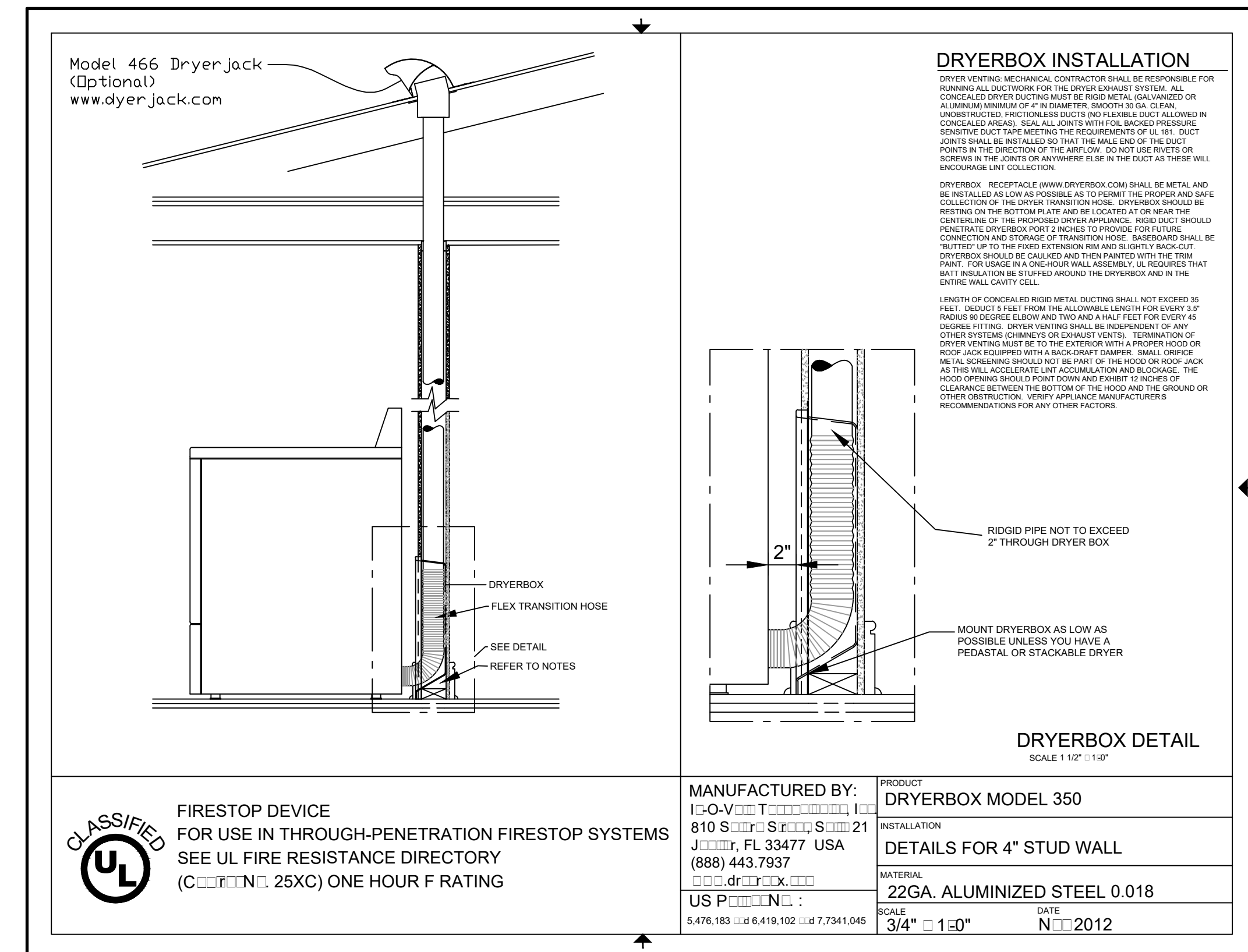
1. PIPE SIZE SHALL BE 1" FOR UNITS UP TO FIVE TONS, 1-1/2" FOR UNITS THROUGH 20 TONS.
2. CONDENSATE DRAIN LINES SHALL BE DWV PVC UNLESS LOCATED IN A RETURN AIR PLENUM. WHEN LOCATED IN A RETURN AIR PLENUM, PIPING SHALL BE DWV COPPER DRAINAGE TUBE.

4 TYPICAL CONDENSATE TRAP
NOT TO SCALE

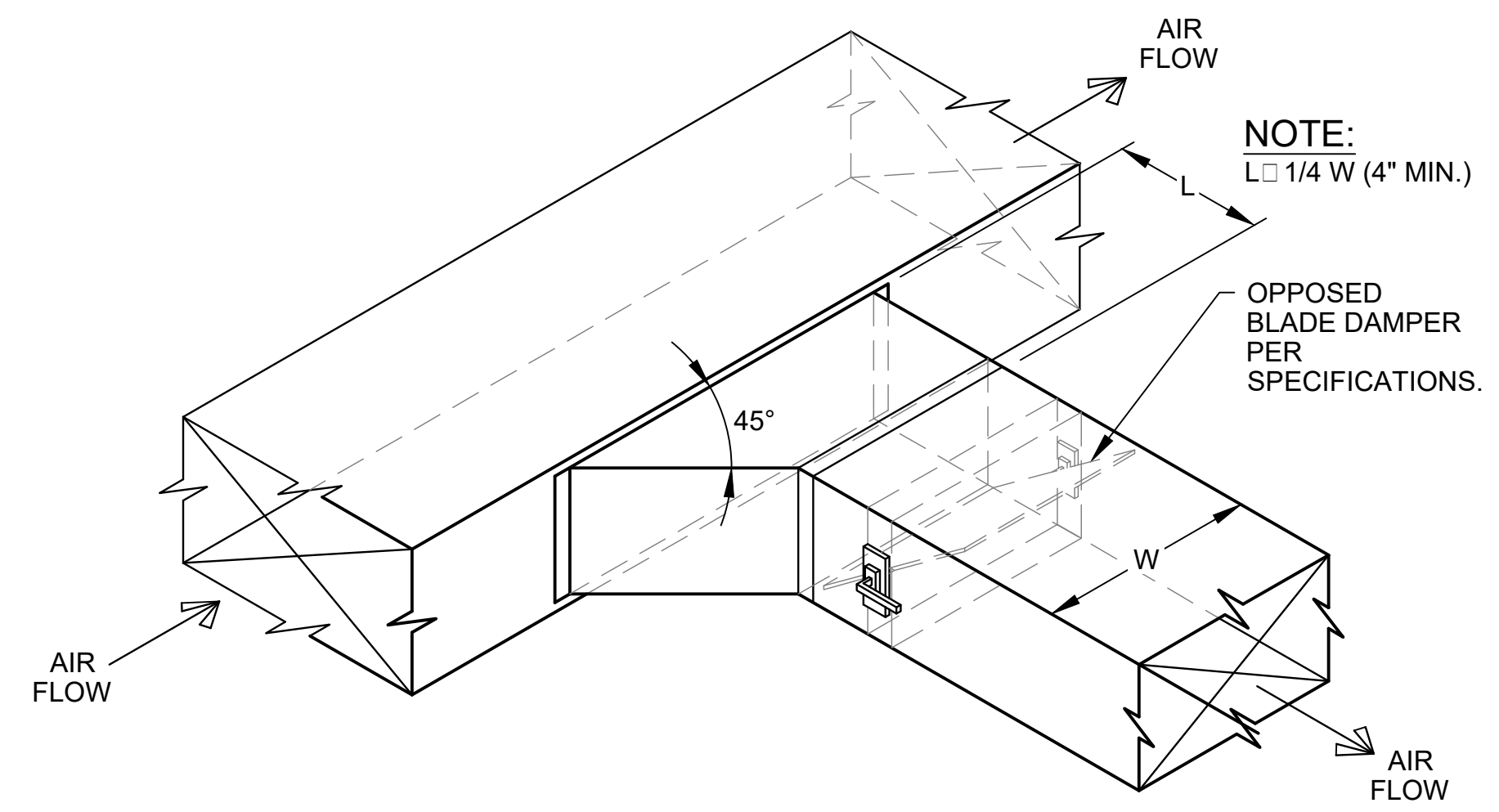
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| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS: | 0 |
| | 6/30/16 - INITIAL ISSUE |



1 EXTERIOR WALL DRYER DUCT ROUTING
SCALE: 3/4"=1'-0"



2 ATTIC DRYER DUCT ROUTING
SCALE: 3/4"=1'-0"



3 BRANCH DUCT TAKE-OFF MAIN SUPPLY DETAIL
NOT TO SCALE

WHITE RIVER APARTMENTS
 2900 MARION DRIVE
 DIAZ, ARKANSAS
ALLAN ASSOCIATES ARCHITECTS, PLLC
 5616 WALLWOOD ROAD
 KNOXVILLE, TENNESSEE 37912
 865 / 689-1302



SHEET NUMBER
H5.2

CAD FILE:

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| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | 0 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
DIAZ, ARKANSAS
2900 MARION DRIVE

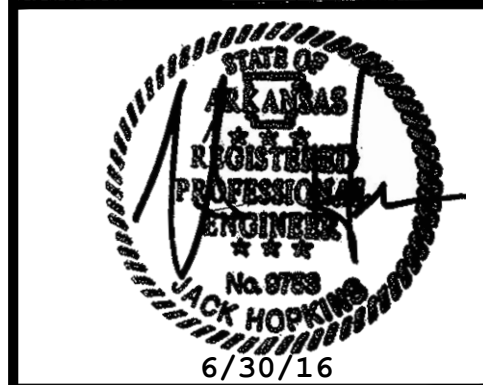
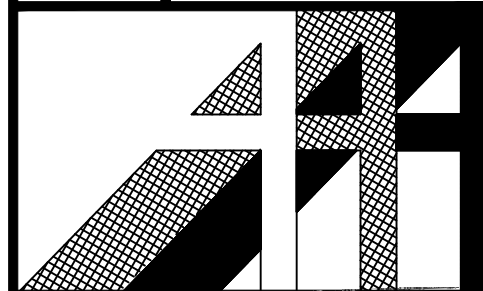
FIRE PENETRATION SCHEDULE & DETAILS

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5516 WALLWOOD ROAD

KNOXVILLE, TENNESSEE 37912



SHEET NUMBER

HP0.1

Sched N W-L-5025
FR 1 d 2 Hr (S I 1 1)
TR 0 d 3/4 Hr (S I 1)
LR AA 4 CFM/S F
LR A 400 F - L T 1 CFM/S F

SECTION A-A

1. Wall Assembly - The fire-rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300, U400 or V400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the construction features noted below:
A. Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced max 16 in. (406 mm) OC. Steel studs to be min 2-1/2 in. (64 mm) wide and spaced max 24 in. (610 mm) OC.
B. Gypsum Board* - Nom 5/8 in. (16 mm) thick gypsum board, as specified in the individual Wall and Partition Design. Max diam of opening is 3 in. (76 mm). The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.
2. Through Penetrants - One nonmetallic pipe to be installed either concentrically or eccentrically within the firestop system. The annular space between pipe and the periphery of the opening shall be min 0 in. (point contact) to a max 1/2 in. (13 mm). The following types and sizes of nonmetallic pipes may be used:
A. Polyvinyl Chloride (PVC) Pipe - Nom 2 in. (51 mm) diam (or smaller) cellular or solid core Schedule 40 (or heavier) pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
B. Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 2 in. (51 mm) diam (or smaller) SDR 13.5 CPVC pipe for use in closed (process or supply) piping systems.
C. Crosslinked Polyethylene (PEX) Tubing - Nom 2 in. (51 mm) diam (or smaller) SDR 9 PEX tubing for use in closed (process or supply) piping systems.
D. Rigid Nonmetallic Conduit (RNC) - Nom 2 in. diam (or smaller) Schedule 40 PVC conduit installed in accordance with the National Electrical Code (NECA No. 70).
3. Fill, Void or Cavity Material* - Sealant - Min 5/8 in. (16 mm) thickness of fill material applied within annulus, flush with both surfaces of wall. At point contact location, a min 1/2 in. (13 mm) diam bead of fill material shall be applied to the wall/penetrant interface on both surfaces of the wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-ONE Sealant
*Bearing the UL Classification Mark
+ Bearing the UL Listing Mark

HILTI FIRESTOP SYSTEMS CLASSIFIED C UL US P 1 1 2

Sched N W-L-5025
FR 1 d 2 Hr (S I 1 1)
TR 0 d 3/4 Hr (S I 1)
LR AA 4 CFM/S F
LR A 400 F - L T 1 CFM/S F

2. Through Penetrants - One nonmetallic pipe to be installed either concentrically or eccentrically within the firestop system. The annular space between pipe and the periphery of the opening shall be min 0 in. (point contact) to a max 1/2 in. (13 mm). The following types and sizes of nonmetallic pipes may be used:
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HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-ONE Sealant
*Bearing the UL Classification Mark
+ Bearing the UL Listing Mark

HILTI FIRESTOP SYSTEMS CLASSIFIED C UL US P 2 2 2

Sched N W-L-2474
FR 1 d 2 Hr (S I 1 1)
TR 0 Hr
LR AA 4 CFM/S F
LR A 400 F - L T 1 CFM/S F

SECTION A-A

HILTI FIRESTOP SYSTEMS CLASSIFIED C UL US P 1 1 2

Sched N W-L-2474
FR 1 d 2 Hr (S I 1 1)
TR 0 Hr
LR AA 4 CFM/S F
LR A 400 F - L T 1 CFM/S F

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B. Gypsum Board* - Nom 5/8 in. (16 mm) thick gypsum board, as specified in the individual Wall and Partition Design. Max diam of opening is 3 in. (76 mm). The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.
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D. Rigid Nonmetallic Conduit (RNC) - Nom 2 in. diam (or smaller) Schedule 40 PVC conduit installed in accordance with the National Electrical Code (NECA No. 70).
3. Fill, Void or Cavity Material* - Sealant - Min 5/8 in. (16 mm) thickness of fill material applied within annulus, flush with both surfaces of wall. At point contact location, a min 1/2 in. (13 mm) diam bead of fill material shall be applied to the wall/penetrant interface on both surfaces of the wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-ONE Sealant
*Bearing the UL Classification Mark
+ Bearing the UL Listing Mark

HILTI FIRESTOP SYSTEMS CLASSIFIED C UL US P 2 2 2

Sched N W-L-2078
FR 1 d 2 Hr (S I 1 1)
TR 0,1 d 2 Hr (S I 2 d 3)
LR AA 3 CFM/S F
LR A 400 F L T 1 CFM/S F

SECTION A-A

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B. Gypsum Board* - Nom 5/8 in. (16 mm) thick gypsum board, as specified in the individual Wall and Partition Design. Max diam of opening is 3 in. (76 mm). The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.

HILTI FIRESTOP SYSTEMS CLASSIFIED C UL US P 1 1 2

Sched N W-L-2078
FR 1 d 2 Hr (S I 1 1)
TR 0,1 d 2 Hr (S I 2 d 3)
LR AA 3 CFM/S F
LR A 400 F L T 1 CFM/S F

2. Through Penetrants - One nonmetallic pipe to be installed either concentrically or eccentrically within the firestop system. The annular space between pipe and the periphery of the opening shall be min 0 in. (point contact) to a max 1/2 in. (13 mm). The following types and sizes of nonmetallic pipes may be used:
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3. Fill, Void or Cavity Material* - Sealant - Min 5/8 in. (16 mm) thickness of fill material applied within annulus, flush with both surfaces of wall. At point contact location, a min 1/2 in. (13 mm) diam bead of fill material shall be applied to the wall/penetrant interface on both surfaces of the wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - CP 643 501/5"N, CP 643 63/2"N, CP 643 90/3"N, CP 643 110/4"N, CP 643 160/6"N, CP 644 200/8" CP 644 250/10" Firestop Compound
*Bearing the UL Classification Mark
4. Fill, Void or Cavity Material* - Sealant - Min 5/8 in. (16 mm) thickness of fill material applied within annulus, flush with both surfaces of wall. At point contact location, a min 1/2 in. (13 mm) diam bead of fill material shall be applied to the wall/penetrant interface on both surfaces of the wall.
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-O Sealant
*Bearing the UL Classification Mark

HILTI FIRESTOP SYSTEMS CLASSIFIED C UL US P 2 2 2

FIRESTOPPING SCHEDULE - GYPSUM PENETRATIONS

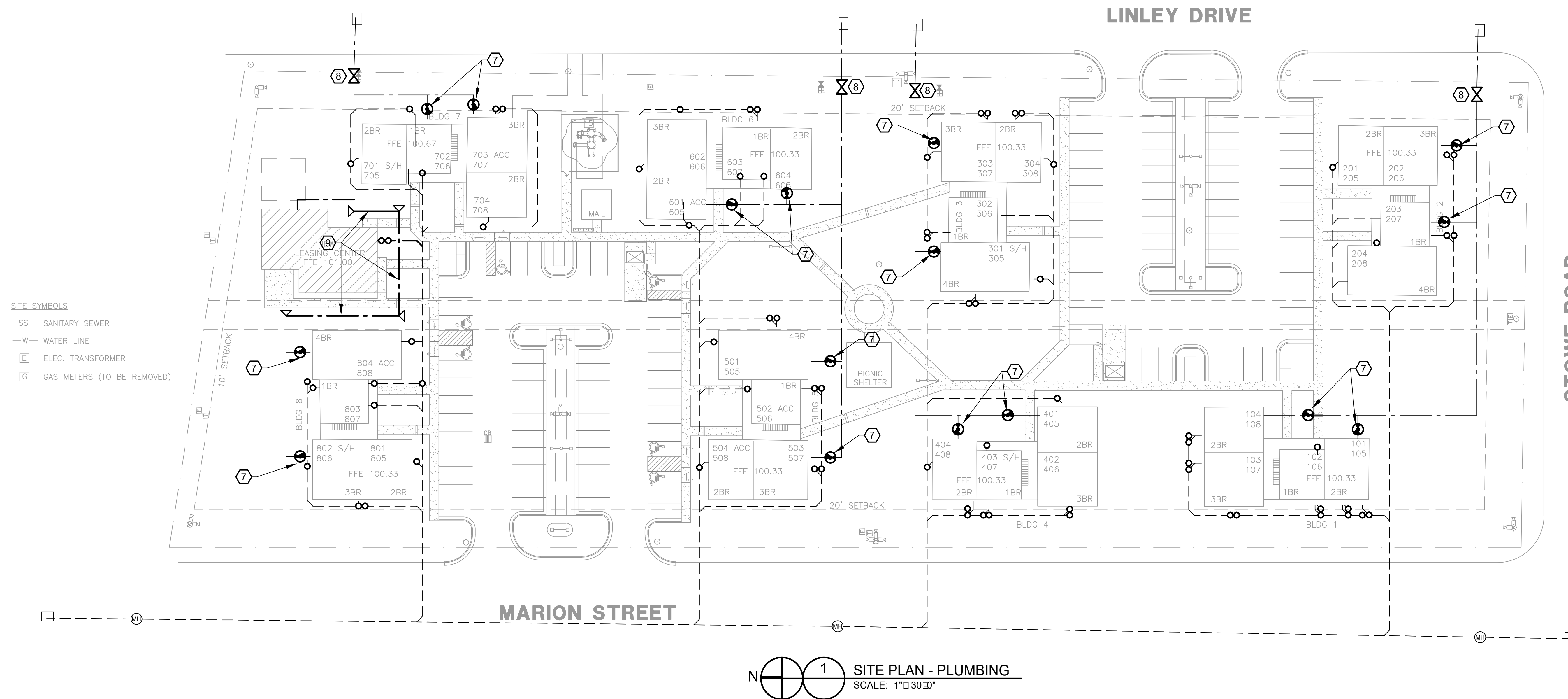
| PENETRANT / PIPE MATERIAL | F-RATING (HOURS) | MAXIMUM DIAMETER (IN.) | INSULATION THICKNESS, MAX. (IN.) | UL APPROVED SYSTEM DETAIL |
|---------------------------|------------------|------------------------|----------------------------------|---------------------------|
| INSULATED METALLIC PIPE | | | | |
| COPPER, TYPE L | 2 | 4 | 2.0 | W-L-5025 |
| BARE PLASTIC PIPE | | | | |
| PVC/CPVC, SCHEDULE 40 | 2 | 2 | N/A | W-L-2474 |
| PVC/CPVC, SCHEDULE 40 | 2 | 10 | N/A | W-L-2078 |

1. WHERE THE NOTATION "N/A" (NOT APPLICABLE) EXISTS, AN APPROVED FIRE PENETRATION SYSTEM DOES NOT EXIST FOR THAT SPECIFIC CONDITION. AVOID PENETRATIONS OF THIS TYPE. IF SUCH A PENETRATION PRESENTS ITSELF IN THE FIELD, CONTACT ENGINEER FOR RESOLUTION.
2. INSULATED PLASTIC PIPE SHALL PENETRATE WITHOUT INSULATION WHERE THIS CONDITION OCCURS. USE PENETRATION DETAIL FOR BARE PLASTIC PIPE.

FIRESTOPPING SCOPE OF WORK
DETAILS SHOWN ON SHEETS LABELED "HP" ARE APPLICABLE TO ALL HVAC AND PLUMBING WORK WITHIN THESE CONTRACT DOCUMENTS.

NOTES:

1. EXISTING WASTE PIPING TO BE REPLACED AND/OR REPAIRED IS BASED ON DUE DILIGENCE RECOMMENDATIONS BY ENVIRONMENTAL DRAIN & PLUMBING AFTER EVALUATION OF EXISTING CONDITIONS. REFER TO REPORT BY ENVIRONMENTAL DRAIN & PLUMBING FOR SPECIFIC OBSERVATIONS & RECOMMENDATIONS AND AS NOTED BELOW.
2. ALL EXISTING SANITARY SEWER MAINS & MAIN HORIZONTAL BUILDING DRAINS TO BE CLEANED BY HYDROJET TO REMOVE GREASE, SCALE AND OTHER DEBRIS.
3. REMOVE ALL ROOT INTRUSIONS WHERE BUILDING SANITARY SEWER MAINS CONNECT TO SANITARY SEWER MAINS.
4. ALL SANITARY SEWER AND WATER PIPING LOCATIONS ARE ASSUMED AND ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN AND SANITARY SEWER ROUTING MAY VARY FROM WHAT IS SHOWN. NO EXISTING BUILDING WATER SERVICE SHUT OFFS OR VALVE BOXES WERE OBSERVED, THEREFORE ALL WATER SERVICE PIPING LOCATION IS ESTIMATED BASED ON ASSUMED ROUTING OF WATER PIPE FROM EXISTING WATER METERS AND INPUT FROM PROPERTY MAINTENANCE STAFF. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
5. INSTALL NEW TWO-WAY EXTERIOR CLEANOUT AT BUILDING DRAIN AT EACH BUILDING APPROXIMATELY 5'-0" (OR EXISTING LOCATION) ALONG LINE WHERE MAIN BUILDING DRAIN EXITS BUILDING. (LOCATIONS ASSUMED, CONTRACTOR TO FIELD VERIFY).
6. INSTALL NEW EXTERIOR CLEANOUT UPSTREAM END OF BUILDING DRAIN APPROXIMATELY 5'-0" (OR EXISTING LOCATION) AT EXTERIOR OF BUILDING. (LOCATION ASSUMED, CONTRACTOR TO FIELD VERIFY).
7. INSTALL NEW BUILDING WATER SHUT OFF VALVES AT EACH EXISTING WATER SERVICE ENTRANCE OR INSTALL NEW IF NONE EXISTING (LOCATIONS ASSUMED, CONTRACTOR TO FIELD VERIFY).
8. INSTALL NEW SITE WATER SHUT OFF VALVES (FOUR TOTAL) IN SAME LOCATION AS EXISTING OR IN A NEW VALVE BOX DOWNSTREAM OF EXISTING WATER METER. EXISTING WATER PIPE IS 2".
9. REROUTE EXISTING 2" WATER LINE AS REQUIRED TO ACCOMMODATE NEW OFFICE/COMMUNITY BUILDING LOCATION. PROVIDE TRUST BLOCKS, REFER TO DETAILS AND SCHEDULE ON SHEET P5.2.



SITE SYMBOLS
 —SS— SANITARY SEWER
 —W— WATER LINE
 [E] ELEC. TRANSFORMER
 [G] GAS METERS (TO BE REMOVED)

1 SITE PLAN - PLUMBING
 SCALE: 1" = 30'-0"

CAD FILE:

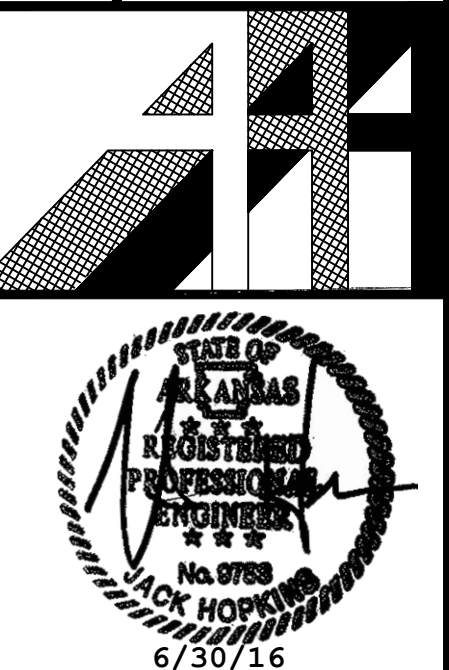
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WHITE RIVER APARTMENTS
 2800 MARION DRIVE
 DIAZ, ARKANSAS

SITE PLAN - PLUMBING

ALLAN ASSOCIATES ARCHITECTS, PLLC

665 / 689-1302
 KNOXVILLE, TENNESSEE 37912



SHEET NUMBER

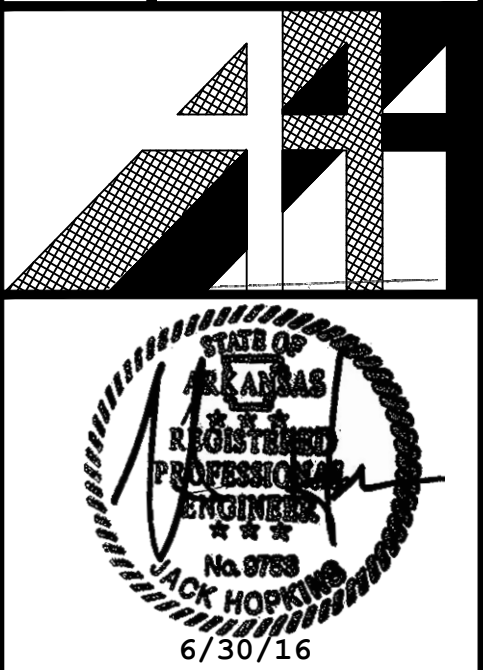
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WHITE RIVER APARTMENTS
 2900 MARION DRIVE
 DIAZ, ARKANSAS

LEAD SHEET - PLUMBING
ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912
 865 / 689-1302
 5516 WALLWOOD ROAD



SHEET NUMBER

P0.1

| PLUMBING LEGEND | |
|------------------|-------------------------------|
| ----- | DOMESTIC COLD WATER |
| ----- | DOMESTIC HOT WATER |
| ----- R ----- | DOMESTIC HOT WATER - RETURN |
| -----115----- | DOMESTIC HOT WATER - TEMPERED |
| ----- SS ----- | SANITARY SEWER |
| ----- GW ----- | GREASY WASTE |
| ----- | PLUMBING VENT |
| ----- PRWL ----- | PRIMARY RAIN WATER LEADER |
| ----- SRWL ----- | SECONDARY RAIN WATER LEADER |
| ----- SD ----- | STORM DRAIN |
| ----- C ----- | COOLING CONDENSATE |
| ----- A ----- | COMPRESSED AIR |
| ----- NG ----- | NATURAL GAS |
| ----- LP ----- | PROPANE |
| | BACKFLOW PREVENTER |
| | WATER HAMMER ARRESTOR |
| | PLUMBING FIXTURE CONNECTION |
| | EXPOSED CLEANOUT |
| | CLEANOUT IN FLOOR |
| | CLEANOUT IN RISE |
| | PIPE TURNING DOWN |
| | PIPE TURNING UP |
| | GATE VALVE |
| | BUTTERFLY VALVE |
| | BALL VALVE |
| | GLOBE VALVE |
| | CALIBRATED BALANCING VALVE |
| | GAS VALVE, AGA APPROVED |
| | CHECK VALVE |
| | STRAINER |
| | UNION |
| | PRESSURE REGULATING VALVE |
| | PRESSURE RELIEF VALVE |
| | GAGE W/ GAGE COCK |
| | THERMOMETER IN PIPING WELL |
| | ONE-HOUR RATED FIRE WALL |

GENERAL NOTES/SPECIFICATIONS

1.0 GENERAL

1.1 SCOPE: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL PLUMBING WORK AS SHOWN ON THESE DRAWINGS AND SPECIFIED HEREIN.

1.2 PERMITS: OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS THAT ARE REQUIRED FOR THIS WORK. RETAIN CERTIFICATES OF INSPECTIONS AND SUBMIT WHEN WORK IS COMPLETE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES ADOPTED BY CITY, COUNTY, AND/OR STATE AUTHORITIES.

1.3 SUBMITTALS: SUBMIT SCHEDULED EQUIPMENT FOR APPROVAL BY THE ENGINEER. SUBMIT A MINIMUM OF SIX COPIES, INCLUDING TWO THAT WILL BE RETAINED BY THE ARCHITECT AND ENGINEER.

1.4 INSTRUCTION: INSTRUCT THE OWNER'S REPRESENTATIVE ABOUT THE PROPER OPERATION OF ALL EQUIPMENT. PROVIDE TO THE OWNER TWO SETS AND CD OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL PLUMBING EQUIPMENT AT THE COMPLETION OF WORK. NEATLY ORGANIZE ALL INFORMATION WITHIN THREE-RING BINDERS AND CD.

1.5 RECORD DRAWINGS: MAINTAIN A SET OF DRAWINGS AT THE PROJECT SITE AND RECORD ANY AND ALL SIGNIFICANT CHANGES OF EQUIPMENT AND/OR FIXTURE LOCATIONS, AND PIPING ROUTING, AND OTHER INFORMATION THAT WOULD BE BENEFICIAL TO THE OWNER AFTER CONSTRUCTION IS COMPLETE. TURN RECORD DRAWINGS OVER TO THE ARCHITECT, ENGINEER, OR OWNER AT SUBSTANTIAL COMPLETION OF WORK.

1.6 WARRANTY: PROVIDE A ONE-YEAR PARTS AND LABOR WARRANTY ON ALL WORK PERFORMED. WARRANTY SHALL COMMENCE UPON SUBSTANTIAL COMPLETION AIA G704 ISSUED BY ARCHITECT.

1.7 2014 LEAD FREE SAFE WATER DRINKING ACT: THE "REDUCTION IN LEAD IN DRINKING WATER ACT" REQUIRES MATERIALS AND FIXTURES USED FOR DELIVERY OF POTABLE WATER TO CONTAIN LESS THAN 0.2% LEAD FOR SOLDER AND FLUX, AND NOT MORE THAN A WEIGHTED AVERAGE OF 0.25% LEAD FOR PIPES, FITTINGS AND FIXTURES. EXCLUDED FROM THIS ACT ARE TOILETS, BIDETS, URINALS, FLUSH VALVES, TUB FILLERS, SHOWER VALVES. IT IS THE INTENT OF THIS PROJECT TO CONFORM WITH THE REQUIREMENTS OF THE 2014 LEAD FREE ACT. EVERY EFFORT HAS BEEN MADE TO CALL FOR FIXTURES THAT COMPLY WITH THE ACT. EVEN SO, IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO INSTALL PRODUCTS THAT COMPLY WITH THE 2014 LEAD FREE SAFE WATER DRINKING ACT

2.0 PRODUCTS

2.1 MATERIALS: ALL MATERIALS SHALL BE NEW, COMPLYING WITH THE LATEST ASTM SPECIFICATIONS AND STANDARDS RELATING TO SUCH MATERIALS.

2.2 FIXTURES: USE PLUMBING FIXTURES AS SCHEDULED ON THE DRAWINGS AND AS NOTED ON THE PLANS. PROVIDE ALL ROUGH-INS, BLOCKING, TRAPS, AND SUPPLIES AS REQUIRED FOR A COMPLETE, FUNCTIONAL INSTALLATION.

2.3 CAULKING: PROVIDE CAULKING AT WALL/FLOOR/SURFACE INTERFACE WHERE APPROPRIATE FOR WATER SEAL. SPECIFICALLY CAULK ALL WATER CLOSETS AT FLOOR, URINALS AT WALL, AND CHINA LAVATORIES AT SURFACE. USE SILICON CAULK WITH COLOR TO MATCH FIXTURE COLOR.

2.4 GROUTING: ALL BATHTUBS AND SHOWER FIXTURES SHALL BE INSTALLED WITH A MASONRY GROUT BASE TO PROVIDE A SOLID FOOTING FOR FIXTURE USER.

2.5 PIPING: USE MATERIALS AS SCHEDULED ON THE DRAWINGS FOR EACH SERVICE. DIELECTRIC BRASS ADAPTERS, BRASS UNIONS, OR BRASS BUSHING SHALL BE USED WHEREVER DISSIMILAR METALS SUBJECT TO GALVANIC ACTIVITY ARE JOINED TOGETHER, SUCH AS EQUIPMENT CONNECTIONS, TANK CONNECTION, ETC.

2.6 VALVES: SHUTOFF VALVES SHALL BE BALL VALVES FOR SIZES 2" AND SMALLER AND BUTTERFLY VALVES FOR SIZES 2-1/2" AND LARGER. VALVES SHALL BE DESIGNED FOR THE SERVICE INDICATED, INCLUDING ALL TEMPERATURE AND PRESSURE RATINGS.

2.7 ESCUTCHEON PLATES: PROVIDE CHROME PLATED ESCUTCHEON PLATES WHERE EXPOSED PIPE PASSES THROUGH WALLS, FLOORS, OR CEILINGS AND INTO FINISHED AREAS.

2.8 PIPE INSULATION: INSULATE PIPING AS SCHEDULED ON THE DRAWINGS FOR EACH PIPING SERVICE. INSTALL ALL INSULATING MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. DO NOT APPLY INSULATION UNTIL LEAK TESTING HAS BEEN SATISFACTORILY COMPLETED.

2.9 PIPE HANGERS: USE ADJUSTABLE CLEVIS TYPE HANGERS OR PIPE SADDLE SUPPORTS FOR HORIZONTAL PIPING. USE TWO-BOLT RISER CLAMPS FOR VERTICAL PIPING SUPPORTS. USE CONCRETE INSERTS, C-CLAMPS, AND/OR STEEL BRACKETS FOR ATTACHMENT TO BUILDING STRUCTURE. USE PROTECTION SHIELDS FOR INSULATED PIPING SUPPORT WITH HANGERS.

3.0 EXECUTION

3.1 THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE LOCATION OF EQUIPMENT, PIPING, AND FIXTURES. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.

3.2 THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR CONNECTIONS TO ALL UTILITY LINES AND PAY FEES AND COSTS FOR CONNECTIONS TO THOSE SERVICES.

3.3 COORDINATE FIXTURE LOCATIONS WITH THE ARCHITECTURAL DRAWINGS AND THE ACTUAL AS-BUILT FRAMING LAYOUT OF THE BUILDING.

3.4 PIPING AT FIXTURES IN HANDICAPPED ACCESSIBLE AREAS SHALL BE INSULATED TO PROTECT AGAINST BURNS.

3.5 PLUMBING FIXTURES SHALL BE RIGIDLY CONNECTED TO THE BUILDING AND SHALL BE CLEANED AND FUNCTIONAL. PROVIDE CAULKING AS DESCRIBED IN SECTION 2.0.

3.6 ALL PIPING SHALL BE RUN IN CONCEALED LOCATIONS EXCEPT WHERE NOTED.

3.7 PITCH DOMESTIC WATER LINES TOWARD DRAINS. INSTALL WASTE AND VENT PIPING WITH MINIMUM SLOPES OF 1/4" PER FOOT FOR LINES UP TO 2-1/2" AND 1/8" PER FOOT FOR LINES 3" AND LARGER.

3.8 INSTALL FIRE STOP MATERIAL IN ACCORDANCE WITH UL LISTING AT ALL RATED PENETRATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

3.9 ESCUTCHEON PLATES: INSTALL ESCUTCHEON PLATES SO AS TO COMPLETELY COVER WALL, MILLWORK, AND/OR CEILING PENETRATIONS.

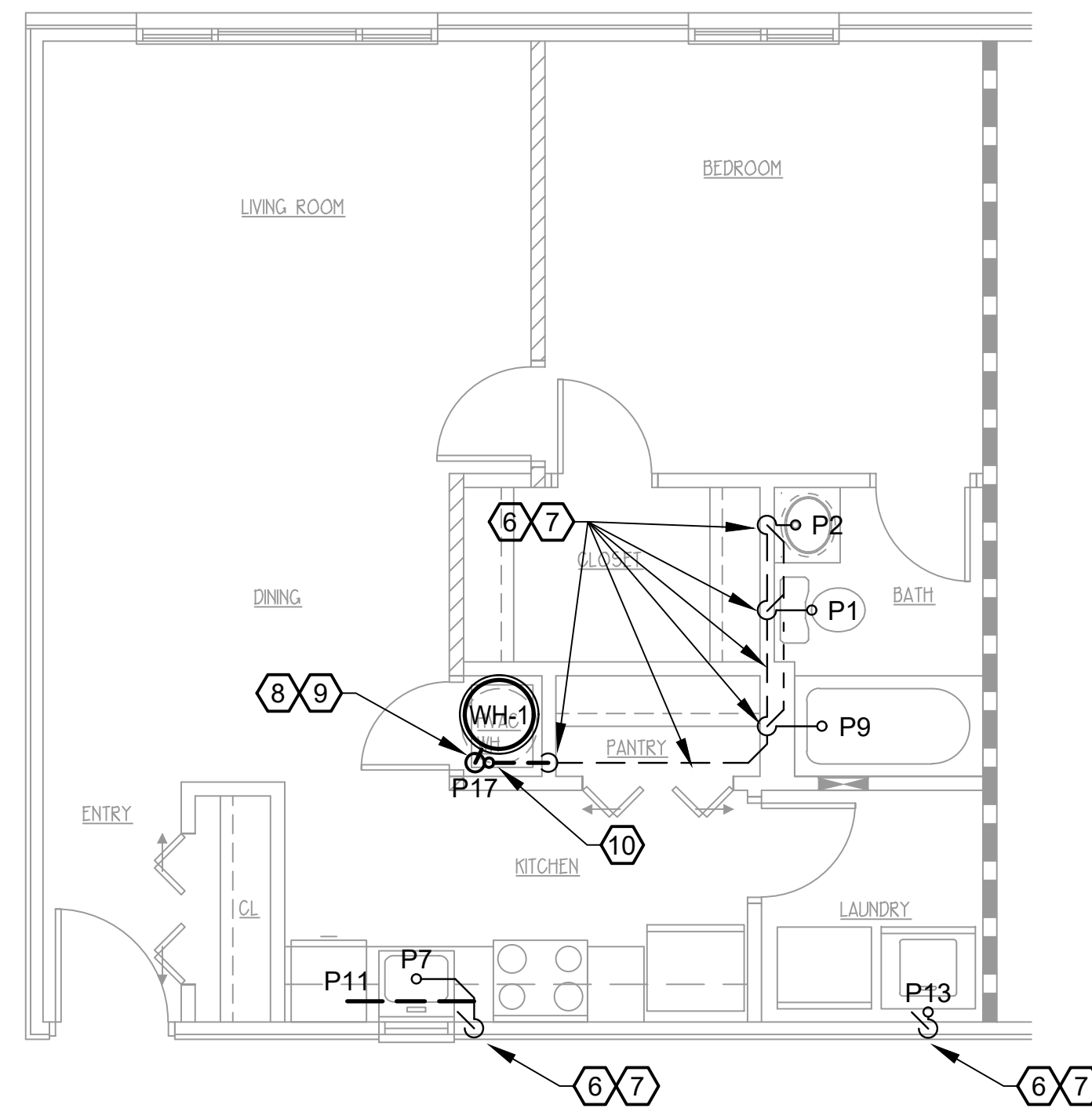
3.10 ALL BURIED PIPING SHALL BE BEDDED AND COVERED IN SAND, GRAVEL, OR CRUSHED STONE.

3.11 INSTALL WATER HEATERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

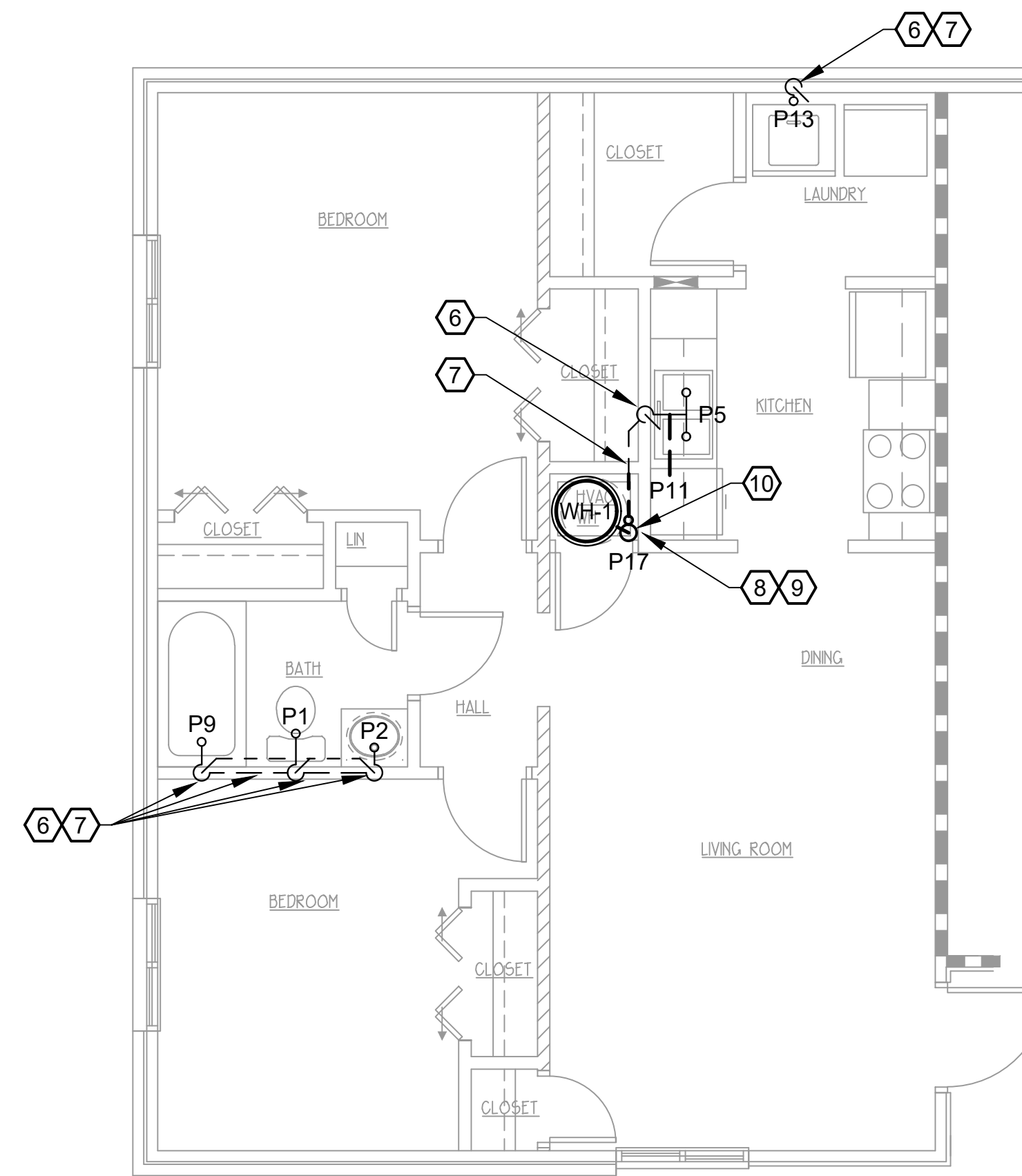
3.12 PRESSURE TEST DOMESTIC WATER PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION. IN THE ABSENCE OF A LOCALLY PRESCRIBED METHOD, TEST THE SYSTEM IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL PLUMBING CODE.

3.13 PRESSURE TEST WASTE AND VENT PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION. IN THE ABSENCE OF A LOCALLY PRESCRIBED METHOD, TEST THE SYSTEM IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL PLUMBING CODE.

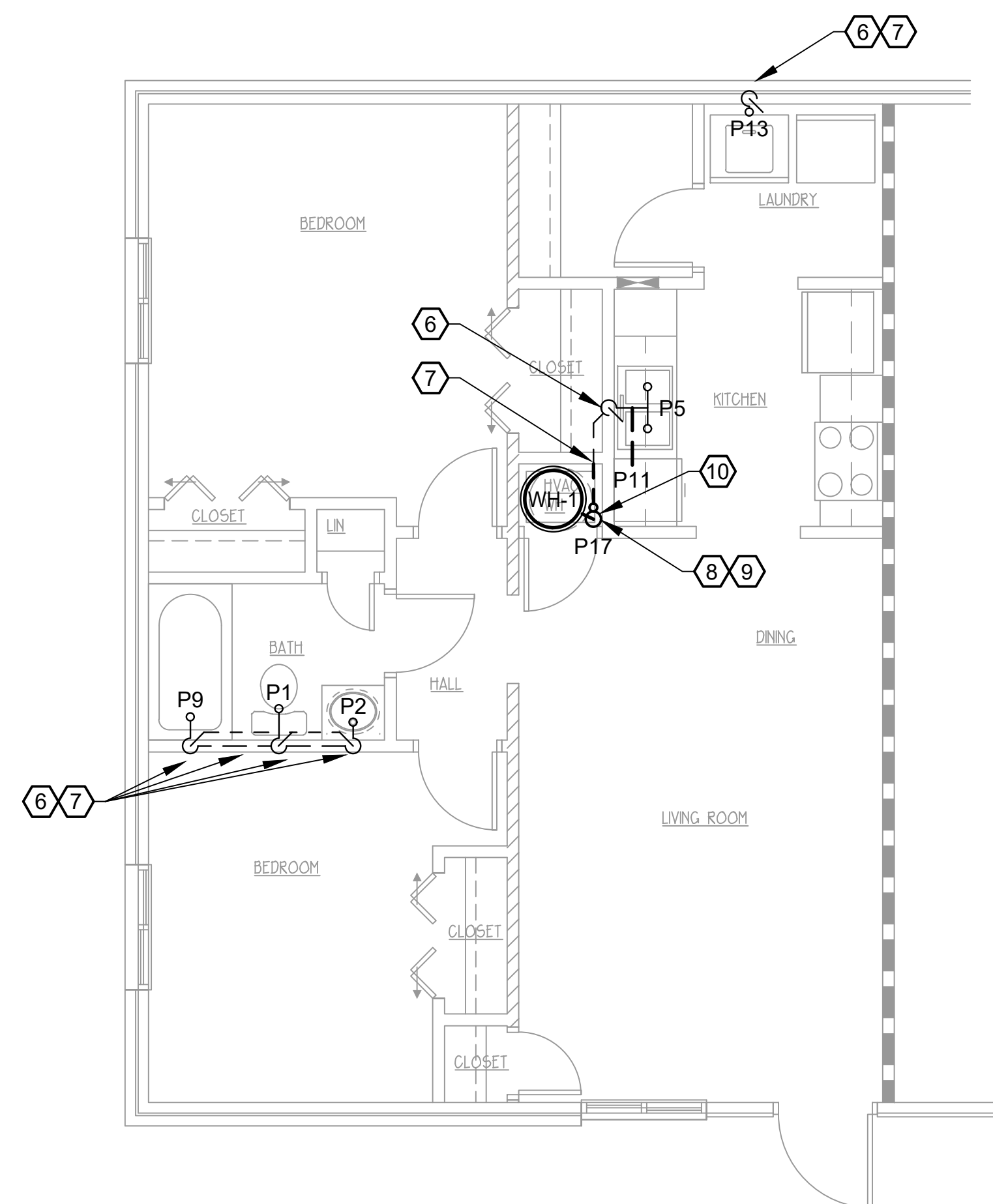
3.14 STERILIZE POTABLE WATER PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION. IN THE ABSENCE OF A LOCALLY PRESCRIBED METHOD, TEST THE SYSTEM IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL PLUMBING CODE.



1 ONE BEDROOM TYPICAL - WASTE & VENT
SCALE: 1/4"=1'-0"



2 TWO BEDROOM TYPICAL - WASTE & VENT
SCALE: 1/4"=1'-0"



3 TWO BEDROOM TYPICAL - WASTE & VENT
SCALE: 1/4"=1'-0"

WALL LEGEND
 [Thick solid line] EXISTING 1 HR RATED
 [Thin solid line] EXISTING INT. PARTITION TO REMAIN
 [Dashed line] PARTITION TO BE DEMO'D
 [Hatched area] ASSUMED EXISTING LOAD BEARING WALL

DEMOLITION NOTES:

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVED ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR..

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW AND EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
 2. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
 3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
 4. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT PIPING IN EXISTING RATED CHASE/WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WATER SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING PIPING.
 5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
- ⑥ EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.
 - ⑦ EXISTING BUILDING DRAIN TO REMAIN.
 - ⑧ ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN.
 - ⑨ PROVIDE WATER HEATER PLATFORM TO RAISE ENOUGH FOR INDIRECT DRAIN. ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM WATER HEATER PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
 - ⑩ INSTALL NEW FLOOR DRAIN, ROUTE TO AND TIE INTO EXISTING PIPING.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION AND/OR POURING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

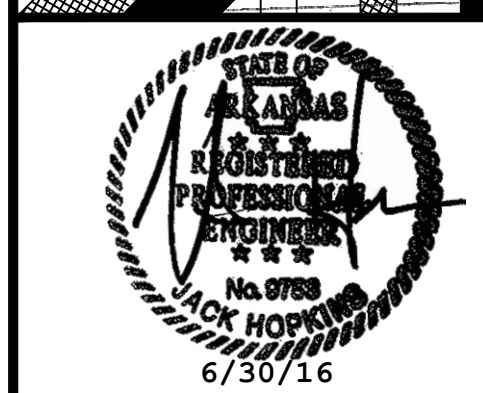
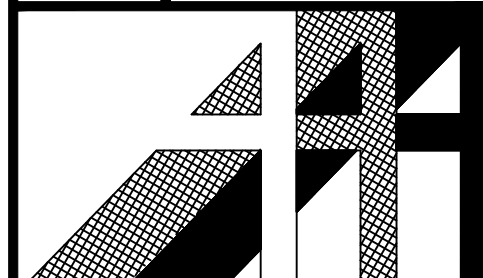
ONE & TWO BDRM UNIT PLNS - WASTE & VENT

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

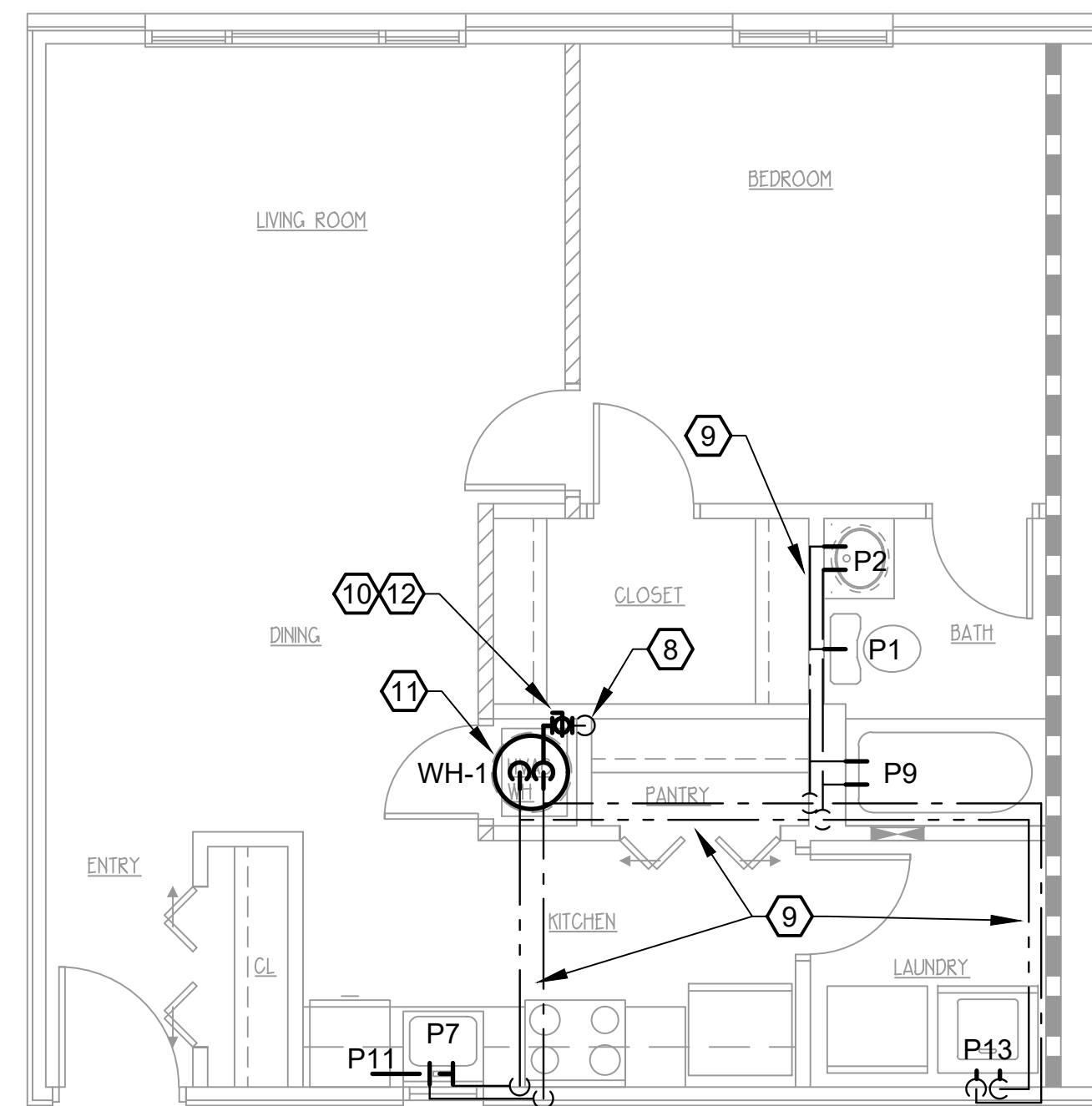
5516 WALLWOOD ROAD

KNOXVILLE, TENNESSEE 37912

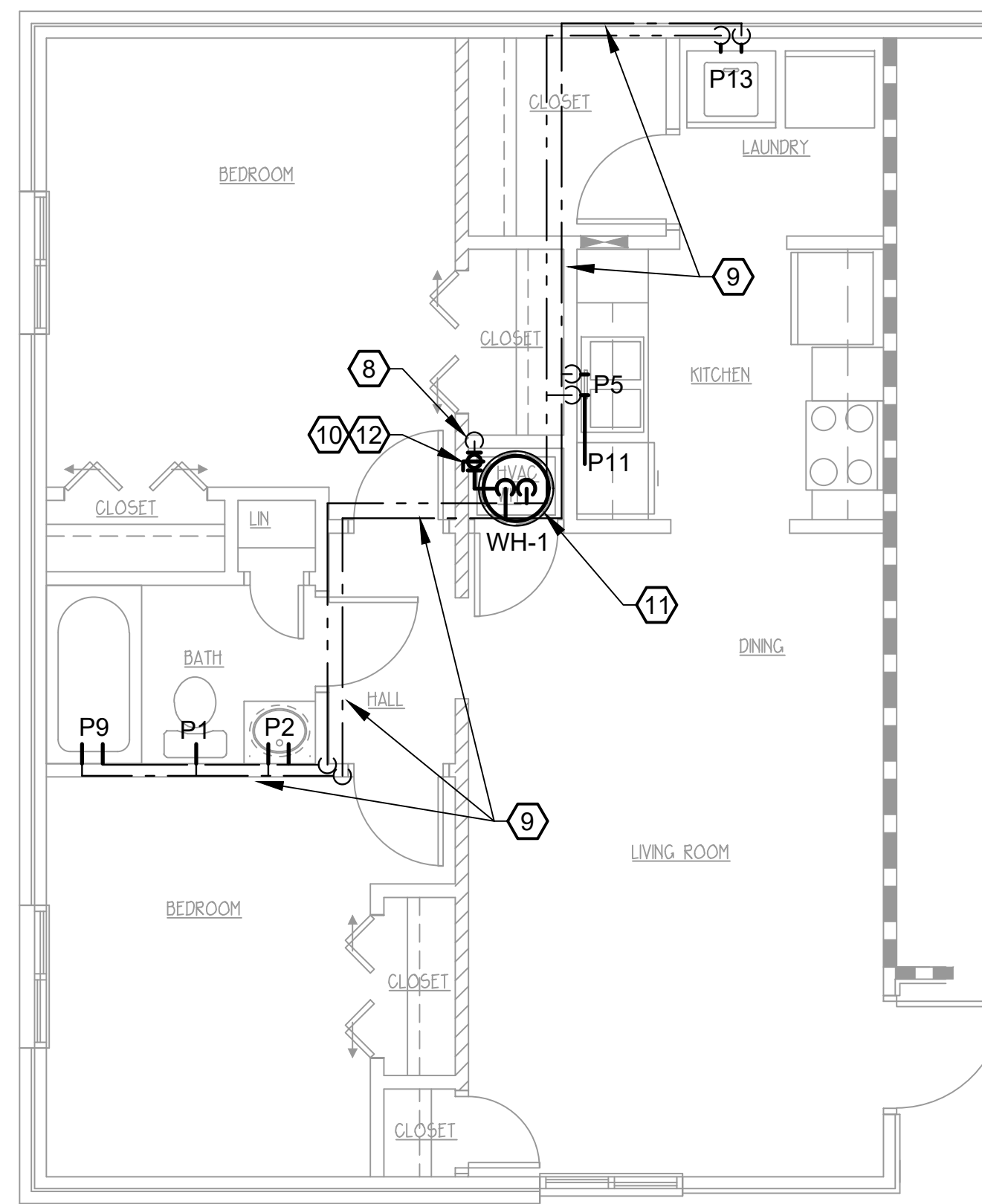


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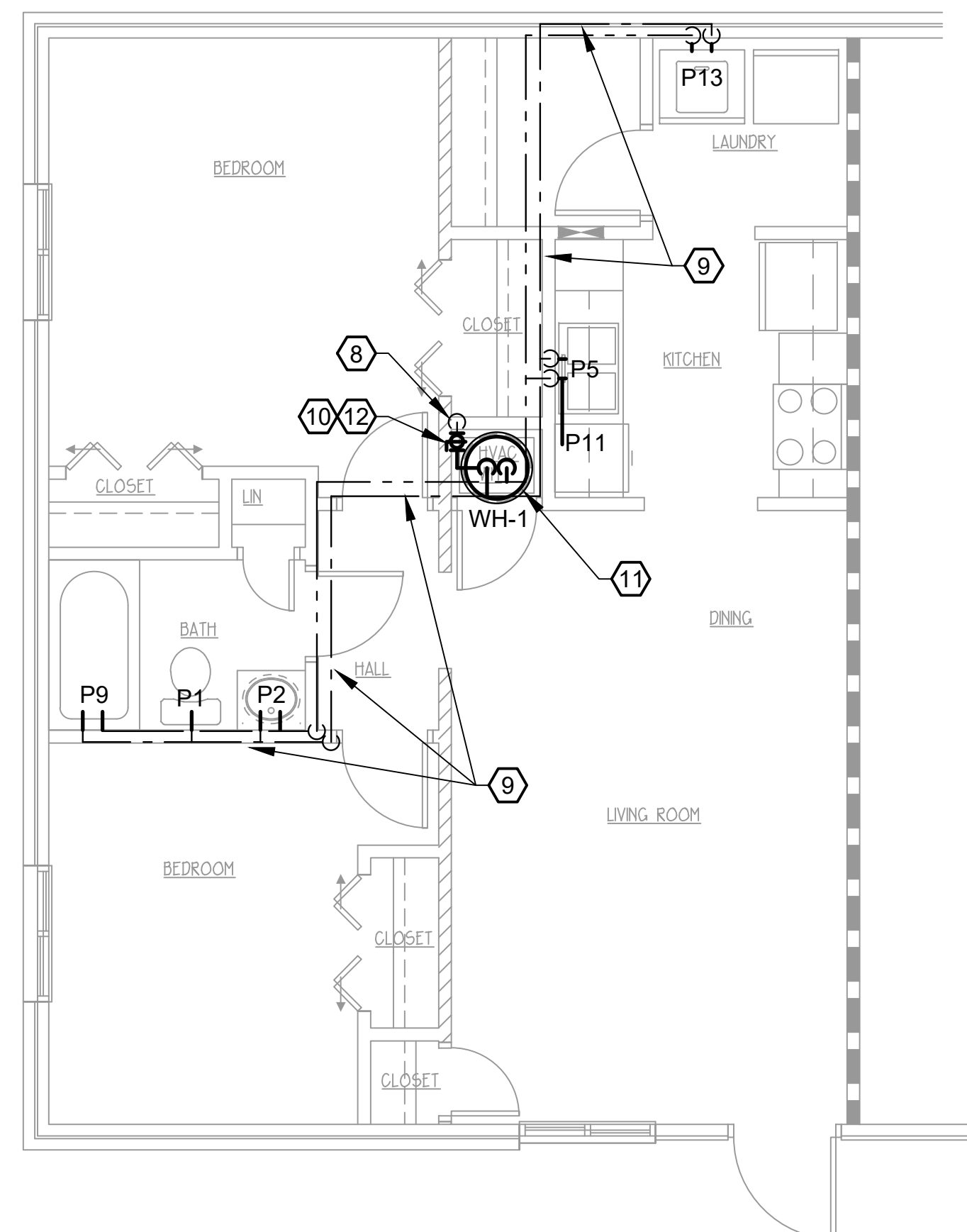
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1 ONE BEDROOM TYPICAL - SERVICES
SCALE: 1/4"=1'-0"



2 TWO BEDROOM TYPICAL - SERVICES
SCALE: 1/4"=1'-0"



3 TWO BEDROOM TYPICAL - SERVICES
SCALE: 1/4"=1'-0"

WALL LEGEND

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- - - PARTITION TO BE DEMO'D
- /// ASSUMED EXISTING LOAD BEARING WALL

DEMOLITION NOTES:

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVE ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
2. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
3. LOCATION OF EXISTING WATER SERVICE RISERS AND HORIZONTAL PIPING IS ASSUMED BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
4. CONTRACTOR IS TO FIELD VERIFY AND INSPECT EXISTING PIPING PENETRATIONS THROUGH RATED ASSEMBLIES AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS IN RATED WALLS, FLOORS AND CEILING AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
5. CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING IN EXISTING WALL/CHASE. REROUTE/REWORK ASSOCIATED PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT.
6. ANY EXISTING CW/HW PIPING TO REMAIN THAT IS EXPOSED DURING RENOVATION AND ALL NEW CW/HW PIPING SHALL BE INSULATED, REFER TO SHEET P4.2.
7. CONTRACTOR IS TO COORDINATE ALL EXISTING SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR ALL NEW PIPING AND FITTINGS NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING.

- 8 EXISTING COLD WATER RISER TO REMAIN.
- 9 EXISTING WATER SERVICE PIPING TO REMAIN.
- 10 INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN MECHANICAL CLOSET.
- 11 INSTALL NEW WATER HEATER. CONNECT TO EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
- 12 COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION AND PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ONE & TWO BEDROOM UNIT PLANS - SERVICES

ALLAN ASSOCIATES ARCHITECTS, PLLC



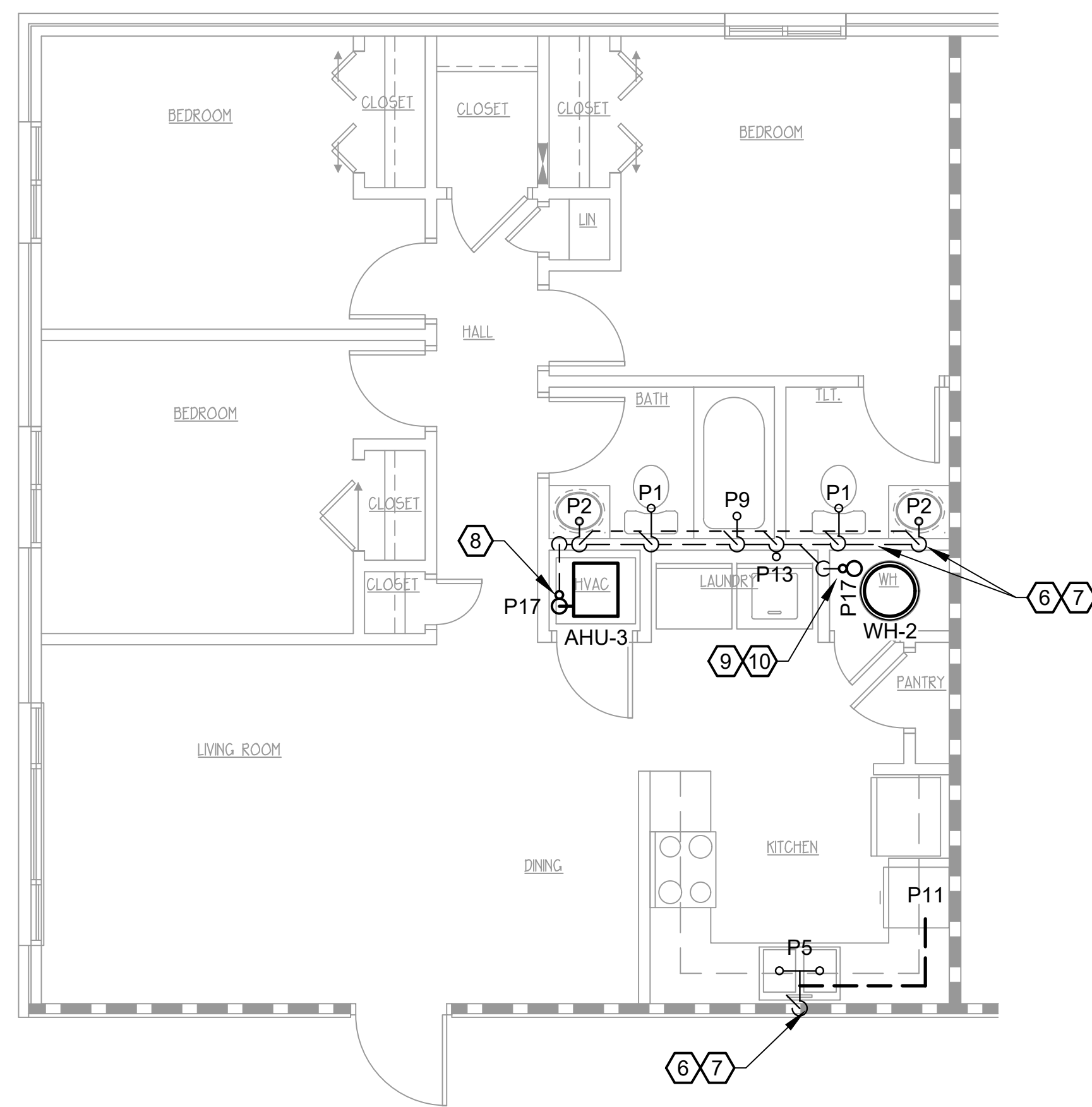
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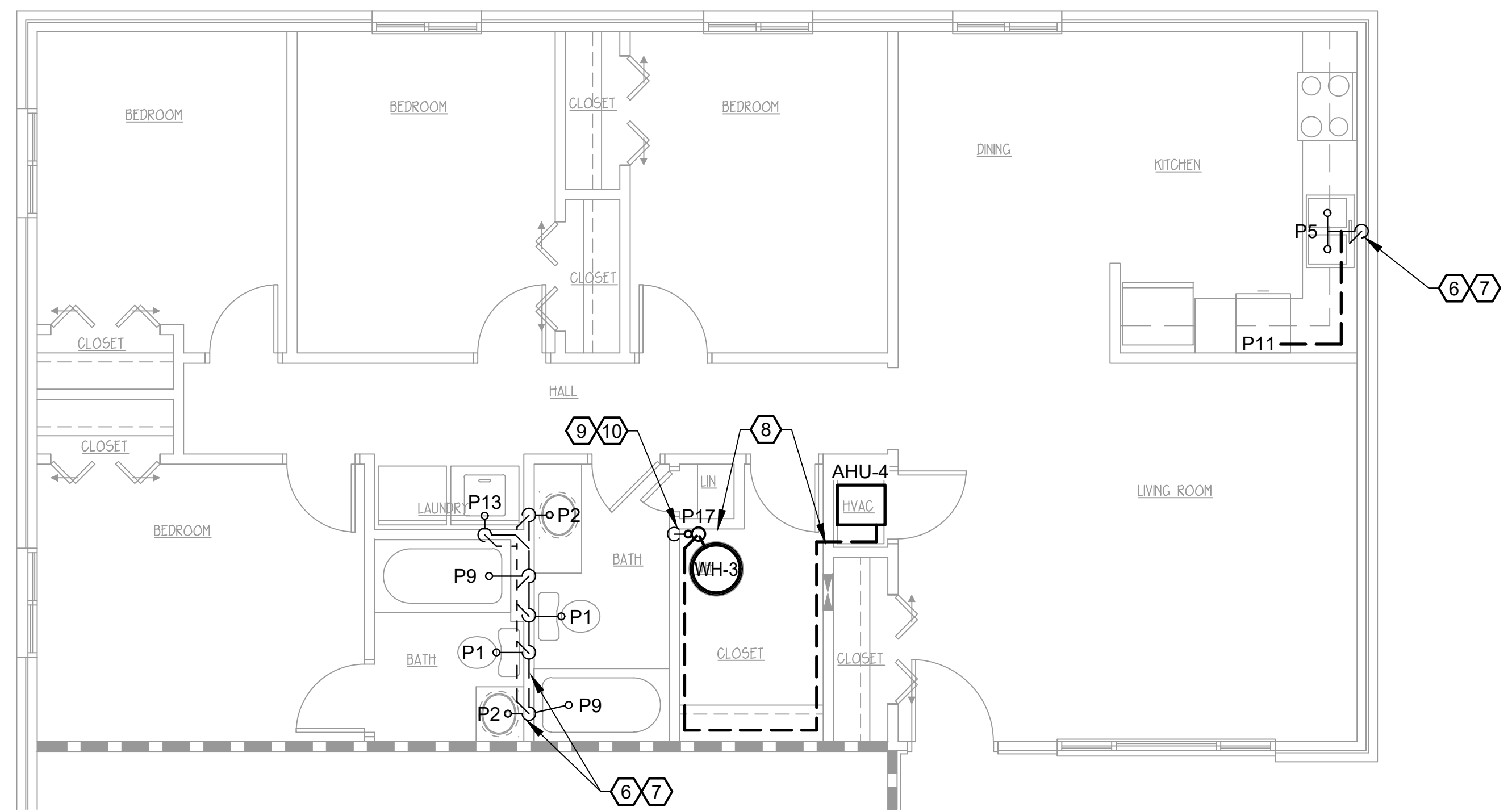
5516 WALLWOOD ROAD



1 THREE BEDROOM TYPICAL - WASTE & VENT
SCALE: 1/4"=1'-0"

WALL LEGEND

| | |
|--|------------------------------------|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
| | PARTITION TO BE DEMO'D |
| | ASSUMED EXISTING LOAD BEARING WALL |



2 FOUR BEDROOM TYPICAL - WASTE & VENT
SCALE: 1/4"=1'-0"

DEMOLITION NOTES:

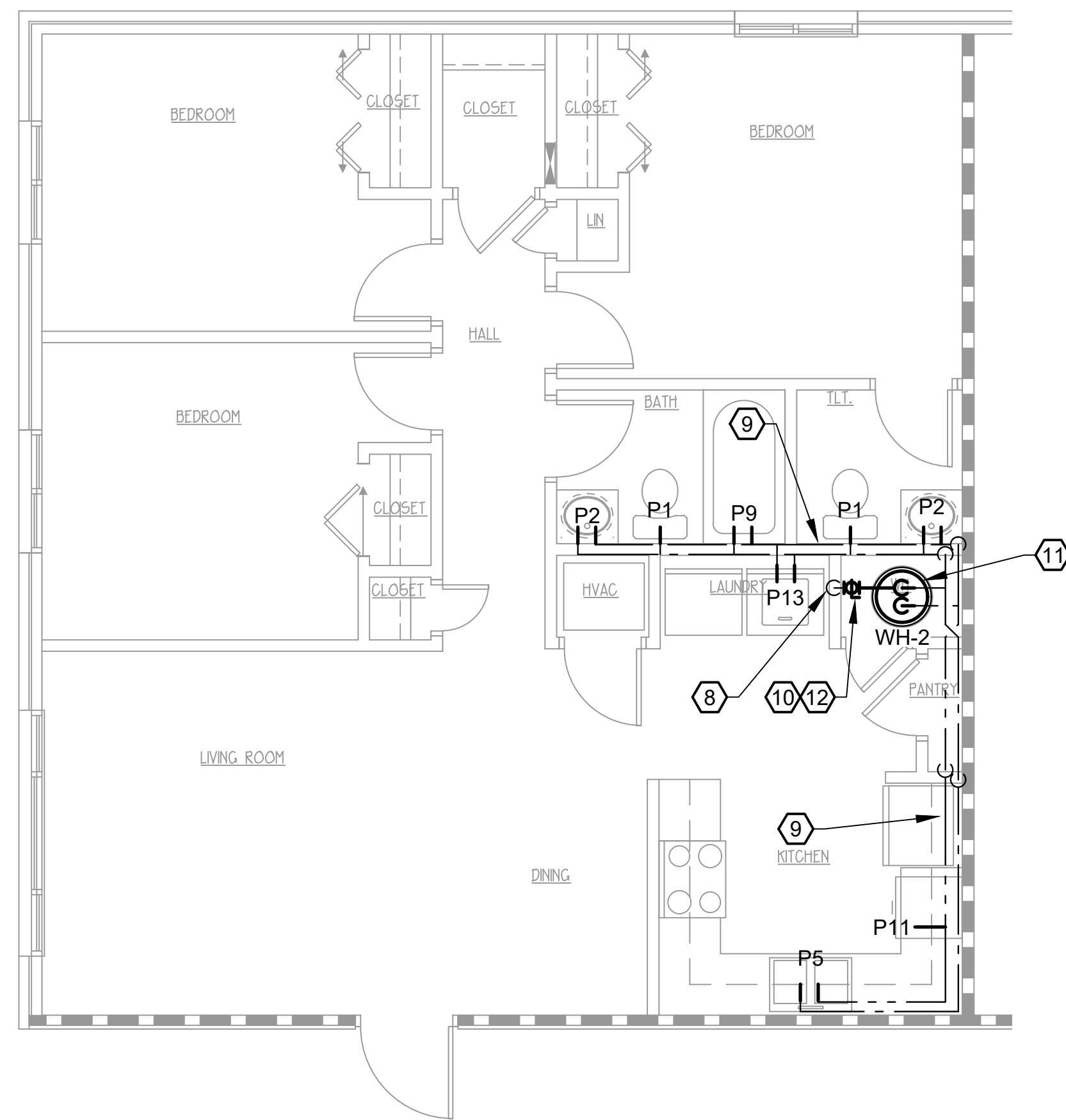
1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVED ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW AND EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
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3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
4. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT PIPING IN EXISTING RATED CHASE/WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WATER SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING PIPING.
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6. EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.
7. EXISTING BUILDING DRAIN TO REMAIN.
8. ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN.
9. PROVIDE WATER HEATER PLATFORM TO RAISE ENOUGH FOR INDIRECT DRAIN. ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM WATER HEATER PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
10. INSTALL NEW FLOOR DRAIN, ROUTE TO AND TIE INTO EXISTING PIPING. IF NONE EXISTING, INSTALL NEW 2" RISER IN WALL AS INDICATED. REFER TO SHEET P2.0 FOR FURTHER INFORMATION.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION OR POURING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

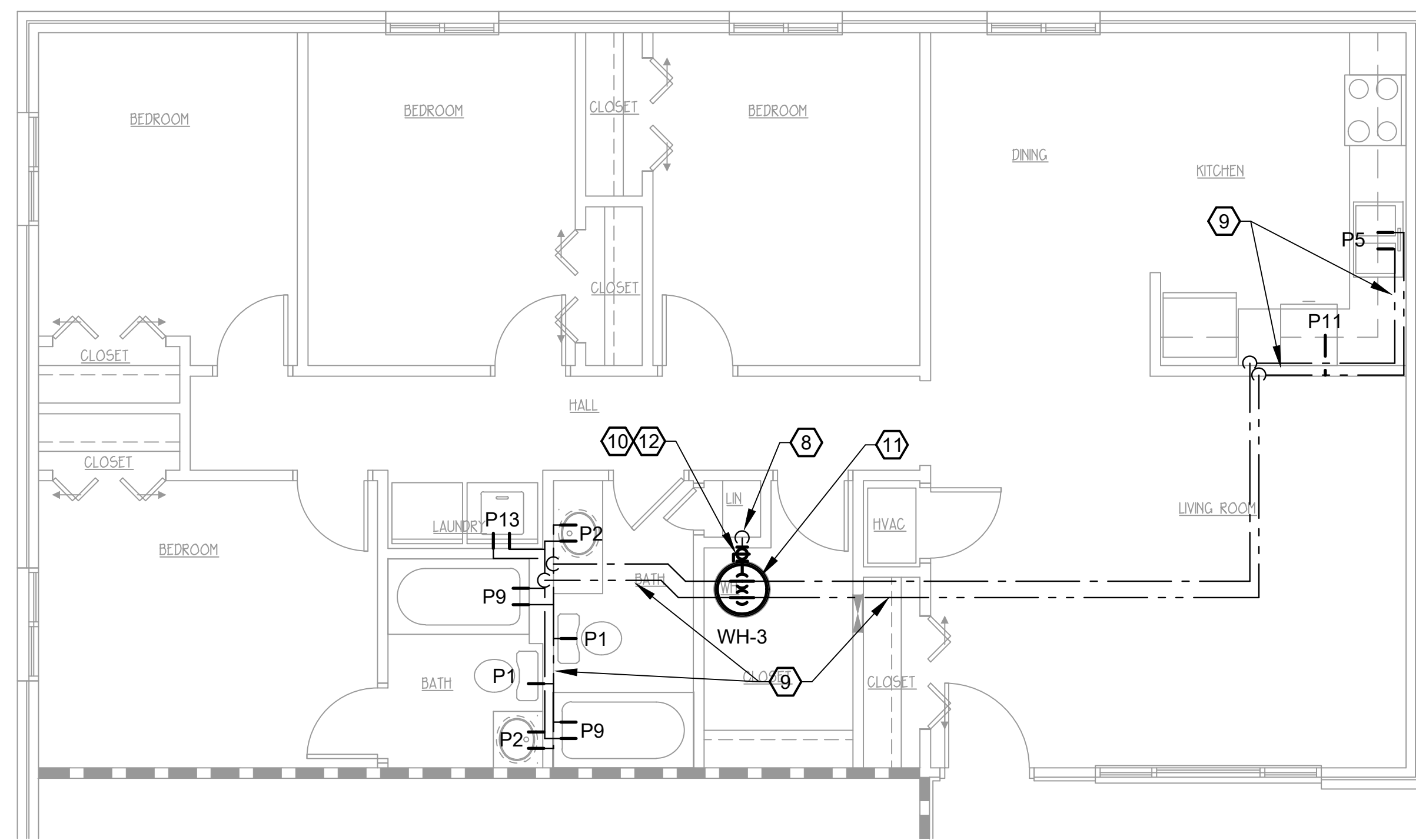
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| | | APPR. BY: JH | | DATE: 6-30-16 | |
| | | REVISIONS | | 0 | 6/30/16 - INITIAL ISSUE |
| WHITE RIVER APARTMENTS | 2900 MARION DRIVE | DIAZ, ARKANSAS | THREE & FOUR BDRM UNIT PLNS - WASTE & VENT | ALLAN ASSOCIATES ARCHITECTS, PLLC | KNOXVILLE, TENNESSEE 37912 |
| | | | | | |
| SHEET NUMBER | | P1.1A | | | |



1 THREE BEDROOM TYPICAL - SERVICES
SCALE: 1/4"=1'-0"

WALL LEGEND

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- - - PARTITION TO BE DEMO'D
- /// ASSUMED EXISTING LOAD BEARING WALL



2 FOUR BEDROOM TYPICAL - SERVICES
SCALE: 1/4"=1'-0"

DEMOLITION NOTES:

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVE ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
 2. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
 3. LOCATION OF EXISTING WATER SERVICE RISERS AND HORIZONTAL PIPING IS ASSUMED BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
 4. CONTRACTOR IS TO FIELD VERIFY AND INSPECT EXISTING PIPING PENETRATIONS THROUGH RATED ASSEMBLIES AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS IN RATED WALLS, FLOORS AND CEILING AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
 5. CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING IN EXISTING WALL/CHASE. REROUTE/REWORK ASSOCIATED PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT.
 6. ANY EXISTING CW/HW PIPING TO REMAIN THAT IS EXPOSED DURING RENOVATION AND ALL NEW CW/HW PIPING SHALL BE INSULATED, REFER TO SHEET P4.2.
 7. CONTRACTOR IS TO COORDINATE ALL EXISTING SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR ALL NEW PIPING AND FITTINGS NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING.
- Ⓢ EXISTING COLD WATER RISER TO REMAIN.
 - Ⓣ EXISTING WATER SERVICE PIPING TO REMAIN.
 - Ⓤ INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN MECHANICAL CLOSET.
 - Ⓦ INSTALL NEW WATER HEATER. CONNECT TO EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
 - Ⓧ COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION AND PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

CAD FILE:

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| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS: | |
| 0 | 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

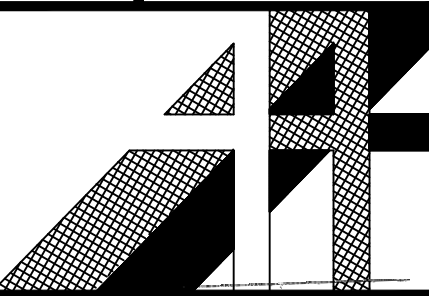
THREE & FOUR BEDROOM UNIT PLANS - SERVICES

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5616 WALLWOOD ROAD



SHEET NUMBER

P1.1B

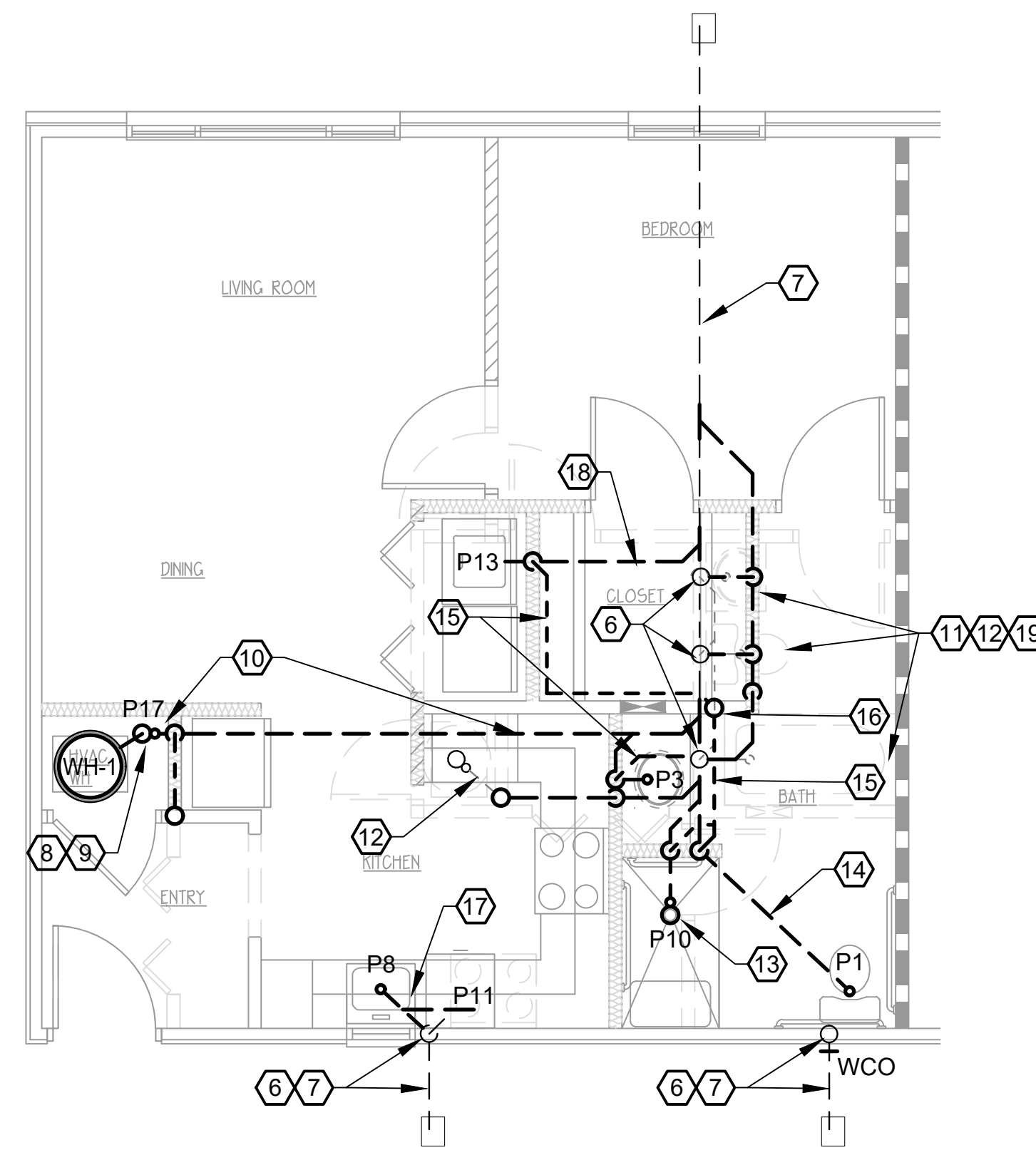
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2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

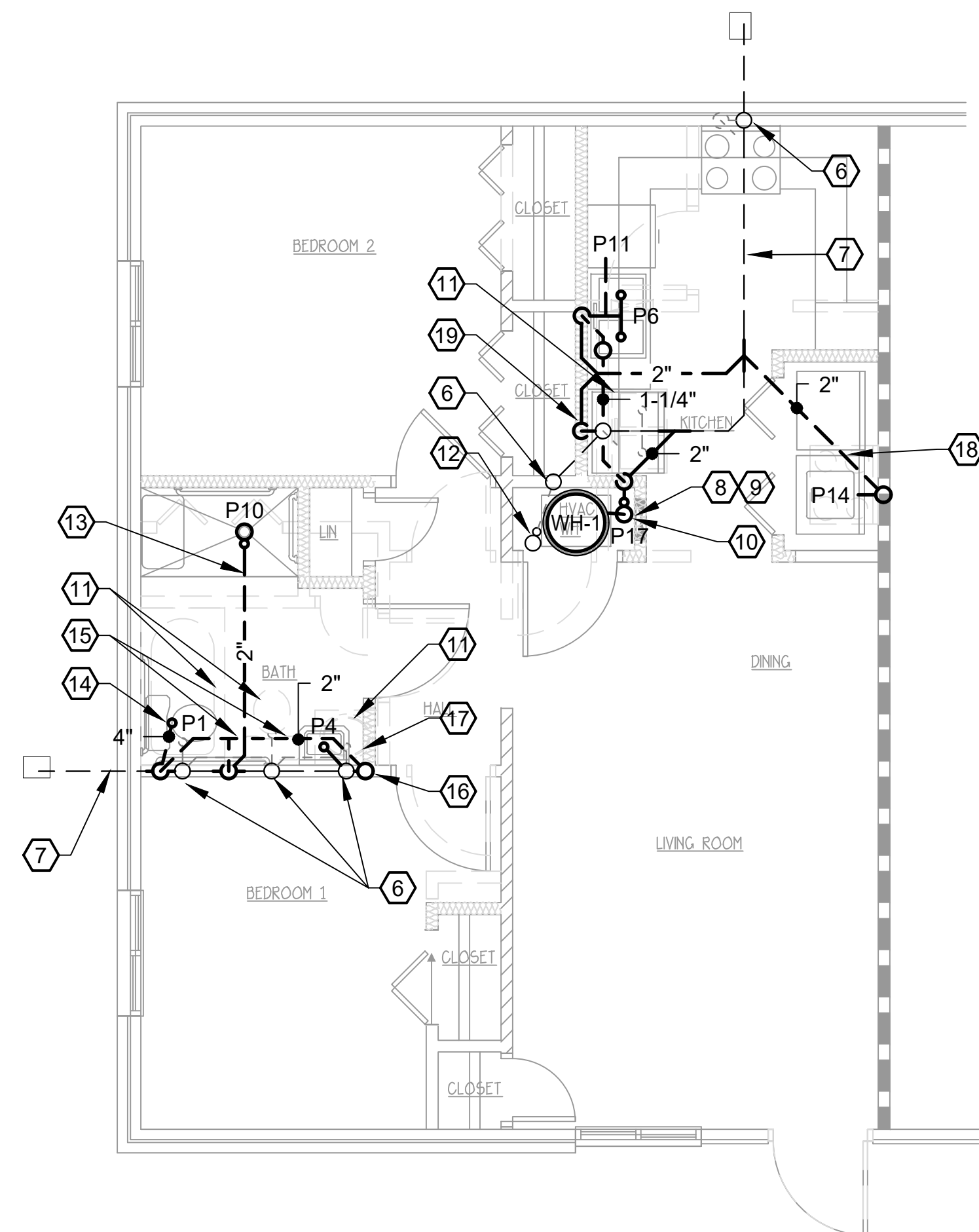
UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION AND/OR PORING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

NOTES:

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW AND EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
2. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
4. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT PIPING IN EXISTING RATED CHASE/WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WATER SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING PIPING.
5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
6. EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.
7. EXISTING BUILDING DRAIN TO REMAIN.
8. ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR/HUB DRAIN.
9. ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
10. INSTALL NEW FLOOR DRAIN. ROUTE NEW 2" WASTE BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
11. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING. CAP ALL PLUMBING PIPING AND PATCH WALL/FLOOR AS REQUIRED.
12. REMOVE EXISTING WASTE AND VENT PIPING WITHIN WALL AND BELOW FLOOR SLAB. CAP OFF CONNECTIONS TO EXISTING TO REMAIN AS REQUIRED.
13. INSTALL NEW SHOWER IN 1/2" RECESSED BEDDING/OPENING CREATED BY NEW CERAMIC TILE INSTALLATION (REFER TO ARCHITECTURAL DRAWINGS). ROUTE NEW 2" WASTE TO BELOW FLOOR SLAB TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
14. ROUTE NEW 4" WASTE TO BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
15. INSTALL NEW VENT, ROUTE TO ABOVE NEW FURRED DOWN CEILING AND CONNECT TO NEW 2" VENT STACK.
16. INSTALL NEW 2" VENT STACK TO ABOVE. ROUTE THROUGH WALL IN APARTMENT ABOVE AND TIE INTO EXISTING VENT SYSTEM IN ATTIC.
17. CONNECT NEW LAVATORY/SINK TO EXISTING NEARBY WASTE/VENT PIPING. REWORK/REROUTE AS REQUIRED TO CONNECT TO EXISTING PIPING.
18. ROUTE NEW 2" WASTE FROM NEW WASHING MACHINE OUTLET BOX TO BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
19. REROUTE EXISTING WASTE PIPING FROM ABOVE, ABOVE NEW FURRED DOWN CEILING TO NEW WALL AND RECONNECT TO EXISTING WASTE BELOW FLOOR SLAB AS REQUIRED.



1 ONE BEDROOM ACCESSIBLE - WASTE & VENT
SCALE: 1/4"=1'-0"



2 TWO BEDROOM ACCESSIBLE - WASTE & VENT
SCALE: 1/4"=1'-0"

- WALL LEGEND**
- EXISTING 1 HR RATED
 - EXISTING INT. PARTITION TO REMAIN
 - - - PARTITION TO BE DEMO'D
 - /// ASSUMED EXISTING LOAD BEARING WALL
 - ▨ NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

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| CAD FILE: | | | | |
| DRWN. BY: SA | CHKD. BY: JH | APPR. BY: JH | DATE: 6-30-16 | REVISIONS |
| 0 | | | | 6/30/16 - INITIAL ISSUE |
| WHITE RIVER APARTMENTS | DIAZ, ARKANSAS | ONE & TWO BR ACC UNIT PLNS - WASTE & VENT | ALLAN ASSOCIATES ARCHITECTS, PLLC | |
| 2900 MARION DRIVE | | | KNOXVILLE, TENNESSEE 37912 | |
| 5616 WALLWOOD ROAD | 865 / 689-1302 | | | |
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| SHEET NUMBER | | | | |
| P1.2A | | | | |

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WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

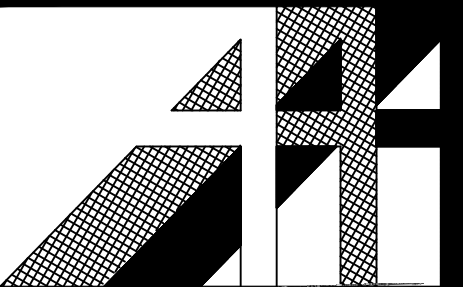
ONE & TWO BR ACC UNIT PLANS - SERVICES

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

P1.2B

DEMOLITION NOTES:

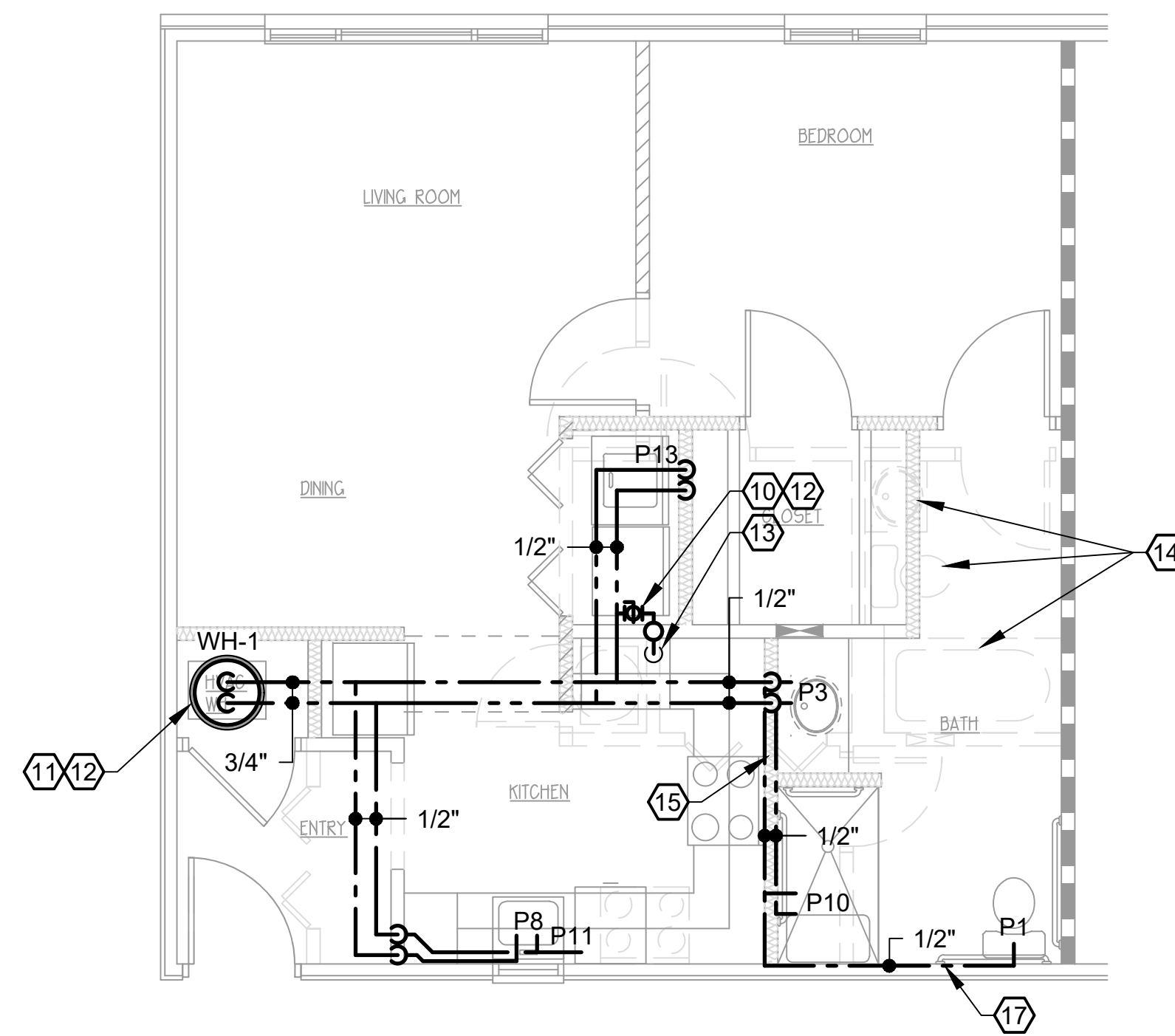
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2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.
3. REMOVE EXISTING CW/HW PIPING UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.

NOTES:

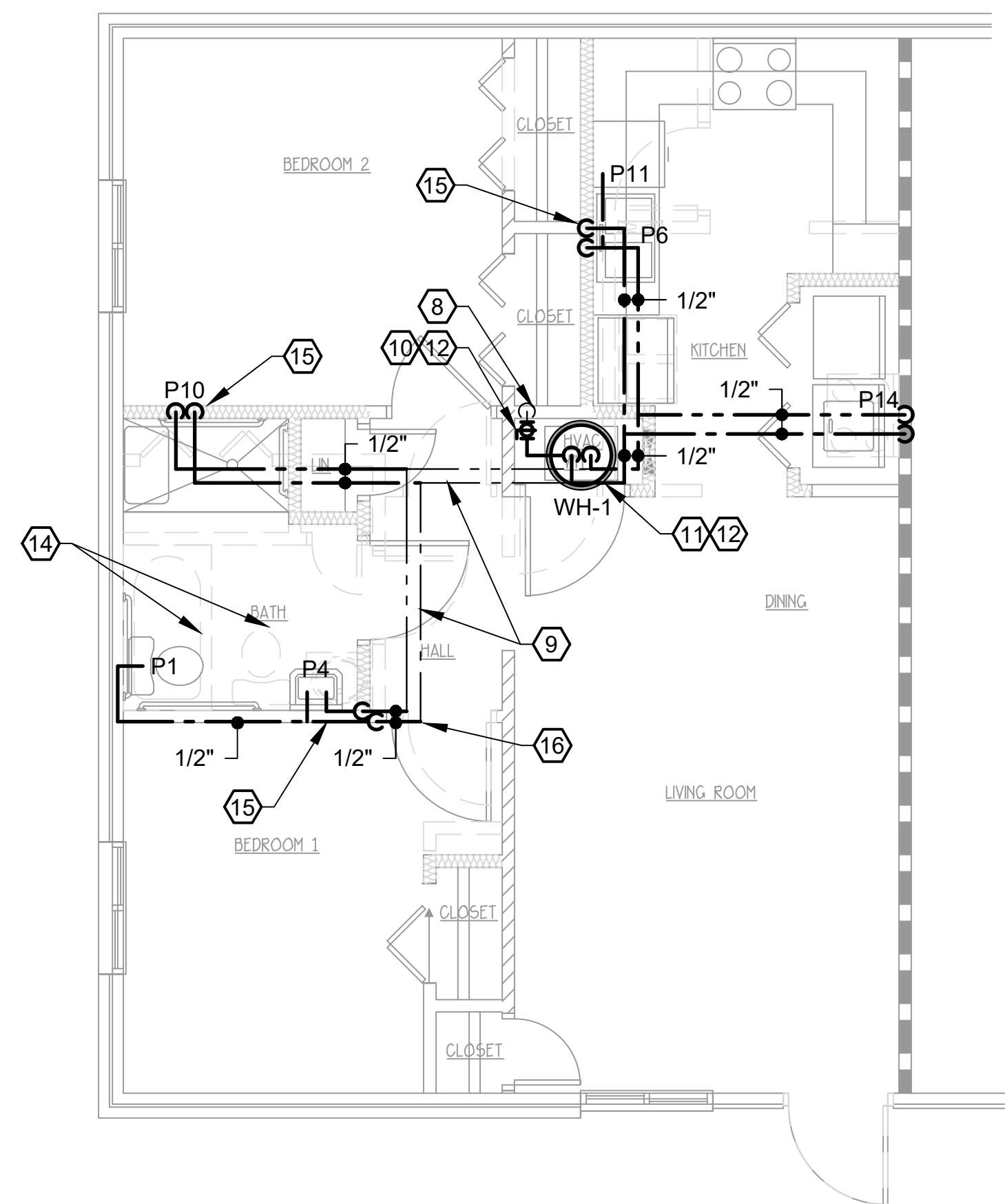
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- Ⓧ REROUTE EXISTING COLD WATER RISER FROM BELOW FLOOR SLAB TO NEW WALL. NEW RISER TO CONTINUE TO APARTMENT ABOVE.
- Ⓨ REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING.
- Ⓩ ROUTE NEW INSULATED CW/HW PIPING WITHIN NEW/EXISTING WALL TO NEW FIXTURE LOCATIONS.
- Ⓨ TIE NEW INSULATED CW/HW PIPING INTO EXISTING PIPING.
- Ⓩ ROUTE NEW INSULATED CW PIPING WITHIN EXISTING WALL. INSTALL INSULATION BETWEEN NEW PIPING AND EXTERIOR WALL EXPOSURE.

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1 ONE BEDROOM ACCESSIBLE - SERVICES
SCALE: 1/4"=1'-0"



2 TWO BEDROOM ACCESSIBLE - SERVICES
SCALE: 1/4"=1'-0"

WALL LEGEND

| | |
|--|------------------------------------|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
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| | ASSUMED EXISTING LOAD BEARING WALL |
| | NEW PARTITION 2x4 STUDS |
| | 16" O.C. W/5/8" SHEETROCK |

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WHITE RIVER APARTMENTS
2900 MARION DRIVE
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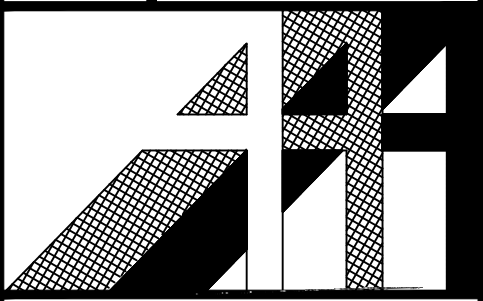
THREE & FOUR BR ACC UNIT PLNS - WASTE & VENT

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

P1.3A

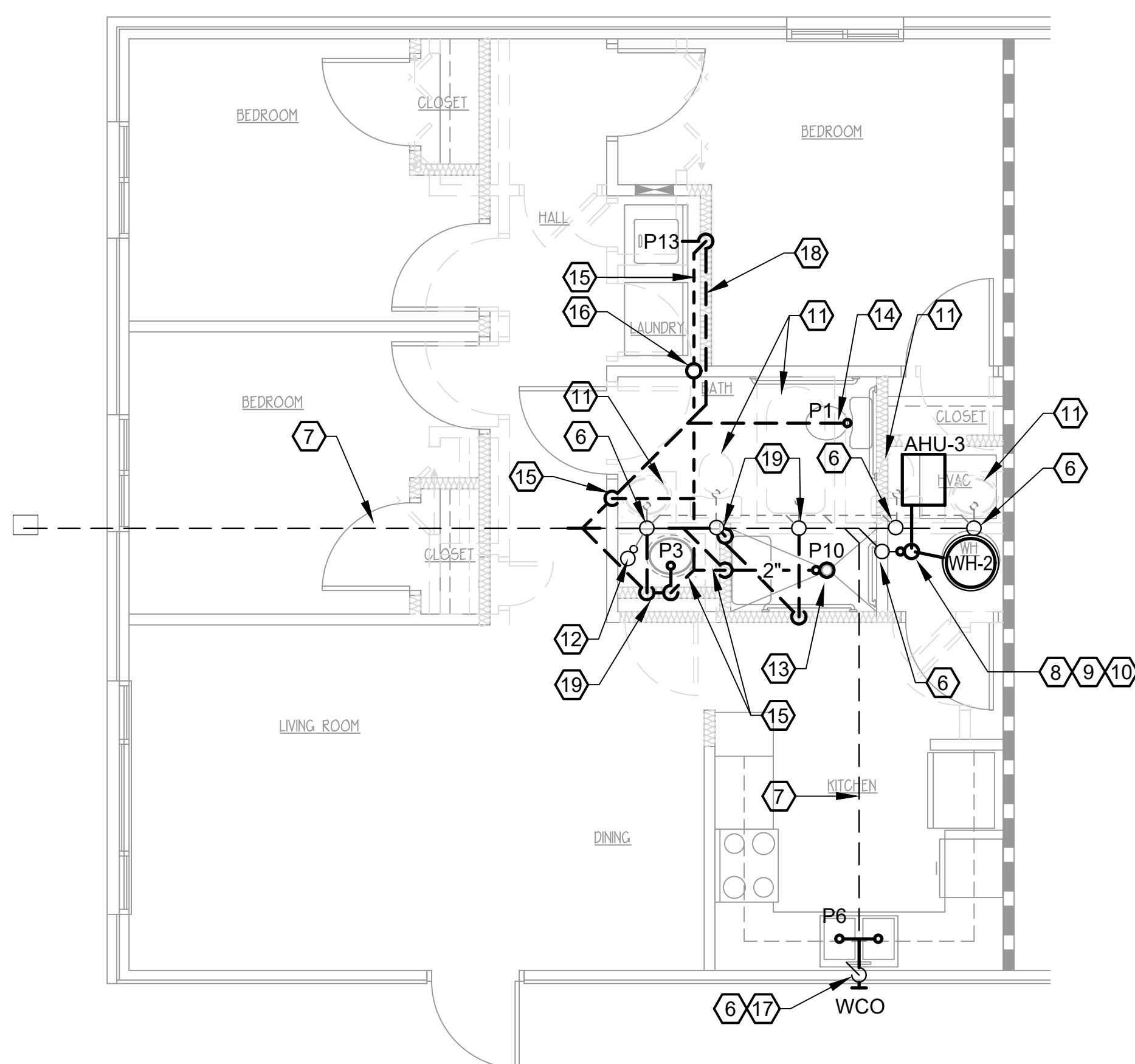
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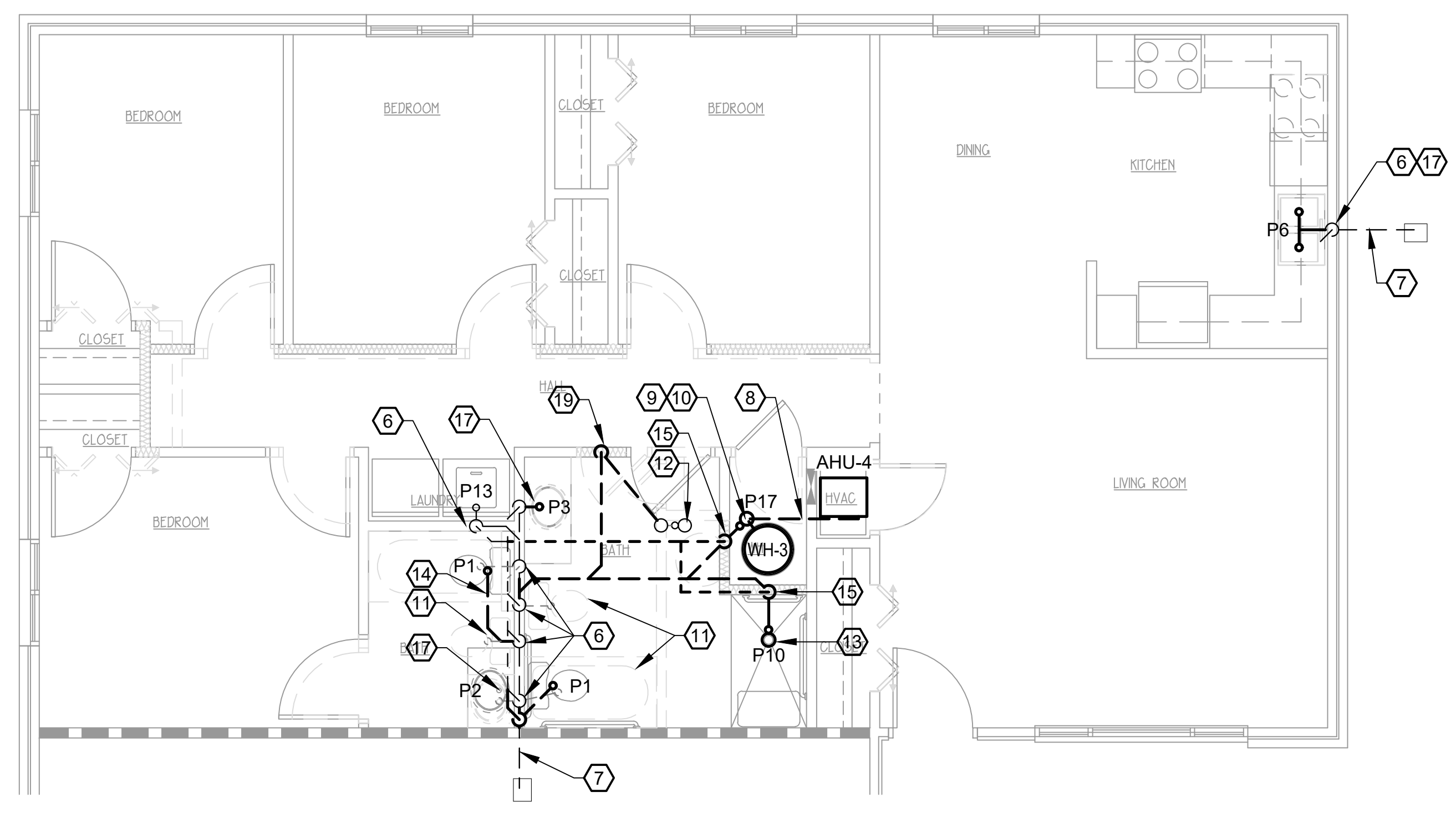
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- 15 INSTALL NEW VENT, ROUTE TO ABOVE NEW FURRED DOWN CEILING AND CONNECT TO NEW 2" VENT STACK OR EXISTING VENT SYSTEM.
- 16 INSTALL NEW 2" VENT STACK TO ABOVE. ROUTE THROUGH WALL IN APARTMENT ABOVE AND TIE INTO EXISTING VENT SYSTEM IN ATTIC.
- 17 CONNECT NEW LAVATORY/SINK TO EXISTING NEARBY WASTE/VENT PIPING. REWORK/REROUTE AS REQUIRED TO CONNECT TO EXISTING PIPING.
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1 THREE BEDROOM ACCESSIBLE - WASTE & VENT
SCALE: 1/4"=1'-0"



2 FOUR BEDROOM ACCESSIBLE - WASTE & VENT
SCALE: 1/4"=1'-0"

WALL LEGEND

| | |
|--|--|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
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| | NEW PARTITION 2x4 STUDS ● 16" O.C. W/5/8" SHEETROCK |

DEMOLITION NOTES:

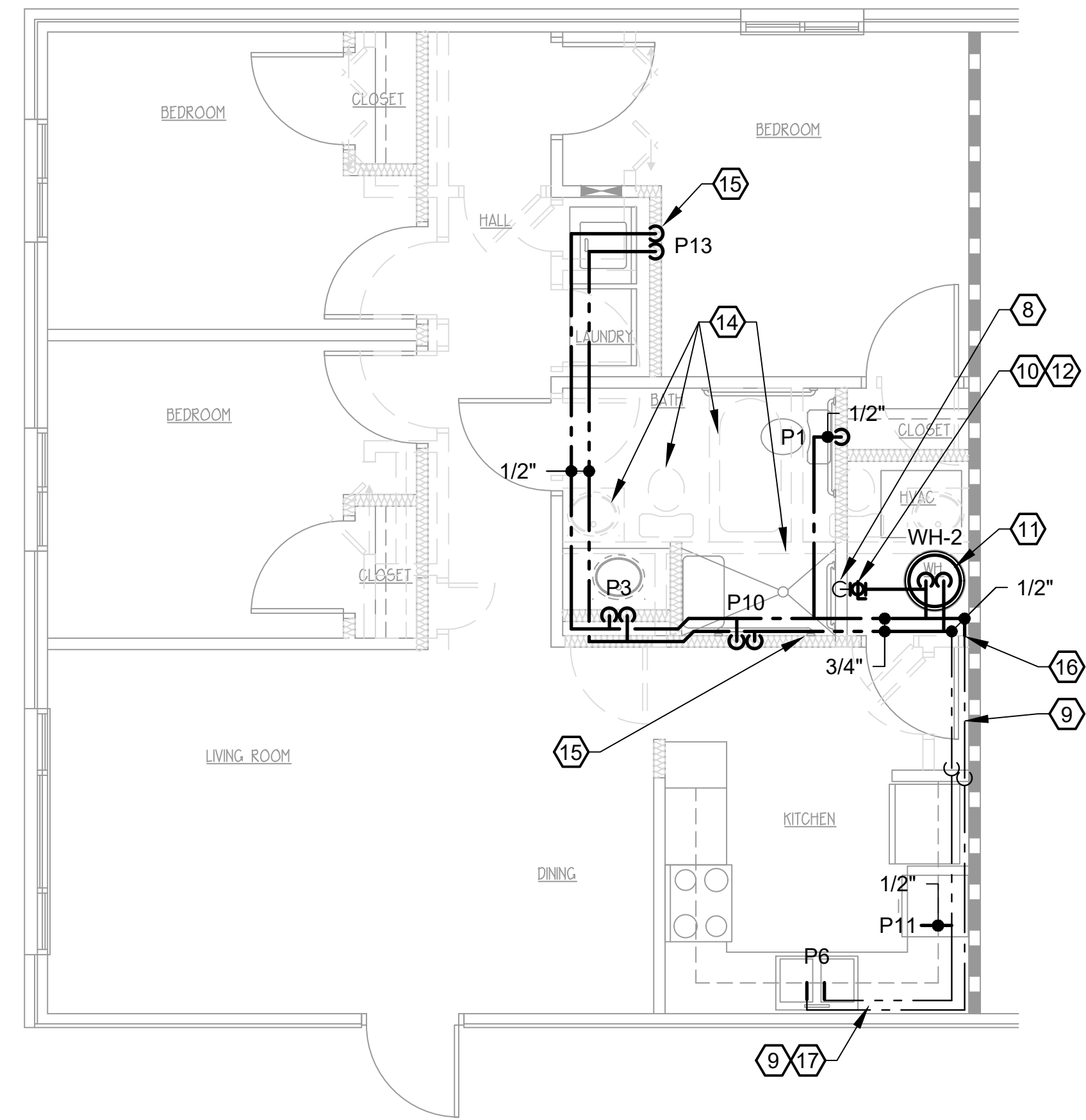
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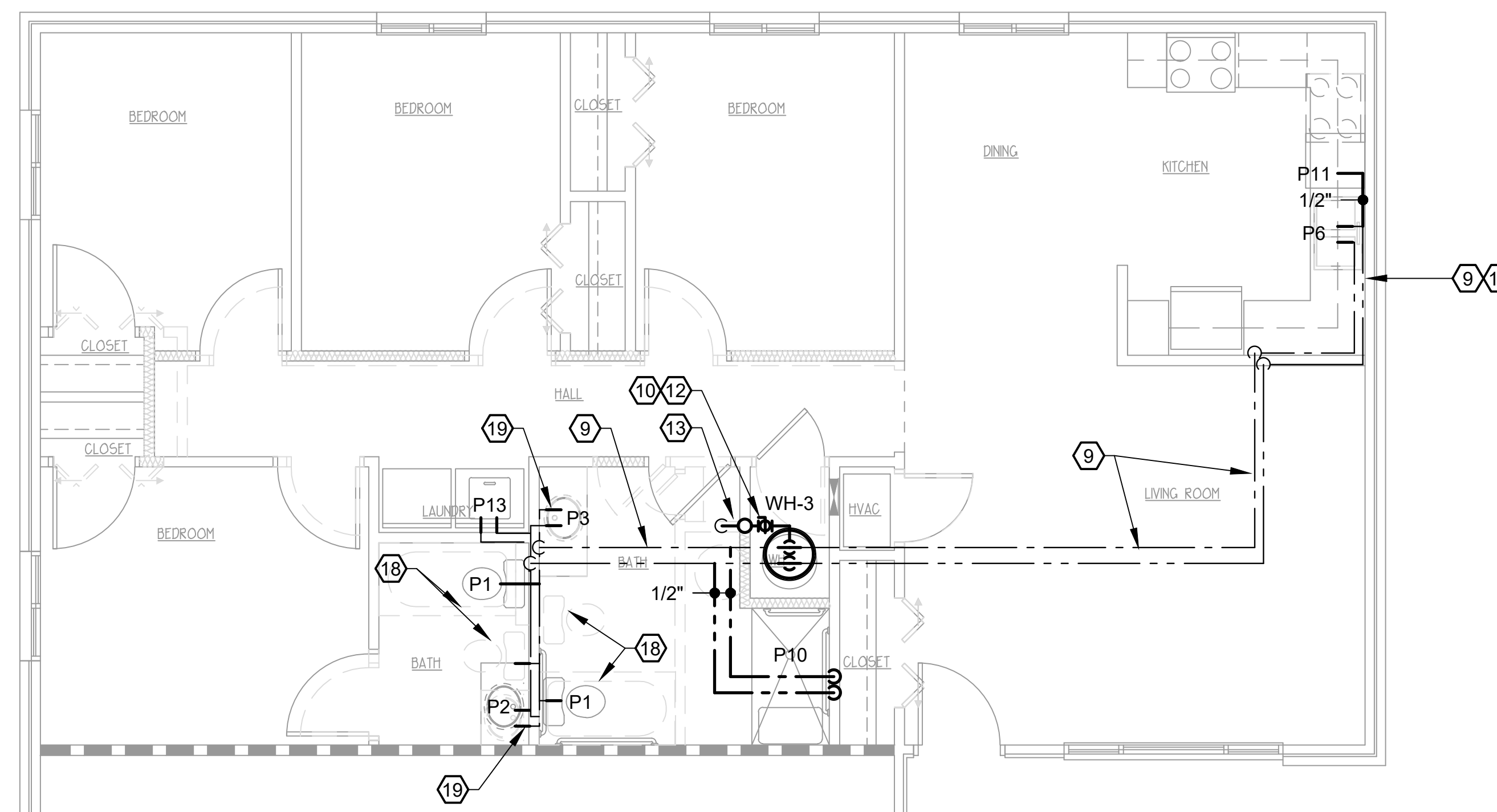
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 (10) INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN MECHANICAL CLOSET.

- (11) INSTALL NEW WATER HEATER. CONNECT TO NEW/EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
- (12) COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.
- (13) REROUTE EXISTING COLD WATER RISER FROM BELOW FLOOR SLAB TO NEW WALL. NEW RISER TO CONTINUE TO APARTMENT ABOVE.
- (14) REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING.
- (15) ROUTE NEW INSULATED CW/HW PIPING WITHIN NEW/EXISTING WALL TO NEW FIXTURE LOCATIONS.
- (16) TIE NEW INSULATED CW/HW PIPING INTO EXISTING PIPING.
- (17) INSULATED CW/HW PIPING WITHIN EXISTING WALL. INSTALL INSULATION BETWEEN NEW PIPING AND EXTERIOR WALL EXPOSURE.
- (18) REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING. CAP OFF PLUMBING PIPING WITHIN WALL. PATCH WALL TO MATCH ADJACENT.
- (19) REMOVE EXISTING PLUMBING FIXTURE & REROUTE ASSOCIATED PIPING TO NEW NEARBY FIXTURE. PATCH WALL TO MATCH ADJACENT.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.



1 THREE BEDROOM ACCESSIBLE - SERVICES
SCALE: 1/4"=1'-0"



2 FOUR BEDROOM ACCESSIBLE - SERVICES
SCALE: 1/4"=1'-0"

WALL LEGEND

| | |
|--|------------------------------------|
| | EXISTING 1 HR RATED |
| | EXISTING INT. PARTITION TO REMAIN |
| | PARTITION TO BE DEMO'D |
| | ASSUMED EXISTING LOAD BEARING WALL |
| | NEW PARTITION 2x4 STUDS |
| | 16" O.C. W/5/8" SHEETROCK |

CAD FILE:

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| DRWN. BY: SA | SA |
| CHKD. BY: JH | JH |
| APPR. BY: JH | JH |
| DATE: 6-30-16 | |
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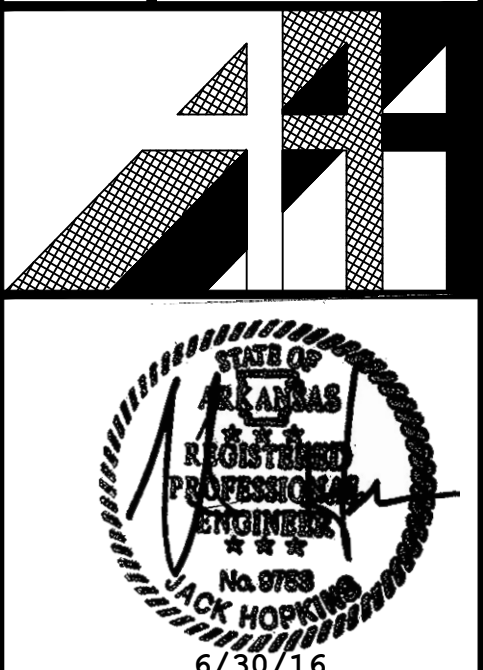
WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

THREE & FOUR BR ACC UNIT PLANS - SERVICES

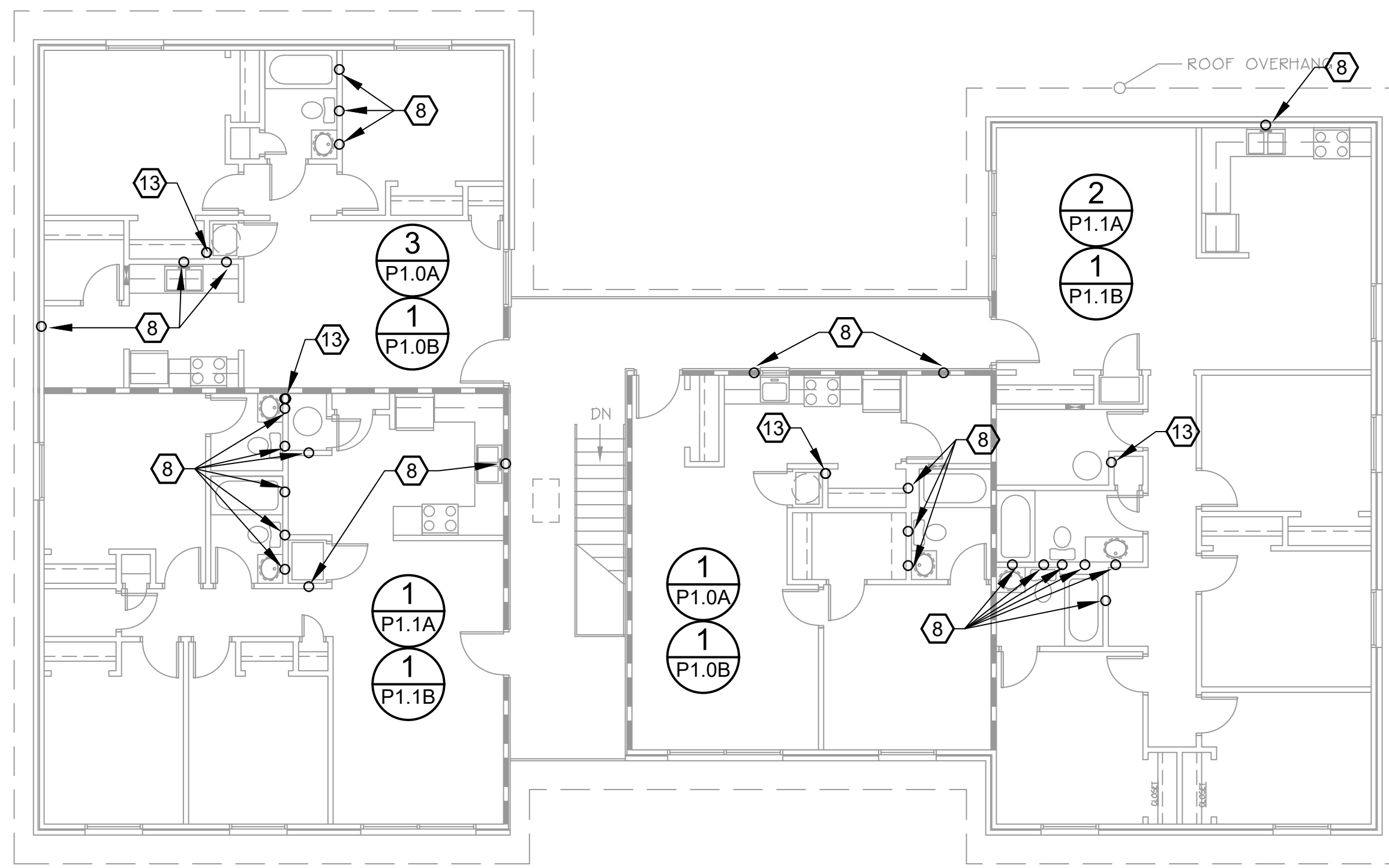
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865 / 689-1302

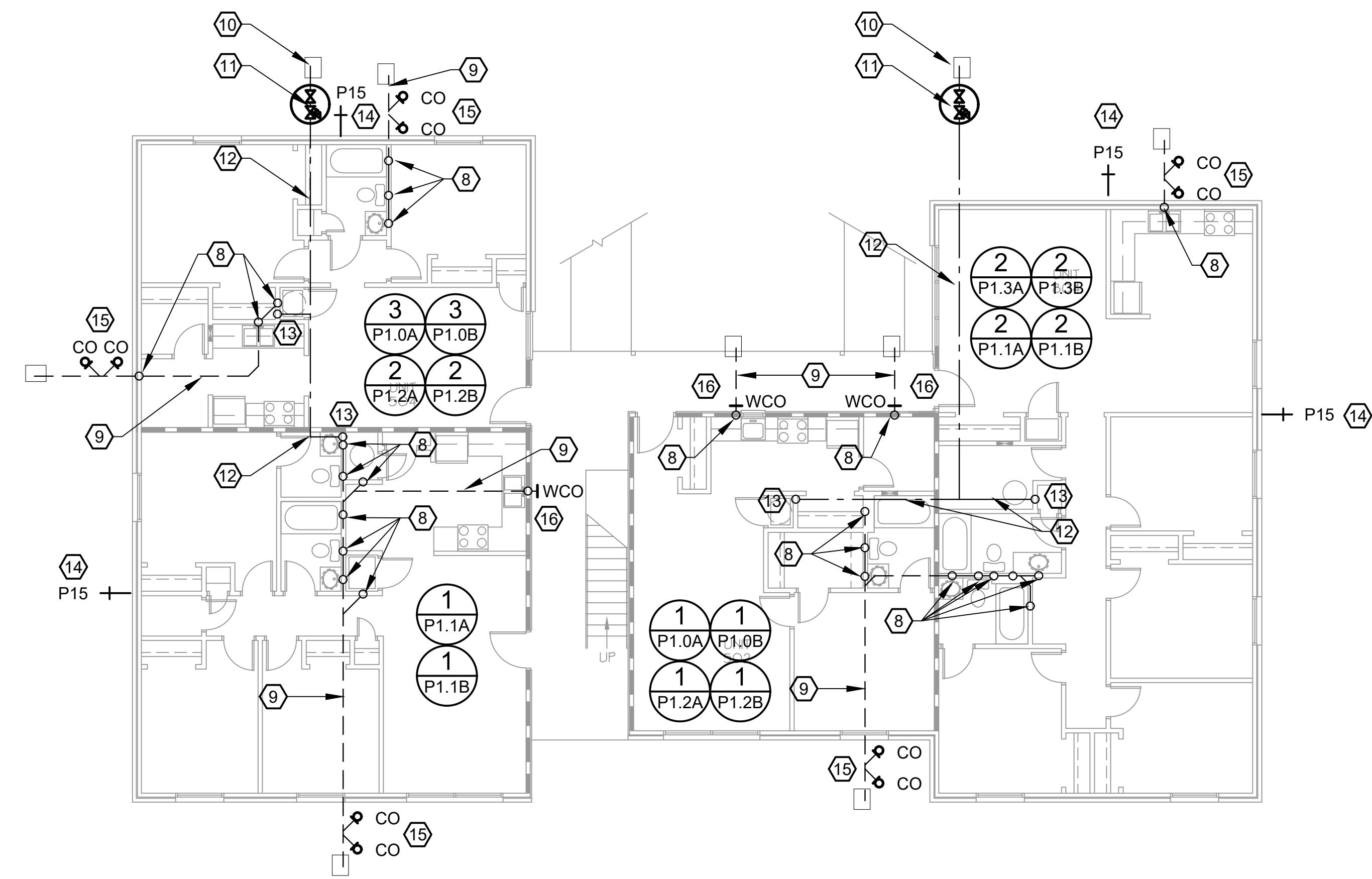
5516 WALLWOOD ROAD



SHEET NUMBER
P1.3B



2 BLDGS 2,3,5,8
SECOND FLOOR PLAN - PLUMBING
SCALE: 1/8"=1'-0"



1 BLDGS 2,3,5,8
FIRST FLOOR PLAN - PLUMBING
SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL ABANDONED PIPING, DISPOSAL BY CONTRACTOR.
3. REFER TO SHEET SP1.0 FOR EXISTING PLUMBING PIPING TO BE REPLACED AND/OR REPAIRED BASED ON RECOMMENDATIONS OF ENVIRONMENTAL DRAIN & PLUMBING EVALUATION PERFORMED BY OTHERS.

NOTES:

1. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING IN EXISTING WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WASTE/VENT/SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING.
 2. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
 3. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
 4. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH EXPOSED RATED ASSEMBLIES (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
 5. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. NO EXISTING BUILDING WATER SERVICE SHUT OFFS OR VALVE BOXES WERE OBSERVED, THEREFORE ALL WATER SERVICE PIPING LOCATION IS ESTIMATED BASED ON ASSUMED ROUTING OF WATER PIPE FROM EXISTING WATER METERS AND INPUT FROM PROPERTY MAINTENANCE STAFF. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
 6. ALL EXISTING SANITARY WASTE STACKS AND BUILDING DRAINS ARE TO BE CLEANED BY HYDROJET TO REMOVE GREASE, SCALE AND OTHER DEBRIS.
 7. ENSURE ALL EXPOSED WATER SERVICE PIPING (EXISTING AND NEW) IS INSULATED PER PIPING INSULATION SCHEDULE ON SHEET P4.2.
- 8 EXISTING SANITARY WASTE/ VENT STACK TO REMAIN UNLESS NOTED OTHERWISE.
- 9 EXISTING BUILDING DRAIN TO REMAIN UNLESS NOTED OTHERWISE.
- 10 EXISTING COLD WATER SUPPLY TO BUILDING TO REMAIN UNLESS NOTED OTHERWISE.
- 11 INSTALL NEW BUILDING SHUT OFF VALVE AND PRESSURE REDUCING VALVE IN NEW VALVE BOX. LOCATION SHOWN IS SHOWN ONLY TO INDICATE EACH BUILDING IS TO RECEIVE A NEW SHUT OFF VALVE AND PRV. REFER TO SHEET SP1.0 FOR PROBABLE LOCATIONS.
- 12 EXISTING WATER SERVICE BELOW SLAB TO REMAIN UNLESS NOTED OTHERWISE.
- 13 EXISTING WATER SERVICE RISERS TO REMAIN UNLESS NOTED OTHERWISE.
- 14 REPLACE ALL EXISTING HOSE BIBS. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING HOSE BIB LOCATIONS AND THOSE WHERE IT APPEARED THEY HAD BEEN REMOVED AND/OR CAPPED OFF IN THE PAST. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
- 15 INSTALL NEW TWO-WAY EXTERIOR CLEAN OUT DOWNSTREAM OF BUILDING DRAIN LINE EXITING BUILDING OR NEW CLEAN OUT AT END OF BUILDING DRAIN LINE. LOCATIONS SHOWN ARE BASED ON FIELD OBSERVATION OF EXISTING CLEAN OUTS AT SOME BUILDINGS (LOCATIONS DIFFER FOR EACH BUILDING, REFER TO SHEET SP1.0 FOR EACH BUILDING'S OBSERVED CLEAN OUTS). IT COULD NOT BE DETERMINED WHETHER THE EXISTING CLEAN OUTS WERE IN-LINE OR END OF LINE CLEAN OUTS. CONTRACTOR IS TO FIELD VERIFY PRIOR TO BEGINNING WORK. INSTALL CLEAN OUTS IN SAME LOCATION AS EXISTING.
- 16 INSTALL NEW EXTERIOR WALL CLEAN OUT. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING CLEAN OUTS. CONTRACTOR IS TO FIELD VERIFY PRIOR TO BEGINNING WORK.

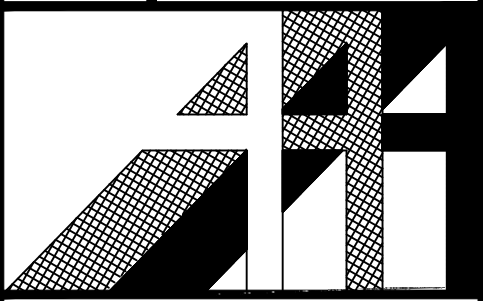
CAD FILE:

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| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | 0 |
| | 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

BLDG'S '2','3','5','8' PLANS - PLUMBING

ALLAN ASSOCIATES ARCHITECTS, PLLC



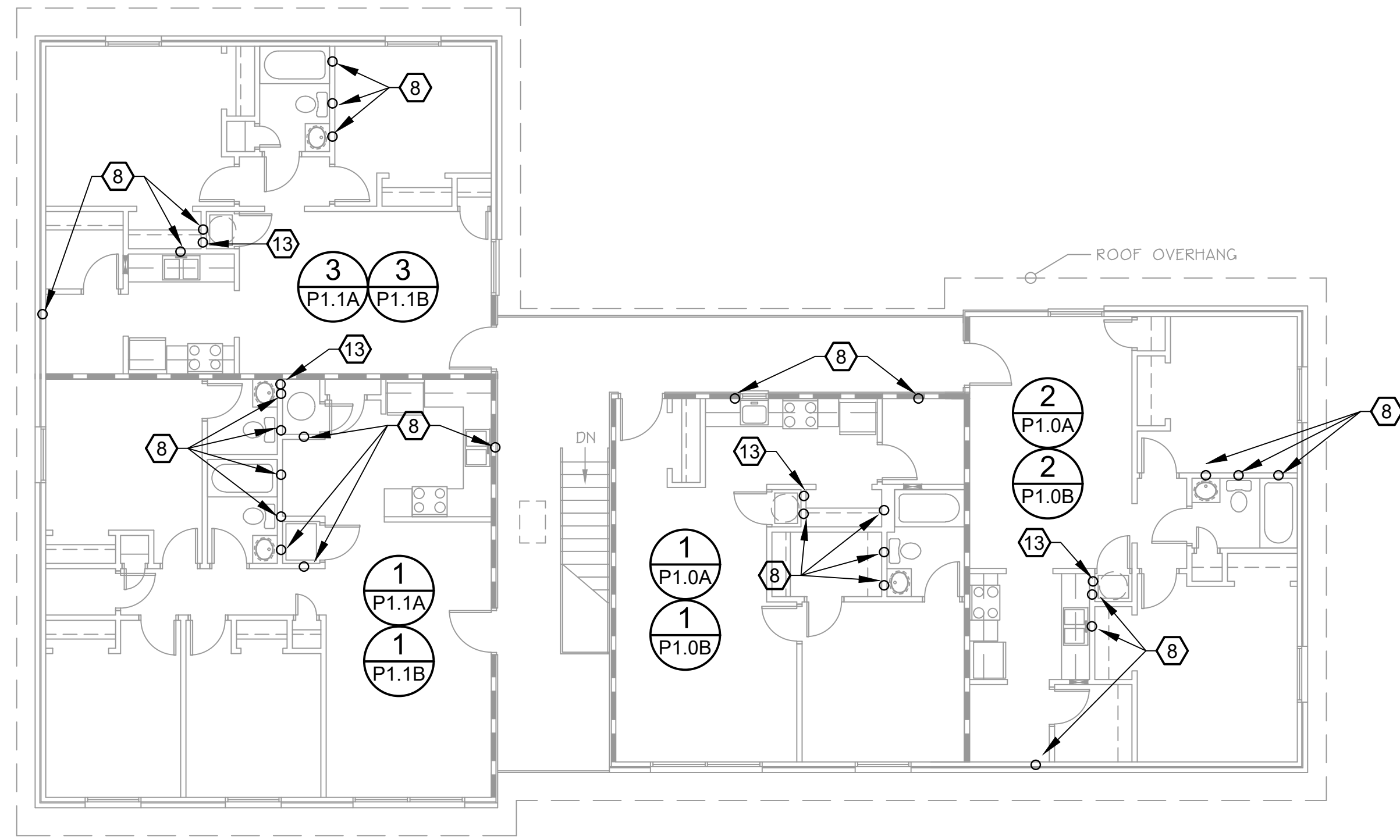
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P2.0

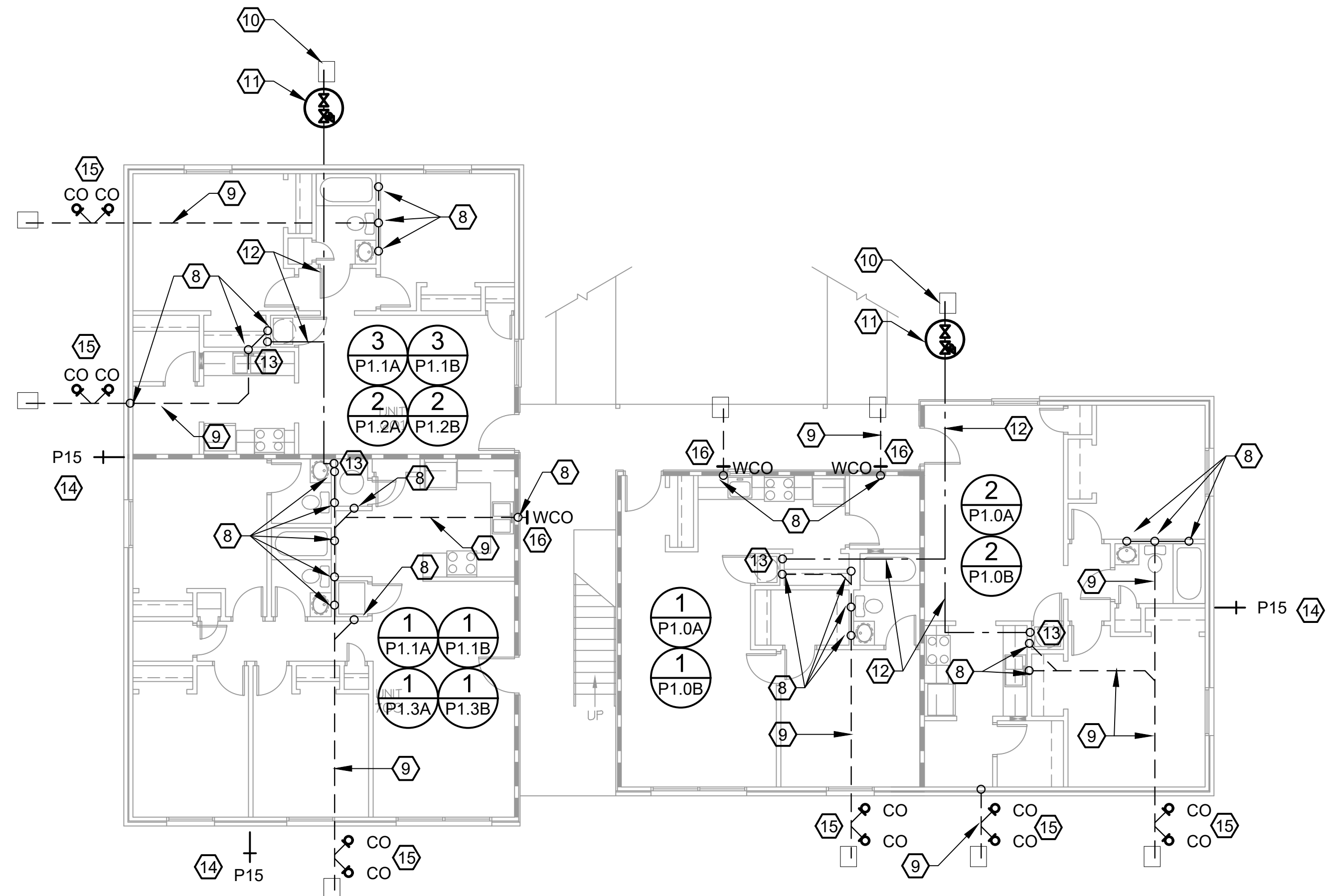
KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



2 BLDGS 1,4,6,7
SECOND FLOOR PLAN - PLUMBING
SCALE: 1/8"=1'-0"



1 BLDGS 1,4,6,7
FIRST FLOOR PLAN - PLUMBING
SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.
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3. REFER TO SHEET SP1.0 FOR EXISTING PLUMBING PIPING TO BE REPLACED AND/OR REPAIRED BASED ON RECOMMENDATIONS OF ENVIRONMENTAL DRAIN & PLUMBING EVALUATION PERFORMED BY OTHERS.

NOTES:

1. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING IN EXISTING WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WASTE/VENT/SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING.
 2. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
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| DRWN. BY: | SA |
| CHKD. BY: | JH |
| APPR. BY: | JH |
| DATE: | 6-30-16 |
| REVISIONS | 0 6/30/16 - INITIAL ISSUE |

WHITE RIVER APARTMENTS BLDGS '1','4','6','7' PLANS - PLUMBING
2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC



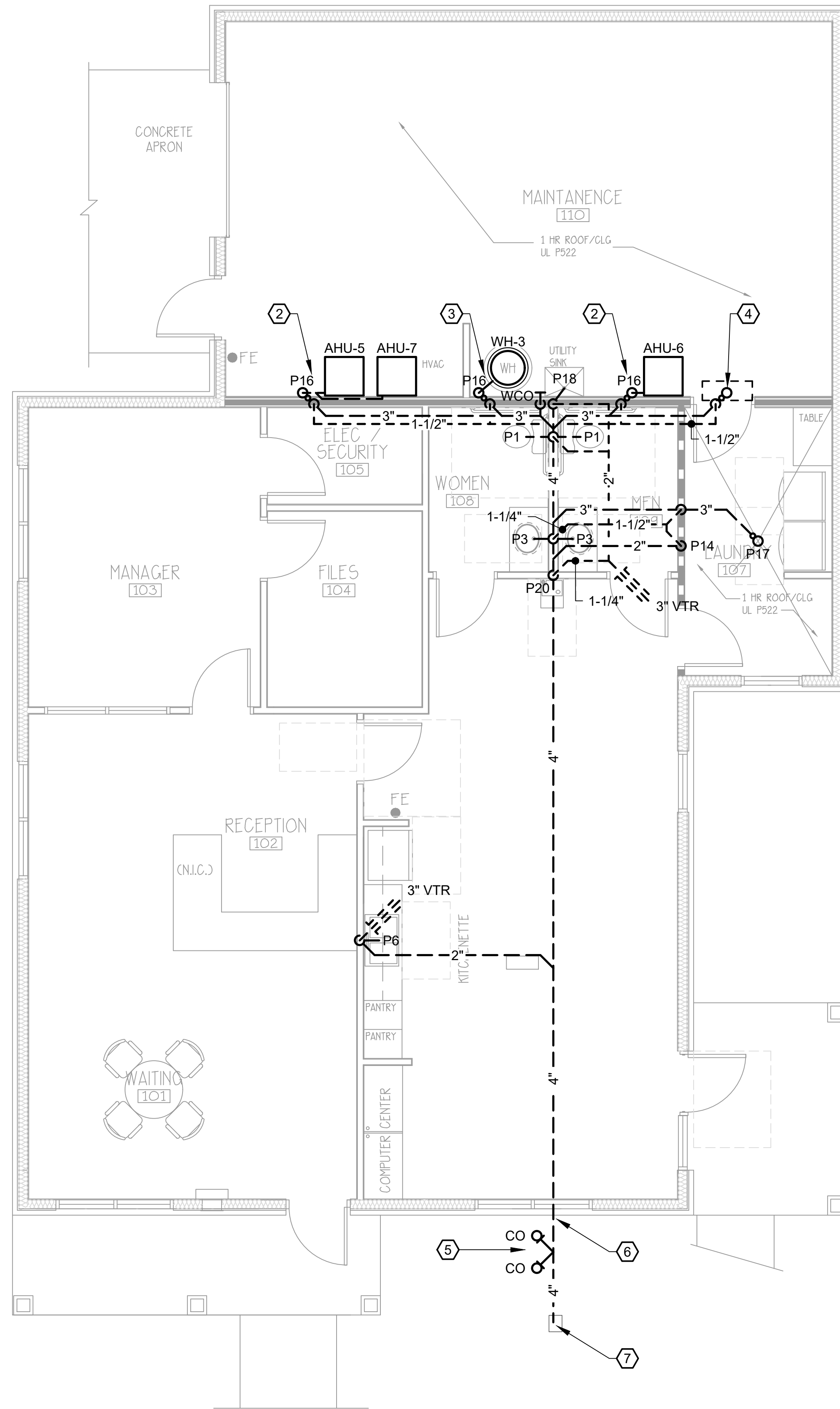
SHEET NUMBER

P2.1

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



1 COMMUNITY/OFFICE FLOOR PLAN - WASTE & VENT
SCALE: 1/4" = 1'-0"

WALL LEGEND

INDICATES 1 HR RATED WALL.
UL# U305

TYPICAL INTERIOR PARTITION:
2x4 WD. STUDS • 16' O.C. W/
5/8" GYP. BD. EA. SIDE. PROVIDE
AND INSTALL 3" SOUND BATT W/IN
ALL STUD CAVITIES

INDICATES 1 HR RATED WALL.
UL# U305 W/ PLYWD. ONE SIDE
SEE STRUCT. DWG'S.

DEMOLITION NOTES:

1. REMOVE ALL EXISTING SANITARY SEWER/BUILDING DRAIN, IF PRESENT, THAT SERVED DEMOLISHED OUT BUILDINGS. DISPOSAL BY CONTRACTOR.

NOTES:

- 1 NEW BUILDING DRAIN (ASSUMED LOCATION, FIELD VERIFY) TO REMAIN.
- 2 ROUTE AIR HANDLING UNIT 1" CONDENSATE LINE TO NEW HUB DRAIN INDIRECT (MAINTAIN 2-DIAMETER AIR GAP).
- 3 ROUTE WATER HEATER OVERFLOW INDIRECT (MAINTAIN 2-DIAMETER AIR GAP) TO WATER HEATER DRAIN PAN. ROUTE DRAIN FROM DRAIN PAN INDIRECT (MAINTAIN 2-DIAMETER AIR GAP) TO NEW HUB DRAIN.
- 4 ROUTE DRAIN FROM BACKFLOW PREVENTOR INDIRECT (MAIN 2-DIAMETER AIR GAP) TO NEW HUB DRAIN.
- 5 INSTALL NEW TWO-WAY EXTERIOR CLEAN OUT 5'-0" DOWNSTREAM OF BUILDING DRAIN LINE EXITING BUILDING. REFER TO DETAIL X ON SHEET P5.X.
- 6 INVERT ELEV. APPROX. 36" B.F.F. - COORDINATE WITH FOOTING DEPTH & EXISTING SITE SANITARY SEWER LINE. MAINTAIN A MINIMUM OF 12" BELOW BOTTOM OF FOOTING.
- 7 REFER TO SHEET SP1.0 FOR CONTINUATION.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION OR PORING THE SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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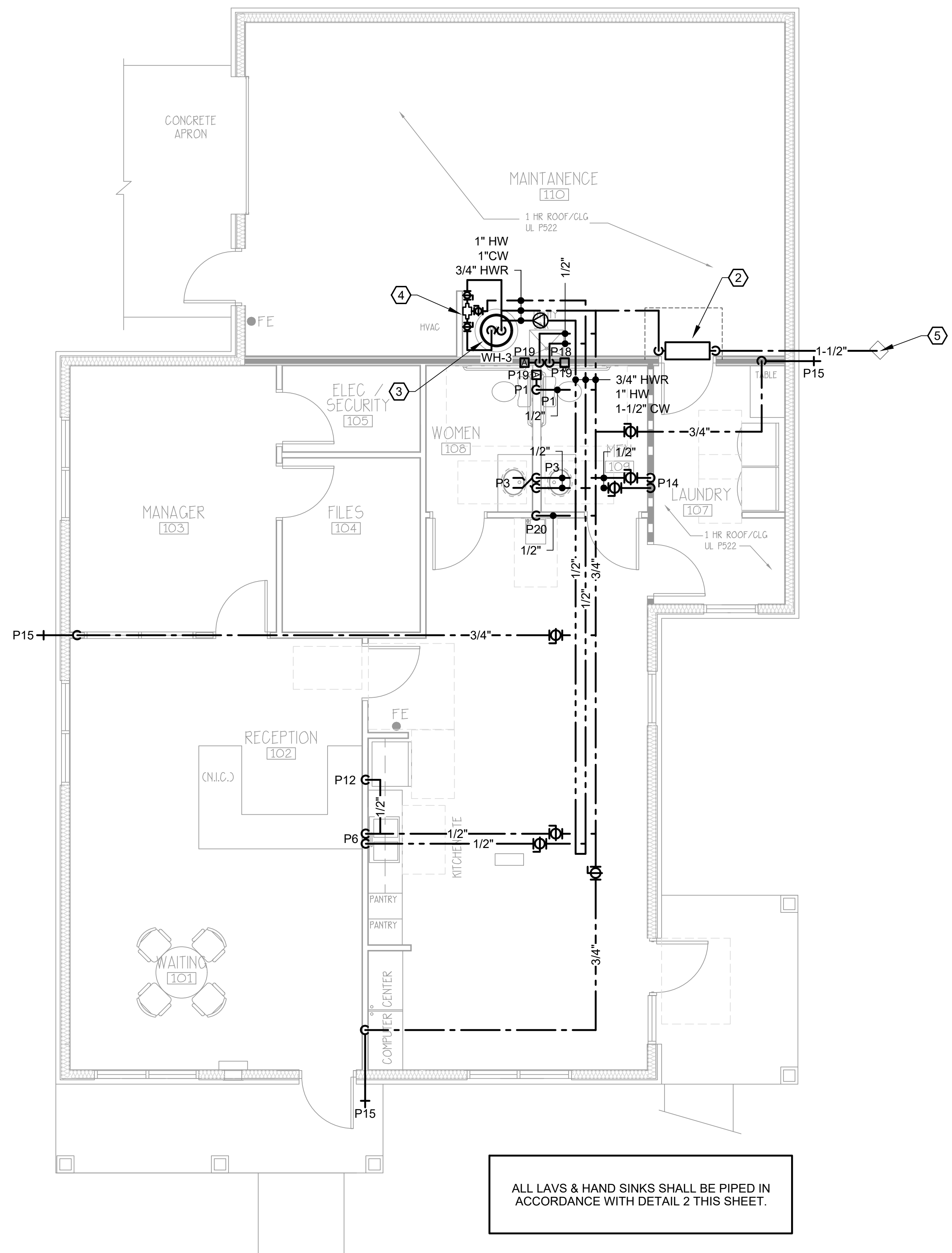
WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

OFFICE FLOOR PLAN - WASTE & VENT
ALLAN ASSOCIATES ARCHITECTS, PLLC

5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912
865 / 689-1302



SHEET NUMBER
P3.0A



ALL LAVS & HAND SINKS SHALL BE PIPED IN ACCORDANCE WITH DETAIL 2 THIS SHEET.

1 COMMUNITY/OFFICE FLOOR PLAN - SERVICES
SCALE: 1/4" = 1'-0"

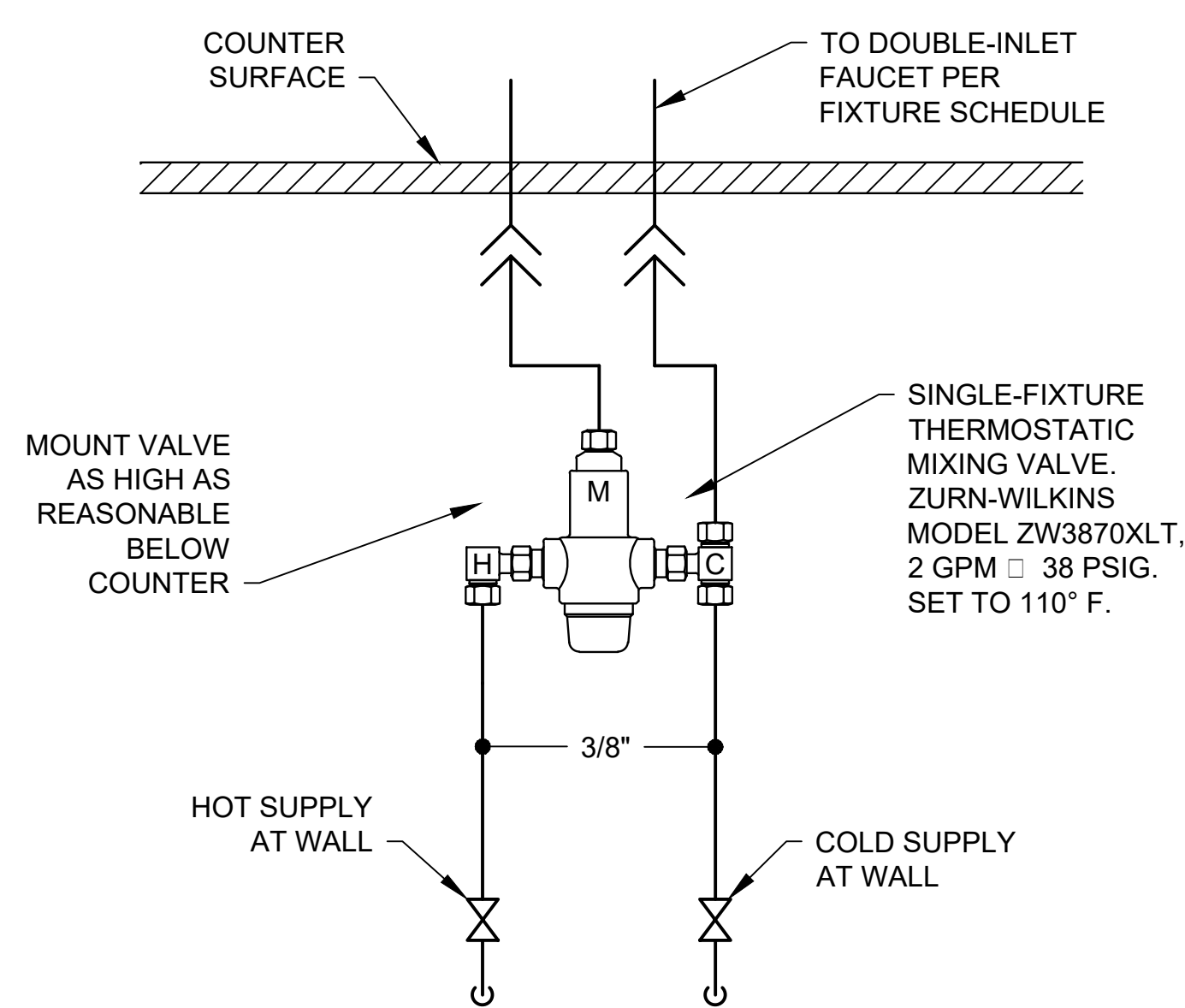
DEMOLITION NOTES:

- REMOVE ALL EXISTING WATER SERVICE PIPING, IF PRESENT, THAT SERVED DEMOLISHED OUT BUILDINGS. DISPOSAL BY CONTRACTOR.

NOTES:

- WATER PIPING ROUTED WITHIN ATTIC SPACE SHALL BE INSTALLED & INSULATED AS SCHEDULED ON SHEET P5.2. INSTALL ATTIC INSULATION AS SHOWN IN DETAIL 2 THIS SHEET. CONTRACTOR IS TO PRESSURE TEST PIPING PRIOR TO INSTALLING INSULATION.
- WATER SERVICE ENTRANCE. 1-1/2" SERVICE TO BUILDING, SIZE METER FOR 20 GPM. REFER TO DETAIL X ON SHEET P5.X.
- NEW ELECTRIC WATER HEATER. REFER TO DETAIL X ON SHEET P5.X.
- 140° TO 115° MIXING VALVE.
- 1-1/2" DOMESTIC WATER. CONTRACTOR TO FIELD VERIFY LOCATION OF SITE WATER PIPING FROM UTILITY AND TIE INTO.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.



NOTES:

- TO BE INSTALLED AT ALL FIXTURES REQUIRING TEMPERED WATER IN ACCORDANCE WITH IPC 2012 SECTIONS 4 & 6.

2 PIPING AT DOUBLE-INLET FAUCET
NOT TO SCALE

WALL LEGEND

- INDICATES 1 HR RATED WALL. UL# U305
- TYPICAL INTERIOR PARTITION: 2x4 WD. STUDS • 16' O.C. W/ 5/8" GYP. BD. EA. SIDE. PROVIDE AND INSTALL 3" SOUND BATT W/IN ALL STUD CAVITIES
- INDICATES 1 HR RATED WALL. UL# U305 W/ PLYWD. ONE SIDE SEE STRUCT. DWG'S.

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WHITE RIVER APARTMENTS
2900 MARION DRIVE
DIAZ, ARKANSAS

OFFICE FLOOR PLAN - SERVICES

ALLAN ASSOCIATES ARCHITECTS, PLLC
KNOXVILLE, TENNESSEE 37912
865 / 689-1302
5516 WALLWOOD ROAD



PLUMBING FIXTURE SCHEDULE

P1 - WATER CLOSET, FLOOR-MOUNT, FLUSH TANK, STANDARD & ADA
1/2" CW, 4" WASTE

- FIXTURE: AMERICAN STANDARD CADET 3 FLOWISE, RIGHT HEIGHT, VITREOUS CHINA, WHITE, ELONGATED, 1.28 GPF, 16-1/2" RIM, ADA COMPLIANT
- TRAPWAY: 2-1/8" FULLY GLAZED
- SEAT: MOLDED WOOD, WHITE, ELONGATED, SS HINGE, WITH COVER
- STOP: 1/2"x3/8", WITH SUPPLY
- FLUSH HANDLE SHALL BE ON OPEN SIDE OF FIXTURE

P2 - LAVATORY, INTEGRAL CULTURED MARBLE
1/2" CW, 1/2" HW, 1-1/4" WASTE

- FIXTURE: INTEGRAL CULTURED MARBLE PROVIDED BY OTHERS
- FAUCET: SYMMONS ORIGINS S-9612-1.5, SINGLE CONTROL HANDLE, 1.5 GPM FLOW RESTRICTOR, POLISHED CHROME
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: POP-UP DRAIN, CAST BRASS GRID DRAIN AND TAILPIECE
- TRAP: PVC W/CLEANOUT PLUG

P3 - LAVATORY, INTEGRAL CULTURED MARBLE, ADA
1/2" CW, 1/2" HW, 1-1/4" WASTE

- FIXTURE: INTEGRAL CULTURED MARBLE PROVIDED BY OTHERS, ADA COMPLIANT
- FAUCET: SYMMONS ORIGINS S-9612-1.5, SINGLE CONTROL HANDLE, 1.5 GPM FLOW RESTRICTOR, POLISHED CHROME
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: POP-UP DRAIN, CAST BRASS GRID DRAIN AND TAILPIECE
- TRAP: PVC W/CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES
- THERMOSTATIC MIXING VALVE: ZURN-WILKINS MODEL ZW3870XLT, 2 GPM @ 38 PSIG, SET TP 110° F (NOT REQUIRED IN RESIDENTIAL ONLY APARTMENTS)

P4 - LAVATORY, WALL-HUNG, ADA
1/2" CW, 1/2" HW, 1-1/4" WASTE

- FIXTURE: AMERICAN STANDARD, LUCERNE, WALL-HUNG, 20"x18", VITREOUS CHINA, WHITE, ADA COMPLIANT
- FAUCET: AMERICAN STANDARD 7385.000 RELIANT, SINGLE CONTROL HANDLE, 1.5 GPM FLOW RESTRICTOR, POLISHED CHROME
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8743-PC, CAST BRASS GRID DRAIN AND TAILPIECE
- TRAP: ZURN Z8700-PC, CAST BRASS, W/ CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES
- CARRIER: S-9 HANGER, CONCEALED ARMS W/ ESCUTCHEONS

P5 - DOUBLE-BOWL SINK
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY CR3322, COUNTER MOUNT, 33"x22" DOUBLE-BOWL, STAINLESS STEEL
- FAUCET: SYMMONS S-23-3, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- CONTINUOUS WASTE: ZURN Z8751, CAST BRASS
- TRAP: PVC W/ CLEANOUT PLUG

P6 - DOUBLE-BOWL SINK, ADA
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY GE3322, COUNTER MOUNT, 33"x22" DOUBLE-BOWL, STAINLESS STEEL, BACK DRAIN LOCATION
- FAUCET: SYMMONS S-23-3-1.5, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- CONTINUOUS WASTE: ZURN Z8751, CAST BRASS
- TRAP: PVC, W/CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES

P7 - SINGLE-BOWL SINK
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY CR2522, COUNTER MOUNT, 25"x22" SINGLE-BOWL, STAINLESS STEEL
- FAUCET: SYMMONS S-23-3-1.5, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- TRAP: PVC W/ CLEANOUT PLUG
- GARBAGE DISPOSAL: INSINKERATOR BADGER 5, 1/2 HP, 120V/1PH, 6.9 AMP, 1725 RPM

P8 - SINGLE-BOWL SINK, ADA
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY GE12522, COUNTER MOUNT, 25"x22" SINGLE-BOWL, STAINLESS STEEL, BACK CENTER DRAIN LOCATION
- FAUCET: SYMMONS S-23-3-1.5, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- TRAP: PVC W/ CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES

P9 - TUB/SHOWER
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: AMERICAN STANDARD PRINCETON RECESS BATH 2390/2391, 60"x30" BATH, VERIFY RIGHT HAND OUTLET/LEFT HAND OUTLET, PORCELAIN FINISH, STEEL/AMERICAST, END DRAIN OUTLET, INTEGRAL OVERFLOW OUTLET. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- SURROUND: SWANSTONE SS-60-5 TUB, SWANSTONE TK-6072 & TK-105 WALL PANEL TRIM KITS (FIELD VERIFY LEFT/RIGHT), COORDINATE WITH ARCHITECTURAL DRAWINGS, PROVIDE COLOR SELECTION CHART
- SHOWER FIXTURE: SYMMONS SYMMETRIX S-2002-1.5, POLISHED CHROME, 1.5 GPM
- PROVIDE 1.5 GPM FLOW RATE RESTRICTOR
- PRESSURE BALANCED MIXING VALVE
- SHOWER HEAD AND FLANGE
- INTEGRAL SERVICE STOPS
- VOLUME CONTROL ON HEAD
- BATHTUB DRAIN: POLISHED CHROME LEVER TYPE

P10 - ROLL-IN SHOWER SYSTEM, ADA
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: SWANSTONE SHOWER FLOOR SBF-3060, 1/2" MAXIMUM THRESHOLD WITH RECESSED BEDDING/OPENING PROVIDED, ADA COMPLIANT FOLD UP SEAT BF-2300, L-GRAB BAR/S-GRAB BAR (COORDINATE WITH ARCHITECTURAL DRAWINGS), 1" O.D. 18 GAUGE STAINLESS STEEL CURTAIN ROD WITH ROD CUPS (THIS UNIT COMPLIES WITH ICC/ANSI A117.1-2009)
- SURROUND: CULTURED MARBLE SURROUND, REFER TO ARCHITECTURAL DRAWINGS.
- SHOWER FIXTURE: SYMMONS SAFETYMIX 1-117-FS, SHOWER SYSTEM WITH HAND SPRAY, POLISHED CHROME
- PROVIDE 1.5 GPM FLOW RATE RESTRICTOR
- PRESSURE BALANCED MIXING VALVE
- INTEGRAL SERVICE STOPS
- VOLUME CONTROL ON HEAD
- VACUUM BREAKER
- FLOW DIVERTER
- WALL/HAND SHOWER W/ 60" FLEXIBLE METAL HOSE, WALL CONNECTION AND FLANGE W/ 30" SLIDE BAR FOR MOUNTING HAND SHOWER
- GRAB BARS, SHOWER CURTAIN ROD & SEAT BY OTHERS (COORDINATE WITH ARCHITECTURAL DRAWINGS)
- DRAIN: KOHLER K9132

P11 - DISHWASHER
1/2" HW, 3/4" WASTE (VERIFY)

- TIE INTO ADJACENT SINK DRAIN
- USE BRANCH STYLE TAILPIECE, DEARBORN BRASS OR EQUAL
- 1-1/2"x6" W/ 3/4" BRANCH
- VERIFY ALL SIZES & CONDITIONS

P12 - ICE MAKER CONNECTION
1/2" CW

- FIXTURE: OATEY 39152 (LOW LEAD)
- QUARTER-TURN VALVES AND MOUNTED HAMMER ARRESTER

P13 - WASHING MACHINE OUTLET BOX
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: OATEY 38655
- QUARTER-TURN VALVES AND MOUNTED HAMMER ARRESTER
- WASTE HOSE RECEPTOR

P14 - FIRE-RATED WASHING MACHINE OUTLET BOX
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: OATEY 38478, FIRE-RATED
- QUARTER-TURN VALVES AND MOUNTED HAMMER ARRESTER
- WASTE HOSE RECEPTOR

P15 - WALL HYDRANT, NON-FREEZE
3/4" CW

- FIXTURE: ZURN Z1320-NB
- ENCASED, BRONZE CASING
- NON-FREEZE, ANTI-SIPHON, AUTOMATIC DRAINING
- LOOSE KEY OPERATION

P16 - HUB DRAIN W/ TRAP SEAL
2" WASTE

- FIXTURE: PROSET SYSTEMS TG23HD
- 2"x2" TRAP GUARD HUB DRAIN
- PROVIDE TRAP SEAL
- PROVIDE PROVIDE 6" TRANSITION FUNNEL FOR LARGER RECEPTACLE

P17 - FLOOR DRAIN WITH TRAP SEAL
2" OR 3" WASTE (REFER TO PLANS)

- FIXTURE: ZURN Z415B
- PROSET SYSTEMS 3" FLEXIBLE INSERT, TG-33-Z
- POLISHED NICKEL BRONZE STRAINER
- CAST IRON BODY, BOTTOM OUTLET
- MEMBRANE CLAMP W/ ADJUSTABLE COLLAR

P18 - UTILITY SINK, COMPOSITE BASIN
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: ZURN MS2620, 26"x24" MOLDED COMPOSITE BASIN, COATED STEEL SELF-LEVELING LEGS
- DRAIN BODY TO MATCH WASTE PIPING
- FAUCET: ZURN Z843RC, 8" CENTERS, ADJUSTABLE, VACUUM BREAKER, SPOUT W/ HOSE TREAD OUTLET, PAIL HOOK AND WALL BRACE
- TRAP: PVC, W/CLEANOUT PLUG

P19 - WATER HAMMER ARRESTER
SIZE PER PLANS

- FIXTURE: ZURN Z-1250
- PDI UNITS - AS NOTED
- STAINLESS STEEL
- BRASS RESIDENTIAL

P20 - WATER COOLER, SINGLE STATION, ADA
1/2" CW, 1-1/4" WASTE

- FIXTURE: ELKAY EZS8, SINGLE-STATION, WALL-MOUNTED
- ADA COMPLIANT WHEN MOUNTED AT PROPER HEIGHT
- PUSH-BUTTON OPERATION
- SUPPLY: ZURN Z8806LK-PC, 1/2"x3/8"

P21 - SHOWER (TRENCH) DRAIN
2" WASTE

- FIXTURE: ZURN Z890, 60"x7", 7" WIDE REVEAL TRENCH CHANNEL, 16 GA. STAINLESS STEEL
- 1.04% BUILT-IN SLOPE
- LOCKDOWN GRATE
- GRATE: 6" WIDE REVEAL PERFORATED STAINLESS STEEL GRATE
- PROVIDE END CAPS AND BOTTOM OUTLET

FCO - FLOOR CLEANOUT
4" WASTE

- FIXTURE: ZURN Z1400-ZN
- CAST IRON BODY
- BRONZE PLUG, TAPERED THREAD
- POLISHED NICKEL BRONZE TOP

WCO - WALL CLEANOUT
4" WASTE

- FIXTURE: ZURN Z1441-BP
- CAST IRON BODY
- BRONZE PLUG, TAPERED THREAD
- STAINLESS STEEL COVER, ROUND

BFP - REDUCED FLOW BACKFLOW PREVENTER
SIZE PER PLANS

- FIXTURE: ZURN-WILKINS 975XL

BFP - REDUCED FLOW BACKFLOW PREVENTER
SIZE PER PLANS

- FIXTURE: ZURN-WILKINS 375

PRV - PRESSURE REDUCING VALVE
SIZE PER PLANS

- FIXTURE: ZURN-WILKINS 500

ACCEPTABLE MANUFACTURERS: KOHLER, MANSFIELD, AMERICAN STANDARD, ZURN, SWANSTONE, BRADLEY, AQUARIUS, SYMMONS, DELTA, MOEN, OATEY, ELKAY, WOODFORD, AQUARIUS, MUSTEE, BRIGGS & BOOTZ

WATER SENSE AND/OR WATER EFFICIENT PRODUCT THAT MEETS EPA & GREEN COMMUNITIES CRITERIA.

CAD FILE:

| | | | | | |
|--------------|--------------|--------------|---------------|--------------|-------------------------|
| DRWN. BY: SA | CHKD. BY: JH | APPR. BY: JH | DATE: 6-30-16 | REVISIONS: 0 | 6/30/16 - INITIAL ISSUE |
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WHITE RIVER APARTMENTS SCHEDULES - PLUMBING

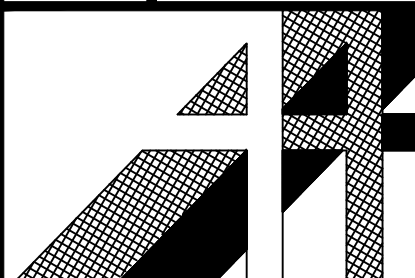
2800 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5616 WALLWOOD ROAD

KNOXVILLE, TENNESSEE 37912

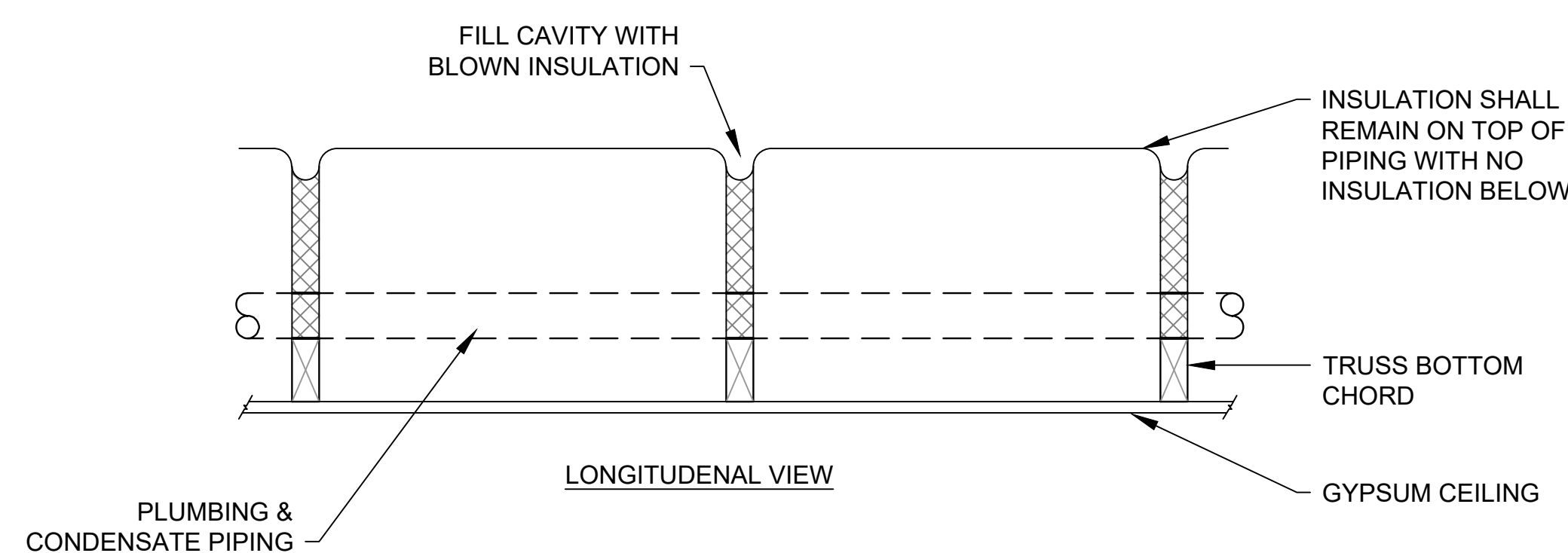
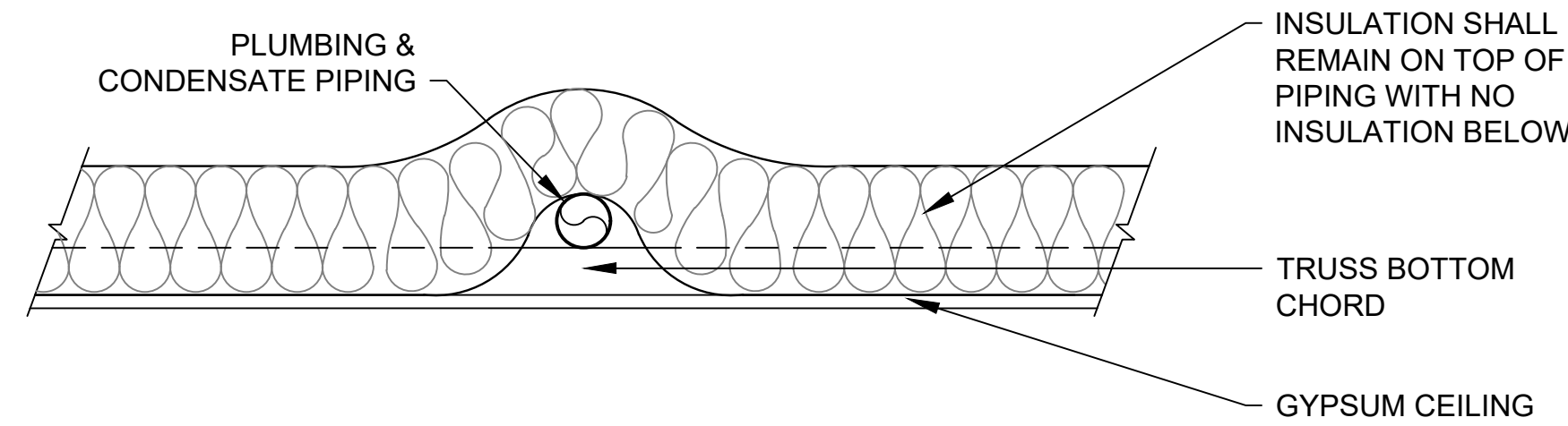


SHEET NUMBER

P4.1

| ELECTRIC WATER HEATER SCHEDULE | | | |
|---|--------------|-------------|-------------|
| DESIGNATION | WH-1 | WH-2 | WH-3 |
| PHYSICAL | | | |
| DIMENSIONS (DIA. x H)(IN.) | 22x30 | 20x61.25 | 21x61.25 |
| WEIGHT (DRY) | 96 | 118 | 131 |
| WEIGHT (WET) | 330 | 450 | 550 |
| PERFORMANCE | | | |
| CAPACITY (GAL) | 28 | 40 | 50 |
| KW (PER ELEMENT) | 4.5 | 4.5 | 4.5 |
| NUMBER OF ELEMENTS | 2 | 2 | 2 |
| KW (TOTAL) | 4.5 | 4.5 | 4.5 |
| RECOVERY (GPH), 90 DEG. RISE | 21 | 21 | 21 |
| ENERGY FACTOR | 0.95 | 0.95 | 0.95 |
| ELECTRICAL | | | |
| VOLTS/PH/Hz | 240/1 | 240/1 | 240/1 |
| BASIS OF DESIGN | | | |
| MANUFACTURER | STATE | STATE | STATE |
| MODEL NO. | EN6 30 DOLBS | EN6 40 DORT | EN6 50 DOBT |
| NOTES | 1,2 | 1,2 | 1,2 |
| 1. ACCEPTABLE ALTERNATE MANUFACTURERS: A.O.SMITH, BRADFORD WHITE. 2. ELEMENTS SHALL BE NON-SIMULTANEOUS OPERATION. | | | |

| PIPING MATERIAL SCHEDULE | | | | | | | | | |
|---|---------------------|--------------------------|--------|------------------------|---------------|---|---------------|----------------|--|
| SERVICE DESCRIPTION | | | | PIPING | | | | NOTES | |
| SERVICE DESCRIPTION | TEMP. (F) OPER. MAX | PRESSURE (PSI) OPER. MAX | | PIPE SIZES (IN.) | PIPE MATERIAL | CONNECTION TYPE | FITTING TYPE | | |
| CONCEALED POTABLE WATER (FINAL LENGTH TO FIXTURE) | 50-160 | 180 | 40-80 | 100 PSI □ 180 DEG F | 1/2-1 | CROSS LINKED POLYETHYLENE ASTM F876/877 | COPPER CRIMP | MOLDED POLYMER | ACCEPTABLE MANUFACTURERS: ZURN, UPONOR |
| INTERIOR POTABLE WATER (ABOVE GROUND) | 50-160 | 180 | 40-80 | 200 | 1/2-2-1/2 | COPPER ASTM B88 TYPE "L" | SOLDER JOINT | WROUGHT COPPER | |
| EXTERIOR WATER SERVICE (BELOW GROUND) | AMBIENT | 140 | 40-100 | 200 | 3/4-2-1/2 | PVC SCHEDULE 40 ASTM D-1785 | SOLVENT JOINT | PVC SOCKET | |
| WASTE AND VENT (ABOVE GROUND) | AMBIENT | - | - | - | 1-1/2-8 | PVC-DWV ASTM D-2261 SCHEDULE 40 | SOLVENT JOINT | PVC-DWV SOCKET | |
| BUILDING DRAIN (BELOW GROUND) | AMBIENT | - | - | - | 2-6 | PVC-DWV SCHEDULE 40 ASTM D-2261 | SOLVENT JOINT | PVC-DWV SOCKET | |
| SITE SEWER | AMBIENT | - | - | - | 8-12 | ASTM D-3034 TYPE PSM SDR-35 | RUBBER GASKET | - | |
| RAIN LEADERS AND CONDUCTORS (ABOVE GROUND) | AMBIENT | - | - | - | 2-8 | PVC-DWV SCHEDULE 40 ASTM D-2261 | SOLVENT JOINT | PVC-DWV SOCKET | USE PREMOLDED PVC FOR FITTINGS |
| STORM DRAIN (BELOW GROUND) | AMBIENT | - | - | - | 2-8 | PVC-DWV SCHEDULE 40 ASTM D-2261 | SOLVENT JOINT | PVC-DWV SOCKET | |



1 ATTIC PIPING INSULATION DETAIL
NOT TO SCALE

| PIPE INSULATION SCHEDULE | | | | | | | | |
|----------------------------------|-----------------------|--------------------------------|------------|------------|--------|-----|-----------------|----------------|
| FLUID TYPE | TEMPERATURE RANGE (F) | NOMINAL PIPE OR TUBE SIZE (IN) | | | | | INSULATION TYPE | JACKETING TYPE |
| | | 1 OR LESS | 1 TO 1-1/4 | 1-1/2 TO 3 | 4 TO 6 | 8 | | |
| DOMESTIC HOT WATER | 110-140 | 1 | 1 | 1.5 | 1.5 | 1.5 | ELASTOMERIC | N/R |
| DOMESTIC COLD WATER | 40-80 | .5 | .5 | 1 | 1 | 1 | ELASTOMERIC | N/R |
| COIL OR COLD CONDENSATE (NOTE 2) | 40-60 | .5 | .5 | 1 | 1 | 1 | ELASTOMERIC | N/R |
| REFRIGERANT LIQUID | VARIES | 1" | 1" | 1" | N/A | N/A | ELASTOMERIC | N/R |
| REFRIGERANT SUCTION | VARIES | 1" | 1" | 1" | N/A | N/A | ELASTOMERIC | N/R |

1. THESE VALUES ARE COMPLIANT WITH THE 2012 INTERNATIONAL ENERGY CODE.
 2. INSULATE EXPOSED SANITARY PIPING THAT CARRIES COLD CONDENSATE (I.E. AN ICE MACHINE) FOR 10-FOOT DISTANCE FROM FLOOR OR HUB DRAIN.
 2. ELASTOMERIC INSULATION: INSULATE PIPING WITH CLOSED CELL ELASTOMERIC CELLULAR (I.E. ARMAFLEX) INSULATION, HAVING AN ANTI-MICROBIAL AGENT FOR MOLD RESISTANCE.

CAD FILE:

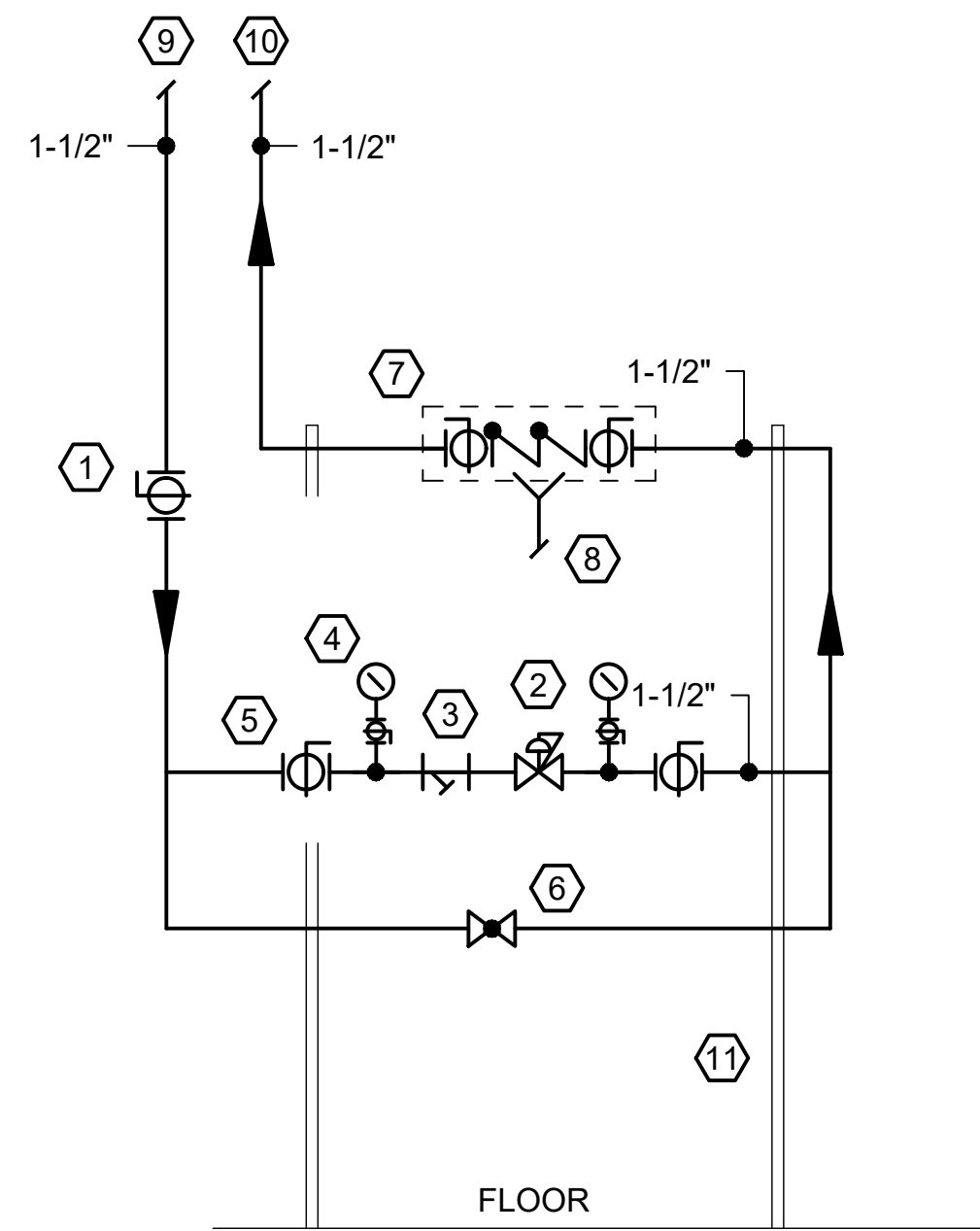
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 CHKD. BY: JH
 APPR. BY: JH
 DATE: 6-30-16
 REVISIONS: 0 6/30/16 - INITIAL ISSUE

WHITE RIVER APARTMENTS SCHEDULES & DETAILS - PLUMBING
 2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC
 5616 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912
 865 / 689-1302

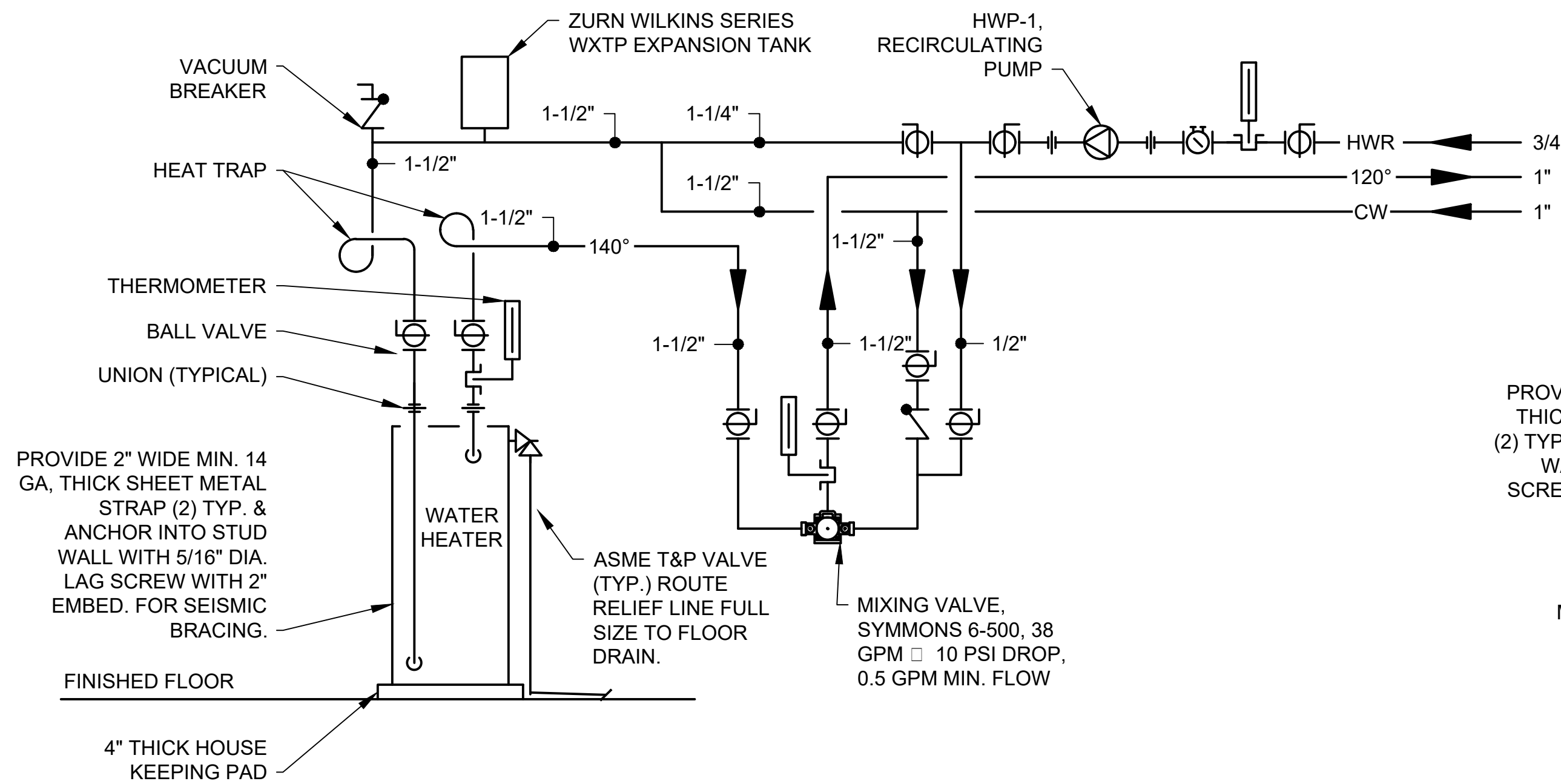
STATE OF ARKANSAS REGISTERED PROFESSIONAL ARCHITECT No. 0783 JACK HOPKINS 6/30/16

SHEET NUMBER
P4.2

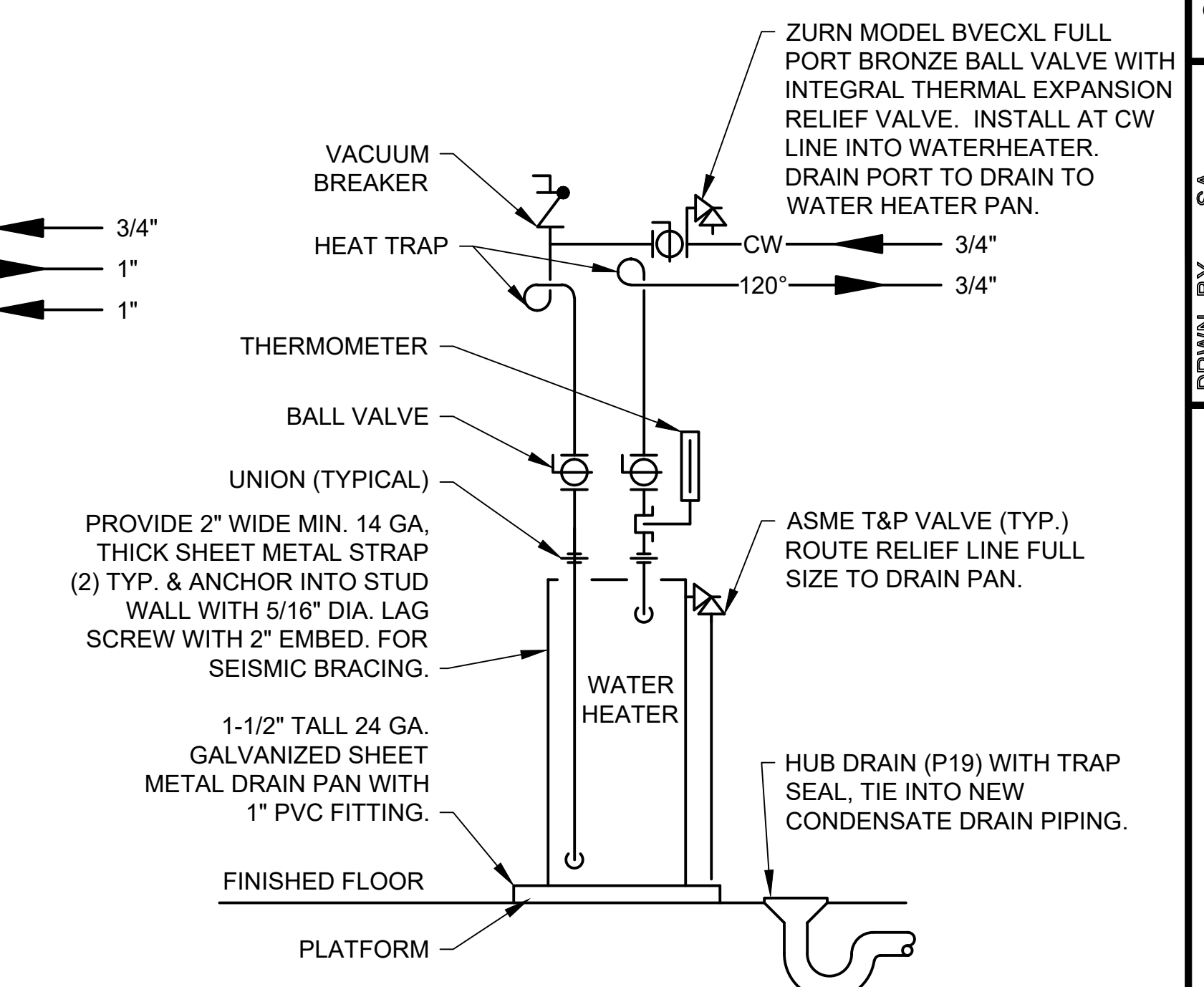


1 WATER SERVICE DETAIL
NOT TO SCALE

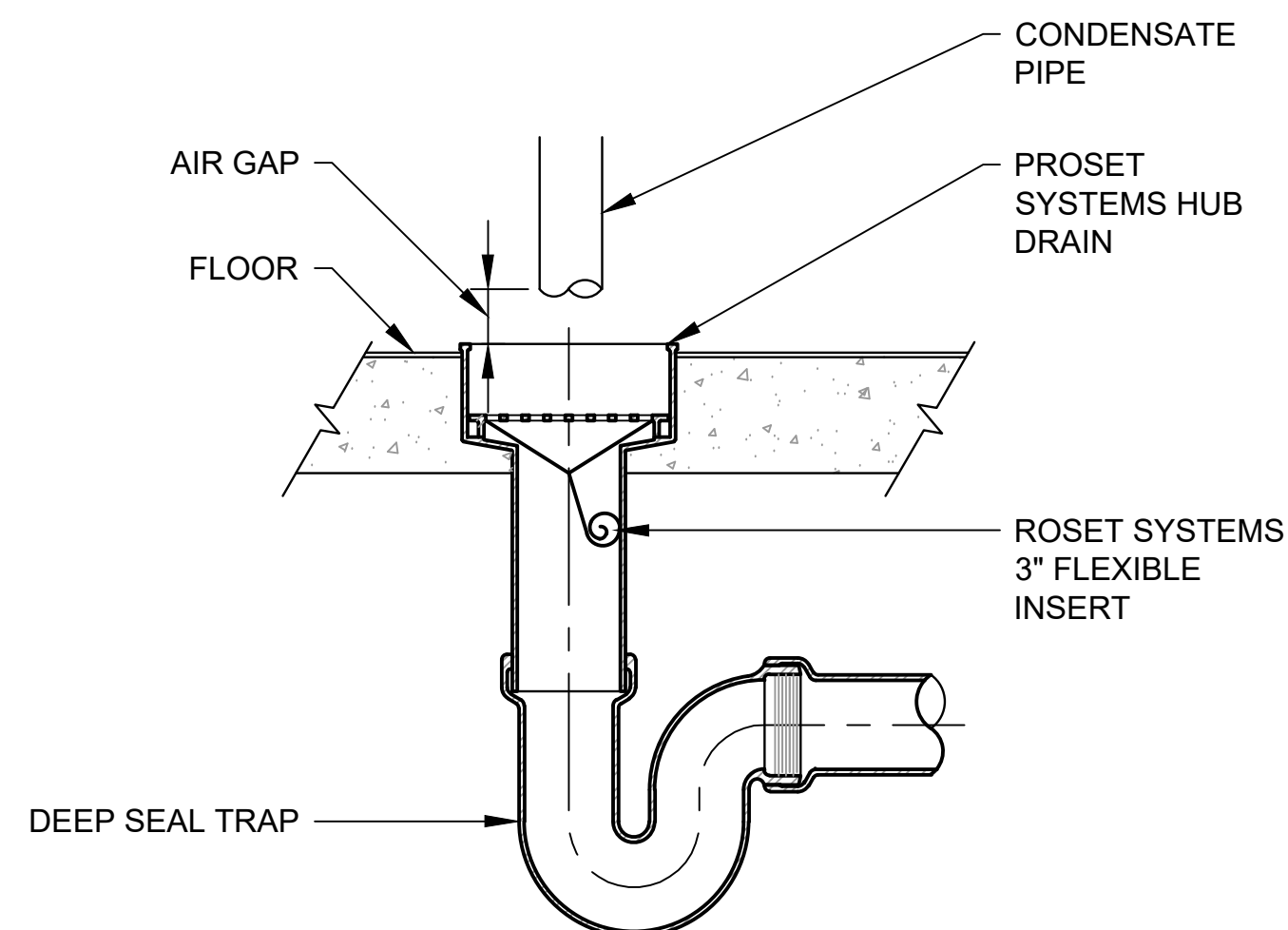
- ① ISOLATION VALVE. USE BALL OR BUTTERFLY VALVES.
- ② PRESSURE REDUCING VALVE.
- ③ STRAINER, PER PLUMBING CODE.
- ④ PRESSURE GAGE (TYPICAL).
- ⑤ ISOLATION VALVE. USE BALL OR BUTTERFLY VALVES.
- ⑥ NORMALLY CLOSED GLOBE VALVE BYPASS.
- ⑦ REDUCED PRESSURE BACKFLOW PREVENTER WITH ISOLATION VALVES.
- ⑧ DRAIN WITH AIR GAP, MIN. 4" DRAIN. VERIFY WITH AUTHORITY HAVING JURISDICTION. ROUTE DISCHARGE TO FLOOR DRAIN.
- ⑨ UNREGULATED COLD WATER SUPPLY FROM WATER METER/UTILITY.
- ⑩ REGULATED COLD WATER SUPPLY TO BUILDING.
- ⑪ ANGLE AND/OR UNISTRUT SUPPORT AS REQUIRED FROM FLOOR/WALL.



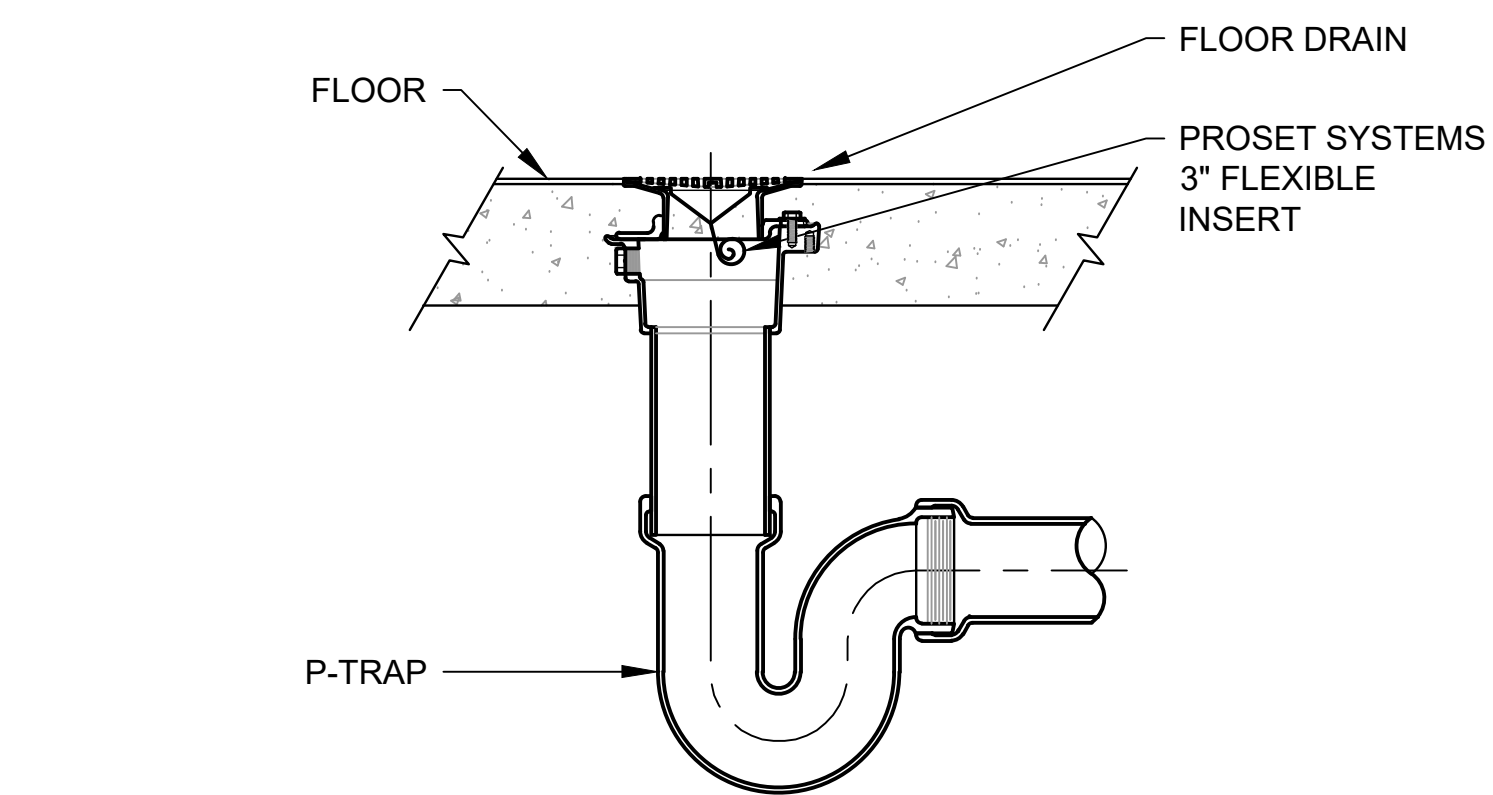
2 WATER HEATER (WH-3) COMMUNITY BUILDING PIPING
NOT TO SCALE



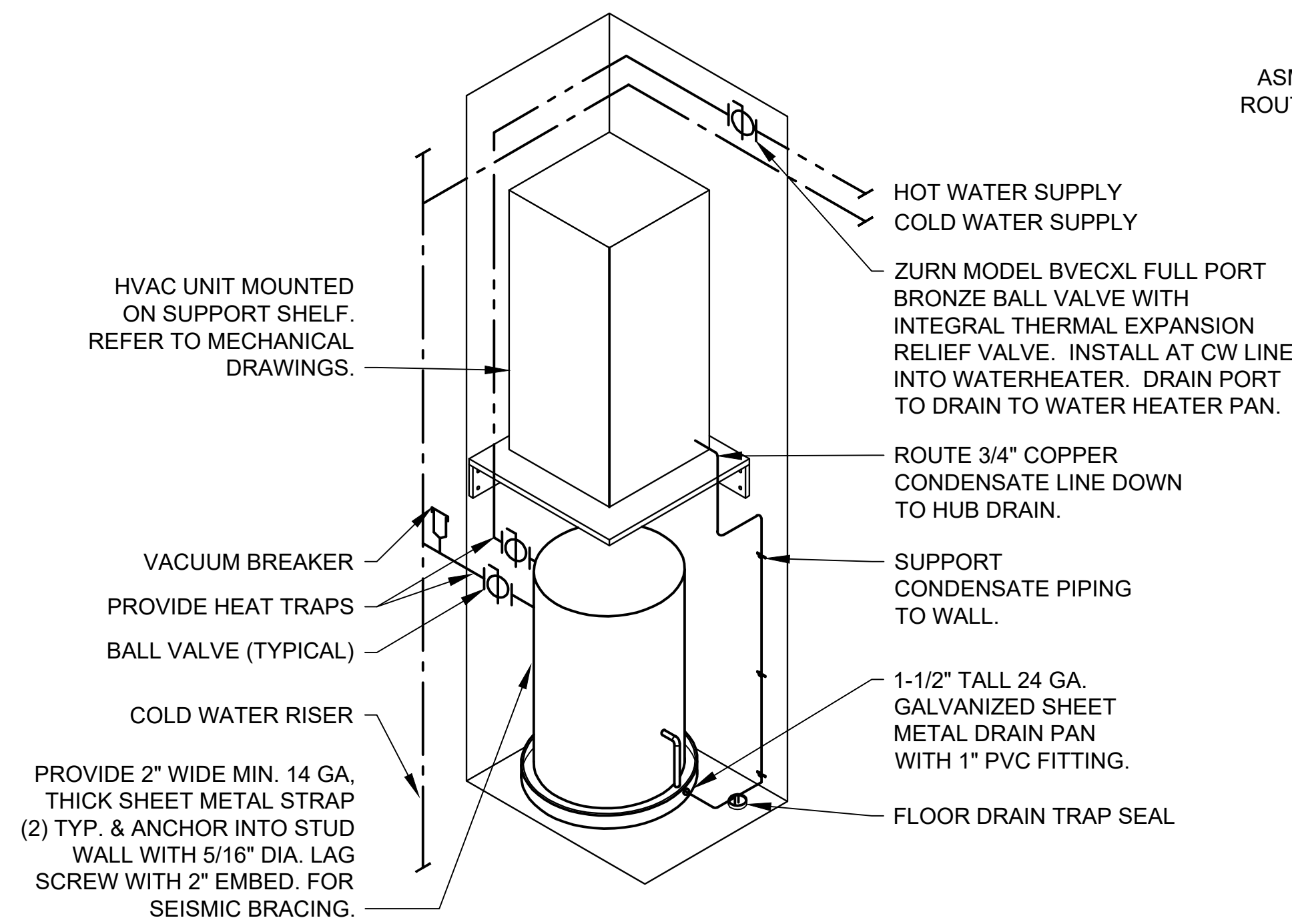
3 WATER HEATER (WH-2/WH-3) APARTMENT PIPING DETAIL
NOT TO SCALE



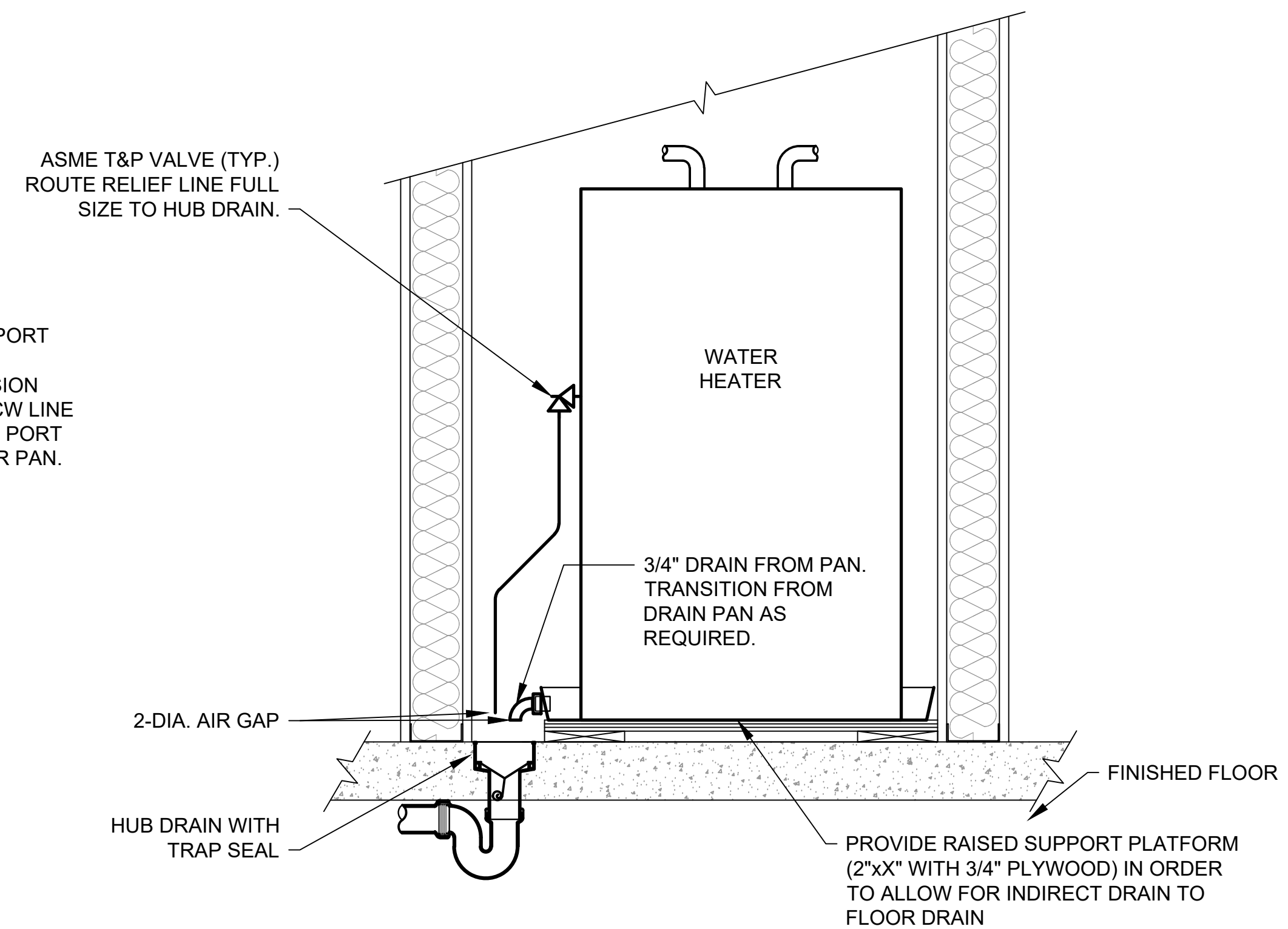
4 HUB DRAIN DETAIL
NOT TO SCALE



5 FLOOR DRAIN W/ TRAP SEAL DETAIL
NOT TO SCALE



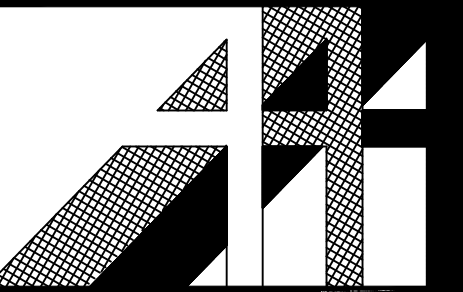
6 WATER HEATER (WH-1) PIPING DETAIL
NOT TO SCALE



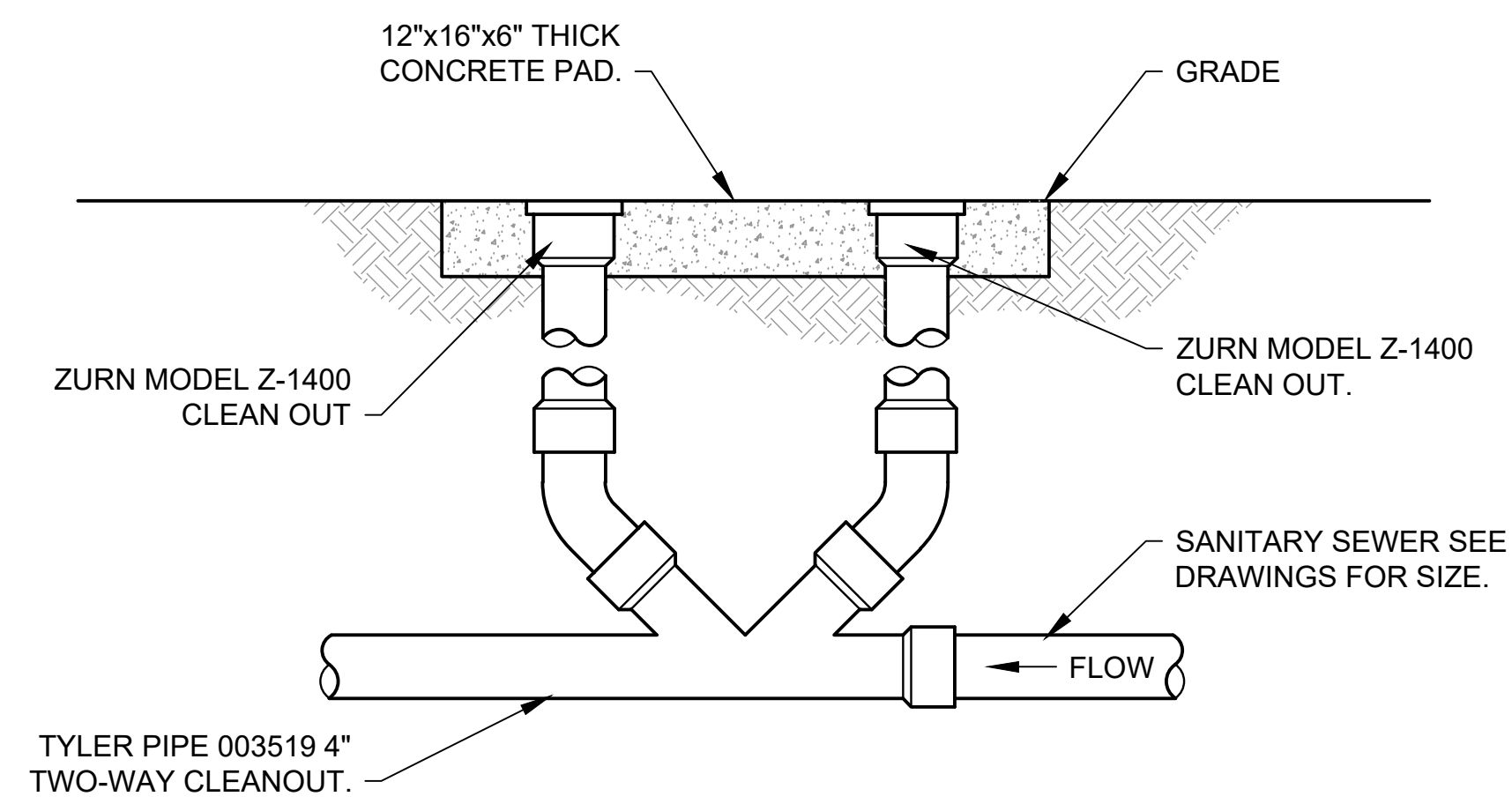
7 WATER HEATER DRAIN/T&P VALVE DETAIL
NOT TO SCALE

| | |
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| CAD FILE: | |
| DRWN. BY: SA | |
| CHKD. BY: JH | |
| APPR. BY: JH | |
| DATE: 6-30-16 | |
| REVISIONS | |
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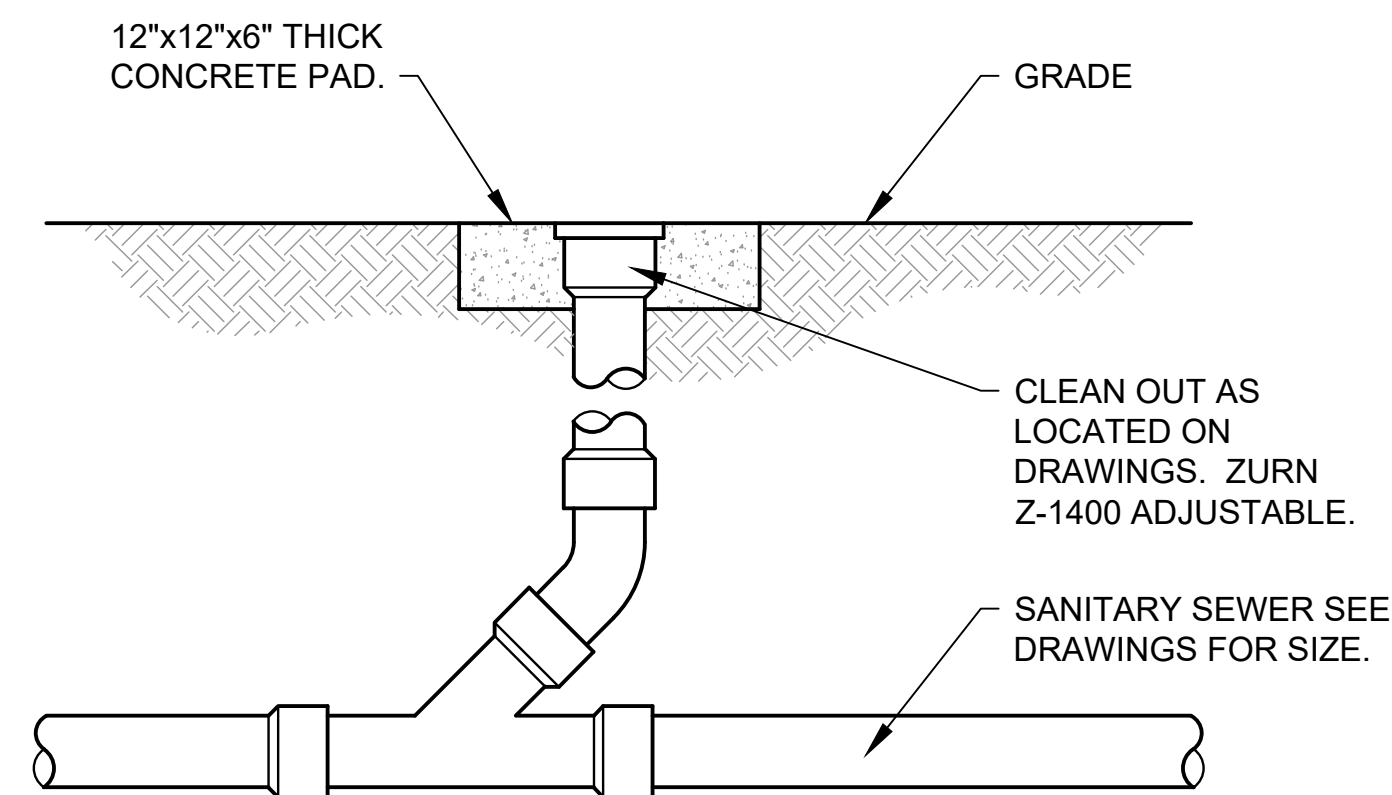
WHITE RIVER APARTMENTS
 2900 MARION DRIVE
 DIAZ, ARKANSAS
DETAILS - PLUMBING
ALLAN ASSOCIATES ARCHITECTS, PLLC
 5616 WALLWOOD ROAD
 KNOXVILLE, TENNESSEE 37912
 865 / 689-1302



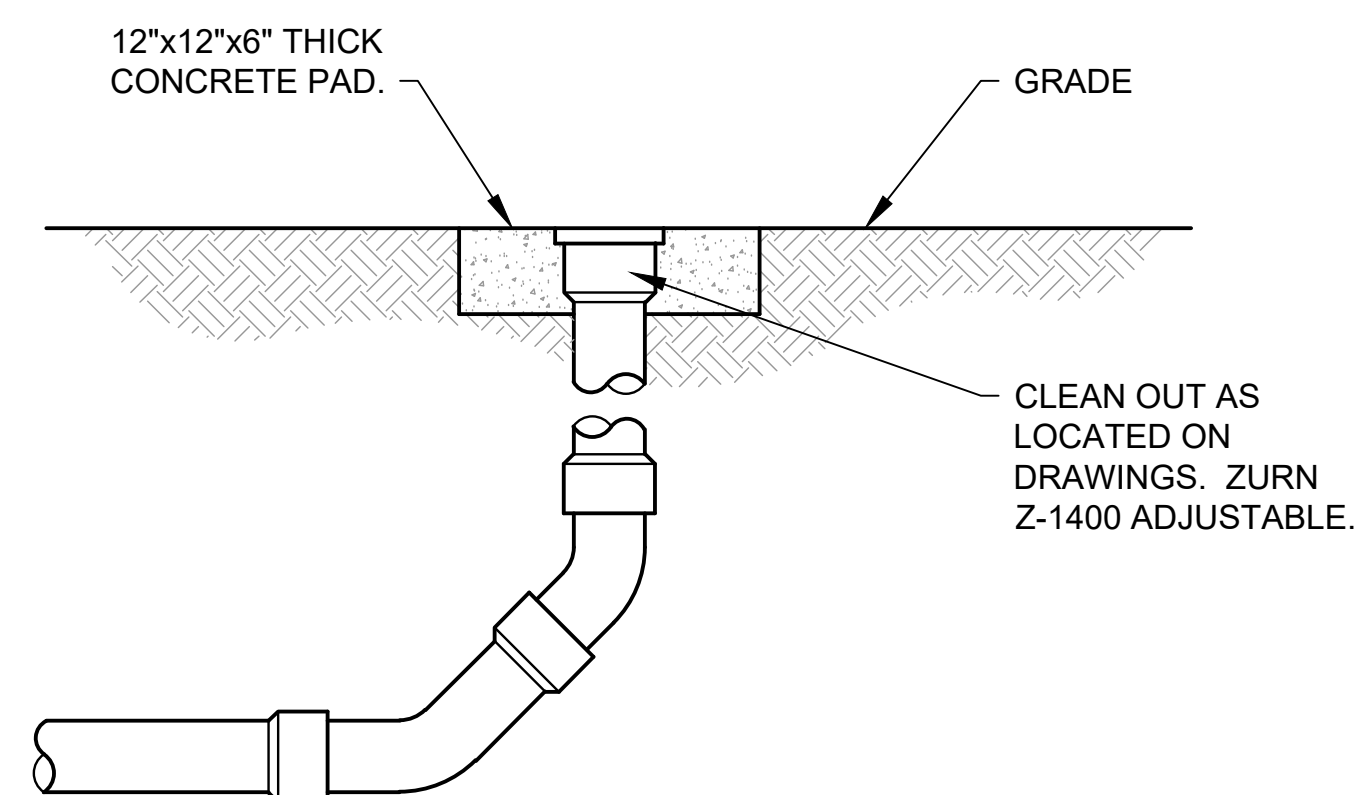
SHEET NUMBER



1 EXTERIOR CLEANOUT DETAIL
NOT TO SCALE

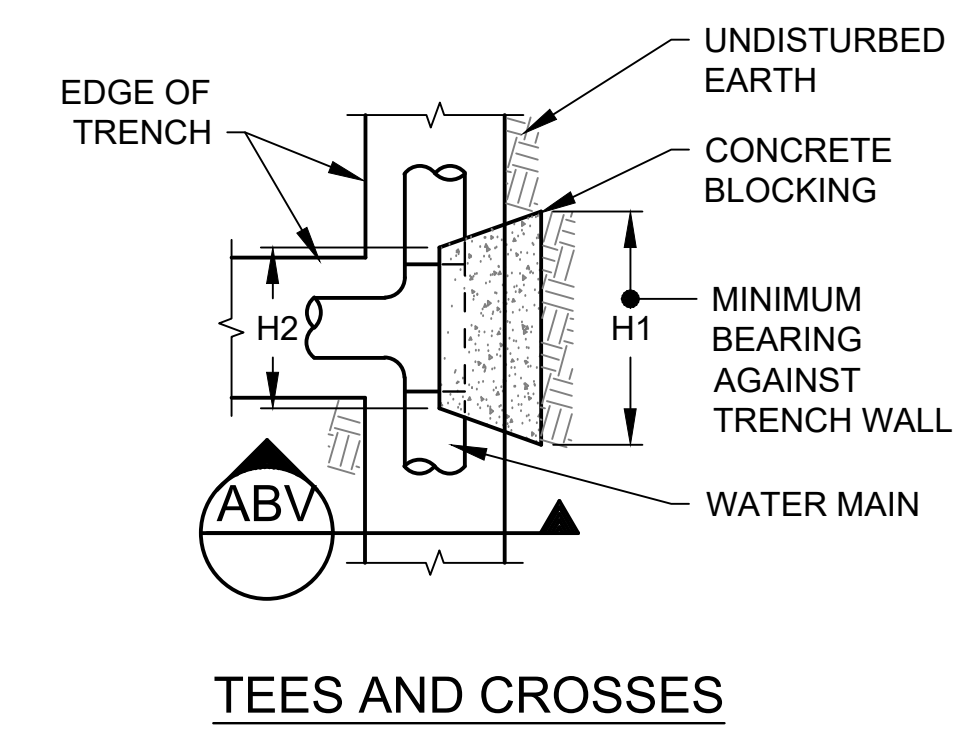
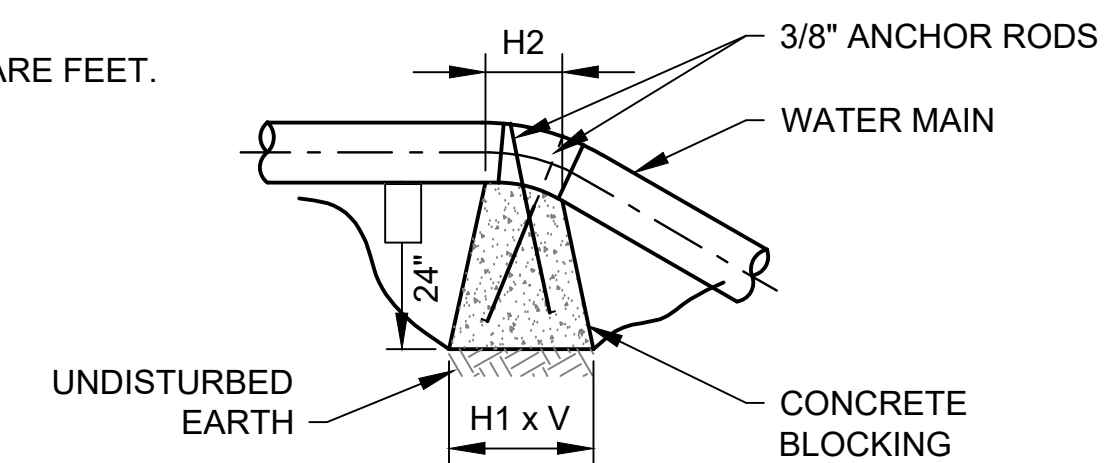
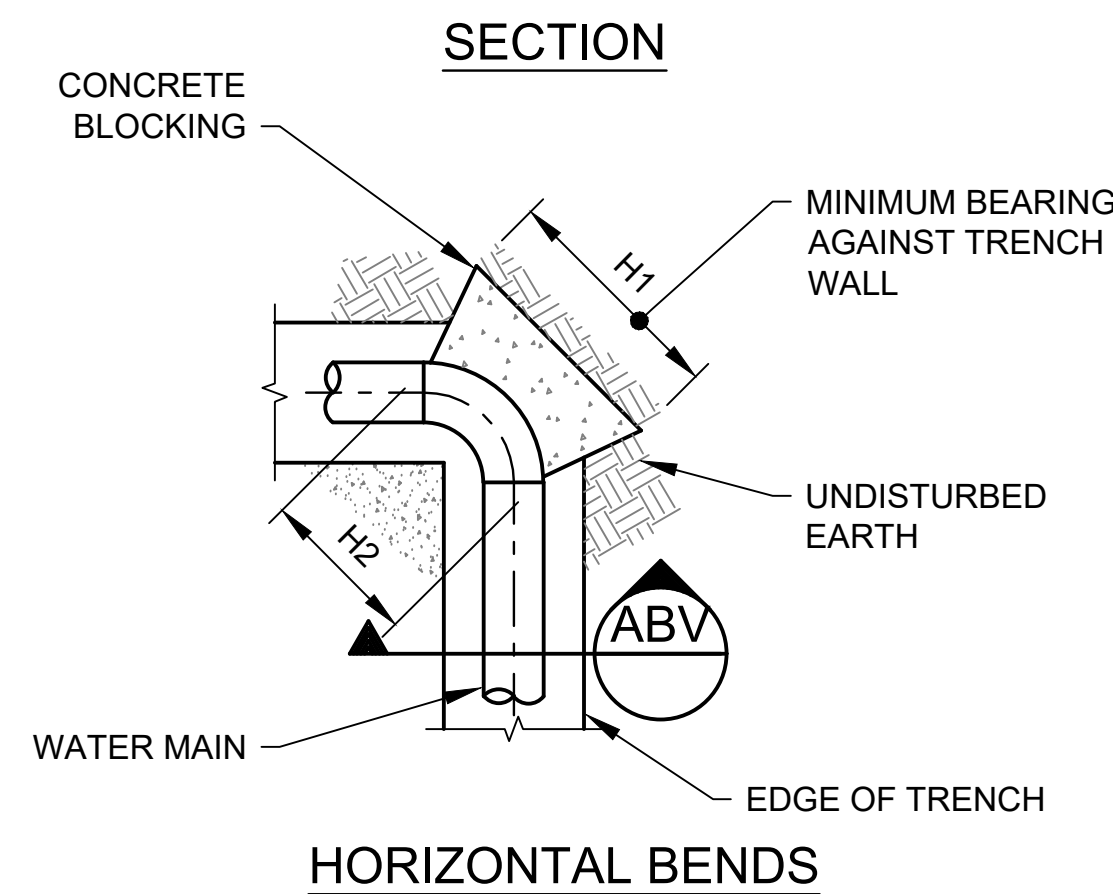
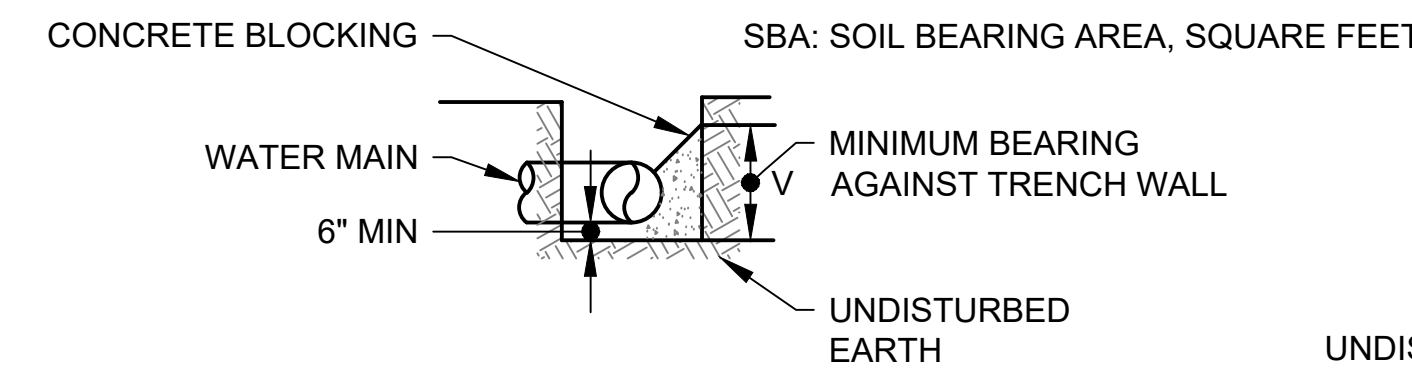


2 EXTERIOR CLEANOUT DETAIL
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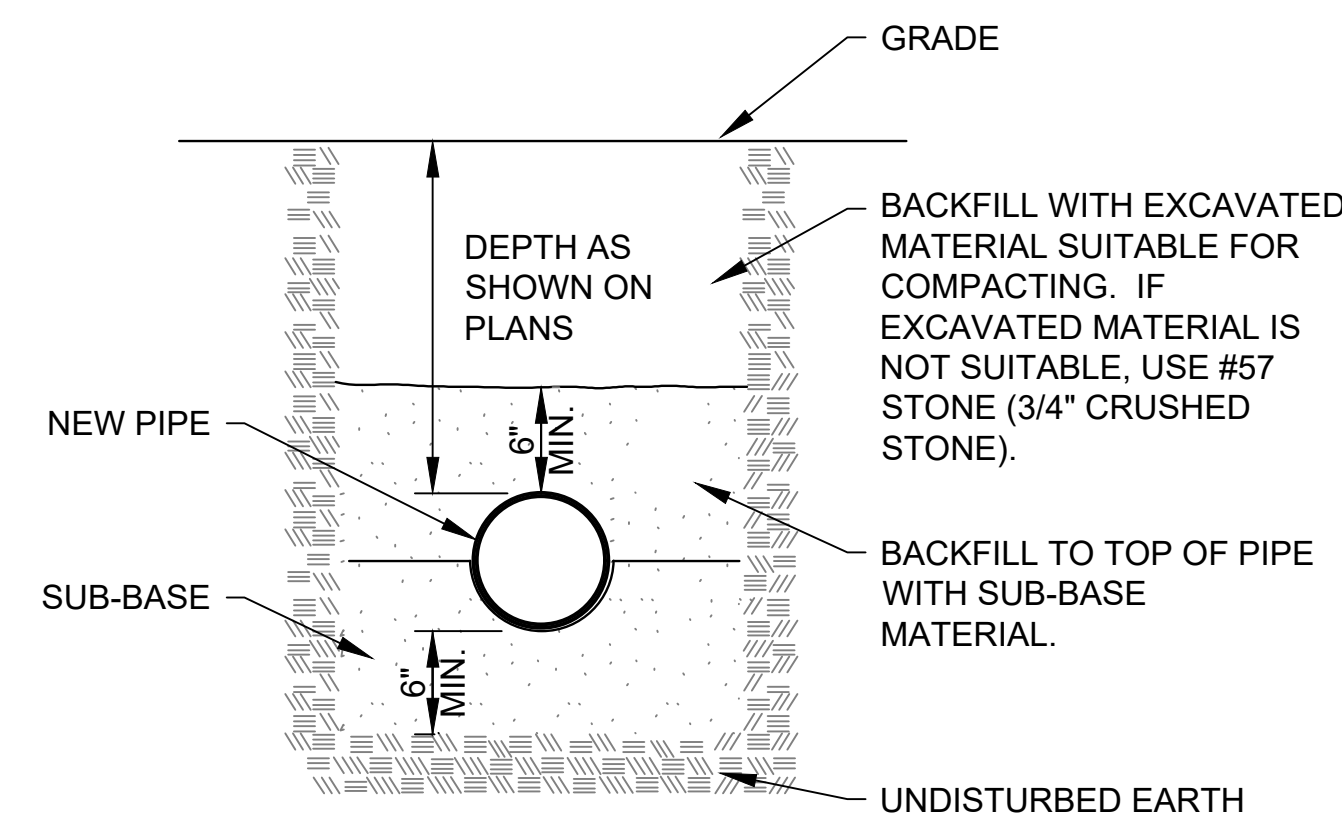


3 EXTERIOR CLEANOUT DETAIL
NOT TO SCALE

| THRUST BLOCK DIMENSION SCHEDULE | | | | | | | | | | | | | | | | | | | | |
|---------------------------------|------------------|-----|-----|------|-----------|-----|-----|-----|-----------|-----|-----|-----|-----------|-----|-----|-----|-----------|-----|-----|-----|
| PIPE SIZE | TEES AND CROSSES | | | | 90° BENDS | | | | 45° BENDS | | | | 22° BENDS | | | | 11° BENDS | | | |
| | H1 | H2 | V | SBA | H1 | H2 | V | SBA | H1 | H2 | V | SBA | H1 | H2 | V | SBA | H1 | H2 | V | SBA |
| UP TO 2-1/2" | 16" | 10" | 12" | 1.32 | 22" | 14" | 12" | 1.8 | 14" | 10" | 12" | 1.1 | 14" | 10" | 12" | 1.1 | 14" | 10" | 12" | 1.1 |
| 3" & 4" | 20" | 14" | 12" | 1.6 | 24" | 16" | 14" | 2.3 | 16" | 10" | 12" | 1.3 | 16" | 10" | 12" | 1.3 | 16" | 10" | 12" | 1.3 |
| 6" | 30" | 22" | 14" | 2.9 | 34" | 26" | 18" | 4.2 | 22" | 16" | 14" | 2.1 | 22" | 16" | 14" | 2.1 | 22" | 16" | 14" | 2.1 |
| 8" | 32" | 24" | 16" | 3.5 | 36" | 28" | 20" | 5.0 | 24" | 18" | 16" | 2.7 | 24" | 18" | 16" | 2.7 | 24" | 18" | 16" | 2.7 |
| 10" | 36" | 28" | 20" | 5.0 | 42" | 32" | 24" | 7.0 | 32" | 24" | 18" | 4.0 | 32" | 24" | 18" | 4.0 | 32" | 24" | 18" | 4.0 |



4 THRUST BLOCK DETAILS AND SCHEDULE
NOT TO SCALE

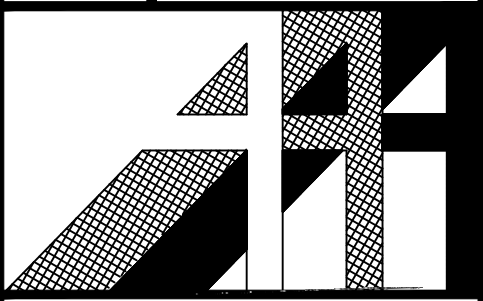


NOTES:

1. SUB-BASE MATERIAL SHALL BE WELL GRADED SAND, GRAVEL, OR CRUSHED STONE WITH 100% PASSING A 3/8" SIEVE.
2. PREFORM SUB-BASE FOR CYLINDRICAL PIPE, ENSURING UNIFORM, CONTINUOUS SUPPORT.
3. COORDINATE WITH LOCAL UTILITY AND MEET ALL REQUIREMENTS FOR PIPE BEDDING.

5 PIPE BEDDING DETAIL
NOT TO SCALE

| | | | | | | |
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| DRWN. BY: SA | CHKD. BY: JH | APPR. BY: JH | DATE: 6-30-16 | REVISIONS | 0 | 6/30/16 - INITIAL ISSUE |
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DRWN BY: JDD
CHKD BY: MDA
APPR BY: KN
DATE: 06-30-18
REVISIONS

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

SITE ELECTRICAL PLAN

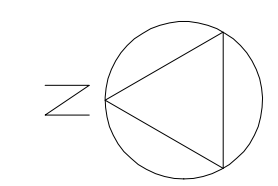
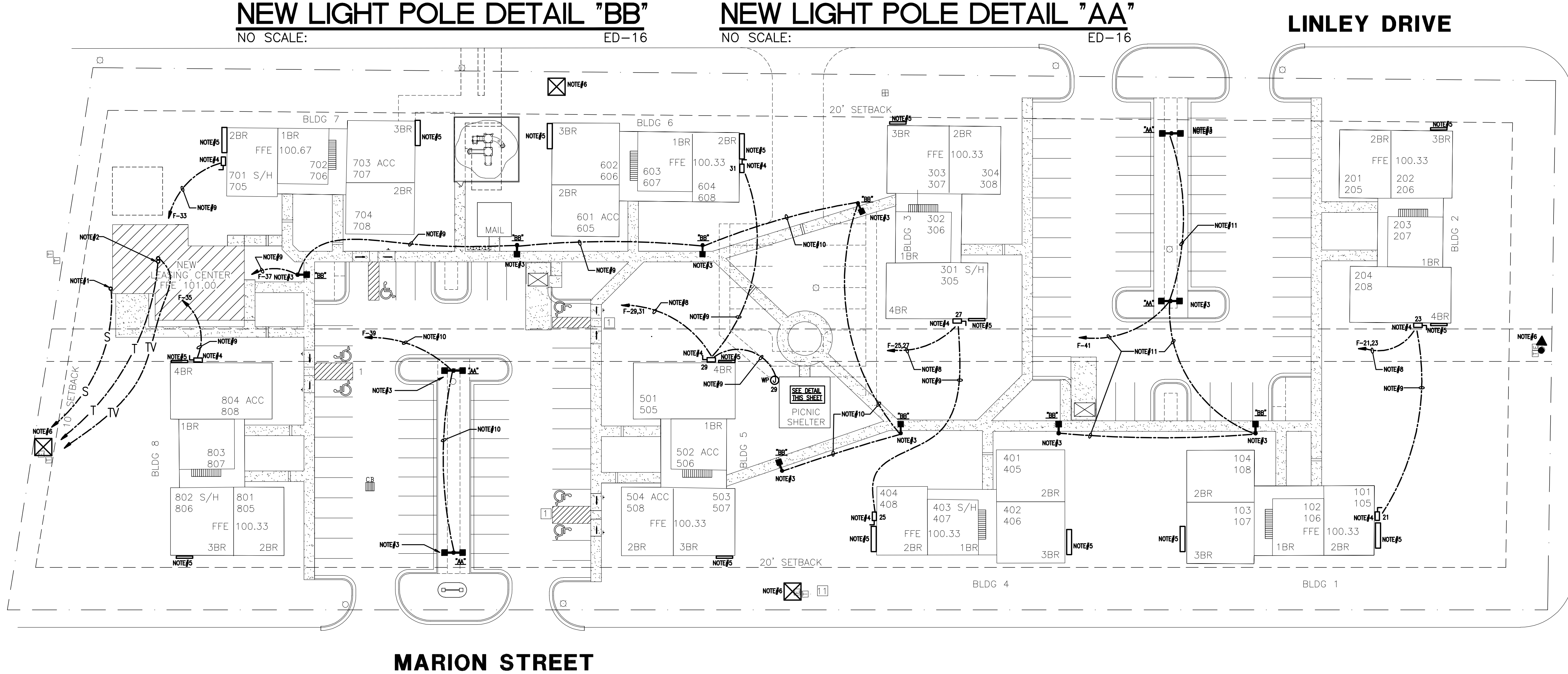
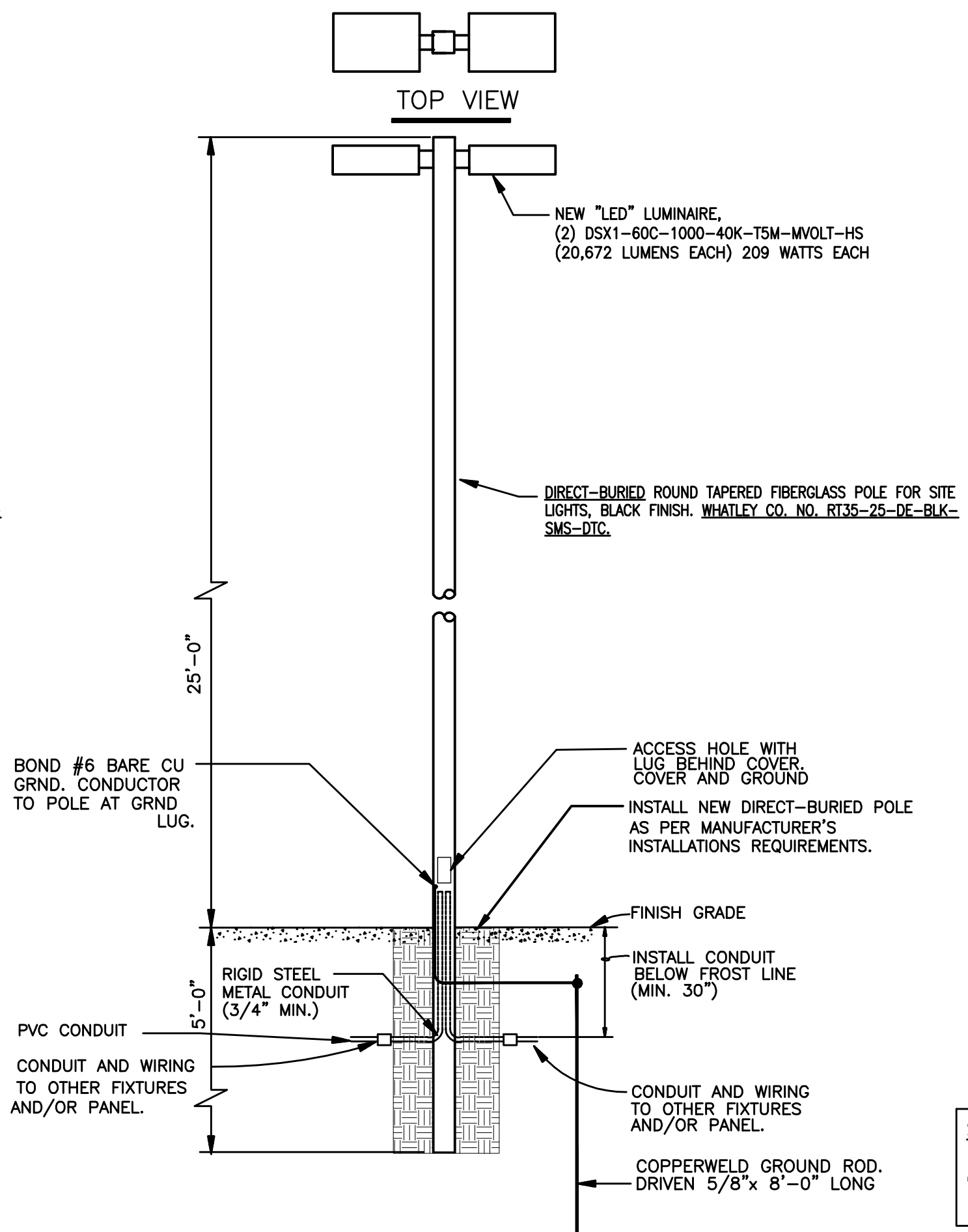
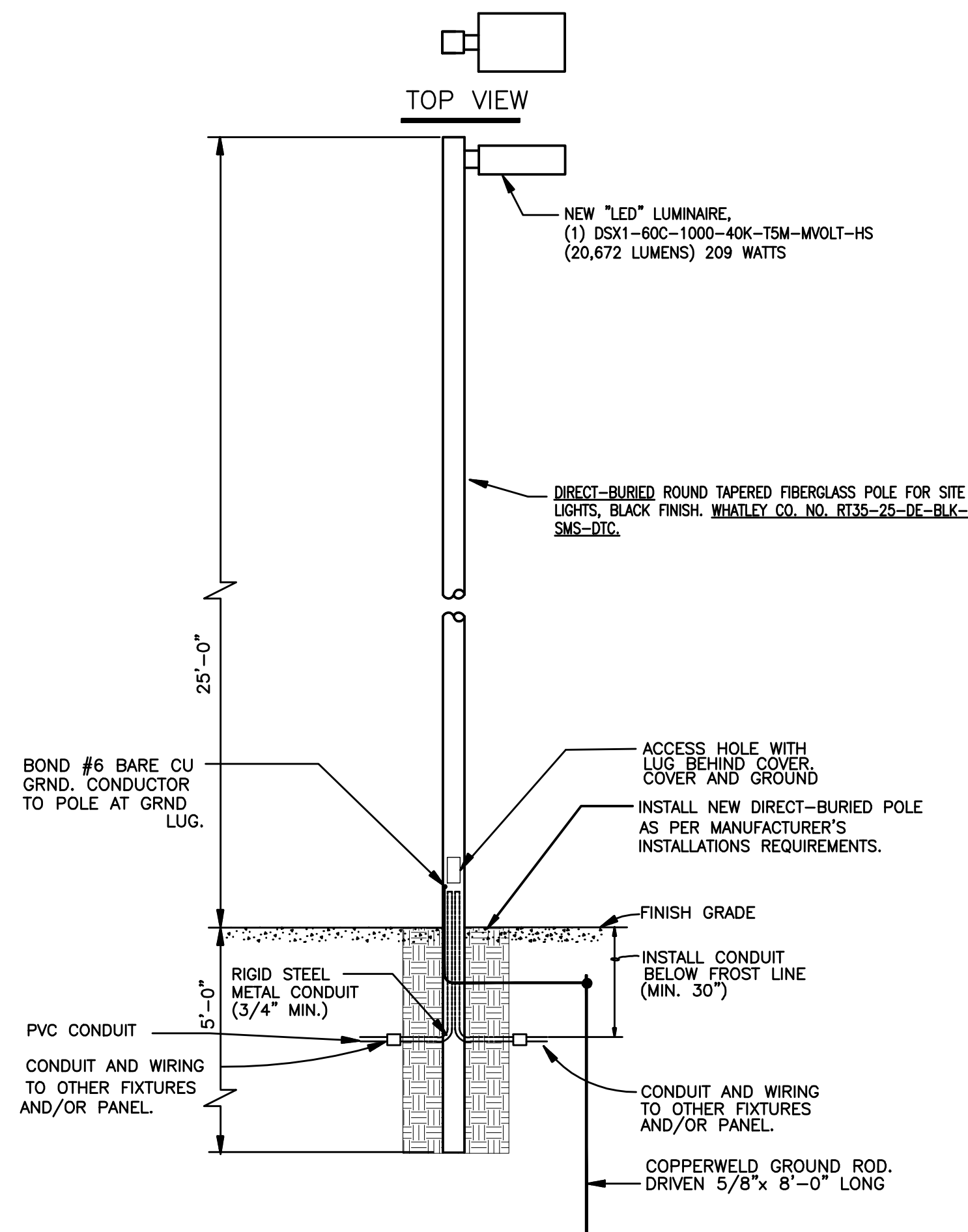
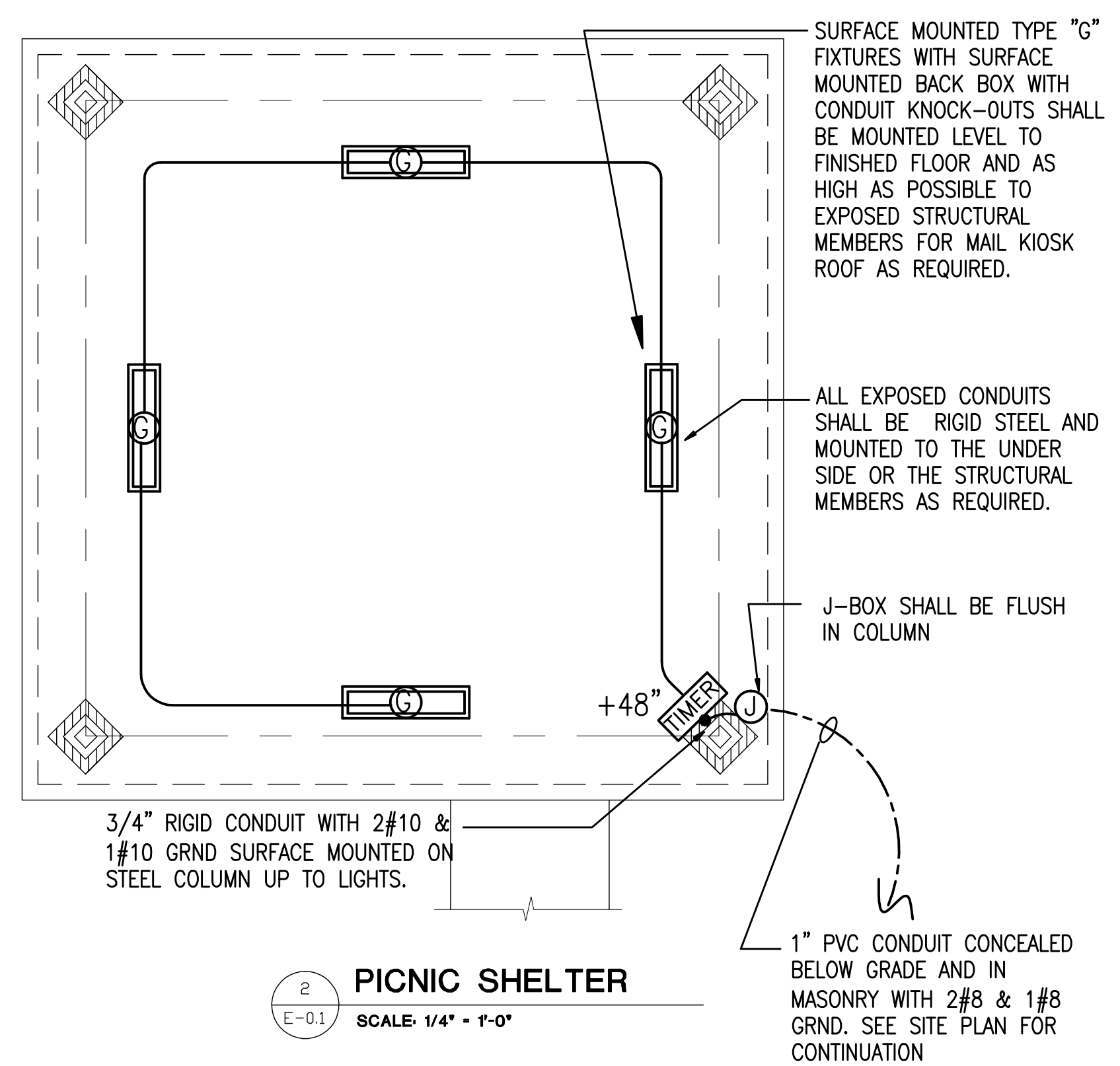
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6665 / 689-1302
5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912

| SITE LEGEND | |
|-------------|---|
| SYMBOL | DESCRIPTION |
| — S — | SECONDARY UNDERGROUND ELECTRIC SERVICE, RUN 30" BELOW GRADE. SEE ELECTRIC FEEDER DIAGRAM FOR SIZE. |
| — T — | TELEPHONE UNDERGROUND CONDUIT, 4" PVC, EXTEND 30" BELOW GRADE TO A POINT AS DIRECTED BY TELEPHONE COMPANY. |
| — TV — | TELEVISION UNDERGROUND CONDUIT, EXTEND 4" PVC CONDUIT, 30" BELOW GRADE TO A POINT AS DIRECTED BY CABLE TELEVISION COMPANY. |
| --- | UNDERGROUND LIGHTING OR POWER CIRCUIT; 2#10 AND 1#10 GRND. CONDUCTORS IN 3/4" PVC CONDUIT UNLESS NOTED LARGER. RUN 24" BELOW GRADE. |
| ☒ | LIGHTING FIXTURE, SEE SCHEDULE. |
| ⊠ | PAD-MOUNTED TRANSFORMER, PROVIDE CONCRETE PAD AS REQUIRED BY ELECTRIC UTILITY COMPANY, PAY ALL FEES. |
| ⬆ | POLE MOUNTED TRANSFORMERS, PROVIDED AND INSTALLED BY UTILITY COMPANY. |

- SITE ELECTRICAL NOTES:**
1. NEW EXTERIOR ELECTRIC METER AND DISCONNECT FOR NEW OFFICE BUILDING, SEE FEEDER DIAGRAM.
 2. NEW TELEPHONE AND TV/INTERNET SERVICE TO NEW OFFICE BUILDING.
 3. NEW "LED" POLE LIGHTS, SEE DETAIL.
 4. PROVIDE AND INSTALL A 20/1 WEATHERPROOF NON-AUTOMATIC DISCONNECT SWITCH FOR NEW EXTERIOR BREEZEWAY LIGHTS FOR EACH BUILDING. LOCATED DISCONNECT SWITCH ON EXTERIOR WALL NEXT TO EXISTING ELECTRICAL METER CENTER AS REQUIRED. LABEL DISCONNECT SWITCH "HOUSE LIGHTS - CONNECTED TO PANEL IN OFFICE".
 5. EXISTING ELECTRICAL METER CENTER TO REMAIN.
 6. EXISTING PAD-MOUNTED TRANSFORMER (120/240 VOLTS, 1-PHASE, 3-WIRE) TO REMAIN.
 7. EXISTING POLE-MOUNTED TRANSFORMER (120/240 VOLTS, 1-PHASE, 3-WIRE) TO REMAIN.
 8. 1" #6 & 1#6 GRND.
 9. 1" #2#6 & 1#6 GRND.
 10. 1" #2#6 & 1#6 GRND.
 11. 1" #2#4 & 1#4 GRND.

SITE LIGHTING DEMO NOTES:
CONTRACTOR SHALL "REMOVE" ALL EXISTING "EX" LIGHT POLES AND CONCRETE BASES AS REQUIRED.

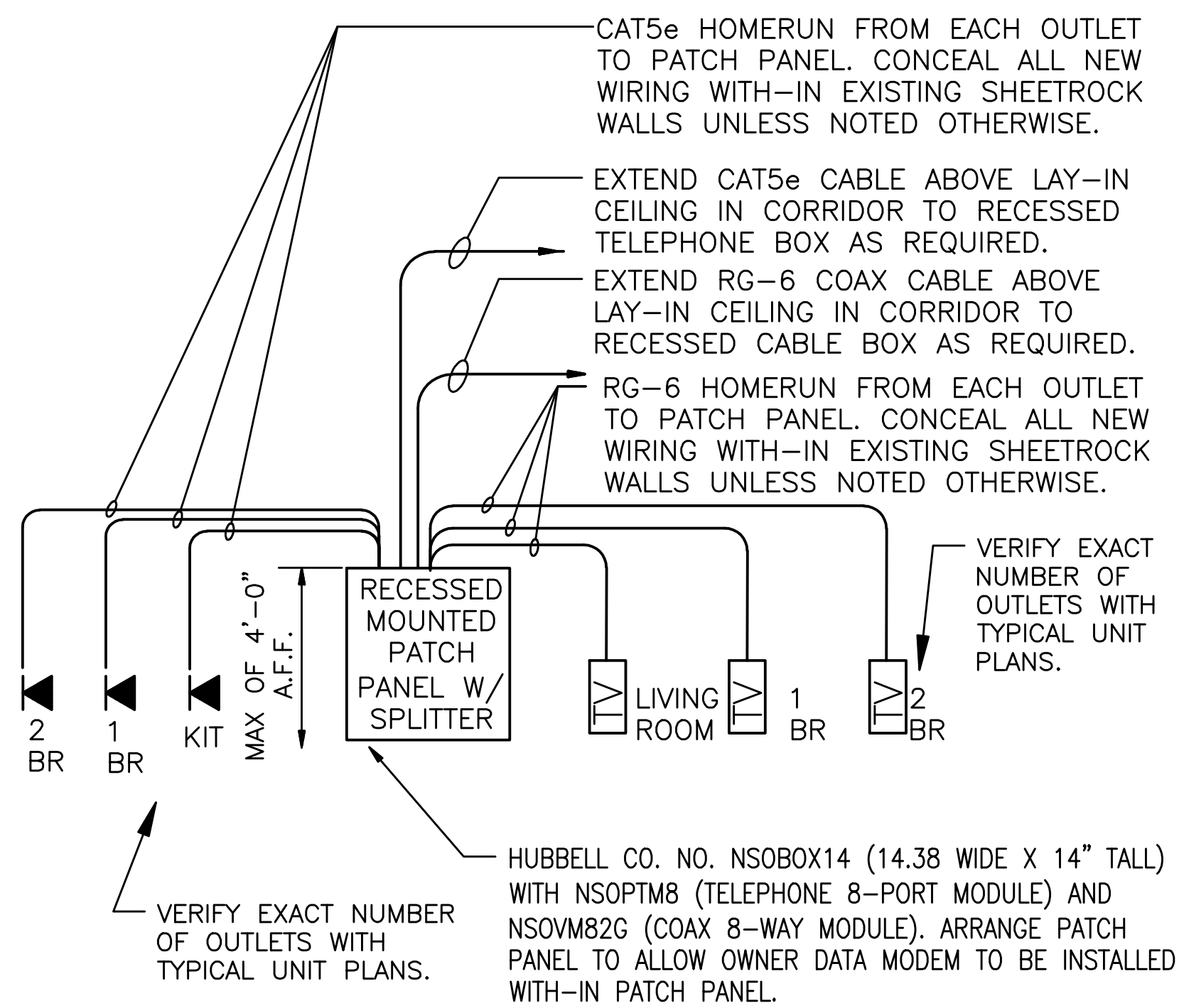


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SHEET NUMBER
E-0.1

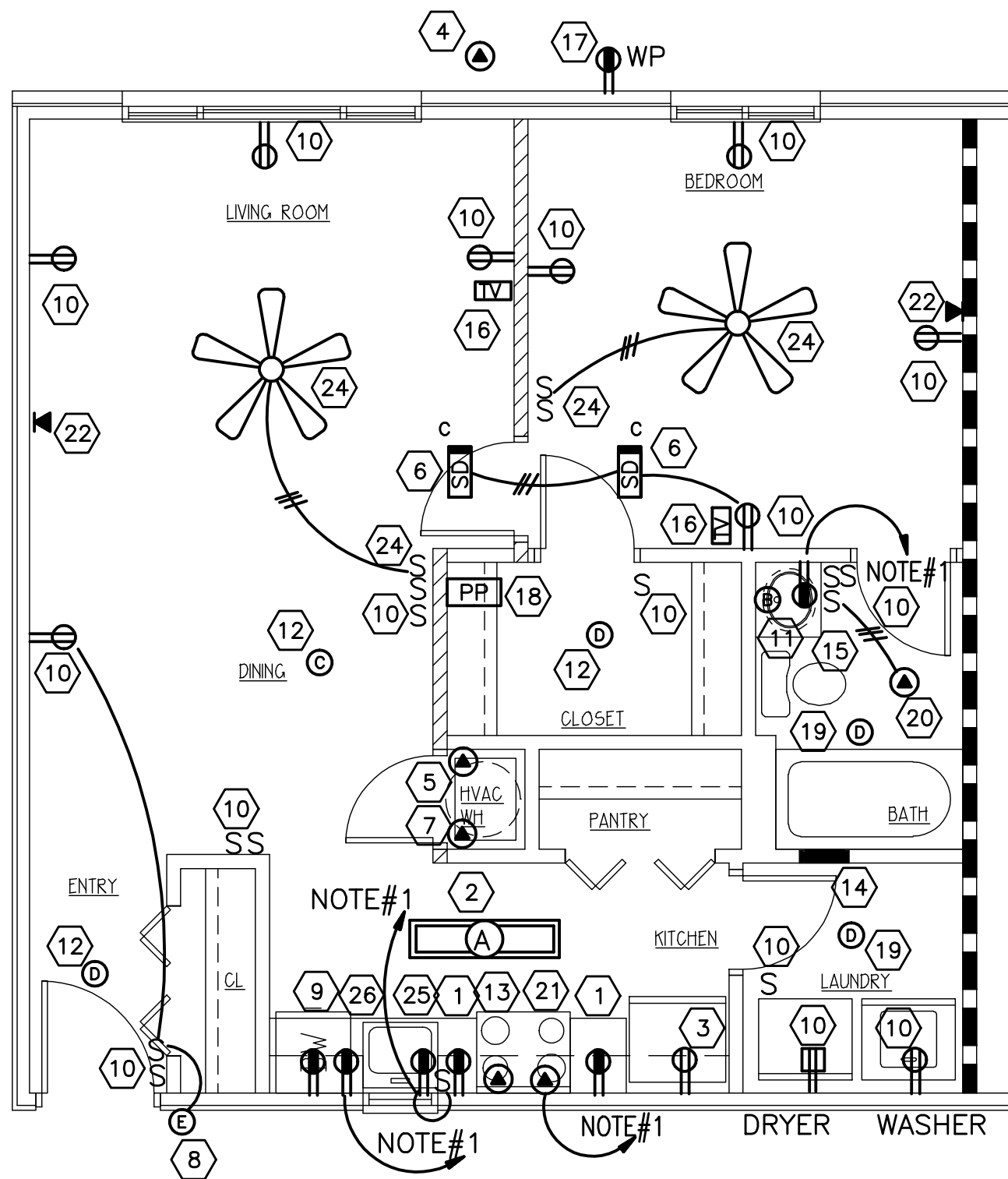


TYPICAL TELEPHONE / TELEVISION DIAGRAM

NO SCALE SYMBOL: [PP]

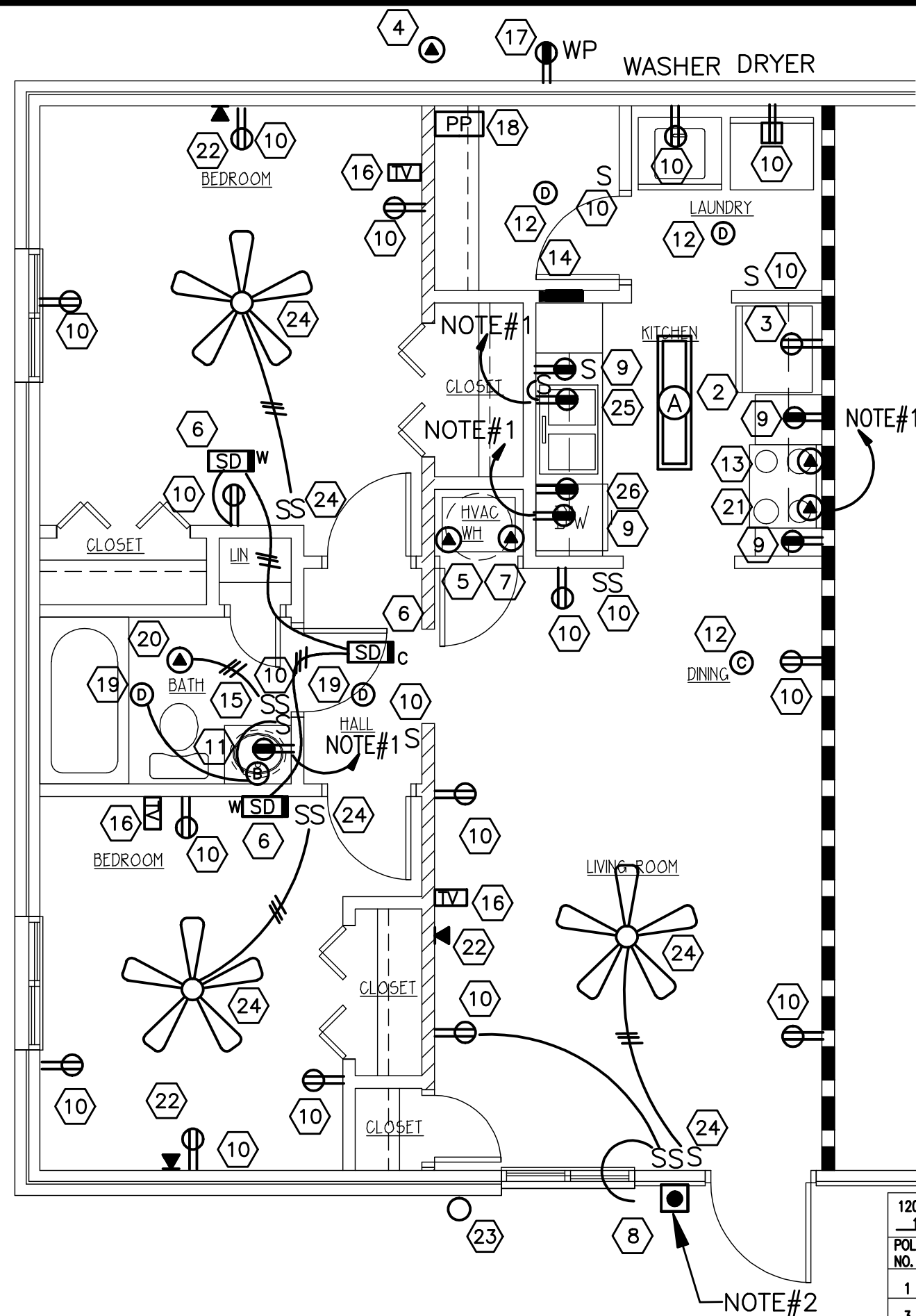
WALL LEGEND

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL



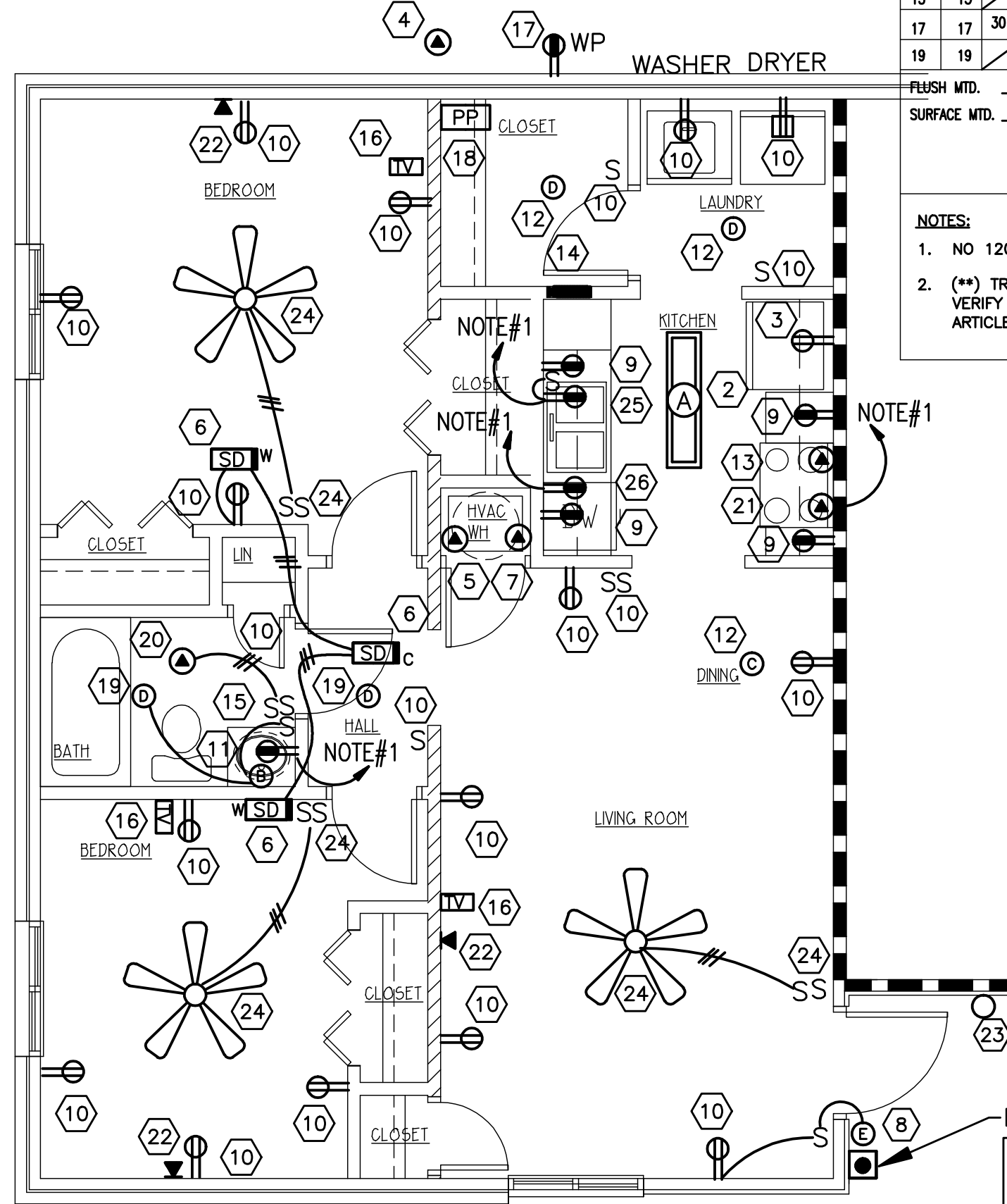
ONE BEDROOM UNIT

SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS



TWO BEDROOM UNIT

SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS



TWO BEDROOM UNIT

SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

GENERAL ELECTRICAL NOTES:

1. PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
2. PROVIDE AND INSTALL (2) SIGHT/HEARING CHIME AND STROBE UNITS, TRANSFORMER AND PUSH-BUTTON FOR SIGHT / HEARING UNITS INDICATED ON COVER SHEET. MOUNTED +/- 84" AFF, EDWARD CO. NO. (2) 6536-65 / 592 / 620 / 147-1 AS REQUIRED. CONNECT 120VOLT TO 24VOLT TRANSFORMER TO NEAREST UNSWITCHED 120VOLT PLUG CIRCUIT AS REQUIRED.
3. VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
4. NOT USED.
5. EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILING AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
6. CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILING AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILING TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
7. CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
8. CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

| 120/240 VOLTS, 1-PHASE, 3-WIRE, 1-Ø / PHASE | | EXISTING APT PANELS (14) | | MAIN BKR. AS NOTED AMP M.L.O. | | | |
|---|-----------|--------------------------|----------|-------------------------------|----------|----------------------------|---|
| POLE NO. | TRIP AMP. | LOAD V. A. | POLE NO. | TRIP AMP. | SERVICES | | |
| 1 | 20 | 1 | 2 | 20 | 1 | EXISTING LTS / PLUGS | |
| 3 | 20 | 1 | 4 | 20 | 1 | EXISTING LTS / PLUGS | |
| 5 | 20 | 1 | 6 | 20 | 1 | EXISTING LTS / PLUGS | |
| 7 | 20 | 1 | 8 | 30 | 1 | EXISTING WATER HEATER | |
| 9 | 20 | 1 | 10 | 10 | 2 | | |
| 11 | 11 | 20 | 12 | 12 | ** | NEW A/C UNIT, SEE SCHEDULE | |
| 13 | 13 | ** | 14 | 14 | 2 | | |
| 15 | 15 | 2 | 16 | 16 | 30 | EXISTING RANGE | |
| 17 | 17 | 30 | 18 | 18 | 2 | | |
| 19 | 19 | 2 | 20 | 20 | 20 | 1 | NEW DISHWASHER (AFCI/GFCI BKR)/GFCI BKR |

NOTES:
 1. NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.
 2. (***) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.

RENOVATION ELECTRICAL NOTES:

1. REPLACE EXISTING RECEPTACLES WITH NEW GFCI RECEPTACLE AND MATCHING COVERPLATE. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.
2. REPLACE EXISTING KITCHEN LIGHT WITH NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED.
3. NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
4. NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
5. NEW INDOOR MECHANICAL UNIT AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
6. FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (12010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177-cd) KIDDLE (SLED177) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
7. DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
8. PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
9. INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER OUTLETS.
10. EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
11. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
12. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
13. EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
14. EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
15. REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVERPLATE IN EXISTING OUTLET BOX IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
16. PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE, SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
17. PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
18. PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
19. PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
20. DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED. PROVIDE AND INSTALL NEW DUAL-SWITCH CONTROL. PROVIDE AND INSTALL NEW #12/3 W/G SWITCH-LEG AS REQ'D.
21. DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
22. EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
23. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
24. REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

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CAD FILE:

| | | | |
|--------------|--------------|-------------|----------------|
| DRWN BY: JDD | CHKD BY: MDA | APPR BY: KN | DATE: 06-30-16 |
| REVISIONS | | | |

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ONE AND TWO BEDROOM UNIT PLANS
ALLAN ASSOCIATES ARCHITECTS, PLLC



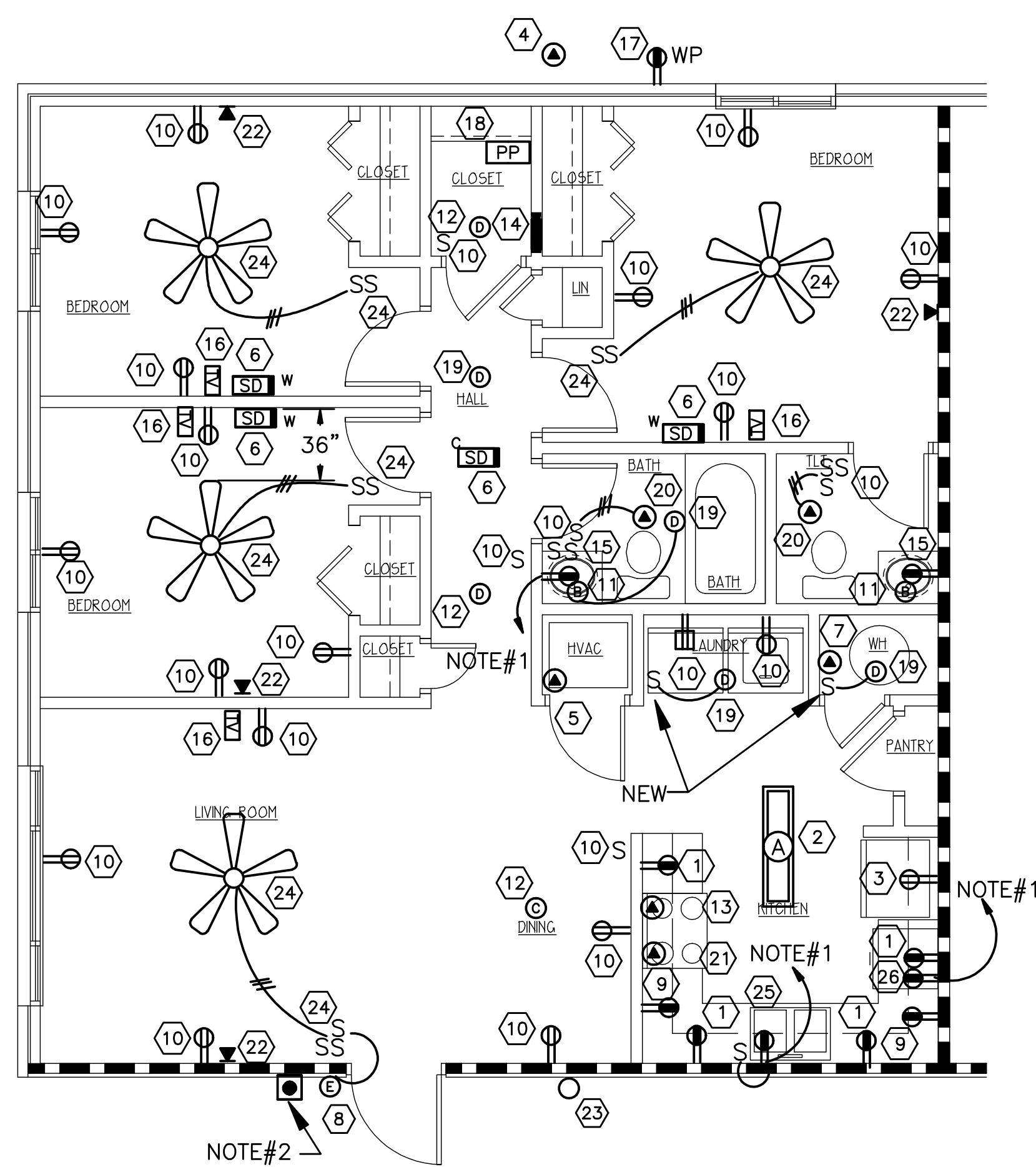
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KNOXVILLE, TENNESSEE 37912

865 / 689-1302

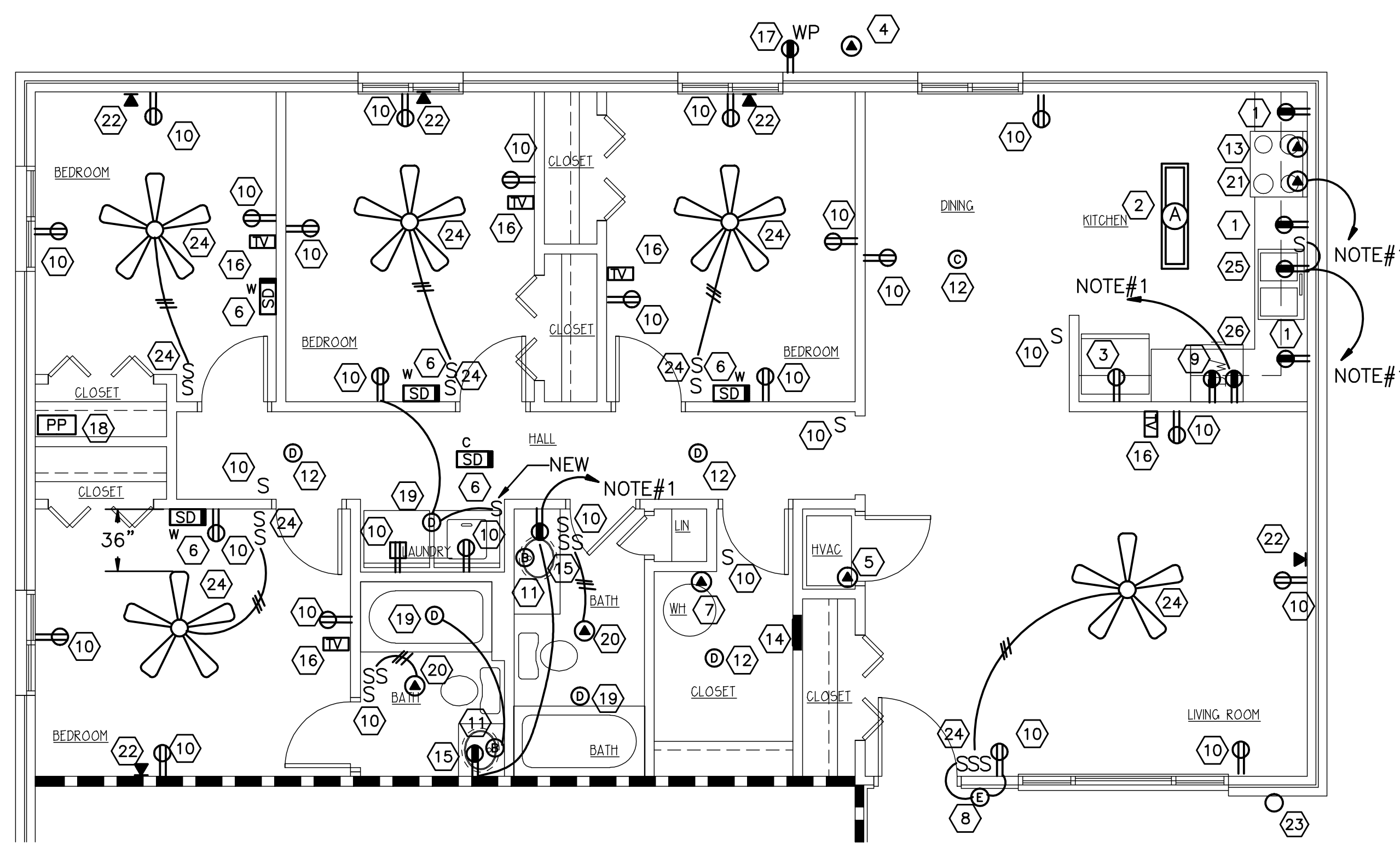
5616 WALLWOOD ROAD



1
E-1.1
THREE BEDROOM UNIT
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS

WALL LEGEND

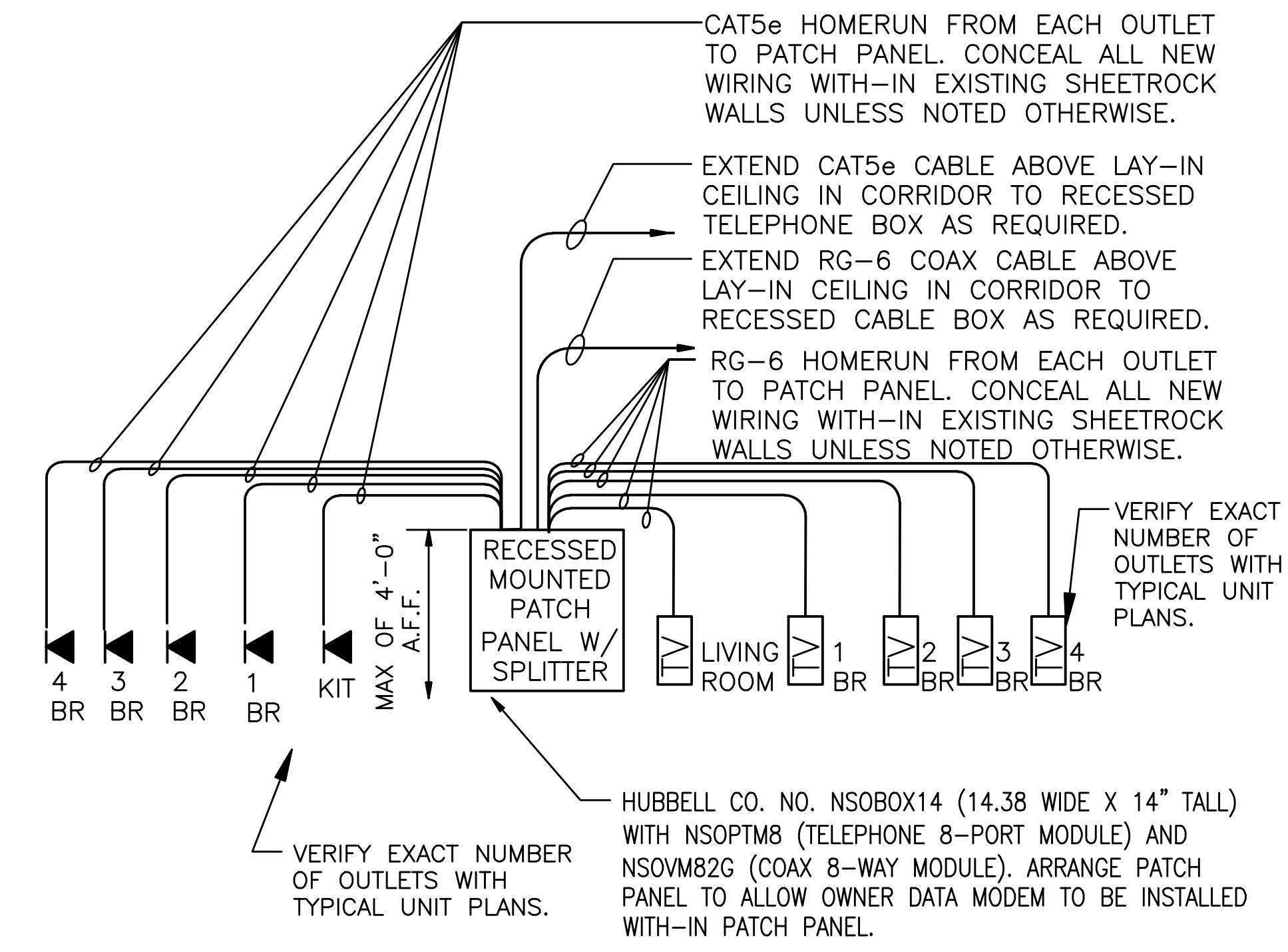
- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- - - PARTITION TO BE DEMO'D
- ▨ ASSUMED EXISTING LOAD BEARING WALL
- ▨ NEW PARTITION 2x4 STUDS
- 16" O.C. W/5/8" SHEETROCK



2
E-1.1
FOUR BEDROOM UNIT
SCALE: 1/4"=1'-0" 1,261 SF NET 1,351 SF GROSS

KEVIN E. NORRIS
ELECTRICAL ENGINEER

5515 WALLWOOD ROAD
KNOXVILLE, TN 37919
PHONE (615) 954-5248



TYPICAL TELEPHONE / TELEVISION DIAGRAM
NO SCALE SYMBOL: [EP]

- GENERAL ELECTRICAL NOTES:**
- PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
 - PROVIDE AND INSTALL (2) SIGHT/HEARING CHIME AND STROBE UNITS, TRANSFORMER AND PUSH-BUTTON FOR SIGHT / HEARING UNITS INDICATED ON COVER SHEET. MOUNTED +/- 84" AFF, EDWARD CO. NO. (2) 6536-65 / 592 / 620 / 147-1 AS REQUIRED. CONNECT 120VOLT TO 24VOLT TRANSFORMER TO NEAREST UNSWITCHED 120VOLT PLUG CIRCUIT AS REQUIRED.
 - VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
 - NOT USED.
 - EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILING AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
 - CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILING AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILING TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
 - CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
 - CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

- PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.
- PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

- RENOVATION ELECTRICAL NOTES.**
- REPLACE EXISTING RECEPTACLES WITH NEW GFCI RECEPTACLE AND MATCHING COVERPLATE. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.
 - REPLACE EXISTING KITCHEN LIGHT WITH NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED.
 - NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
 - NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE. VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
 - NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
 - FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (112010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177I) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
 - DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
 - PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
 - INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.
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 - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
 - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
 - EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
 - EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
 - REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
 - PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE. SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
 - PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
 - PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
 - PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
 - DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED. PROVIDE AND INSTALL NEW DUAL-SWITCH CONTROL. PROVIDE AND INSTALL NEW #12/3 W/G SWITCH-LEG AS REQ'D.
 - DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
 - EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
 - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
 - REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

CAD FILE:

DRWN BY: JDD
CHKD BY: MDA
APPR BY: KN
DATE: 06-30-16
REVISIONS

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

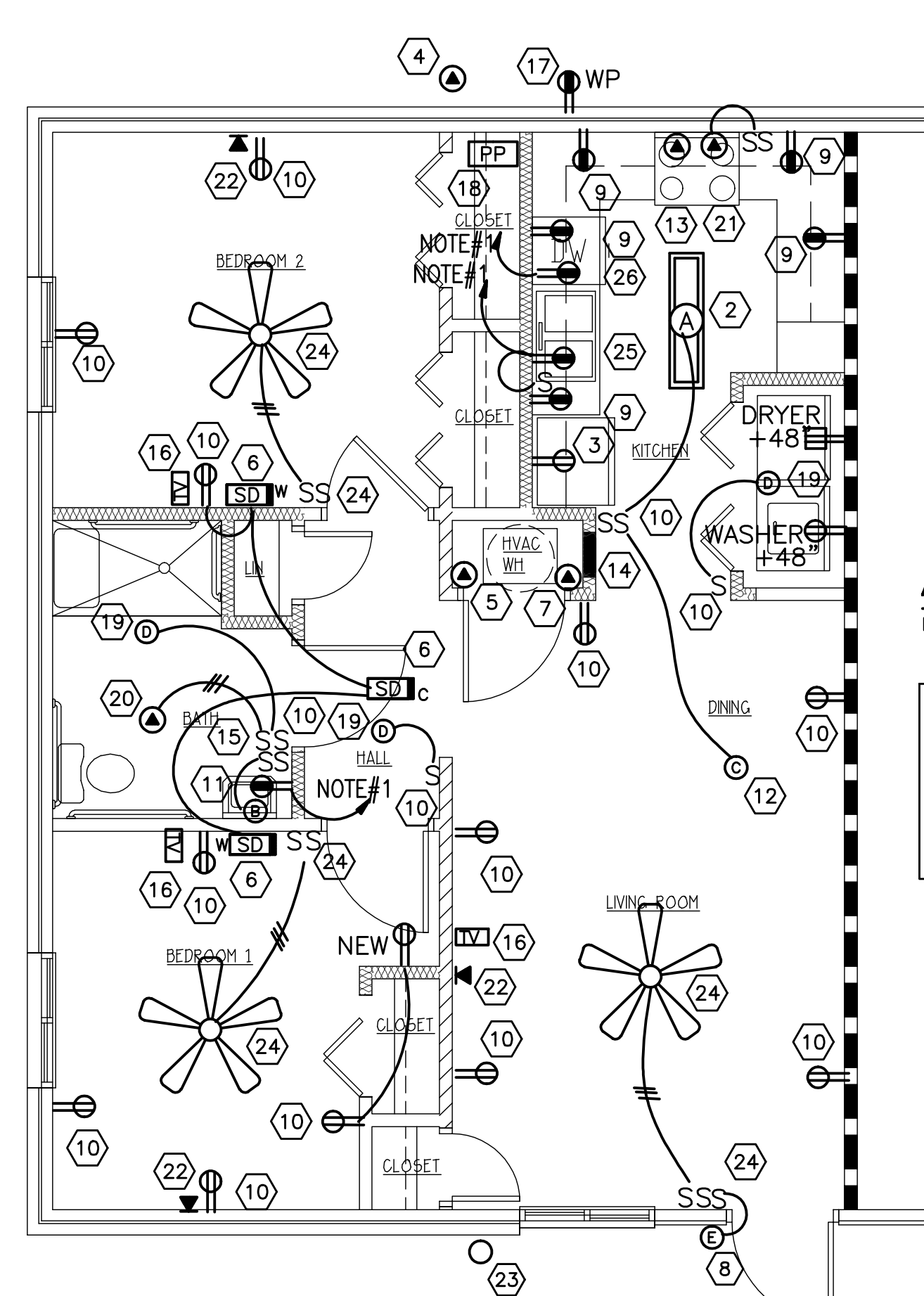
THREE AND FOUR BEDROOM UNIT PLANS

ALLAN ASSOCIATES ARCHITECTS, PLLC

955 / 689-1302
5515 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912

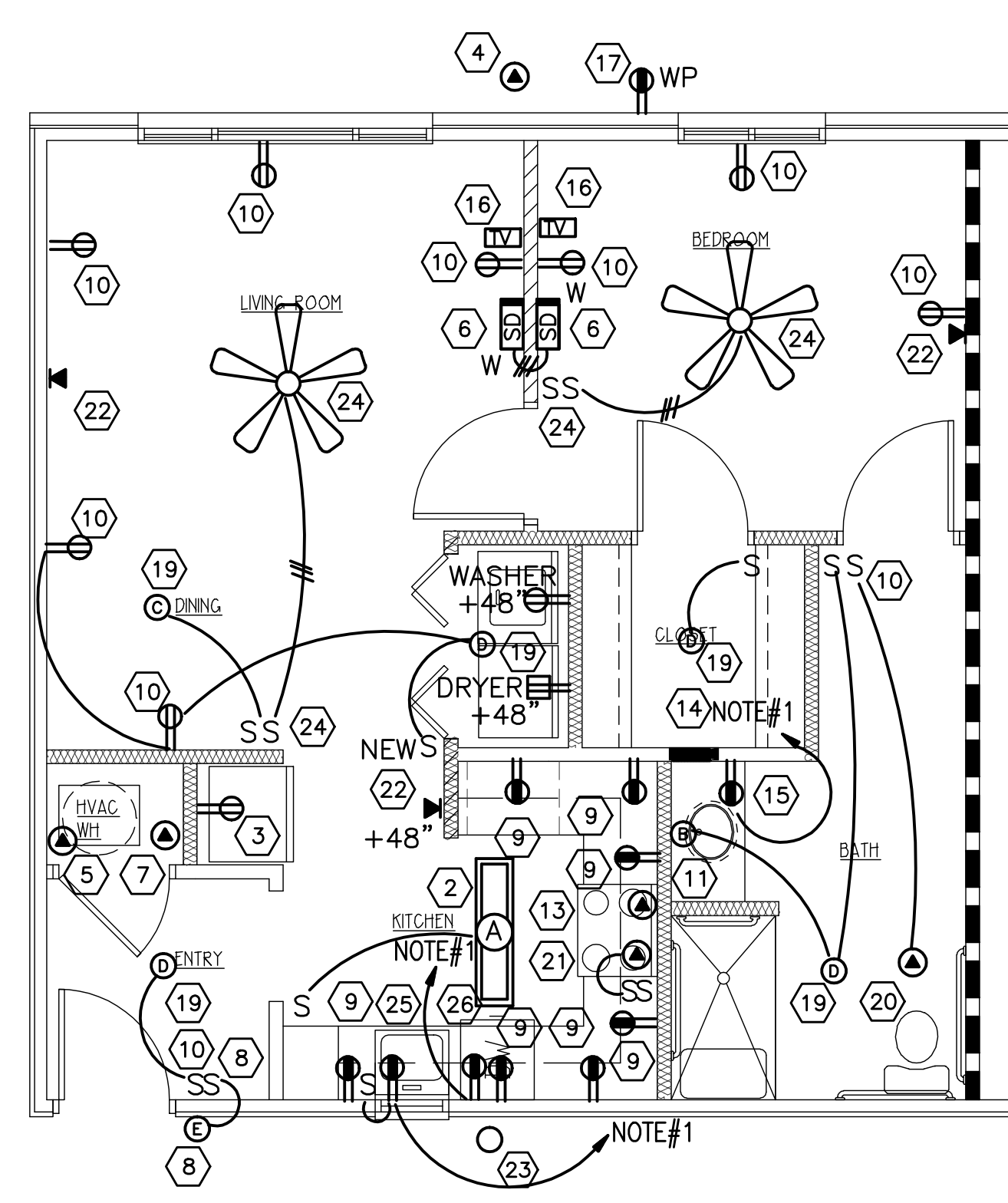
REGISTERED
STATE OF ARKANSAS
NO. 11802
KEVIN E. NORRIS
ELECTRICAL ENGINEER
PROFESSIONAL SEAL 06/30/16

SHEET NUMBER
E-1.1



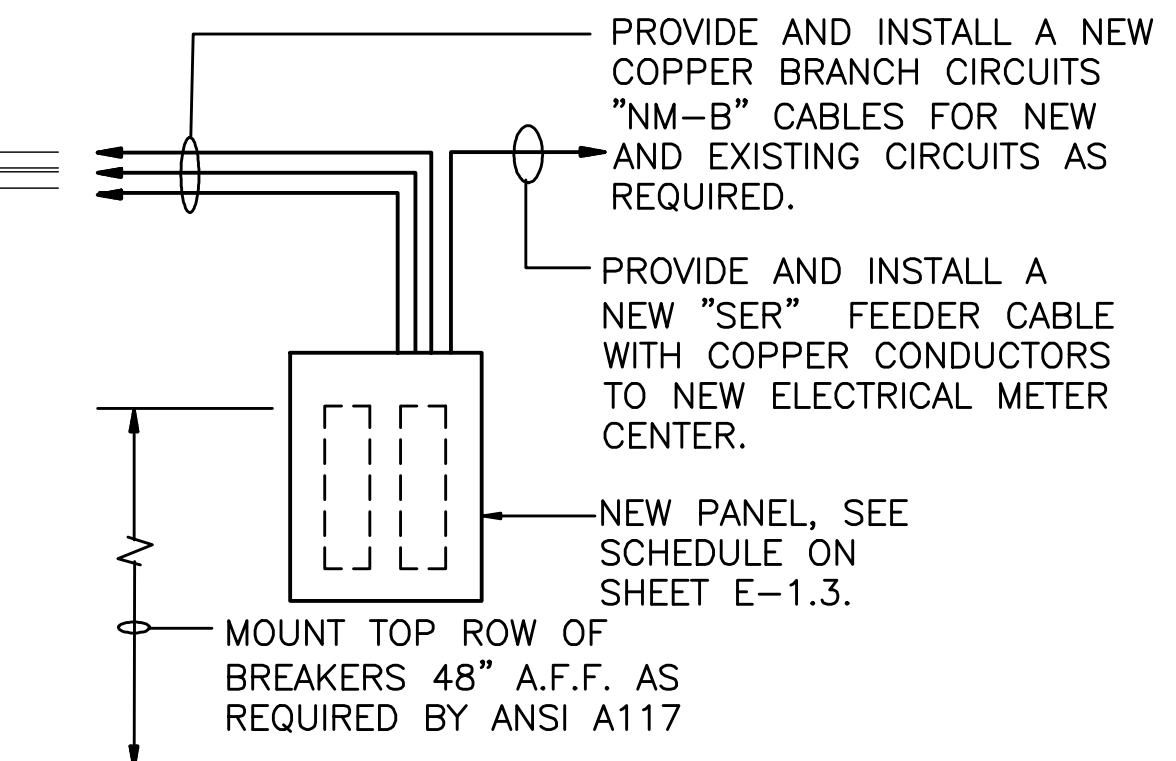
3 TWO BEDROOM ACC. UNIT
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

TYPICAL DWELLING UNITS ELECTRICAL NOTES:
1. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS WITH-IN DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(A)(1) THROUGH (A)(3). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING NECESSARY TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS ABOVE THE DWELLING UNIT KITCHEN COUNTERTOPS IN EACH DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(C)(1) THROUGH (C)(5). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE. ALL ELECTRICAL OUTLETS MOUNTED ABOVE COUNTER TOPS IN KITCHEN SHALL BE MOUNTED HORIZONTAL WITH TOP OF OUTLETS AT +44" A.F.F. FOR ACCESSIBLE CODES.



1 ONE BEDROOM ACC. UNIT
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS

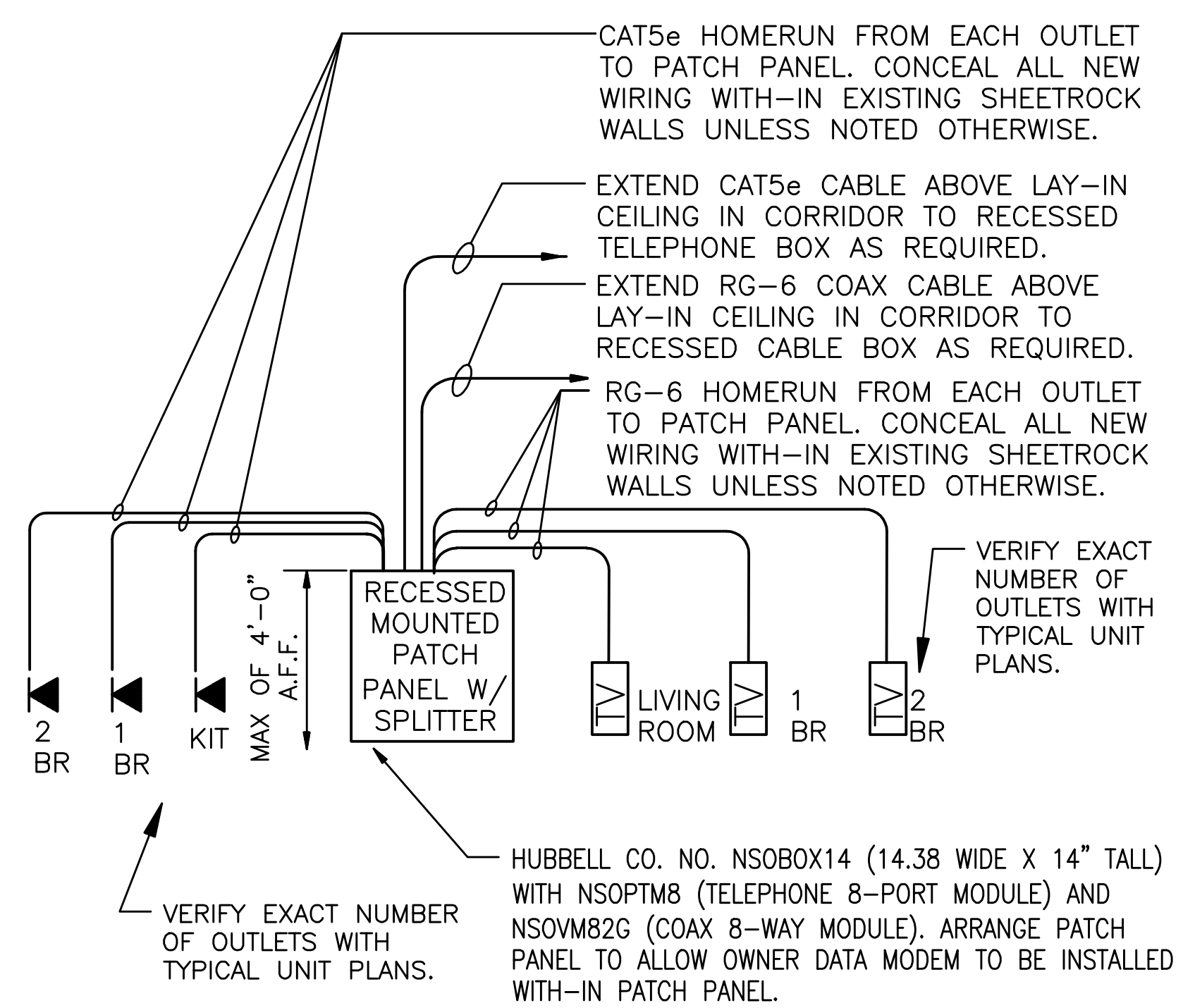
WALL LEGEND
- - - EXISTING 1 HR RATED
- - - EXISTING INT. PARTITION TO REMAIN
- - - PARTITION TO BE DEMO'D
- - - ASSUMED EXISTING LOAD BEARING WALL
- - - NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK



ACCESSIBLE FEEDER DIAGRAM
NO SCALE

WIRING SCHEDULE:
100 AMP SERVICE "SER" CABLE - 3#4 CU W/ GRND.
125 AMP SERVICE "SER" CABLE - 3#1 CU W/ GRND.
150 AMP SERVICE "SER" CABLE - 3#1/0 CU W/ GRND.
200 AMP SERVICE "SER" CABLE - 3#2/0 CU W/ GRND.

GENERAL ELECTRICAL NOTES:
1. PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
2. NOT USED.
3. VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
4. NOT USED.
5. EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
6. CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILINGS TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
7. CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
8. CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT WITH ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.



TYPICAL TELEPHONE / TELEVISION DIAGRAM
NO SCALE

DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :
1. ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

(25) PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.
(26) PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

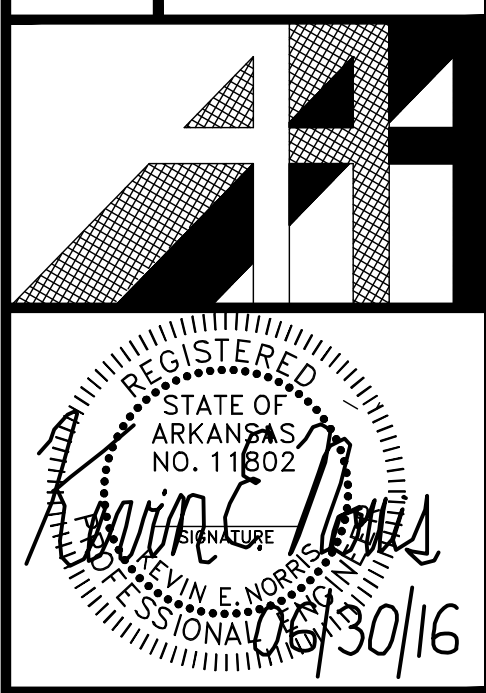
RENOVATION ELECTRICAL NOTES:
(1) NOT USED.
(2) NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT AS REQUIRED.
(3) NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (112010S), GENEX OR BRK CONNECT TO 120V ARC-FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177I) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NEPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
(7) DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
(8) PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
(9) INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER OUTLETS.
EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AND NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE. (SEE GENERAL NOTE#3)
(11) REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
(12) REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES TO NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
(13) EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
(15) PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE, SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
(18) PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
(20) DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED.
(21) DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
(22) EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
(23) REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

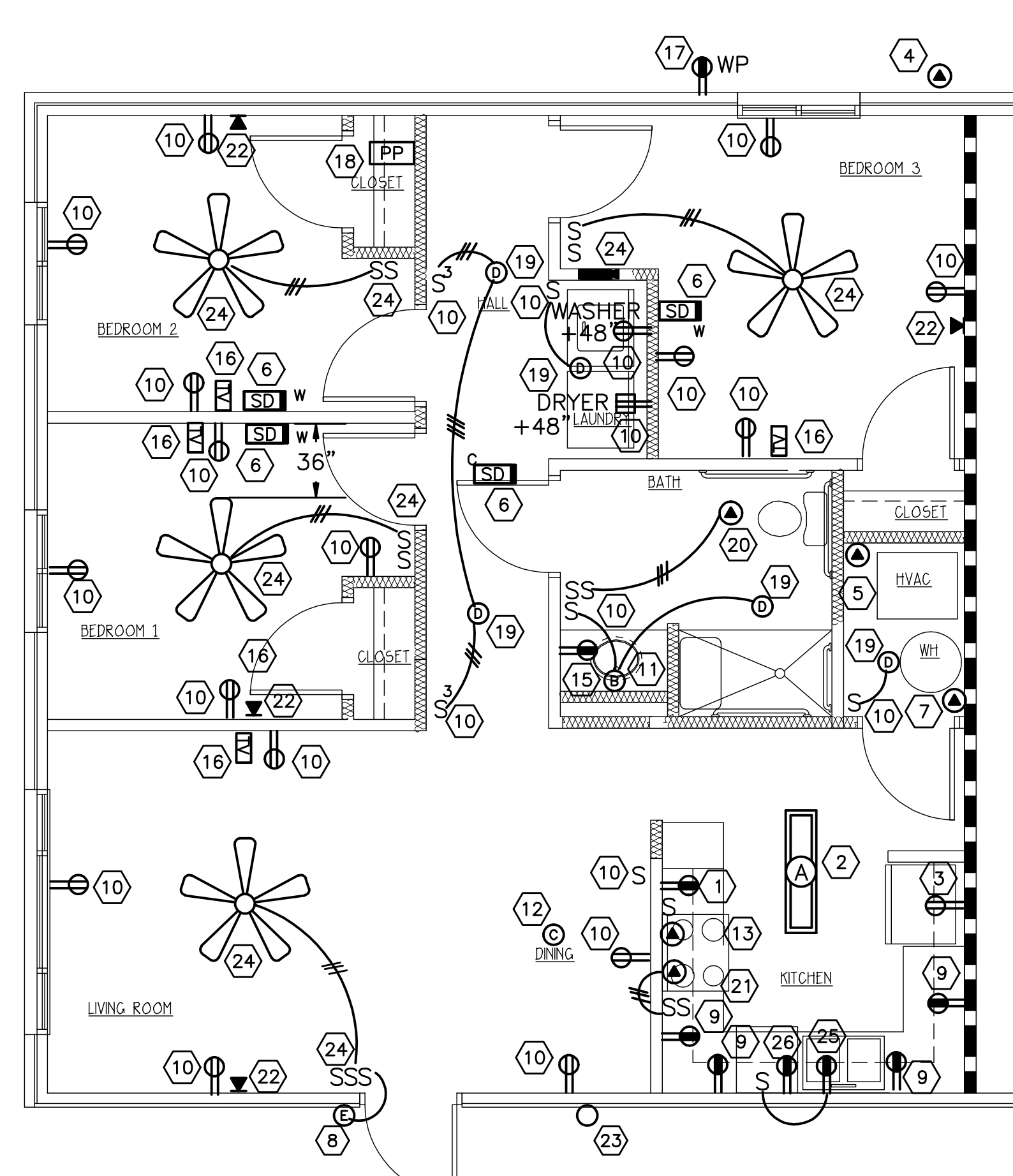
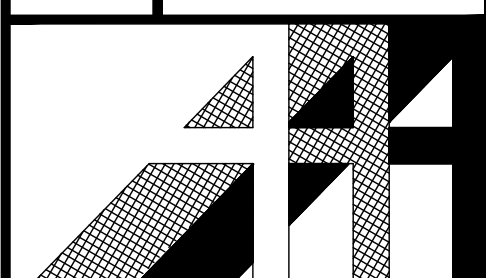
KEVIN E. NORRIS
ELECTRICAL ENGINEER
8818 WALLWOOD ROAD
KNOXVILLE, TN 37912
PHONE: (615) 854-9068

Table with columns for DRWN BY, CHKD BY, APPR BY, DATE, and REVISIONS.

WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS
ONE AND TWO BR ACCESSIBLE UNIT PLANS

ALLAN ASSOCIATES ARCHITECTS, PLLC
5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912
865 / 689-1302





THREE BEDROOM ACC. UNIT

SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS

WALL LEGEND

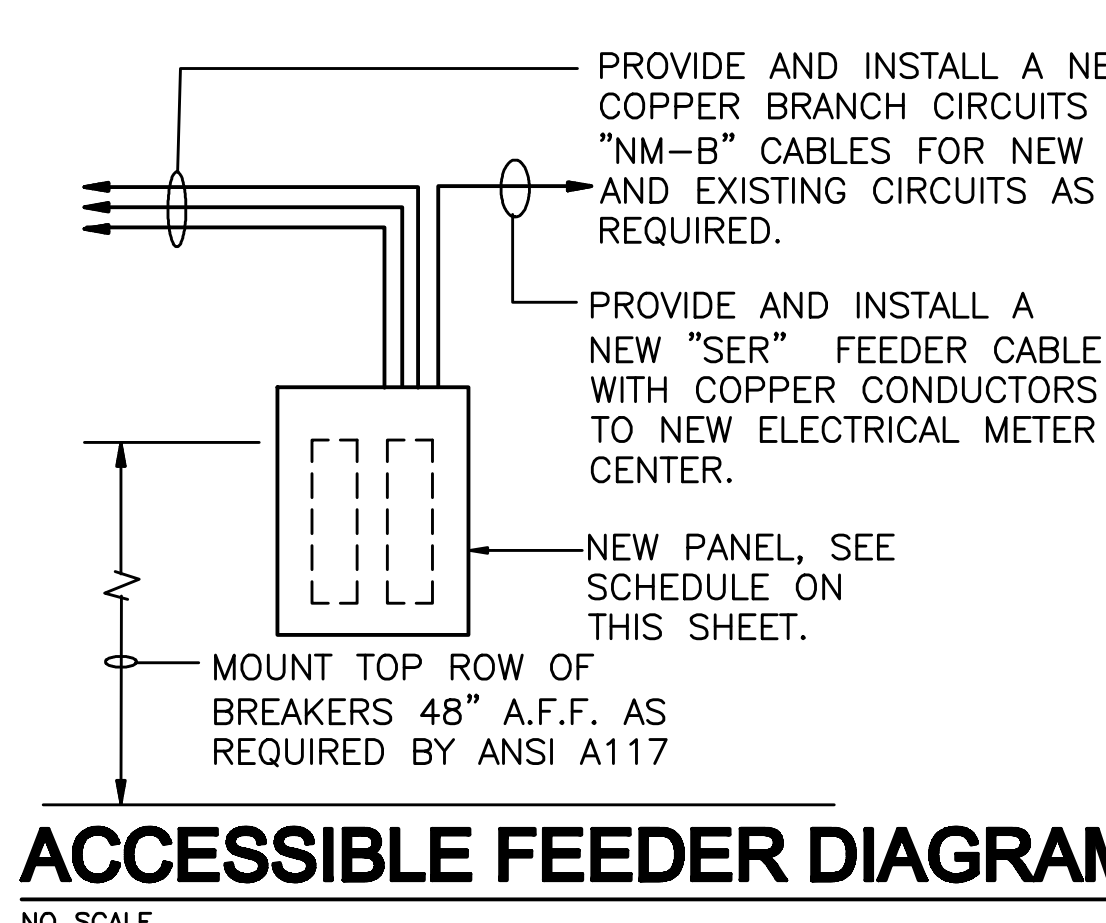
- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL
- NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :

1. ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

- GENERAL ELECTRICAL NOTES:**
- PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
 - NOT USED.
 - VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
 - NOT USED.
 - EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
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 - CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT WITH ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

- RENOVATION ELECTRICAL NOTES.**
- NOT USED.
 - NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT AS REQUIRED.
 - NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
 - NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
 - NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
 - FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (112010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
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 - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES TO NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
 - EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
 - EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
 - REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
 - PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE. SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
 - PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
 - PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
 - PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
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ACCESSIBLE FEEDER DIAGRAM
NO SCALE

WIRING SCHEDULE:

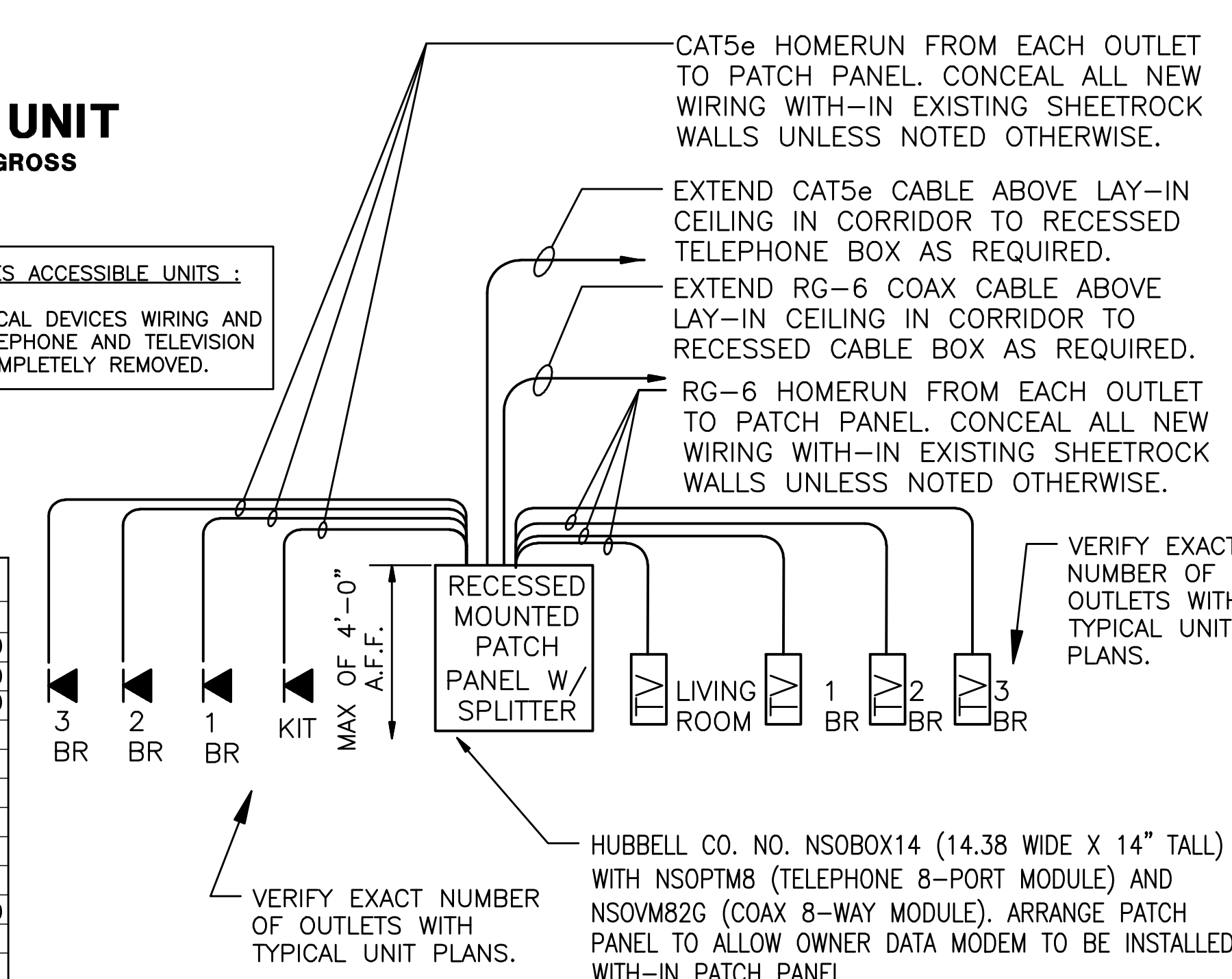
| |
|---|
| 100 AMP SERVICE "SER" CABLE - 3#4 CU W/ GRND. |
| 125 AMP SERVICE "SER" CABLE - 3#1 CU W/ GRND. |
| 150 AMP SERVICE "SER" CABLE - 3#1/0 CU W/ GRND. |
| 200 AMP SERVICE "SER" CABLE - 3#2/0 CU W/ GRND. |

- TYPICAL DWELLING UNITS ELECTRICAL NOTES:**
- CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS WITH-IN DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(A)(1) THROUGH (A)(3). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING NECESSARY TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
 - CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS ABOVE THE DWELLING UNIT KITCHEN COUNTERTOPS IN EACH DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(C)(1) THROUGH (C)(5). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE. ALL ELECTRICAL OUTLETS MOUNTED ABOVE COUNTER TOPS IN KITCHEN SHALL BE MOUNTED HORIZONTAL WITH TOP OF OUTLETS AT +44" A.F.F. FOR ACCESSIBLE CODES.

| 120/240 VOLTS, 1-PHASE, 3-WIRE, 1- WIR / PHASE | | NEW ACCESSIBLE APT PANELS (14) | | MAIN BKR. AS NOTED AMP M.L.O. | |
|--|-----------|--------------------------------|-----------------------------|-------------------------------|-----------|
| POLE NO. | TRIP TYPE | NO. | PHASE | NO. | TRIP TYPE |
| 1 | 20 | 1 | NEW DISPOSER (NOTE#3) | 2 | 20 |
| 3 | 3 | 20 | NEW LITS / PLUGS (NOTE#3) | 4 | 4 |
| 5 | 5 | 20 | NEW LITS / PLUGS (NOTE#3) | 6 | 6 |
| 7 | 7 | 20 | NEW LITS / PLUGS (NOTE#3) | 8 | 8 |
| 9 | 9 | 20 | NEW LITS / PLUGS (NOTE#3) | 10 | 10 |
| 11 | 11 | 20 | NEW BATHROOM PLUGS (NOTE#3) | 12 | ** |
| 13 | 13 | ** | NEW A/C UNIT, SEE SCHEDULE | 14 | 14 |
| 15 | 15 | 2 | | 16 | 16 |
| 17 | 17 | 30 | NEW DRYER | 18 | 18 |
| 19 | 19 | 2 | | 20 | 20 |
| 21 | 21 | 20 | SPARE | 22 | 20 |
| 23 | 23 | 20 | SPARE | 24 | 20 |
| 25 | 25 | 20 | SPARE | 26 | 20 |
| 27 | 27 | 20 | SPARE | 28 | 20 |
| 27 | 27 | 20 | SPARE | 28 | 20 |

FLUSH MTD. X CONNECTED V. A. / PHASE 14,950 16,650 *A.L.C. RATING: 10,000 AMPS.
SURFACE MTD. CONNECTED AMP. / PHASE 124.5 138.8

- NOTES:**
- NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.
 - (**) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.
 - ALL 120 VOLT, SINGLE PHASE, 15 & 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, KITCHEN, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12, 2014 EDITION).



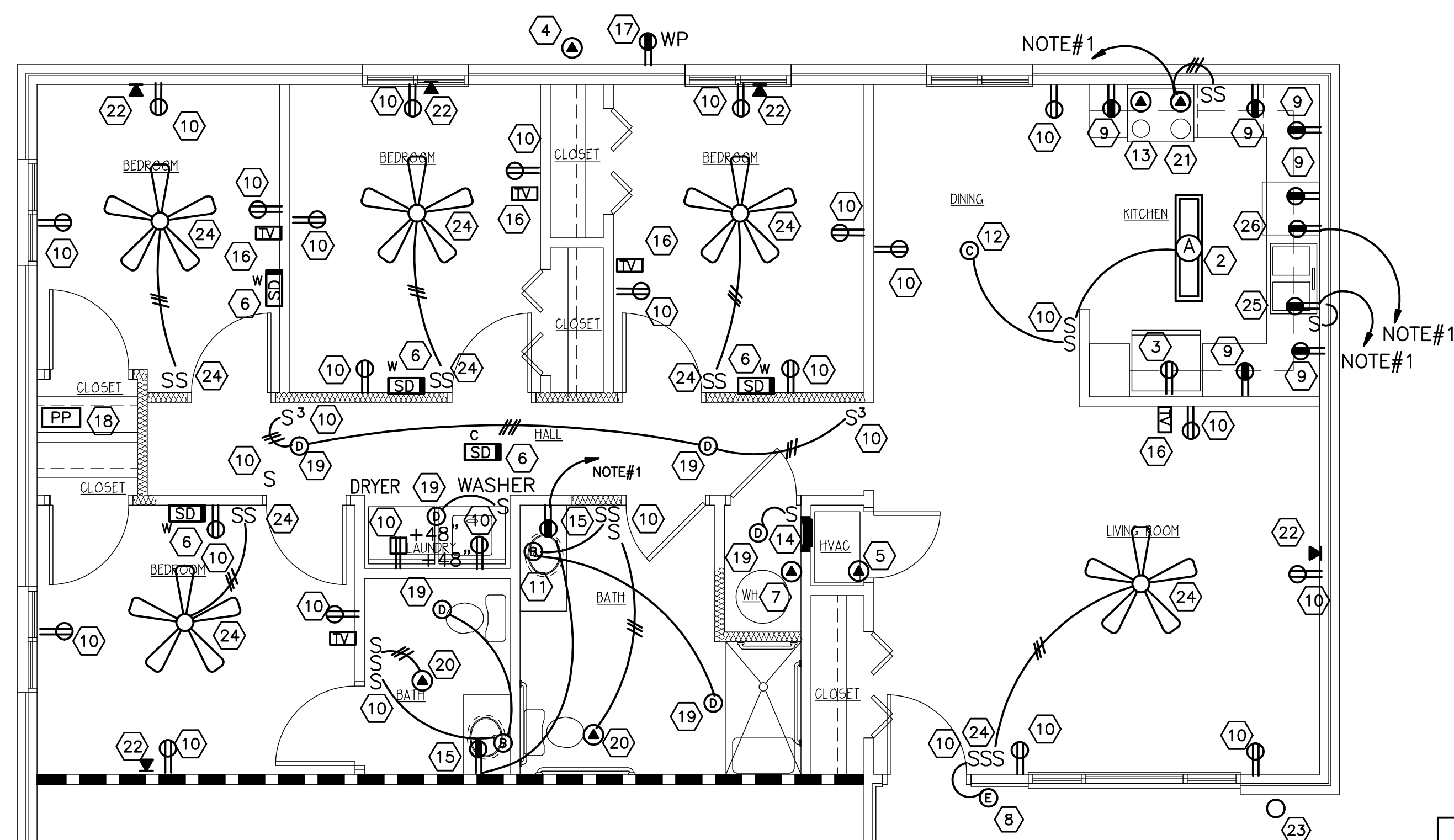
TYPICAL TELEPHONE / TELEVISION DIAGRAM
NO SCALE SYMBOL: [PP]

- DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :**
- ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

- PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.
- PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

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GENERAL ELECTRICAL NOTES:

1. PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
2. NOT USED.
3. VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.), CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
4. NOT USED.
5. EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
6. CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILINGS TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
7. CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
8. CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT WITH ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

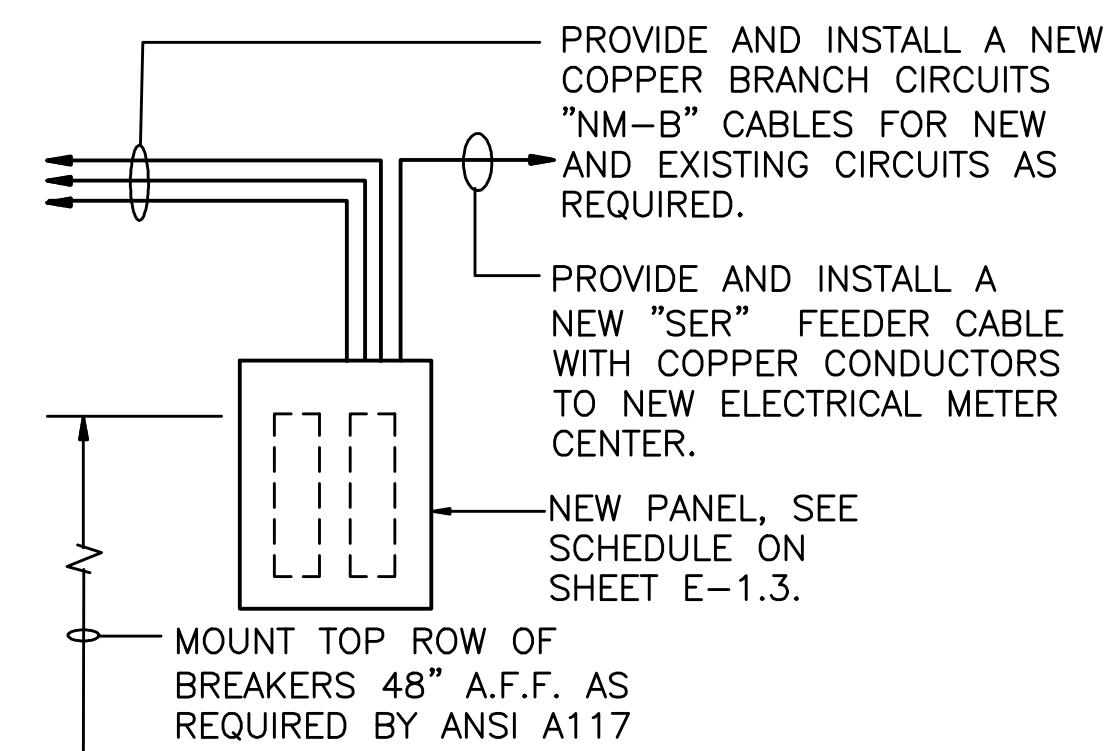
RENOVATION ELECTRICAL NOTES:

1. NOT USED.
2. NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT AS REQUIRED.
3. NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
5. FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (121010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
7. DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
8. PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
9. INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER UNITS.
10. EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AND NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE. (SEE GENERAL NOTE#3)
11. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
12. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES TO NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
13. EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
14. EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
15. REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER UNITS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
16. PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE, SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
17. PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
18. PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
19. PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
20. DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED.
21. DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
22. EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
23. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
24. REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :

1. ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

FOUR BEDROOM ACC. UNIT
 SCALE: 1/4"=1'-0" 1,261 SF NET 1,351 SF GROSS

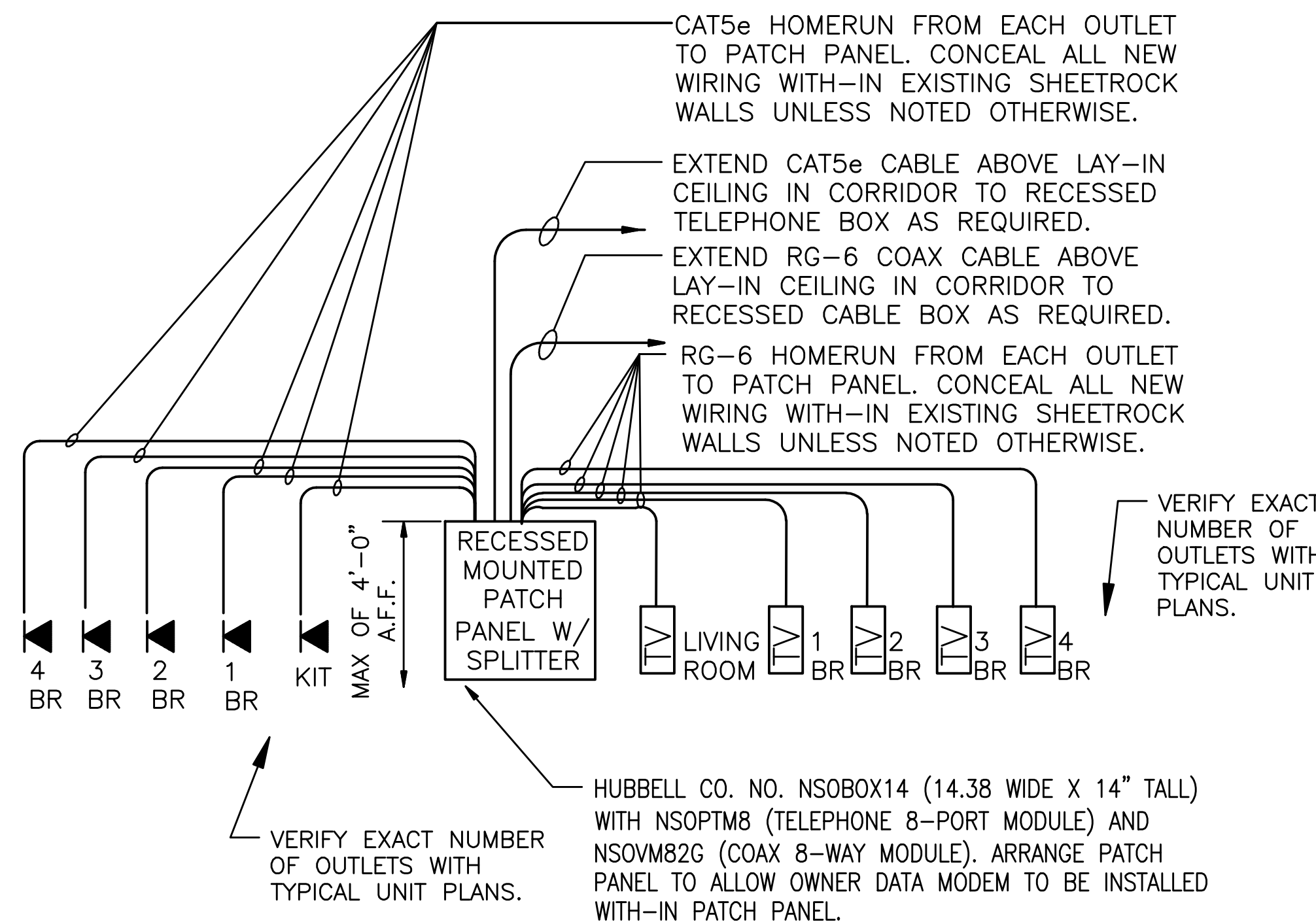


ACCESSIBLE FEEDER DIAGRAM

NO SCALE

WIRING SCHEDULE:

- 100 AMP SERVICE "SER" CABLE - 3#4 CU W/ GRND.
- 125 AMP SERVICE "SER" CABLE - 3#1 CU W/ GRND.
- 150 AMP SERVICE "SER" CABLE - 3#1/0 CU W/ GRND.
- 200 AMP SERVICE "SER" CABLE - 3#2/0 CU W/ GRND.



TYPICAL TELEPHONE / TELEVISION DIAGRAM

NO SCALE

SYMBOL: [PP]

TYPICAL DWELLING UNITS ELECTRICAL NOTES:

1. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS WITH-IN DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(A)(1) THROUGH (A)(3). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING NECESSARY TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS ABOVE THE DWELLING UNIT KITCHEN COUNTERTOPS IN EACH DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(C)(1) THROUGH (C)(5). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE. ALL ELECTRICAL OUTLETS MOUNTED ABOVE COUNTER TOPS IN KITCHEN SHALL BE MOUNTED HORIZONTAL WITH TOP OF OUTLETS AT +44" A.F.F. FOR ACCESSIBLE CODES.

KEVIN E. NORRIS
 ELECTRICAL ENGINEER

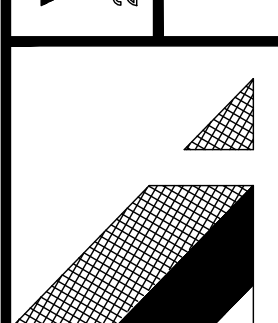
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 PHONE: (615) 854-9088

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| | | | |
|--------------|--------------|-------------|----------------|
| DRWN BY: JDD | CHKD BY: MDA | APPR BY: KN | DATE: 06-30-16 |
| REVISIONS | | | |

WHITE RIVER APARTMENTS
 2800 MARION DRIVE
 DIAZ, ARKANSAS

FOUR BEDROOM ACCESSIBLE UNIT PLANS
ALLAN ASSOCIATES ARCHITECTS, PLLC



REGISTERED PROFESSIONAL ARCHITECT
 STATE OF ARKANSAS
 NO. 11802
 DATE: 06/30/16

SHEET NUMBER

E-1.4

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD

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| DRWN. BY: JDD |
| CHKD. BY: MDA |
| APPR. BY: KN |
| DATE: 06-30-16 |
| REVISIONS |

BUILDING PLANS - ELECTRICAL

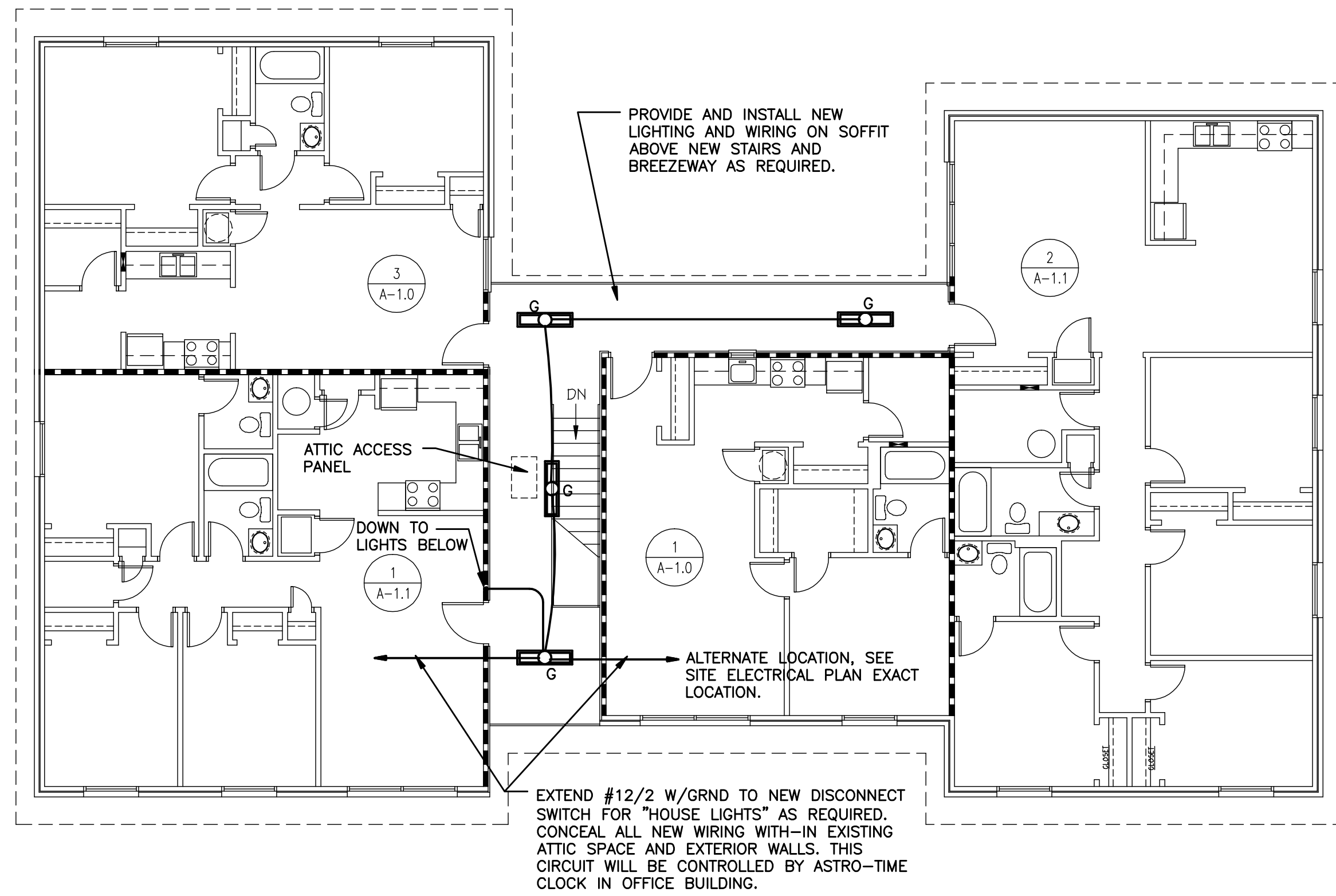
WHITE RIVER APARTMENTS
2800 MARION DRIVE
DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5616 WALLWOOD ROAD



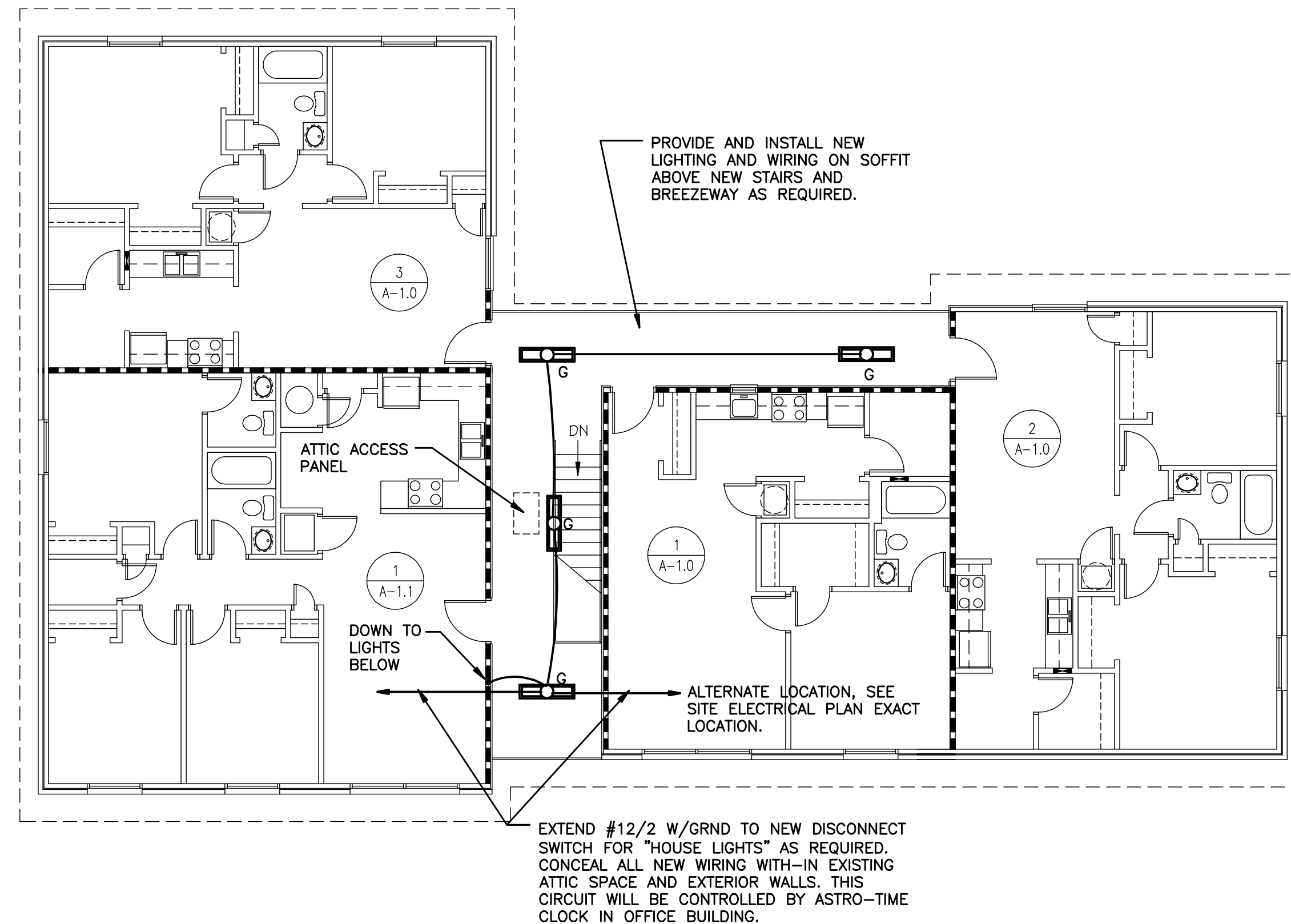
BLDG'S '2','3','5','8'
SECOND FLOOR PLAN

4
E-2.0

SCALE: 1/8"=1'-0"

EXISTING LIGHTING NOTE:
EXISTING STAIRS AND BREEZEWAYS AREA ARE BEING REPLACES. SEE ARCHITECTURAL DRAWINGS. REMOVE ALL EXISTING WALL MOUNTED EXTERIOR LIGHTING AND PHOTO-CELL. EXISTING EXTERIOR LIGHTING AND PHOTO-CELL ARE CONNECTED TO ONE OF THE EXISTING TENANT PANELS IN EACH BUILDING.

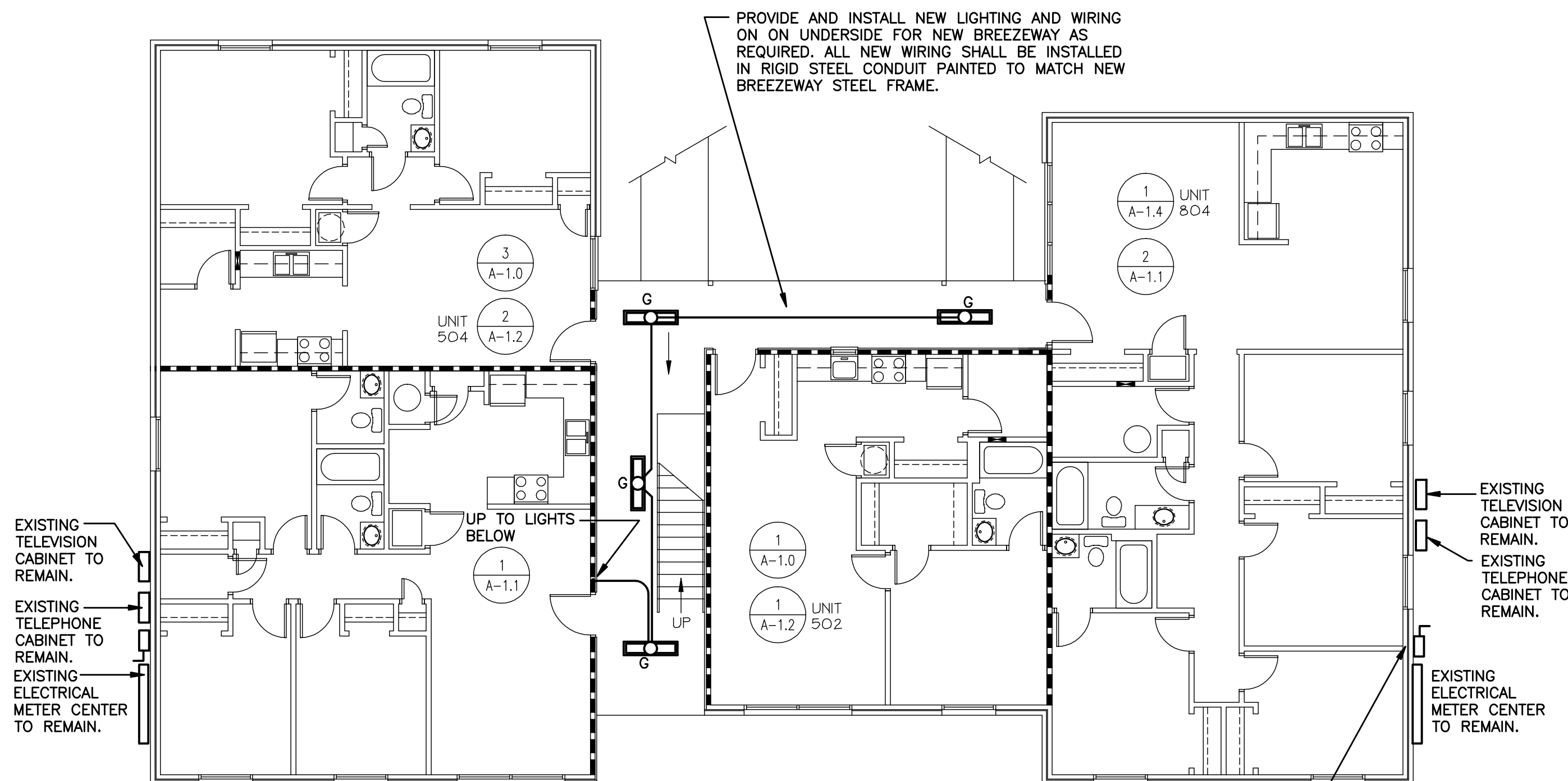
TELEPHONE AND TELEVISION SERVICE NOTE:
CONTRACTOR SHALL REMOVE ALL EXISTING TELEPHONE AND TV CABLE FROM THE EXTERIOR FACE FROM ALL BUILDINGS AS REQUIRED. ALL TELEPHONE AND TV CABLES SHALL BE CONCEALED WITH-IN EXISTING WALLS AS REQUIRED, SEE DETAILS ON TYPICAL UNIT PLANS.



BLDG'S '1','4','6','7'
SECOND FLOOR PLAN

2
E-2.0

SCALE: 1/8"=1'-0"

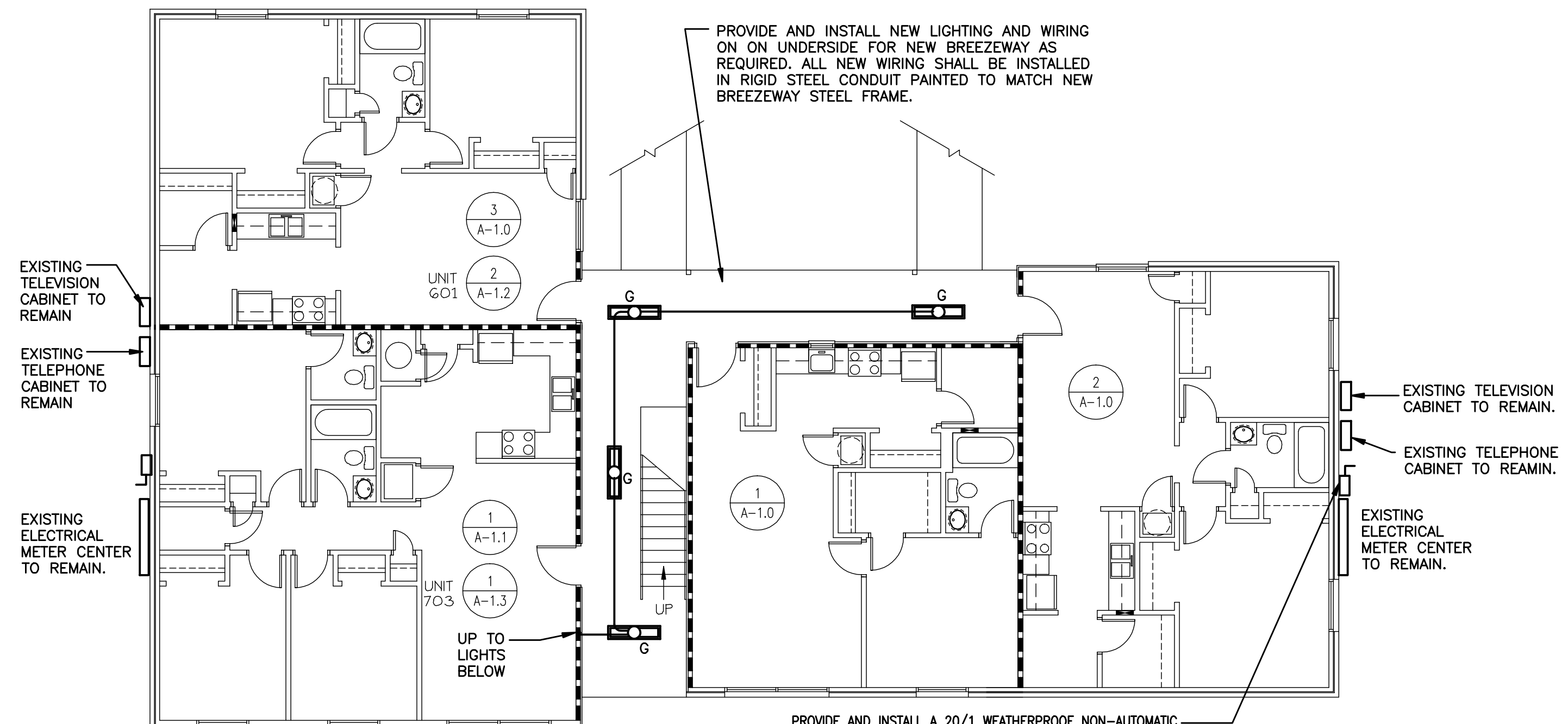


BLDG'S '2','3','5','8'
FIRST FLOOR PLAN

3
E-2.0

SCALE: 1/8"=1'-0"

PROVIDE AND INSTALL A 20/1 WEATHERPROOF NON-AUTOMATIC DISCONNECT SWITCH FOR NEW EXTERIOR BREEZEWAY LIGHTS FOR EACH BUILDING. LOCATED DISCONNECT SWITCH ON EXTERIOR WALL NEXT TO EXISTING ELECTRICAL METER CENTER AS REQUIRED. LABEL DISCONNECT SWITCH "HOUSE LIGHTS - CONNECTED TO PANEL IN OFFICE".



BLDG'S '1','4','6','7'
FIRST FLOOR PLAN

1
E-2.0

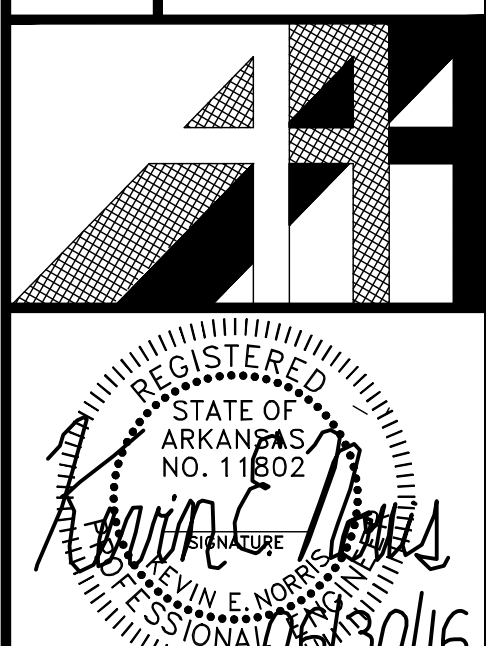
SCALE: 1/8"=1'-0"

PROVIDE AND INSTALL A 20/1 WEATHERPROOF NON-AUTOMATIC DISCONNECT SWITCH FOR NEW EXTERIOR BREEZEWAY LIGHTS FOR EACH BUILDING. LOCATED DISCONNECT SWITCH ON EXTERIOR WALL NEXT TO EXISTING ELECTRICAL METER CENTER AS REQUIRED. LABEL DISCONNECT SWITCH "HOUSE LIGHTS - CONNECTED TO PANEL IN OFFICE".

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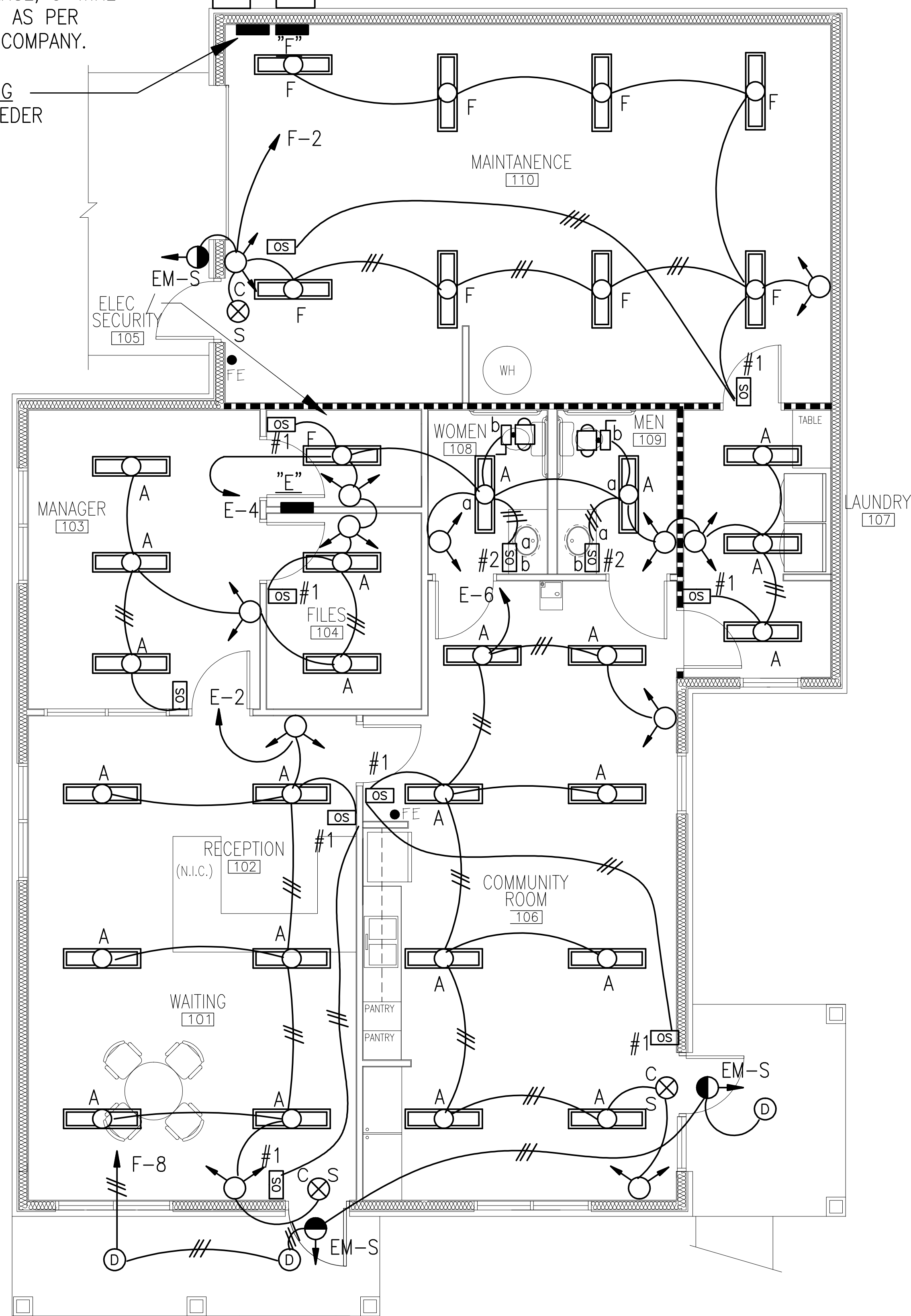
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E-2.0

PROVIDE AND INSTALL NEW WEATHERPROOF FUSED DISCONNECT SWITCH, SEE FEEDER DIAGRAM.

400 AMP, 1-PHASE, 3-WIRE ELECTRIC METER AS PER LOCATE POWER COMPANY.

OUTSIDE LIGHTING RELAYS, SEE FEEDER DIAGRAM.



COMMUNITY/OFFICE FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0" 2,275 SF GROSS

| OCCUPANCY / VACANCY SENSORS SCHEDULE | |
|--------------------------------------|---|
| SYMBOL | DESCRIPTION |
| OS1 | WALL MOUNTED INFRARED AND ULTRASONIC DUAL-TECHNOLOGY LINE VOLTAGE OCCUPANCY SENSOR WITH MANUAL "ON" / "OFF" BUTTON, AND AUTO "ON" / "OFF", SENSOR SWITCH CO. NO. WSD-PDT-(**) VERIFY COLOR WITH ARCHITECT. PROVIDES ONLY SINGLE LEVEL OF SWITCH CONTROL. |
| OS2 | WALL MOUNTED INFRARED AND ULTRASONIC DUAL-TECHNOLOGY LINE VOLTAGE TWO POLE VACANCY SENSOR WITH TWO MANUAL "ON" / "OFF" BUTTONS, AND AUTO "ON" / "OFF", SENSOR SWITCH CO. NO. WSD-PDT-2P-SA-(**) VERIFY COLOR WITH ARCHITECT. PROVIDES BI-LEVEL OF SWITCH CONTROL. |

OCCUPANCY / VACANCY SENSORS NOTES:

- OCCUPANCY SENSORS SHALL PROVIDE BOTH AUTOMATIC "ON" AND "OFF" CONTROLS FOR LIGHTS WITH MANUAL "OFF" BUTTON(S).
- VACANCY SENSORS SHALL PROVIDE ONLY AUTOMATIC "OFF" CONTROLS FOR LIGHTS WITH BOTH MANUAL "ON" AND "OFF" BUTTON(S).
- ALL OCCUPANCY / VACANCY SENSORS SHALL BE SET TO THE MAXIMUM OF 30:00 MINUTES TIME DELAY FOR AUTOMATIC "OFF" CONTROLS AS PER 2012 IECC.
- ALL OCCUPANCY / VACANCY SENSORS SHALL BE EQUIPPED WITH MANUAL "ON" AND "OFF" BUTTON(S) AS PER 2012 IECC.
- ALL WALL MOUNTED OCCUPANCY / VACANCY SENSORS SHALL BE MOUNTED 48" TO TOP OF BOX OR CEILING MOUNTED AS NOTED IN DESCRIPTION ABOVE. ALL CEILING MOUNTED SENSOR SHALL BE CENTERED IN SPACE AS REQUIRED.
- ALL OCCUPANCY / VACANCY SENSORS LOCATED WITH-IN THE DAYLIGHT ZONE AS PER 2012 INTERNATIONAL ENERGY CONSERVATION CODE SHALL BE EQUIPPED WITH PHOTOCELL AND DUAL CIRCUIT CONTROLS TO CONTROL 50% OF THE LIGHTING FIXTURES WITH-IN THE DAYLIGHT ZONE AS DEFINED IN THE 2012 IECC.
- ALL OCCUPANCY SENSORS LOCATED WITH RESTROOMS SHALL BE EQUIPPED WITH DUAL-CIRCUIT CONTROLS TO OPERATE BOTH RESTROOM LIGHTS AND EXHAUST FANS.
- CONTRACTOR SHALL VERIFY COLOR FOR ALL WALL MOUNTED SENSORS AND COVER PLATES WITH ARCHITECT PRIOR TO ORDERING EQUIPMENT.
- CONTRACTOR SHALL INSTALL AND WIRED ALL SENSORS TO COMPLY WITH THE MANUFACTURER INSTRUCTIONS AND WIRING DIAGRAMS TO ENSURE PROPER WORKING ORDER.

| | | |
|--------------|---------------|----------------|
| DRWN BY: JDD | CHKD. BY: MDA | DATE: 06-30-16 |
| APPR. BY: KN | REVISIONS | |

WHITE RIVER APARTMENTS
2900 MAPION DRIVE
DIAZ, ARKANSAS

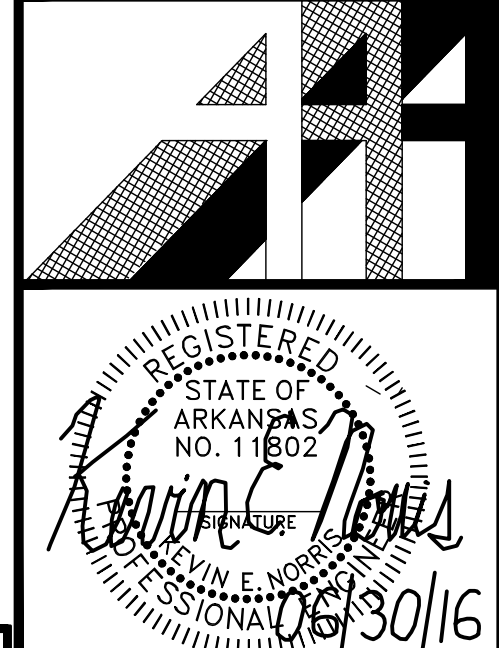
OFFICE LIGHTING PLAN

ALLAN ASSOCIATES ARCHITECTS, PLLC

665 / 689-1302
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KEVIN E. NORRIS
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8818 WALLWOOD ROAD
KNOXVILLE, TN 37912
PHONE: (615) 854-3043



SHEET NUMBER
E-4.0

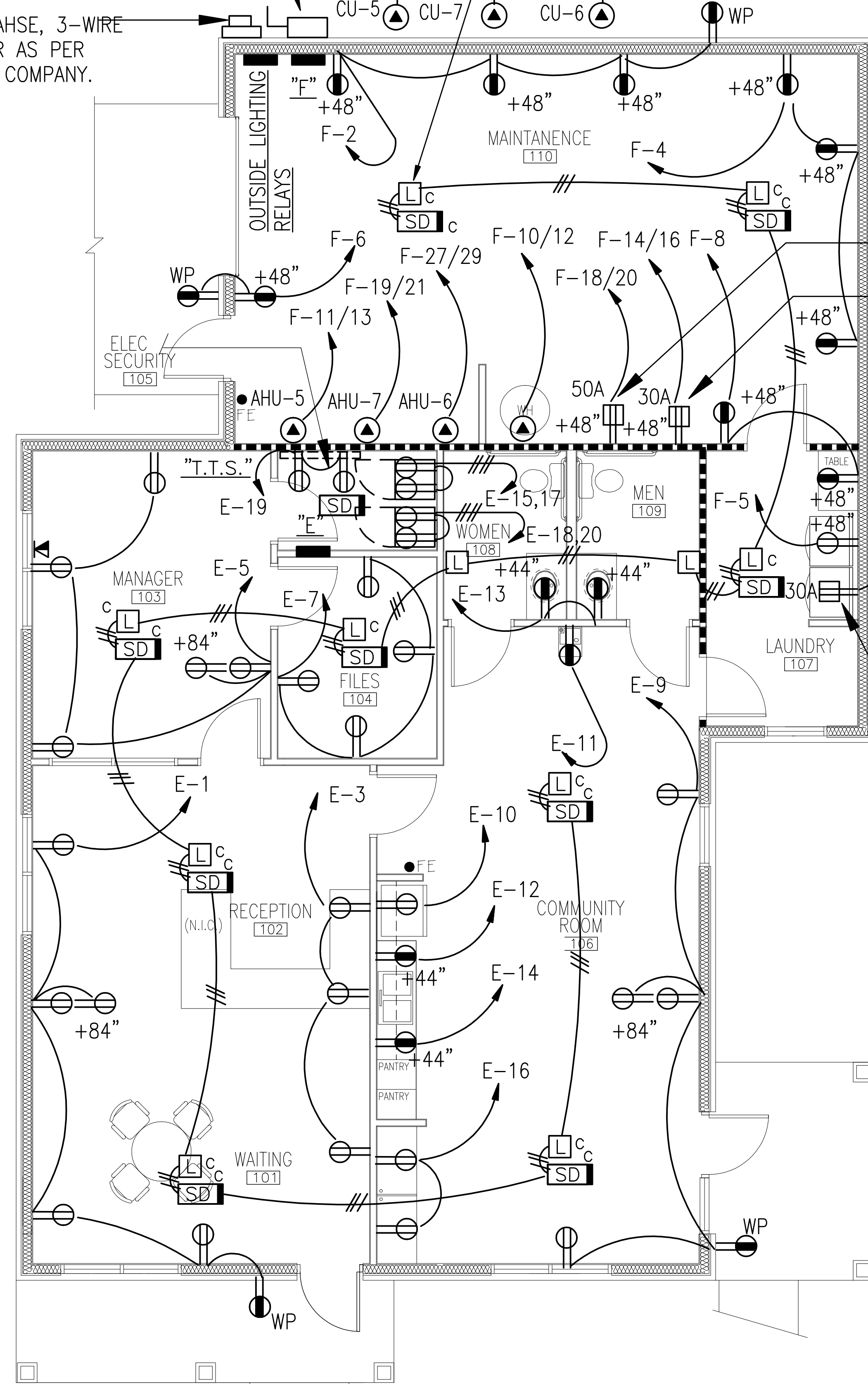
PROVIDE AND INSTALL NEW WEATHERPROOF FUSED DISCONNECT SWITCH, SEE FEEDER DIAGRAM.

400 AMP, 1-PHASE, 3-WIRE ELECTRIC METER AS PER LOCATE POWER COMPANY.

PROVIDE AND INSTALL NEW KIDDE CO. NO. i2010S W/ SLED177i, 120 VOLT SMOKE DETECTORS WITH BATTERY BACK-UP WITH ADDITIONAL 177 CD STROBE LIGHTS, CEILING MOUNTED. INTERCONNECT ALL 120 VOLT SMOKE DETECTORS AND 177 CD STROBE LIGHTS TOGETHER WITH #12/3 W/GRND "NM" CABLE CONCEALED WITH-IN ATTIC SO WHEN ONE DETECTOR SOUNDS ALARM ALL DETECTORS SOUNDS ALARM.

NEW LIGHTING CONTROLLER WITH ASTRO-TIME CLOCK AND TWELVE (12) PROGRAMMABLE RELAYS, TORK CO. NO. ELS712 / EPC-LC (PHOTO-CELL) / LCS115M (OVER-RIDE SWITCH) TO CONTROL NEW INTERIOR LIGHTS AND NEW EXTERIOR LIGHTS VIA PHOTO-CELL

PHOTO-CELL; MOUNTED ON 1/2" RIGID STEEL CONDUIT, 12" ABOVE ROOF DECK, FACING NORTH.



2" CONDUIT W/ 3#3/0 CU & 1#6 CUGRND. IN EACH.

TWO 2" CONDUIT W/ 3#3/0 CU & 1#3 CU GRND.

120/240 VOLTS, 1-PHASE, 3-WIRE, NEMA 3R DISC. SWITCH, FUSE @ 400 AMPS.

NEW ELECTRICAL METER AS PER LOCAL UTILITY COMPANY.

EXTEND TWO 3" PVC CONDUITS TO UTILITY COMPANY RISER POLE FOR TELEPHONE AND TELEVISION CABLES BY UTILITY COMPANY.

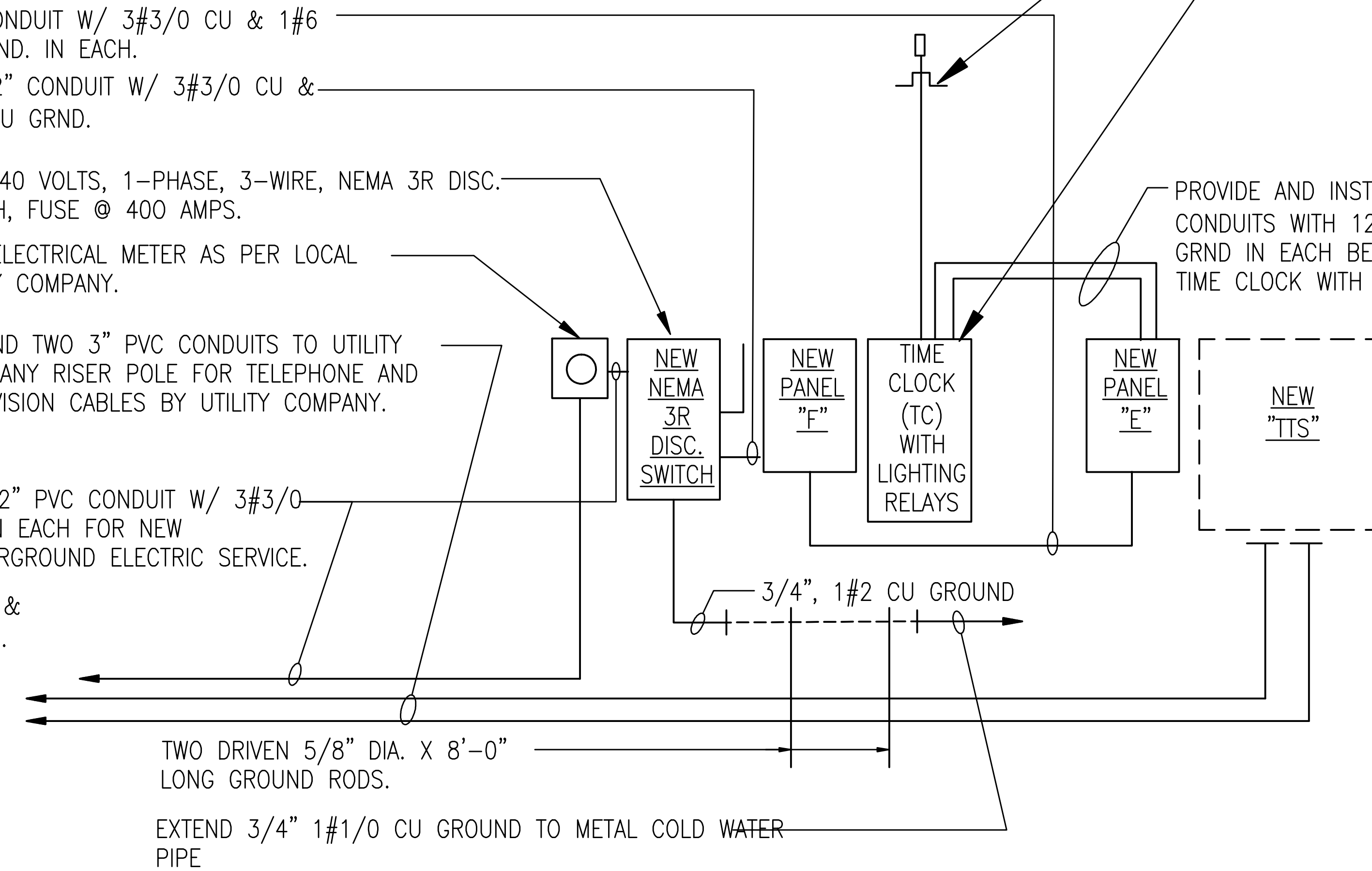
TWO 2" PVC CONDUIT W/ 3#3/0 CU IN EACH FOR NEW UNDERGROUND ELECTRIC SERVICE.

3/4", 3#10 & 1#10 GRND.

RANGE TEST OUTLET
DRYER TEST OUTLET

DRYER OUTLETS AT +48" A.F.F.

ELECTRICAL FEEDER DIAGRAM
NO SCALE.



COMMUNITY/OFFICE FLOOR PLAN - POWER
SCALE: 1/4" = 1'-0" 2,275 SF GROSS

| 120/240 VOLTS, 1-PHASE, 3-WIRE, 1 LUG / PHASE | | | | NEW OFFICE PANEL "E" | | | | 225 AMP MAIN LUGS ONLY. | | | |
|---|----------|-----------|-------------------------------|----------------------|------------------|----------|----------|-------------------------|--------------------------|------------------|------------------|
| POLE NO. | BKR. NO. | TRIP AMP. | SERVES | A-PH. LOAD V. A. | B-PH. LOAD V. A. | POLE NO. | BKR. NO. | TRIP AMP. | SERVES | A-PH. LOAD V. A. | B-PH. LOAD V. A. |
| 1 | 1 | 20 | PLUGS | 1200 | 1200 | 2 | 2 | 20 | LIGHTS | 1200 | 1200 |
| 3 | 3 | 20 | PLUGS | 1200 | 1200 | 4 | 4 | 20 | LIGHTS | 1200 | 1200 |
| 5 | 5 | 20 | PLUGS | 1200 | 1200 | 6 | 6 | 20 | LIGHTS | 1200 | 1200 |
| 7 | 7 | 20 | PLUGS | 1200 | 1200 | 8 | 8 | 20 | EXTERIOR LIGHTS (NOTE#3) | 1200 | 1200 |
| 9 | 9 | 20 | PLUGS | 1200 | 1200 | 10 | 10 | 20 | KITCHENETTE | 1200 | 1200 |
| 11 | 11 | 20 | PLUGS | 1200 | 1200 | 12 | 12 | 20 | KITCHENETTE | 1200 | 1200 |
| 13 | 13 | 20 | PLUGS | 1200 | 1200 | 14 | 14 | 20 | KITCHENETTE | 1200 | 1200 |
| 15 | 15 | 20 | PLUGS | 1200 | 1200 | 16 | 16 | 20 | COMPUTER WORK STATIONS | 1200 | 1200 |
| 17 | 17 | 20 | PLUGS | 1200 | 1200 | 18 | 18 | 20 | SECURITY CAMERA DVR | 1200 | 1200 |
| 19 | 19 | 20 | "TTS" | 1200 | 1200 | 20 | 20 | 20 | SECURITY CAMERA | 1200 | 1200 |
| 21 | 21 | 20 | BUILDING #1 BREEZEWAY LIGHTS | 1200 | 1200 | 22 | 22 | 20 | SPARE | 1200 | 1200 |
| 23 | 23 | 20 | BUILDING #2 BREEZEWAY LIGHTS | 1000 | 1000 | 24 | 24 | 20 | SPARE | 1000 | 1000 |
| 25 | 25 | 20 | BUILDING #3 BREEZEWAY LIGHTS | 1000 | 1000 | 26 | 26 | 20 | SPARE | 1000 | 1000 |
| 27 | 27 | 20 | BUILDING #4 BREEZEWAY LIGHTS | 1000 | 1000 | 28 | 28 | 20 | SPARE | 1000 | 1000 |
| 29 | 29 | 20 | BUILDING #5 BREEZEWAY LIGHTS | 1000 | 1000 | 30 | 30 | 20 | SPARE | 1000 | 1000 |
| 31 | 31 | 20 | BUILDING #6 BREEZEWAY LIGHTS | 1000 | 1000 | 32 | 32 | 20 | SPARE | 1000 | 1000 |
| 33 | 33 | 20 | BUILDING #7 BREEZEWAY LIGHTS | 1000 | 1000 | 34 | 34 | 20 | SPARE | 1000 | 1000 |
| 35 | 35 | 20 | BUILDING #8 BREEZEWAY LIGHTS | 1000 | 1000 | 36 | 36 | 20 | SPARE | 1000 | 1000 |
| 37 | 37 | 20 | EXTERIOR POLE LIGHTS (NOTE#3) | 1000 | 1000 | 38 | 38 | 20 | SPARE | 1000 | 1000 |
| 39 | 39 | 20 | EXTERIOR POLE LIGHTS (NOTE#3) | 1000 | 1000 | 40 | 40 | 20 | SPARE | 1000 | 1000 |
| 41 | 41 | 20 | EXTERIOR POLE LIGHTS (NOTE#3) | 1000 | 1000 | 42 | 42 | 20 | SPARE | 1000 | 1000 |

FLUSH MTD. CONNECTED V. A. / PHASE 16,200 16,000 "A.I.C." RATING: 22,000 AMPS. (FULLY RATED)

SURFACE MTD. CONNECTED AMP. / PHASE 135.0 133.3

LOAD CENTER 4'x14'

NOTES:
1. (**) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.
2. NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.
3. EXTERIOR SITE LIGHTS SHALL BE CONTROLLED BY 30/3 LIGHTING CONTACTOR. LIGHTING CONTRACTORS SHALL CONTROLLED BY INTERMATIC MODEL NO. ET8115 ASTRO CLOCK.

| 120/240 VOLTS, 1-PHASE, 3-WIRE, 1 LUG / PHASE | | | | NEW OFFICE PANEL "F" | | | | 400 AMP MAIN LUGS ONLY | | | |
|---|----------|-----------|----------------------------|----------------------|------------------|----------|----------|------------------------|------------------------------|------------------|------------------|
| POLE NO. | BKR. NO. | TRIP AMP. | SERVES | A-PH. LOAD V. A. | B-PH. LOAD V. A. | POLE NO. | BKR. NO. | TRIP AMP. | SERVES | A-PH. LOAD V. A. | B-PH. LOAD V. A. |
| 1 | 1 | 20 | MAINTENANCE LIGHTS | 1200 | 1200 | 2 | 2 | 20 | MAINTENANCE PLUG RECEPTACLES | 1200 | 1200 |
| 3 | 3 | 20 | LAUNDRY LIGHTS | 1200 | 1200 | 4 | 4 | 20 | MAINTENANCE PLUG RECEPTACLES | 1200 | 1200 |
| 5 | 5 | 20 | WASHER | 1200 | 1200 | 6 | 6 | 20 | MAINTENANCE PLUG RECEPTACLES | 1200 | 1200 |
| 7 | 7 | 30 | DRYER | 1200 | 1200 | 8 | 8 | 20 | MAINTENANCE PLUG RECEPTACLES | 1200 | 1200 |
| 9 | 9 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 10 | 10 | 30 | WATER HEATER | 1200 | 1200 |
| 11 | 11 | 60 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 12 | 12 | 2 | DRYER (TEST OUTLET) | 1200 | 1200 |
| 13 | 13 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 14 | 14 | 30 | DRYER (TEST OUTLET) | 1200 | 1200 |
| 15 | 15 | 60 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 16 | 16 | 2 | RANGE (TEST OUTLET) | 1200 | 1200 |
| 17 | 17 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 18 | 18 | 50 | RANGE (TEST OUTLET) | 1200 | 1200 |
| 19 | 19 | 60 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 20 | 20 | 2 | SPARE | 1200 | 1200 |
| 21 | 21 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 22 | 22 | 20 | SPARE | 1200 | 1200 |
| 23 | 23 | 60 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 24 | 24 | 20 | SPARE | 1200 | 1200 |
| 25 | 25 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 26 | 26 | 20 | SPARE | 1200 | 1200 |
| 27 | 27 | 60 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 28 | 28 | 20 | SPARE | 1200 | 1200 |
| 29 | 29 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 30 | 30 | 20 | SPARE | 1200 | 1200 |
| 31 | 31 | 60 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 32 | 32 | 20 | SPARE | 1200 | 1200 |
| 33 | 33 | 2 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 34 | 34 | 20 | SPARE | 1200 | 1200 |
| 35 | 35 | 200 | INDOOR HEAT PUMP UNIT (**) | 1200 | 1200 | 36 | 36 | 20 | SPARE | 1200 | 1200 |
| 37 | 37 | 2 | PANEL "E" | 1200 | 1200 | 38 | 38 | 20 | SPARE | 1200 | 1200 |
| 39 | 39 | 2 | PANEL "E" | 1200 | 1200 | 40 | 40 | 20 | SPARE | 1200 | 1200 |
| 41 | 41 | 2 | PANEL "E" | 1200 | 1200 | 42 | 42 | 20 | SPARE | 1200 | 1200 |

FLUSH MTD. CONNECTED V. A. / PHASE 42,750 44,650 "A.I.C." RATING: 22,000 AMPS. (FULLY RATED)

SURFACE MTD. CONNECTED AMP. / PHASE 356.3 372.1

LOAD CENTER 4'x14'

NOTES:
1. (**) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.
2. NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.

KEVIN E. NORRIS
ELECTRICAL ENGINEER
8818 WALLWOOD ROAD
KNOXVILLE, TN 37918
PHONE (615) 584-3048

DRWN. BY: JDD
CHKD. BY: MDA
APPR. BY: KN
DATE: 06-30-16
REVISIONS

OFFICE POWER PLAN

WHITE RIVER APARTMENTS
2600 MARION DRIVE
DIAZ, ARKANSAS

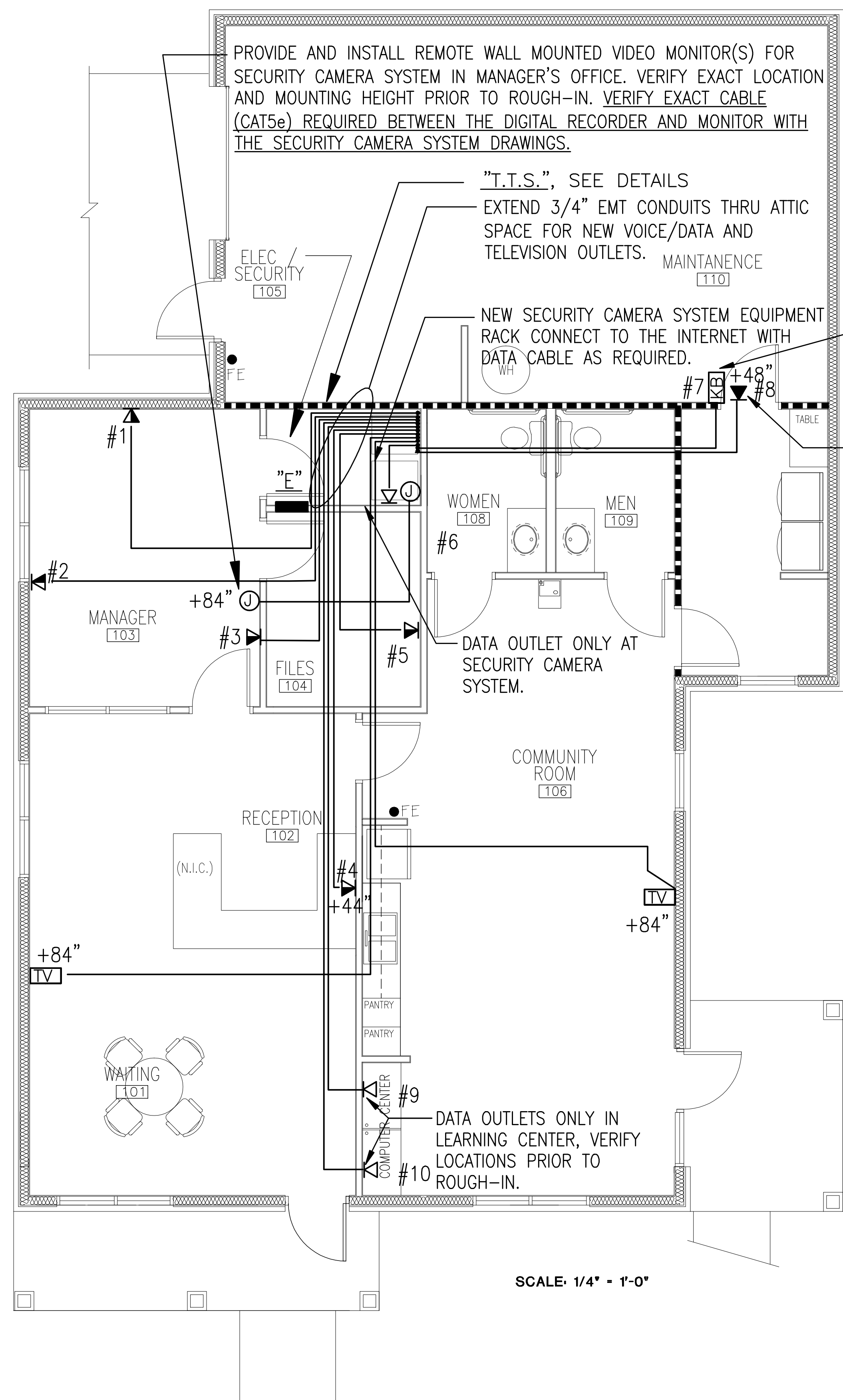
ALLAN ASSOCIATES ARCHITECTS, PLLC

5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912

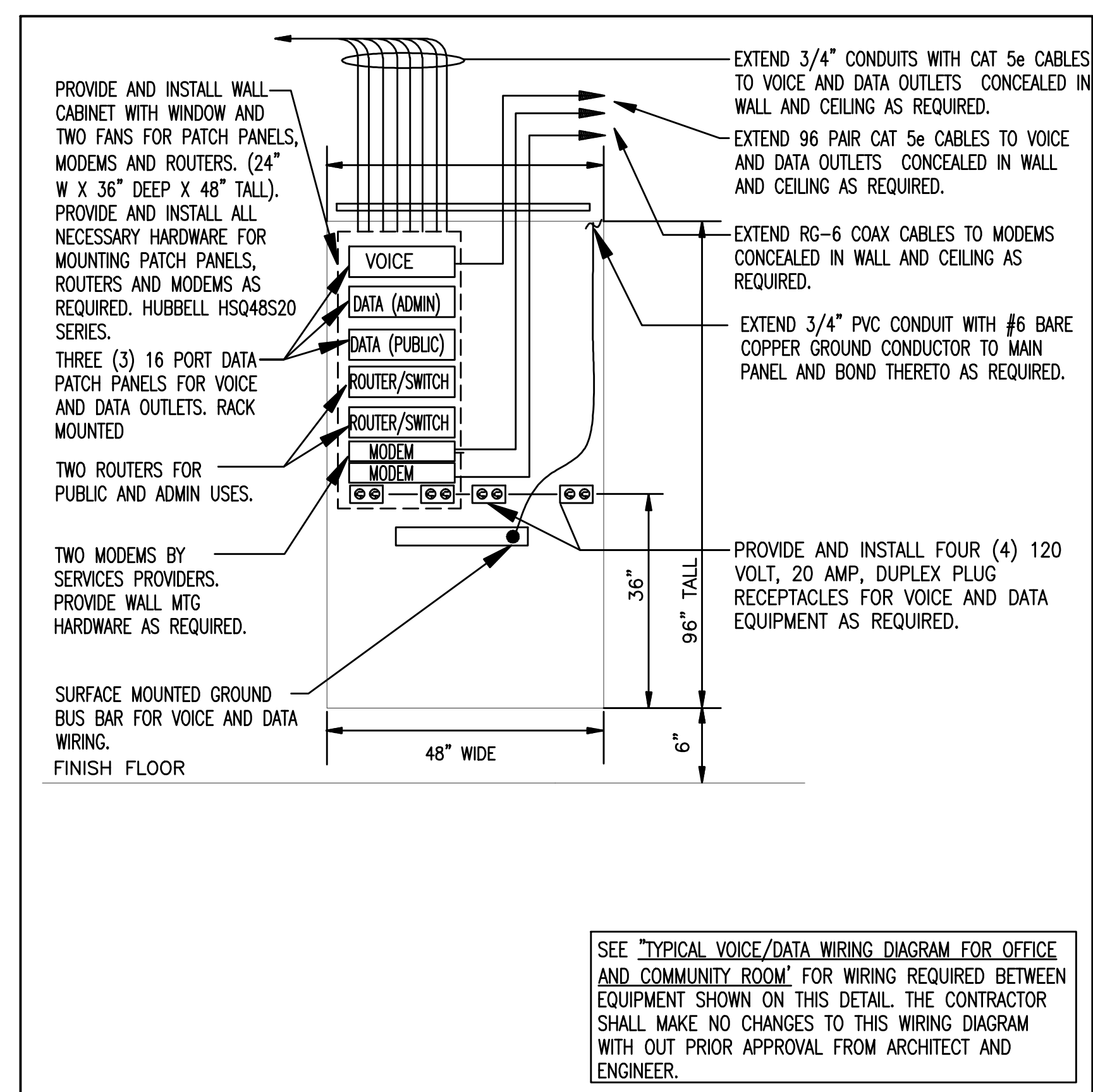
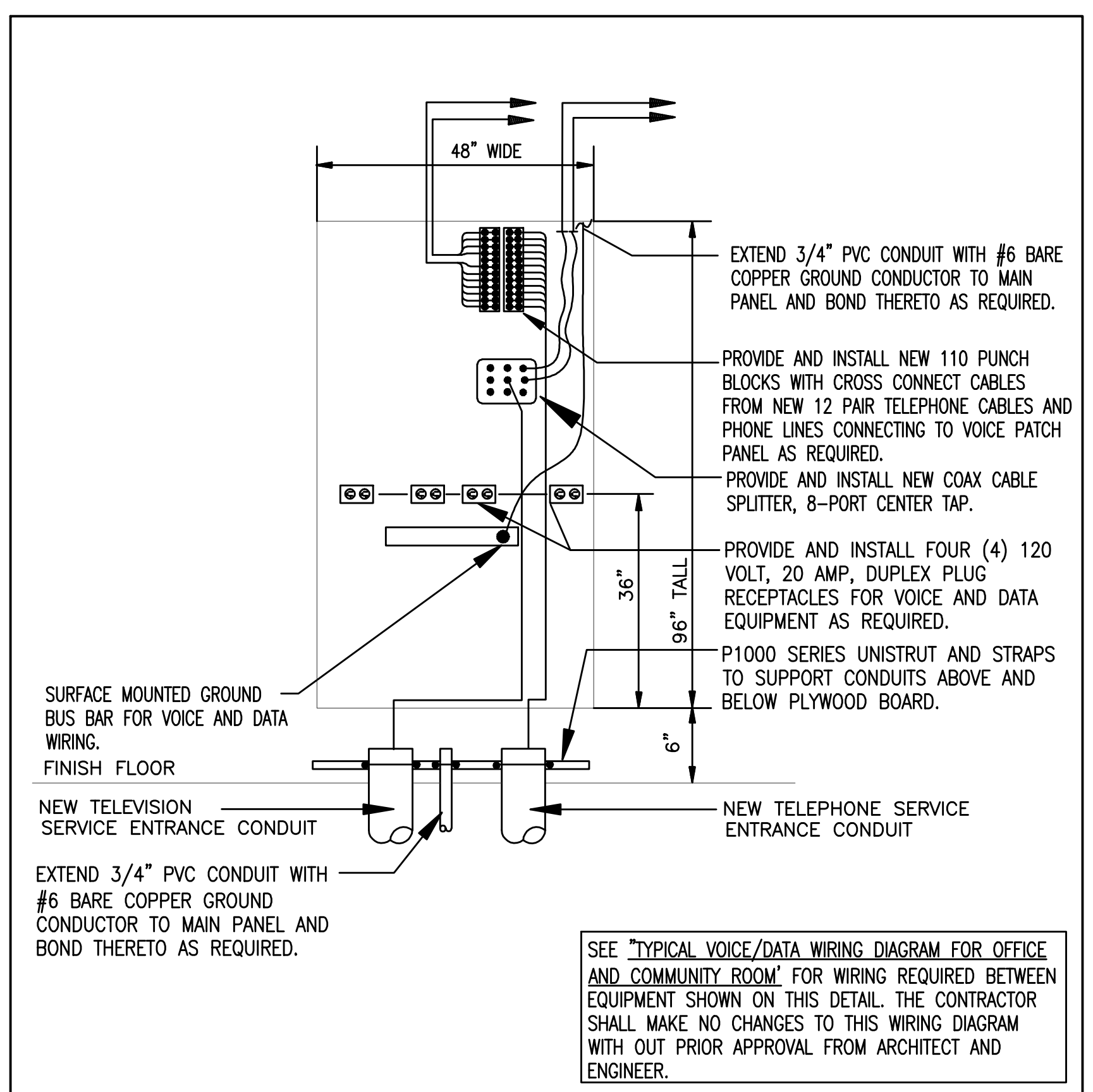
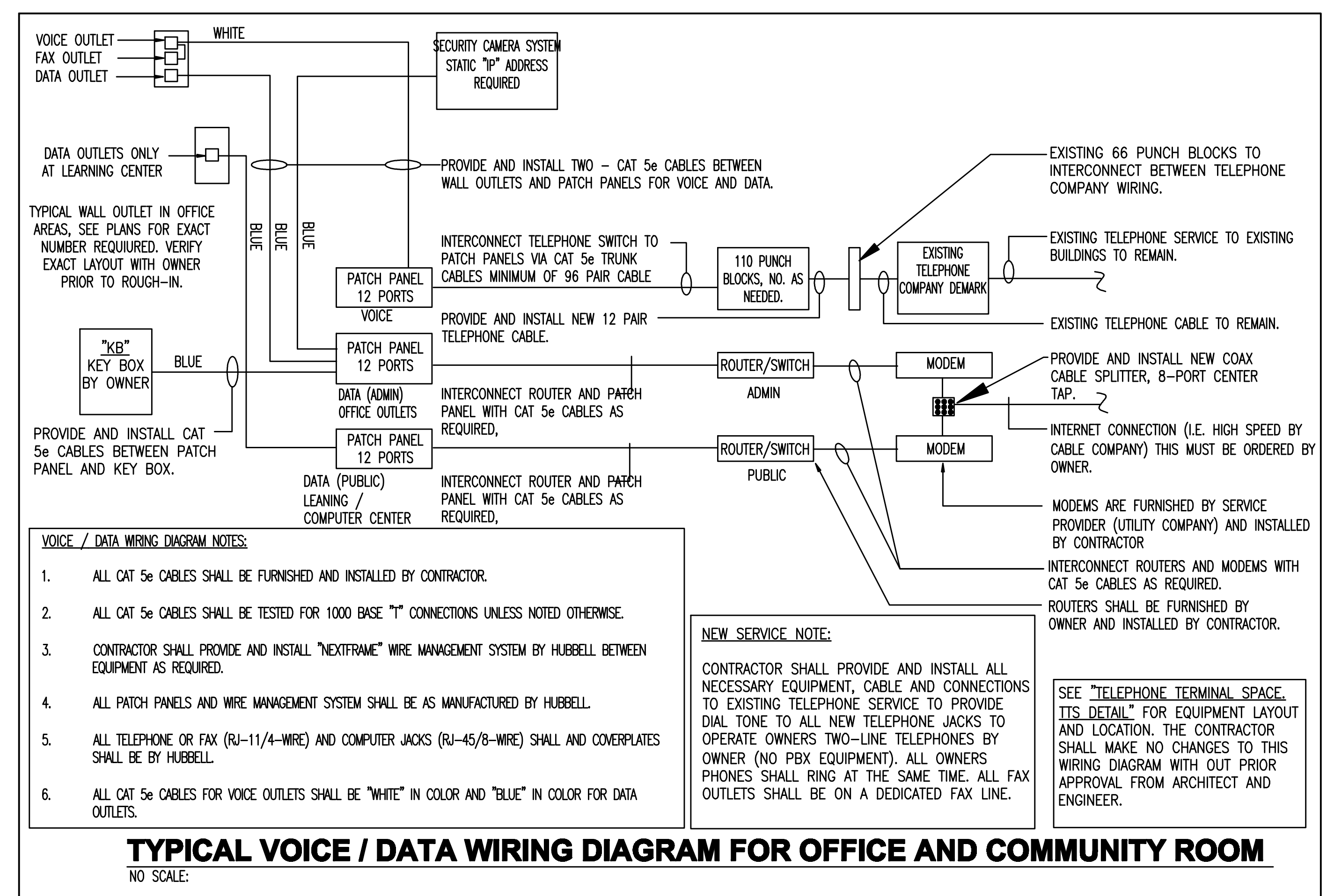
865 / 689-1302

REGISTERED
STATE OF ARKANSAS
NO. 11602
KEVIN E. NORRIS
ELECTRICAL ENGINEER
06/30/16

SHEET NUMBER
E-4.1



COMMUNITY/OFFICE FLOOR PLAN - COMMUNICATIONS
 SCALE: 1/4" = 1'-0" 2,275 SF GROSS



TELEPHONE TERMINAL SPACE "TTS" DETAIL
 SCALE: NONE

"IT" CABINET DETAIL
 SCALE: NONE

DRWN. BY: JDD
 CHKD. BY: MDA
 APPR. BY: KN
 DATE: 06-30-16
 REVISIONS

OFFICE COMMUNICATION PLAN

WHITE RIVER APARTMENTS
 2800 MARION DRIVE
 DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302
 5516 WALLWOOD ROAD
 KNOXVILLE, TENNESSEE 37912

REGISTERED
 STATE OF ARKANSAS
 NO. 11802
 KEVIN E. NORRIS
 PROFESSIONAL ENGINEER
 06/30/16

SHEET NUMBER
E-4.2

KEVIN E. NORRIS
 ELECTRICAL ENGINEER

8818 WALLWOOD ROAD
 KNOXVILLE, TN 37918
 PHONE (615) 854-1045

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SPECIFICATION NOTES

1. INCLUDE WIRING FOR LIGHTING, OUTLETS, MECHANICAL WORK AND TELEPHONE AS SHOWN ON THE DRAWINGS. INCLUDE LIGHTING FIXTURES, LAMPS, PANELBOARDS, WIRING DEVICES, SWITCHES, ETC. NECESSARY FOR A COMPLETE AND OPERATING INSTALLATION WITH NO SHORT CIRCUITS, OPEN GROUNDS OR SHARED NEUTRALS. THE CONTRACTOR SHALL PERFORM, PRIOR TO ACCEPTANCE, AN OPERATIONS TEST TO ALL ELECTRICAL EQUIPMENT. THE ENTIRE INSTALLATION SHALL BE FREE FROM OPEN GROUNDS, SHORT CIRCUITS AND SHARED NEUTRALS BEFORE THE OWNER OPERATES THE EQUIPMENT FOR THE FIRST TIME. THE CONTRACTOR SHALL FURNISH A MAN FAMILIAR WITH THE EQUIPMENT TO INSTRUCT AND ASSIST THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF SAID EQUIPMENT.
2. ELECTRICAL SUPPLY SHALL BE TAKEN FROM THE MAINS OF THE EXISTING 120/240 VOLT, 1-PHASE, 3-WIRE, METER CENTER
3. EXISTING LOADCENTERS ARE "GE" WITH PLUG-IN BREAKERS RATED AT 10,000 AC. ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12, 2011 EDITION) COORDINATE PLACEMENT OF PANEL TO AVOID CONFLICTS WITH OTHER TRADES. CONTRACTOR SHALL PROVIDE CLEARANCES IN FRONT OF PANELBOARDS AS REQUIRED BY THE NATIONAL ELECTRIC CODE. PROVIDE HEADROOM CLEARANCES AS DETAILED IN THE NATIONAL ELECTRIC CODE. PROVIDE NEMA 3R TYPE WHEN LOCATED OUTDOORS.
4. EXISTING ELECTRICAL METER CENTER SHALL REMAIN WITH MAIN AND BRANCH BREAKERS WITH EXISTING AC RATING. SEE DETAILS FOR EXACT LAYOUT. PLACEMENT OF ELECTRICAL METER CENTERS TO AVOID CONFLICTS WITH OTHER TRADES. CONTRACTOR SHALL PROVIDE CLEARANCES IN FRONT OF ELECTRICAL METER CENTER AS REQUIRED BY THE NATIONAL ELECTRIC CODE. PROVIDE HEADROOM CLEARANCES AS DETAILED IN THE NATIONAL ELECTRIC CODE. PROVIDE NEMA 3R TYPE WHEN LOCATED OUTDOORS.
5. WIRING DEVICES SHALL BE PLASTIC SPECIFICATION GRADE, MINIMUM RATING OF 20 AMPERES. ALL WIRING DEVICES SHALL BE "WHITE" IN COLOR. PROVIDE MATCHING COVERPLATE AS SELECTED BY ARCHITECT. ALL INTERIOR AND EXTERIOR 125-VOLT, 15 AND 20-AMPERE RECEPTACLES FOR DWELLING UNITS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
6. TYPES OF WIRING AND RACEWAYS:
 - a. THE TYPES AND GRADES OF MATERIALS TO BE EMPLOYED IN THE WIRING SYSTEMS ARE SUBJECT TO BUILDING STRUCTURAL CONDITIONS AND THE GOVERNING CODES. ALL CONDUCTORS FOR BRANCH CIRCUIT WIRING SHALL BE TYPE "THIN-THIN" (90 DEG CELSIUS) COPPER UNLESS NOTED OTHERWISE. ALL SERVICE ENTRANCE CONDUCTORS SHALL BE "THIN-2" COPPER (90 DEG CELSIUS) UNLESS NOTED OTHERWISE. MINIMUM #12 AWG CONDUCTOR SIZE SHALL BE USED. ALL CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
 - b. UNLESS OTHERWISE NOTED, ALL WIRING SHALL BE RUN CONCEALED AND OUTLETS SHALL BE FLUSH MOUNTED IN WALLS AND CEILING.
 - c. SCHEDULE 40 PVC 90 DEGREES CELSIUS RATED FOR ELECTRIC USE. CONDUIT SHALL BE USED IN THE FOLLOWING LOCATIONS:
 1. UNDERGROUND
 2. IN CONCRETE SLABS
 - d. RIGID GALVANIZED STEEL CONDUIT WITH GALVANIZED CONNECTORS AND COUPLINGS SHALL BE USED EXPOSED ON EXTERIOR OF BUILDING AND IN AREAS WHERE SPECIFICALLY REQUIRED IN THE NATIONAL ELECTRIC CODE. PROVIDE COMPRESSION TYPE FITTINGS WHEN USED IN DAMP OR WET LOCATIONS.
 - e. NON-METALLIC TYPE "NM-B" (90 DEG CELSIUS) CABLE WITH COPPER CONDUCTORS AND GROUND WIRE SHALL BE USED FOR BRANCH CIRCUIT WIRING IN DWELLING UNITS ONLY EXCEPT FOR LOCATION NOTED TO USED "MC" CABLE OR "EMT" CONDUIT. NO "NM-B" CABLE SHALL BE RUN IN DAMP OR WET LOCATIONS OR OFFICE / COMMUNITY BUILDING. USE TYPE "NMC" CABLE WITH COPPER CONDUCTORS AND GROUND WIRE FOR BRANCH CIRCUIT WIRING IN DWELLING UNITS IN DAMP OR CORROSIVE LOCATIONS. NO TYPE "NM-B" OR "NMC" CABLE SHALL BE RUN EXPOSED OR INSTALLED IN DUCTS, PLENUMS & OTHER AIR HANDLING SPACES. ALL "NM-B" WIRING SHALL BE SIZES PER 60 DEGREE AS PER NEC 110.14(C).
 - f. EMT CONDUIT WITH COMPRESSION STEEL CONNECTORS AND COUPLINGS SHALL BE USED IN THE FOLLOWING LOCATIONS:
 1. ALL LOCATIONS EXCEPT AS INDICATED ABOVE.
 PROVIDE COMPRESSION TYPE FITTINGS WHEN LOCATED IN DAMP OR WET LOCATIONS.
 - g. PROVIDE A CODE SIZE GREEN GROUND CONDUCTOR IN ALL CONDUIT. INCREASE CONDUIT SIZE, IF REQUIRED, TO ACCOMMODATE THIS GROUND CONDUCTOR.
 - h. ALL ELECTRICAL PENETRATIONS OF FIRE RATED WALLS, PARTITIONS, FLOOR OR CEILING AND ELECTRICAL INSTALLATIONS IN HOLLOW SPACES, VERTICAL SHAFTS, AND VENTILATION OR AIR HANDLING DUCTS SHALL BE MADE TO PREVENT THE POSSIBLE SPREAD OF FIRE OR SMOKE AND TOXIC FUMES. FIRE STOPPING MATERIALS USED SHALL BE 3M BRAND CP-25 FIRE BARRIER CAULK INSTALLED IN AN APPROVED METHOD IN ACCORDANCE WITH NEC ARTICLES 300-21, 800-3(c), 110-3(b), UL AND THE AUTHORITY HAVING JURISDICTION.
 - i. NO SHARED NEUTRALS SHALL BE ALLOWED FOR CONNECTION OF LIGHTING OR POWER CIRCUITS.
7. REMOVE THE WIRING, WHERE NEW WORK IS SHOWN IN THE BUILDING.
8. VISIT THE SITE SO AS TO HAVE A FULL UNDERSTANDING OF THE WORK IN CONNECTION WITH THE EXISTING BUILDING AND EXISTING WIRING.
9. GUARANTEE WORK TO BE FREE FROM DEFECTS OF MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE OF THE WORK.
10. ELECTRICAL OUTLET BOXES LOCATED ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES, UNLESS APPROVED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION.
11. FLUORESCENT LAMPS SHALL BE SYLVANIA OR G.E. COMPANY TYPE, WARM WHITE COLOR. HIGH PRESSURE SODIUM LAMPS SHALL BE "LUMALUX" AS MANUFACTURED BY GTE SYLVANIA. METAL HALIDE LAMPS SHALL BE G.E. CO. "MULTI-VAPOR" OR SYLVANIA CO. "METALARC". "LED" FIXTURES SHALL BE RATED AT "L70" AT 50,000 HOURS.
12. FLUORESCENT FIXTURES SHALL BE PROVIDED WITH ELECTRONIC BALLASTS & BALLAST DISCONNECTS.
13. METAL HALIDE LUMINARIES SHALL BE FURNISHED WITH ADVANCE ELECTRIC COMPANY "PULSE-START" BALLASTS. PROVIDE BALLAST DISCONNECT.
14. EXTERIOR LIGHTS SHALL ARE CONTROLLED BY A PHOTO-CELL TO TURN THE LIGHTS ON AND OFF.

15. INSTALLATION OF TELEPHONE FACILITIES: (OFFICE BUILDING)
 - a. THE TELEPHONE SYSTEM REQUIRED CONSISTS OF TELEPHONE CONDUIT AND WIRING EXTENDING FROM OUTLETS TO TELEPHONE TERMINAL BOARDS. WORK SHALL INCLUDE ALL TERMINATION EQUIPMENT AT TELEPHONE SPACES AND ALL COVER PLATES WITH PLUG-IN DEVICES.
 - b. ALL TELEPHONE CONDUITS SHALL BE 3/4" SIZE UNLESS NOTED LARGER ON THE DRAWINGS. CONDUIT SHALL EXTEND TO TELEPHONE SPACES AS SHOWN ON THE DRAWINGS.
 - c. ALL PHONE OUTLET BOXES SHALL BE 2-GANG TYPE WITH 1-GANG DEVICE RING AND PROVIDED WITH BOTH TELEPHONE AND COMPUTER JACKS FOR USE BY THE OWNER. COLOR OF PLATES SHALL MATCH ELECTRICAL DEVICES.
 - d. TELEPHONE TERMINAL BOARDS SHALL CONSIST OF 3/4" MARINE PLYWOOD BOARD BOLTED TO WALL AND PAINTED WITH TWO COATS OF PAINT. PROVIDE UNISTRUT P1000 STRIP ABOVE AND BELOW PANEL TO SECURE CONDUIT. ALL WIRING SHALL BE NEATLY FORMED, LACED AND MADE UP ON BOLT AND NUT 1/10 TERMINAL BLOCKS. TAG ALL CONDUCTORS. ALL CONDUCTORS SHALL TERMINATE ON TERMINAL STRIPS WITH STRAIDE LUGS OF ADEQUATE SIZE FOR ALL INCOMING AND OUTGOING CONDUITS.
 - e. EACH TELEPHONE OUTLET SHALL HAVE ONE CAT 5e COMPLIANT CABLES EXTENDING TO TERMINAL SPACES. CONDUCTORS SHALL BE INSULATED WITH A COLOR CODE HIGH DENSITY POLYETHYLENE JACKET WITH A PVC OUTER JACKET. ALL CABLES RUN EXPOSED IN AREAS WITHOUT CONDUIT SHALL BE "PLENUM RATED" TYPE. IN ADDITION, FROM EACH SUB TELEPHONE TERMINAL SPACE THROUGHOUT THE BUILDING.
 - f. CONTRACTOR SHALL PAY ALL REQUIRED FEES RELATING TO THE TELEPHONE SERVICE AS SHOWN ON THE DRAWINGS AND AS DESCRIBED HEREIN.
 - g. PROVIDE 3/4", 1 #6 BARE GROUND WIRE FROM MAIN TELEPHONE TERMINAL BOARD TO SERVICE GROUNDING ELECTRODE SYSTEM BONDING THERETO.
16. INSTALLATION OF CABLE TV FACILITIES. (OFFICE BUILDING)
 - a. THE TELEVISION SYSTEM SHALL BE AS SHOWN ON DRAWINGS AND INSTALLED TO THE EXACT SPECIFICATIONS OF THE TV COMPANY, TO RESULT IN TV PROVISIONS BEING INSTALLED TO EACH OUTLET SHOWN. PROVIDE AND INSTALL OUTLETS SHOWN WITH CONDUIT FOR AN UNDERGROUND/CONCEALED DISTRIBUTION SYSTEM. PROVIDE FOR COMPLETE WIRING OF THE BUILDINGS IN ACCORDANCE WITH CABLE TV COMPANY. ALL COAXIAL CABLE SHALL BE TYPE RG-6 MINIMUM. ALL CABLES RUN EXPOSED IN AREAS WITHOUT CONDUIT SHALL BE "PLENUM RATED" TYPE. ALL COAXIAL CABLE SHALL RUN FULL LENGTH FROM OUTLETS TO TELEPHONE OR TV BOARDS. PAY ALL FEES.
 - b. ALL TV OUTLET BOXES SHALL BE 2-GANG TYPE WITH 1-GANG DEVICE RING AND PROVIDED WITH COAXIAL JACKS FOR USE BY THE OWNER. COLOR OF PLATES SHALL MATCH ELECTRICAL DEVICES.
 - c. PROVIDE 3/4", 1 #6 BARE GROUND WIRE FROM MAIN TV TERMINAL BOARD TO SERVICE GROUND MAT BONDING THERETO.
 - d. ALL TELEVISION CONDUIT SHALL BE 3/4" SIZE UNLESS NOTED LARGER ON THE DRAWINGS. CONDUIT SHALL EITHER BE STUBBED OUT ABOVE LEFT-OUT CEILING OR EXTENDED TO TELEPHONE/TELEVISION SPACES AS SHOWN ON THE DRAWINGS.
 - e. CONTRACTOR SHALL REFER TO ADDITIONAL INFORMATION AND DETAILS ON THE DRAWINGS.
17. INSTALLATION OF COMPUTER NETWORK FACILITIES. (OFFICE BLDG ONLY) SEE DETAILS ON SHEET E-5.1.
 - a. THE COMPUTER NETWORK SYSTEM REQUIRED CONSISTS OF COMPUTER CONDUIT AND WIRING EXTENDING FROM OUTLETS TO TELEPHONE TERMINAL BOARDS. WORK SHALL INCLUDE THREE (3) 24 PORT CAT 5e PATCH PANELS AS NOTED ON DETAILS AND ALL COVER PLATES WITH PLUG-IN DEVICES.
 - b. ALL COMPUTER CONDUITS SHALL BE 3/4" SIZE UNLESS NOTED LARGER ON THE DRAWINGS. CONDUIT SHALL EXTENDED TO TELEPHONE SPACES AS SHOWN ON THE DRAWINGS. SEE DETAILS ON SHEET E-5.1.
 - c. ALL COMPUTER OUTLET BOXES SHALL BE 2-GANG TYPE WITH 1-GANG DEVICE RING AND PROVIDED WITH DUAL COMPUTER JACKS FOR USE BY THE OWNER. COLOR OF PLATES SHALL MATCH THE ELECTRICAL DEVICES.
 - d. ALL WIRING SHALL BE NEATLY FORMED, LACED, AND CONNECTED TO PATCH PANELS. TAG ALL CONDUCTORS.
 - e. EACH COMPUTER OUTLET SHALL HAVE ONE CAT 5e COMPLIANT CABLES EXTENDING TO TERMINAL SPACES. CONDUCTORS SHALL BE INSULATED WITH A COLOR CODE HIGH DENSITY POLYETHYLENE JACKET WITH A PVC OUTER JACKET. ALL CABLES INSTALLED IN CONDUIT, SEE DETAILS ON DRAWINGS. THE MAXIMUM LENGTH OF ANY CAT 5e CABLE SHALL BE 300 FEET.
18. TELEPHONE AND TELEVISION WIRING FOR APARTMENTS UNITS; SEE DETAILS ON SHEET E-1.1 FOR NEW TELEPHONE AND TELEVISION WIRING, OUTLETS AND COVERPLATES.

19. FURNISH CATALOG SHEETS OR CUTS OF THE FOLLOWING:
 - a. LIGHTING FIXTURES & EXIT SIGNS.
 - b. PANELBOARDS.
 - c. WIRING DEVICES.
 - d. TIME SWITCHES
 - e. LIGHTING CONTROLS
 - f. SMOKE / DETECTORS
 CONTRACTOR SHALL SUBMIT ONE COMPLETE SET OF ELECTRICAL SUBMITTALS WITH ALL THE ITEMS LISTED ABOVE TO THE ARCHITECT AND ENGINEER FOR REVIEW. PARTIAL OR INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED. THE ENGINEER WILL REVIEW THE COMPLETE SUBMITTAL AND ONE RESUBMITTAL. IF ANY ADDITIONAL SUBMITTALS ARE REQUIRED THE CONTRACTOR MUST PROVIDE WRITTEN RESPONSES TO THE ARCHITECT AND ENGINEER COMMENTS OF THE PRIOR REVIEW.
20. CONFORM TO ALL STATE, NATIONAL AND LOCAL CODES.
21. SECURE AND PAY ALL NECESSARY FEES AND PERMITS.
22. ALL MATERIALS EMPLOYED SHALL BE NEW & UNUSED AND BE UL LISTED AND APPROVED AND BEAR THE UL OFFICIAL LABEL.
23. THE SERVICE ENTRANCE SHALL BE GROUNDED WITH A #2 AWG SOFT DRAWN COPPER, STRANDED AND BARE CONDUCTOR. THE SERVICE GROUNDING CONDUCTOR SHALL EXTEND TO A DRIVEN GROUND MAT CONSISTING OF TWO DRIVEN 6"-0 X 5/8" DIAMETER COPPER CLAD GROUND RODS SEPARATED BY NO LESS THAN 6'. EXTEND CONDUCTOR ALSO TO NEAREST COLD WATER PIPE, GROUNDED, STRUCTURAL STEEL, CONCRETE ENCASED FOUNDATION RE-BAR, AND INTERIOR METAL NATURAL GAS PIPING, BONDING THERETO. PROVIDE CODE SIZE BONDING JUMPER AROUND WATER METER.
24. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IF ANY CHANGES ARE MADE IN THE FIELD THAT ARE CONTRARY TO THE CONTRACT DRAWINGS.
25. NOT USED.
26. COORDINATION WITH OTHER TRADES TO THE FULLEST OF ABILITY IN RELATION WITH OTHERS TO RESULT IN A PROFESSIONAL INSTALLATION SHALL BE COMPLETE, AND MORE SPECIFICALLY, AS FOLLOWS:
 1. THE DRAWINGS AND SPECIFICATIONS ARE BASED ON THE BEST INFORMATION AVAILABLE WHEN PREPARED. FREQUENTLY MINOR CHANGES OCCUR WITH RESPECT TO THE ARCHITECTURAL PLANS, CONSTRUCTION AND THE REQUIREMENTS OF EQUIPMENT FURNISHED BY OTHERS. THE CONTRACTOR SHALL RECOGNIZE THIS IN BIDDING, SUPERVISING AND IN PLANNING CONSTRUCTION.
 2. BEFORE LOCATING CONDUIT RUNS, BOXES, ETC. THE ARCHITECTURAL DRAWINGS SHALL BE FULLY CHECKED TO SEE THAT THEY ARE IN ACCORD WITH ELECTRICAL DRAWINGS. REQUIRED ADJUSTMENTS SHALL BE MADE WITH THE GENERAL CONTRACTOR'S SUPERINTENDENT AND WITH THE OWNER'S REPRESENTATIVE.
 3. BEFORE PROCEEDING WITH THE WIRING FOR MECHANICAL TRADES, EACH ITEM REQUIRING ELECTRICAL WORK SHALL BE REVIEWED WITH THOSE RESPONSIBLE FOR THEIR INSTALLATION.
 THE CONTRACTOR SHALL BECOME WELL ACQUAINTED WITH THEIR CHARACTERISTICS, LOCATION, AND ARRANGEMENT FOR MOUNTING. CHANGES IN WIRING SHALL BE REVIEWED WITH THE OWNER'S REPRESENTATIVE FOR AUTHORIZATION. THIS APPLIES ALSO TO ALL EQUIPMENT FOR WHICH WIRING IS REQUIRED SUCH AS HVAC UNITS, WATER HEATING, PUMPS, THERMOSTATS, MOTORS, PUSH BUTTONS, ETC., AS THEY OCCUR.
27. NOT USED.
28. RECORD DRAWINGS: THE JOB SUPERVISOR SHALL MAINTAIN A SET OF PRINTS ON THE JOB TO BE USED TO ILLUSTRATE AND NOTE JOB CHANGES AS THEY OCCUR. THIS SHALL INCLUDE THE LOCATIONS OF CONCEALED OR UNDERGROUND LINES SIZED OVER 1", AND ANY OTHER INFORMATION NECESSARY TO RECORD THE JOB AS ACTUALLY INSTALLED. UPON COMPLETION OF THE PRINTS, THE CONTRACTOR SHALL FURNISH TO THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE, A SET OF REPRODUCIBLE DRAWINGS CONTAINING THE ABOVE MENTIONED FIELD NOTES.
29. WORK IN CONNECTION WITH EQUIPMENT FURNISHED BY OTHERS.
 - a. MECHANICAL: FURNISH AND INSTALL ALL NECESSARY WIRING AND OVER CURRENT DEVICES FOR THE SUPPLY AND CONTROL OF ALL MECHANICAL WORK, INCLUDING PLUMBING, HEATING, AIR CONDITIONING AND VENTILATION. FURNISH AND INSTALL DISCONNECT SWITCHES FOR MOTORS WHERE REQUIRED BY THE CODES. THE CONTRACTOR SHALL MAKE PROVISIONS FOR VARIATIONS IN THE MECHANICAL EQUIPMENT AND MAKE CONNECTIONS AS REQUIRED.
 - b. MOTOR WIRING:
 1. SERVICES TO EQUIPMENT NOT IN CONTRACT SHALL BE CHECKED OUT AGAINST THAT EQUIPMENT PRIOR TO SERVICE CONNECTION. SHOULD THE EQUIPMENT REQUIRE SERVICE DIFFERENT FROM THAT PROVIDED, THE CONTRACTOR SHALL CALL THE FACT TO ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONNECTION OF THE SERVICE. CHECK EQUIPMENT TO DETERMINE WHETHER PROPER CONTROL AND SAFETY DEVICES ARE PROVIDED TO INSURE PROPER OPERATION. ASSIST OWNER IN THE INITIAL OPERATION OF THE EQUIPMENT, AND MAKE ANY NECESSARY ADJUSTMENTS TO THE SERVICE FOR PROPER OPERATION.
 2. MOTOR AND MOTOR CONTROLS, MANUAL MOTOR STARTERS AND DISCONNECT SWITCHES: THE MANUAL MOTOR STARTERS SHALL BE GENERAL ELECTRICAL COMPANY'S OR SERIES WITH PROPER HEATERS, MOUNTED IN A TWO-GANG BOX WITH A 120-VOLT PILOT LIGHT. THE DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE, WITH ECONOMY FUSE COMPANY "DUAL-ELEMENT FUSES WITH A GENERAL PURPOSE ENCLOSURE, BY SQUARE D OR ITE COMPANY.
 3. AIR CONDITIONING AND HEATING EQUIPMENT: ALL AIR AND HEATING EQUIPMENT SHALL HAVE FUSED DISCONNECT SWITCHES OR BREAKERS INSTALLED AT THE UNIT.

THESE SWITCHES OR BREAKERS SHALL BE SIZED AND BE OF THE TYPE AS IT APPEARS ON THE LABEL OF THE EQUIPMENT.
30. IF THERE IS ANY CONFLICTS IN THE ELECTRICAL DRAWINGS BETWEEN ANY PLANS, DETAILS, DIAGRAMS, SCHEDULES AND SPECIFICATIONS THE CONTRACTOR SHALL INCLUDE IN CONTRACT PRICE THE HIGHER QTY AND QUALITY RELATED TO THESE CONFLICTS. NO CHANGES TO THE CONTRACT PRICE WILL BE ALLOWED FOR ANY WORK ASSOCIATED WITH THESE CONFLICTS.

| | | | | |
|---------------|---------------|--------------|----------------|-----------|
| DRWN. BY: JDD | CHKD. BY: MDA | APPR. BY: KN | DATE: 06-30-16 | REVISIONS |
| | | | | |

ELECTRICAL SPECIFICATION NOTES

WHITE RIVER APARTMENTS
2000 MARION DRIVE
DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

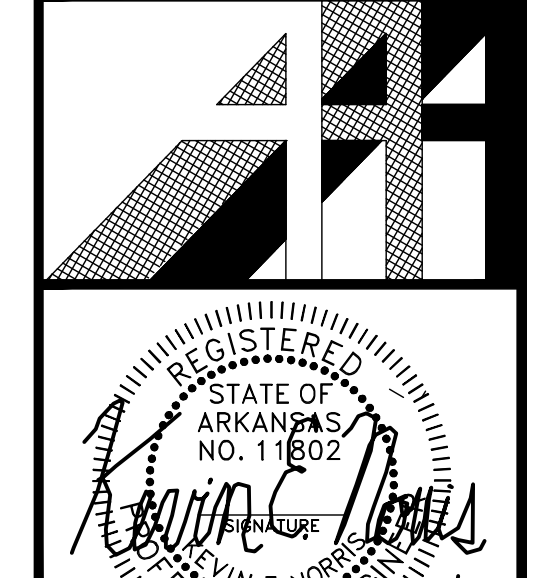
665 / 689-1302

5616 WALLWOOD ROAD
KNOXVILLE, TENNESSEE 37912

REGISTERED
STATE OF
ARKANSAS
NO. 11802

KEVIN E. NORRIS
ELECTRICAL ENGINEER

06/30/16



THIS DRAWING AND ITS DESIGN CONTENT AND THE PREPARATION THEREOF IS THE SOLE PROPERTY OF KEVIN E. NORRIS, REGISTERED ELECTRICAL ENGINEER, KNOXVILLE, TN. NO PARTS OF THIS DRAWING SHALL BE REPRODUCED, COPIED, STORED, TRANSMITTED, OR OTHERWISE MADE AVAILABLE IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KEVIN E. NORRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FEES AND PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJUSTMENTS TO THE SERVICE FOR PROPER OPERATION.

KEVIN E. NORRIS
ELECTRICAL ENGINEER

5616 WALLWOOD ROAD
KNOXVILLE, TN 37912
PHONE: (615) 689-1302

SHEET NUMBER

E-5.1

| SYMBOL SCHEDULE | | | |
|-----------------|------------|--|---|
| SYMBOL | BLOCK NAME | DESCRIPTION M = MOUNT T = TECHNOLOGY/TYPE (SPECIFIC TO DEVICE) | M : P = PEDESTAL T = TURNSTILE S = SURFACE F = FLUSH R = RACK OH = OVERHEAD M = MULLION D = DESK W = WALL C = CEILING H = HIDDEN |
| | REF | DEVICE REFERENCE A = DRAWING SHEET B = DETAIL C = DEVICE/ZONE NUMBER | |
| | FLD-PNL | FIELD PANEL T: A = IP ACCESS MODULE N = NETWORK ENCODER Z = ADDRESS, ZONE MODULE E = EOC CONVERTER I = NETWORK I/O MODULE U = UTP CONVERTER | |
| | MONITOR | MONITOR T: L = LCD FLAT-PANEL D = LED FLAT-PANEL V = VIDEO WALL T = TOUCHSCREEN S = SLIDE-OUT TILTING K = SLIDE-OUT TILTING W/KVM SWITCH | |
| | | DESCRIPTION M = MOUNT T = TECHNOLOGY/TYPE (SPECIFIC TO DEVICE) | M : P = POLE V = VERTICAL PARAPET S = SURFACE F = FLUSH CEILING R = ROOF PARAPET E = EXISTING P = PENDANT W = WALL C = CORNER H = HIDDEN |
| | CAM-FXD | NETWORK BASED CAMERA T: M = MULTI-IMAGER PANORAMIC F = FISHEYE PANORAMIC B = IR BULLET STYLE A = ANALOG CAMERA LP = LICENSE PLATE C = COMPACT MICRO DOME W = WIRELESS D = STANDARD DOME P = PIN HOLE COVERT | |
| | CAM-PTZ | NETWORK CAMERA WITH PAN / TILT/ ZOOM T: A = ANALOG D = DOME | |
| | PANO_FXD | MULTI-IMAGER FIXED NETWORK DOME | |

| INSTALL/COMMISSIONING NOTES | |
|-----------------------------|--|
| 1.) Cable | <p>A. All cable and conduit shall be provided and installed by the security integrator.</p> <p>B. Camera Cabling under 328-feet shall consist of a CAT5e, 24Awg.</p> <p>C. Camera cabling greater than 328-feet shall be an UTP CAT5e Cable with EoU converters.</p> <p>D. All patch cables between head-end components such as switches, video servers, surge protection, etc. shall be CAT5e with the length sized accordingly.</p> <p>E. All exposed cabling shall be concealed in EMT conduit and installed per NEC approved methods. All required weather proof junction boxes and fittings shall be provided.</p> <p>F. All cabling shall be clearly labeled, identifying what component and port it is connected to.</p> <p>G. All system components shall be labeled with their respective MAC address and IP address.</p> <p>H. Patch Panels and network cabling shall be tested as part of the installed horizontal or backbone cabling system. Each link or channel in the horizontal or backbone cabling system shall be identified and tested individually, using an industry standard level III tester with proper settings, including the correct cable NVP value. Each backbone or horizontal link/channel shall be tested to Category 5e parameters listed in the table below. (Note: a level III tester will produce all results below automatically)</p> <p>Wire Map / Continuity, Length, Insertion Loss, NEXT, PSNEXT, ELFEXT, PSELFEXT, Delay and Delay Skew, and Return Loss</p> <p>A "PASS" indication shall be obtained for each channel or link, using a level III tester.</p> <p>Completed test reports shall be submitted to both Safer Places and LAWLER WOOD HOUSING upon completion of the project.</p> |
| 2.) Quality | <p>A. Testing Agency: Engage a qualified testing agency to perform tests and inspections.</p> <p>B. Manufacturer's Field Service: Engage a factory-authorized service representative to inspect, test, and adjust components, assemblies, and equipment installations, including connections.</p> <p>C. Perform tests and inspections. 1. Manufacturer's Field Service: Engage a factory-authorized service representative to inspect components, assemblies, and equipment installations, including connections, and to assist in testing. 2. Include Manufacturer On-Site Field Engineering services for one day of system commissioning.</p> <p>D. Tests and Inspections: 1. Inspection: Verify that units and controls are properly installed, connected, and labeled, and that interconnecting wires and terminals are identified. 2. Pretesting: Align and adjust system and pretest components, wiring, and functions to verify that they comply with specified requirements. Conduct tests at varying lighting levels, including day and night scenes as applicable. Prepare video-surveillance equipment for acceptance and operational testing as follows: a. Prepare equipment list described in "Submittals" Article. b. Verify operation of auto-iris lenses. c. Set back-focus of fixed focal length lenses. At focus set to infinity, simulate nighttime lighting conditions by using a dark glass filter of a density that produces a clear image. Adjust until image is in focus with and without the filter. d. Set back-focus of zoom lenses. At focus set to infinity, simulate nighttime lighting conditions by using a dark glass filter of a density that produces a clear image. Additionally, set zoom to full wide angle and aim camera at an object 50 to 75 feet (17 to 23 m) away. Adjust until image is in focus from full wide angle to full telephoto, with the filter in place. e. Set and name all preset positions; consult Owner's personnel. f. Set sensitivity of motion detection. g. Set sensitivity of motion detection. h. Verify operation of control-station equipment. 3. Test Schedule: Schedule tests after pre-testing has been successfully completed and system has been in normal functional operation for at least 14 days. Provide a minimum of 10 days' notice of test schedule. 4. Operational Tests: Perform operational system tests to verify that system complies with specifications. Test equipment for proper operation in all functional modes.</p> <p>E. Video surveillance system will be considered defective if it does not pass tests and inspections.</p> |

| INSTALL/COMMISSIONING NOTES | |
|--|--|
| 1.) Adjusting | <p>A. Occupancy Adjustments: When requested, within 12 months of date of Substantial Completion, provide on-site assistance in adjusting system to suit actual occupied conditions. Provide up to three visits for this purpose. Tasks will include, but are not limited to, the following: a. Check cable connections. b. Check proper operation of cameras and lenses. Verify operation of auto-iris lenses and adjust back-focus as needed. c. Adjust all preset positions; consult with appointed Owner's personnel. d. Recommend changes to cameras, lenses, and associated equipment to improve Owner's use of video surveillance system. e. Provide a written report of adjustments and recommendations</p> |
| 3.) As-Built Drawings and Operation and Maintenance Manuals | <p>A. As-Built Drawings 1. At the conclusion of the project, the Contractor shall provide "as built" drawings. The "as built" drawings shall be a continuation of the Contractor's shop drawings as modified, augmented, and reviewed during the installation, check out and acceptance phases of the project. All drawings shall be fully dimensioned and prepared in DWG format using the latest version of AutoCAD. 2. The as-built drawings shall incorporate all updated system riser diagrams prepared in DWG format using the latest version of AutoCAD.</p> <p>B. Manuals 1. At the conclusion of the project, the Contractor shall provide copies of the manuals as described herein. Each manual's contents shall be identified on the cover. The manual shall include names, addresses, and telephone numbers of each system integrator installing equipment and systems and the nearest service representatives for each item of equipment for each system. The manuals shall have a table of contents and labeled sections. The manuals shall include all modifications made during installation, checkout, and acceptance. The manuals shall contain the following: a. Hardware Manual i) The hardware manual shall describe all equipment furnished including: b) General description and specifications c) Installation and check out procedures d) Equipment layout and electrical schematics to the component level e) System layout drawings and schematics f) Alignment and calibration procedures g) Manufacturers repair parts list indicating sources of supply b. Software Manual i) The software manual shall describe the functions of all software and shall include all other information necessary to enable proper loading, testing, and operation. The manual shall include: b) Definition of terms and functions c) Use of system and applications software d) Initialization, start up, and shut down e) Alarm reports f) Reports generation g) Data base format and data entry requirements h) Directory of all disk files c. Operators Manual The operator's manual shall fully explain all procedures and instructions for the operation of the system including: a) Computers and peripherals b) System start up and shut down procedures c) Use of system, command, and applications software d) Recovery and restart procedures e) Graphic alarm presentation f) Use of report generator and generation of reports g) Data entry h) Operator commands i) Alarm messages and reprinting formats j) System access requirements 2. Maintenance Manual a. The maintenance manual shall include descriptions of maintenance for all equipment including inspection, periodic preventive maintenance, fault diagnosis, and repair or replacement of defective components.</p> |
| 4.) Programming and Training | <p>A. Coordinate and obtain a written approval of system functionality from the Owner prior to programming.</p> <p>B. Perform a walk-through with the Owner and demonstrate the system functionality.</p> <p>C. Make any adjustments to system functionality after initial programming if necessary to achieve the desired functionality requested by the Owner.</p> <p>A. The security system integrator shall provide four (2) two hour training sessions for client personnel.</p> |
| 5.) Commissioning | <p>A. Upon completion of the project, a site inspection shall be performed with the security integrator, Lawler Wood Housing and Safer Places. The purpose will be to confirm that all equipment has been installed per the Scope of Work and in a neat professional manner. A punch list will be generated for any items that need to be addressed. Upon a successful site inspection or once all punch list items have been addressed, the integrator, owner and Safer Places will sign-off on the project.</p> |

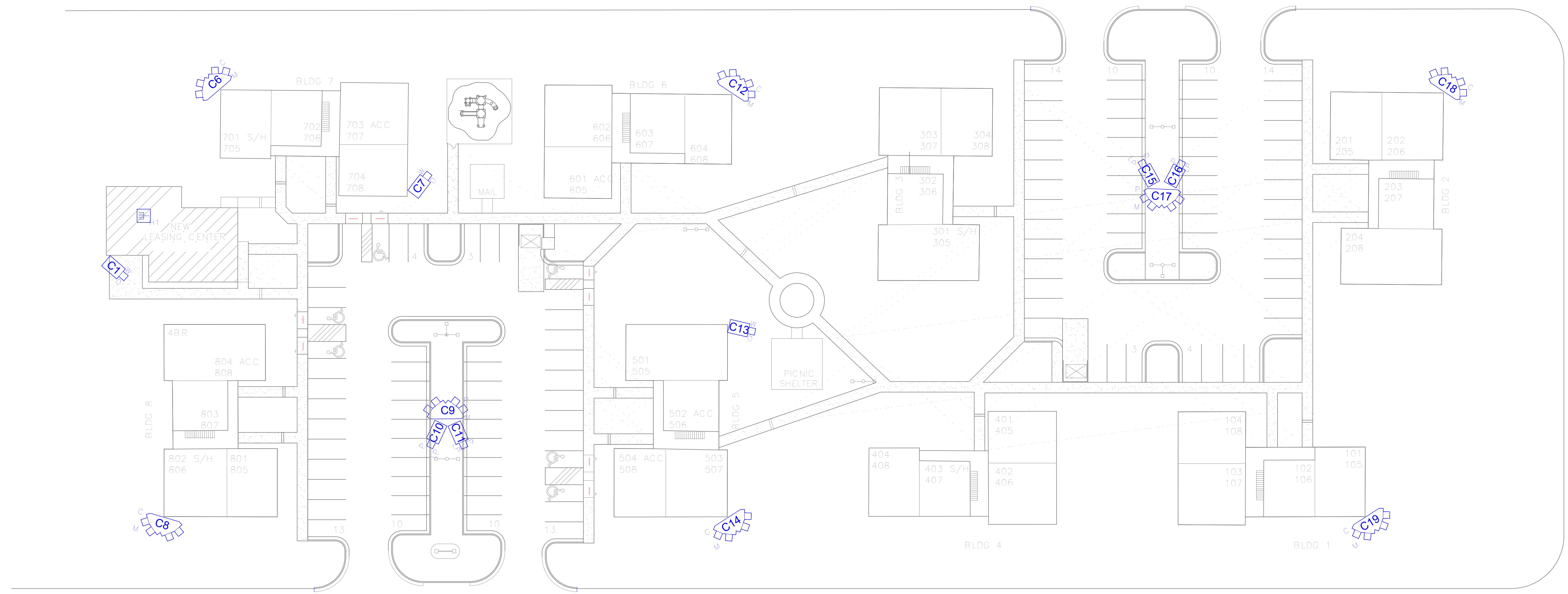
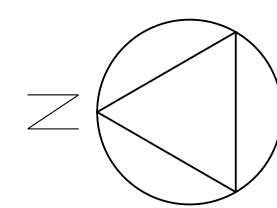
| GENERAL NOTES | |
|---------------|---|
| 1. | ALL CABLING AND CONDUIT SHALL BE INSTALLED PER LOCAL AND NATIONAL ELECTRICAL CODE APPROVED METHODS. |
| 2. | ALL EXTERIOR MOUNTED EQUIPMENT SUCH AS CAMERAS, INTERCOM STATIONS, ENCLOSURES, CARD READERS, ETC. SHALL BE PROPERLY MOUNTED AND WATER TIGHT. COMPRESSION FITTINGS SHALL BE USED FOR ALL CONDUIT ENTERING THE EQUIPMENT ENCLOSURES AND BACK BOXES. |
| 3. | SURFACE MOUNT CONDUIT OR RACEWAYS SHALL BE INSTALLED FOR ALL CABLING THAT CANNOT BE CONCEALED ABOVE CEILINGS OR WALLS. THE INSTALLING CONTRACTOR SHALL CONFORM WITH THE CONDUIT FILL RATE PERCENTAGES OUTLINED IN THE NATIONAL ELECTRICAL CODE. |
| 4. | EQUIPMENT SUCH AS CAMERAS, MOTIONS SENSORS AND TALK-DOWN SPEAKERS MOUNTED TO DROP-CEILING TILES SHALL BE RE-REINFORCED WITH A BACKING PLATE TO MINIMIZE DAMAGE FROM VANDALISM.. |
| 5. | SHOULD THIS PROJECT INCLUDE FIBER OPTIC CABLING, THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIBER TERMINATIONS, BREAK-OUT BOXES, PATCH CABLES AND TESTING. ALL INTERIOR FIBER CABLING MUST BE INSTALLED WITHIN ARMORED CABLE OR FIBER INNER DUCT. PRIOR TO INSTALLATION, THE INSTALLING CONTRACTOR SHALL CONFIRM THAT THE DISTANCE OF EACH CABLE RUN DOES NOT EXCEED THE LIMITATIONS OF THE FIBER CABLING. SHOULD THIS BE THE CASE, THE INSTALLING CONTRACTOR SHALL CONTACT SAFER PLACES FOR DIRECTION. |
| 6. | ALL CABLING WITHIN EQUIPMENT RACKS, CONTROL PANELS, FIELD PANELS, ENCLOSURES, ETC SHALL BE PROPERLY DRESSED AND CLEARLY LABELED. ALL CABLES SHALL BE NEATLY BUNDLED AND SECURED. A SCHEDULE SHALL BE LEFT WITHIN EACH ENCLOSURE IDENTIFYING WHAT DEVICES ARE SERVICED BY THE RESPECTIVE PANEL/ENCLOSURE. THIS SCHEDULE SHALL INCLUDE ANY REQUIRED IP ADDRESSES, MAC ADDRESSES, LOGIN CREDENTIALS, ETC. |
| 7. | SHOULD THIS PROJECT INCLUDE NEW POLES, CARD READER PEDESTALS, INTERCOM PEDESTALS, ETC. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONCRETE FOOTINGS OR PADS. |
| 8. | ALL REQUIRED EXTERIOR CONDUIT SHALL BE INSTALLED PER LOCAL AND NATIONAL ELECTRICAL CODES. SHOULD EMT BE UTILIZED, PROPER COMPRESSION FITTINGS SHALL BE INSTALLED. PVC CONDUIT SHALL BE A SCHEDULE 80 AND UTILIZE PROPER EXPANSION FITTINGS TO PREVENT CRACKING. |
| 9. | SHOULD WIRELESS NETWORK TRANSCEIVERS BE UTILIZED FOR THIS PROJECT, PROPER SHIELDED NETWORK CABLING SHALL BE INSTALLED. PRIOR TO INSTALLATION, THE INSTALLING CONTRACTOR SHALL CONFIRM LINE OF SIGHT BETWEEN TRANSCEIVERS EXISTS. IF LINE OF SIGHT DOES NOT EXIST, THE INSTALLING CONTRACTOR SHALL CONTACT SAFER PLACES FOR DIRECTION.. |
| 10. | ALL EQUIPMENT SHALL BE PROPERLY GROUNDED FOLLOWING MANUFACTURER SUGGESTED METHODS. |
| 11. | UNLESS OTHERWISE NOTED, THE INSTALLING CONTRACTOR SHALL PROVIDE ALL REQUIRED CORING, SLEEVES AND APPROVED FIRE-STOPPING METHODS. |
| 12. | THESE DRAWINGS ARE INTENDED FOR DIAGRAMATICAL PURPOSES ONLY AND OUTLINE THE INTENT OF THE DESIGNED SYSTEM(S). THE INSTALLING CONTRACTOR IS REQUIRED TO PROVIDE ALL EQUIPMENT NECESSARY FOR A COMPLETELY FUNCTIONAL SYSTEM. IF ADDITIONAL EQUIPMENT IS REQUIRED OR RECOMMENDED, PLEASE NOTIFY SAFER PLACES, PRIOR TO SUBMITTING A BID AND INCLUDE THIS EQUIPMENT WITH YOUR PROPOSAL. |
| 13. | ALL EQUIPMENT AND DEVICES SHALL BE INSTALLER PER THE MANUFACTURER RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.. |
| 14. | ALL CABLING PASSING THROUGH FIRE WALLS OR SMOKE BARRIER SYSTEMS SHALL BE FIRE-STOPPED VIA AN APPROVED (UL CLASSIFIED) FIRE STOP MATERIAL. |
| 15. | SOME SYMBOLS, ABBREVIATIONS, CABLE TYPES AND GENERAL NOTES CONTAINED WITHIN THESE DRAWINGS MAY NOT BE USED FOR THIS PROJECT. |

| RESPONSIBILITY MATRIX | INTERGRATOR | LHP | GC | SITE ELECTRICIAN | CABLE PROVIDER | PHONE COMPANY | ELEVATOR COMP | FIRE ALARM COMP | GATE COMPANY |
|--|----------------------------------|-----|----|------------------|----------------|---------------|---------------|-----------------|--------------|
| | ELECTRICAL PERMITS (IF REQUIRED) | X | - | - | - | - | - | - | - |
| BUCKET TRUCK/LIFT FEES | X | - | - | - | - | - | - | - | - |
| EQUIPMENT INSTALLTION | X | - | - | - | - | - | - | - | - |
| EQUIPMENT TERMINATIONS | X | - | - | - | - | - | - | - | - |
| LOW VOLTAGE CABLE INSTALLATION | X | - | - | - | - | - | - | - | - |
| SURFACE RACEWAY/CONDUIT INSTALLATION | X | - | - | - | - | - | - | - | - |
| UNDERGROUND CONDUIT (LESS TRENCHING) | - | - | - | X | - | - | - | - | - |
| SITE EXCAVATION/TRENCHING | - | - | X | - | - | - | - | - | - |
| 120VAC POWER (HARDWIRED & OUTLETS) | - | - | - | X | - | - | - | - | - |
| FIRE ALARM INTERFACE TERMINATIONS | N/A | - | - | - | - | - | - | - | - |
| FIRE ALARM INTERFACE CABLING | N/A | - | - | - | - | - | - | - | - |
| FLOOR CORING | N/A | - | - | - | - | - | - | - | - |
| ELECTRIC DOOR LOCKING HARDWARE | N/A | - | - | - | - | - | - | - | - |
| NETWORK DROPS FOR CLIENT CONNECTIVITY | - | X | - | - | - | - | - | - | - |
| CATV INTERFACE TERMINATION & MODULATOR | N/A | - | - | - | - | - | - | - | - |
| SECURITY ALARM TELEPHONE LINE | N/A | - | - | - | - | - | - | - | - |
| TELEPHONE ENTRY SYSTEM TELEPHONE LINE | N/A | - | - | - | - | - | - | - | - |
| ELEVATOR TRAVELER CABLE | N/A | - | - | - | - | - | - | - | - |
| GATE CONTROLLER | N/A | - | - | - | - | - | - | - | - |
| CONCRETE FOOTINGS/PADS | N/A | - | - | - | - | - | - | - | - |
| PROGRAMMING/TESTING/TRAINING | X | - | - | - | - | - | - | - | - |
| O&M MANUALS AND AS-BUILT DRAWINGS | X | - | - | - | - | - | - | - | - |
| FIBER OPTIC CABLING | N/A | - | - | - | - | - | - | - | - |
| PATCHING AND PAINTING | - | - | X | - | - | - | - | - | - |
| CAMERA POLES | N/A | - | - | - | - | - | - | - | - |

| DRAWING SCHEDULE | |
|------------------|---|
| SHEET NO. | SHEET TITLE |
| SEC.1 | SYMBOL SCHEDULE, CABLE SCHEDULE & NOTES |
| SEC.2 | VIDEO SURVEILLANCE SITE PLAN |
| SEC.3 | LEASING OFFICE FLOOR PLAN |
| SEC.4 | VIDEO SURVEILLANCE DETAIL DRAWINGS |

| CABLE SCHEDULE | | | |
|--|--------------------------------------|--------------|--------------|
| TYPE | DESCRIPTION | MANUFACTURER | PLENUM |
| A | CAT5E STRUCTURED NETWORK CABLE | BELDEN | 1212003U1000 |
| B | 6-STRAND MULTIMODE FIBER OPTIC CABLE | BELDEN | B9W240T |
| NOTE: | | | |
| THE SECURITY INTEGRATOR, BIDDER OR CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEM CABLING SHALL ENSURE THAT ALL CABLING BE INSTALLED IS RATED AND DESIGNED FOR ITS INTENDED APPLICATION AND ENVIRONMENT. PLENUM RATED PART NUMBERS HAVE PROVIDED FOR REFERENCE PURPOSES ONLY. | | | |

| | | |
|---|--------------------------|----------|
| Designed: | BUKOSKI | 06/16 |
| Drawn: | BUKOSKI | 6/21/16 |
| Checked: | BUKOSKI | 6/21/16 |
| WHITE RIVER APARTMENTS SYMBOL, CABLE LEGENDS & NOTES DIAZ, ARKANSAS 2900 MARION DRIVE LHP DEVELOPMENT KNOXVILLE, TENNESSEE | | |
| Approved | Date | |
| 25 Wareham Street, Suite 2-26 Middleboro, Massachusetts 02346 Tel: 508-947-0600 | | |
| REVISIONS | Description | Approved |
| | UPDATED DRAWING SCHEDULE | SMB |
| | REPLACED FIBER WITH UTP | SMB |
| Date | 7/1/15 | |
| | 7/6/15 | |
| File No. | LEGENDS.DWG | |
| Drawing No. | SEC.1 | |
| Sheet 1 | of 4 | |



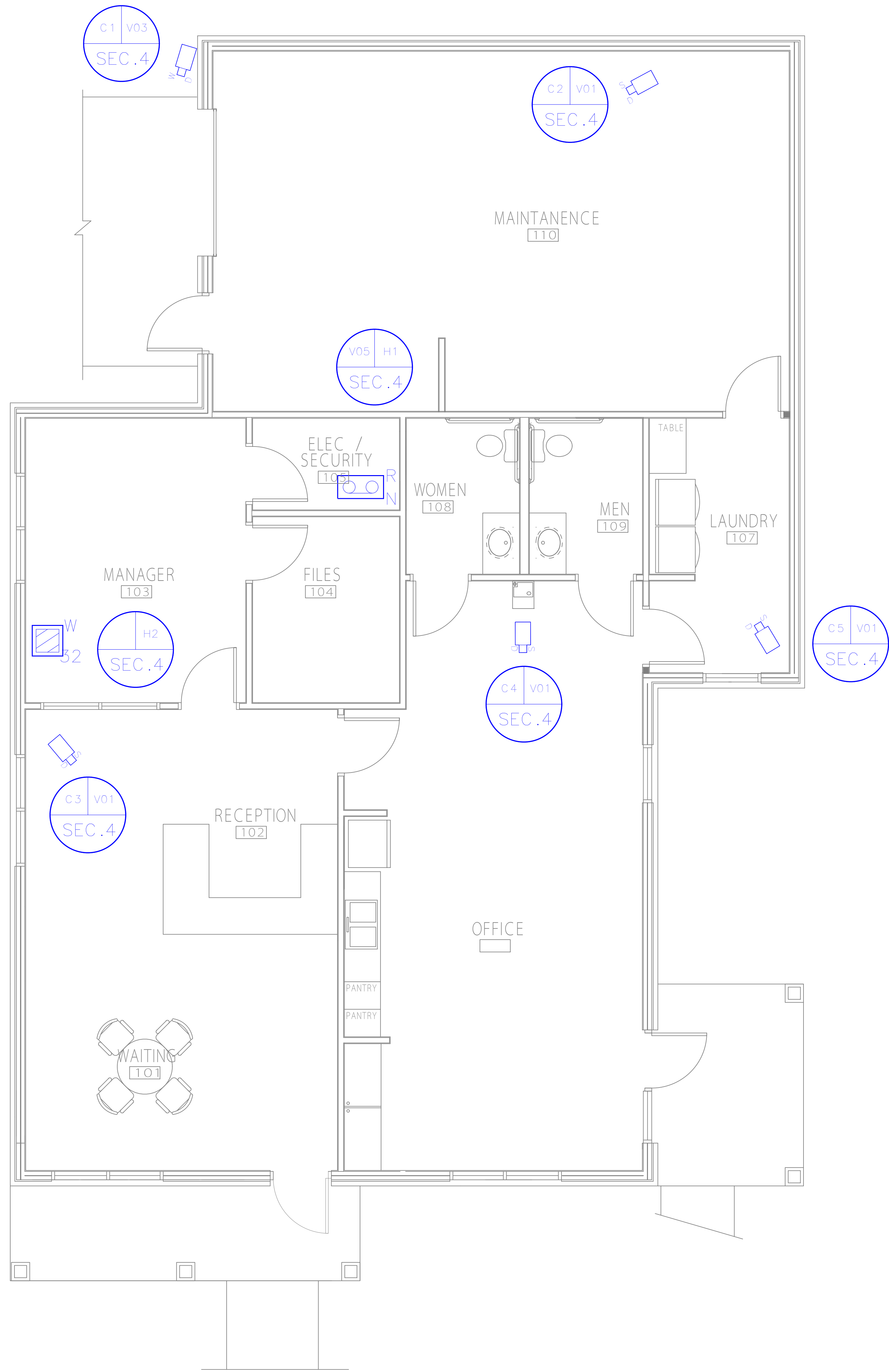
| VIDEO SURVEILLANCE SYSTEM HEAD-END EQUIPMENT SCHEDULE | | | | | | | | | | | | | |
|---|---|---|--------------------------------|---------------------|--------------------------|----------------------|-----------------|---------------------------|--|-------------------|--|-----------------|---|
| Device# | Location | NVR | Software Licenses | Network Switch | Wall Cabinet | Power Strip | Patch Panel | UPS Power Supply | Video Monitor | Ethernet Extender | 110vac By | Network By | NOTES: |
| H1 | Leasing Center Electrical/Security Room 105 | ExacQvision/ IP04-24T-R4A with 5000-40374 | ExacQvision/ EVIP-01 (Qty. 15) | D-Link/DGS-1100-24P | Middleatlantic/ DWR18-36 | Tripp-Lite/ RS-0615R | Monoprice/ 7255 | Tripp-Lite/ SMART3000RM2U | Rackmount Solution/ RKP117S w/Monoprice 2396 | Nitek/ ER16500U | Site Electrician (Outlet in near rack) | LHP Development | Server shall be configured to record all cameras at maximum resolution, utilizing H.264 compression at a minimum of 10 images per second. Motion detection shall be enabled and coordinated with LHP. |
| H2 | Leasing Center Manager's 103 Office Wall | n/a | n/a | n/a | n/a | n/a | n/a | n/a | ViewZ/VZ-32RTHL (Qty. 1) ViewZ/VZ-WM50 (Qty. 1) | n/a | Site Electrician (Outlet behind monitor) | n/a | A Monoprice 2029 DVI-D to HDMI converter and Monoprice 6532 HDMI Cat5e extender kit shall be used to send video from the network video server's DVD-D output to the First Floor Management Office monitor |

| VIDEO SURVEILLANCE CAMERA SCHEDULE | | | | | | | | | | | | | | | | | | |
|------------------------------------|----------|-------------|--------------------------------|---------------|---|----------------------|---|--------------------|-----------------|-----------------|----------------------------|------------|---------------------|--------------------|-------------------|------------------|--|--|
| Cam # | Phase | Building | Location | Camera Detail | Cable Type (All cabling shall be installed with the base bid) | Make / Model | Lens | Mount | Bracket | Adapter | Ethernet over UTP Extender | Resolution | Compression Quality | Compression Format | Images Per Second | Motion Detection | Notes | |
| 1 | Base Bid | Leasing Ctr | Exterior Right Rear Side | V03 | A | Vivotek/FD836B-HTV | n/a | Vivotek/AM-212 | Vivotek/AM-711 | Vivotek/AM-525 | n/a | 1080p | Medium | H.264 | 10 | Enabled | View activity outside the maintenance shop | |
| 2 | Base Bid | Leasing Ctr | Maintenance 110 | V01 | A | Vivotek/FD8137HV-F3 | n/a | n/a | n/a | n/a | n/a | 1080p | Medium | H.264 | 10 | Enabled | View activity within the shop and people entering through the doors | |
| 3 | Base Bid | Leasing Ctr | Reception/Waiting Area | V01 | A | Vivotek/FD8137HV-F3 | n/a | n/a | n/a | n/a | n/a | 1080p | Medium | H.264 | 10 | Enabled | View people entering the office and waiting area | |
| 4 | Base Bid | Leasing Ctr | Community Room 106 | V01 | A | Vivotek/FD8137HV-F3 | n/a | n/a | n/a | n/a | n/a | 1080p | Medium | H.264 | 10 | Enabled | View activity within the room and people entering from exterior door | |
| 5 | Base Bid | Leasing Ctr | Laundry Room 107 | V01 | A | Vivotek/FD8137HV-F3 | n/a | n/a | n/a | n/a | n/a | 1080p | Medium | H.264 | 10 | Enabled | View people at the machines and table | |
| 6 | Alt #1 | Building 7 | Left Rear Corner | V02 | A | Arecont/AV12276DN-NL | Arecont/MPM4.0A (2) Arecont/MPM8.0 (2) | Arecont/SO-CAP | Arecont/AV-WMJB | Arecont/AV-CRMA | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View property perimeter and exterior of the leasing center | |
| 7 | Base Bid | Building 7 | Front Right Corner | V03 | A | Vivotek/FD836B-HTV | n/a | Vivotek/AM-212 | Vivotek/AM-711 | Vivotek/AM-525 | Nitek/ET1500UWS | 1080p | Medium | H.264 | 10 | Enabled | View the playground area | |
| 8 | Alt #1 | Building 8 | Left Rear Corner | V02 | A | Arecont/AV12276DN-NL | Arecont/MPM4.0A (2) Arecont/MPM8.0 (2) | Arecont/SO-CAP | Arecont/AV-WMJB | Arecont/AV-CRMA | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | Provide two 4mm and two 6mm lenses | |
| 9 | Base Bid | Parking Lot | New Pole (furnished by others) | V04 | A | Arecont/AV12276DN-08 | n/a | Vivotek/AT-CAB-001 | Vivotek/AM-311 | Arecont/SO-CAP | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View upper sides and rear of the parking lot | |
| 10 | Base Bid | Parking Lot | New Pole (furnished by others) | V04 | A | Axis/0509-001 | n/a | n/a | n/a | Axis/5504-581 | Nitek/ET1500UWS | 1080p | High | H.264 | 15 | Enabled | View license plates of vehicles entering left side from Marion Street and lower left side of the parking lot | |
| 11 | Base Bid | Parking Lot | New Pole (furnished by others) | V04 | A | Axis/0509-001 | n/a | n/a | n/a | Axis/5504-581 | Nitek/ET1500UWS | 1080p | High | H.264 | 15 | Enabled | View license plates of vehicles entering right side from Marion Street and lower right side of the parking lot | |
| 12 | Alt #1 | Building 6 | Right Rear Corner | V02 | A | Arecont/AV12276DN-NL | Arecont/MPM4.0A (2) Arecont/MPM8.0 (2) | Arecont/SO-CAP | Arecont/AV-WMJB | Arecont/AV-CRMA | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View perimeter of property and between buildings 3 and 6 | |
| 13 | Alt #1 | Building 5 | Right Rear Corner | V03 | A | Vivotek/FD836B-HTV | n/a | Vivotek/AM-212 | Vivotek/AM-711 | Vivotek/AM-525 | Nitek/ET1500UWS | 1080p | Medium | H.264 | 10 | Enabled | View the picnic shelter | |
| 14 | Alt #1 | Building 5 | Right Rear Corner | V02 | A | Arecont/AV12276DN-NL | Arecont/MPM4.0A (2) Arecont/MPM8.0 (2) | Arecont/SO-CAP | Arecont/AV-WMJB | Arecont/AV-CRMA | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View perimeter of property and between buildings 4 and 5 | |
| 15 | Base Bid | Parking Lot | New Pole (furnished by others) | V04 | A | Axis/0509-001 | n/a | n/a | n/a | Axis/5504-581 | Nitek/ET1500UWS | 1080p | High | H.264 | 15 | Enabled | View license plates of vehicles entering left side from Linley Drive and lower left side of the parking lot | |
| 16 | Base Bid | Parking Lot | New Pole (furnished by others) | V04 | A | Axis/0509-001 | n/a | n/a | n/a | Axis/5504-581 | Nitek/ET1500UWS | 1080p | High | H.264 | 15 | Enabled | View license plates of vehicles entering right side from Linley Drive and lower right side of the parking lot | |
| 17 | Base Bid | Parking Lot | New Pole (furnished by others) | V04 | A | Arecont/AV12276DN-08 | n/a | Vivotek/AT-CAB-001 | Vivotek/AM-311 | Arecont/SO-CAP | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View upper sides and rear of the parking lot | |
| 18 | Alt #1 | Building 2 | Left Rear Corner | V02 | A | Arecont/AV12276DN-NL | Arecont/MPM4.0A (2) Arecont/MPM8.0 (2) | Arecont/SO-CAP | Arecont/AV-WMJB | Arecont/AV-CRMA | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View perimeter of property | |
| 19 | Alt #1 | Building 1 | Left Rear Corner | V02 | A | Arecont/AV12276DN-NL | Arecont/MPM4.0A (2) Arecont/MPM8.0 (2) | Arecont/SO-CAP | Arecont/AV-WMJB | Arecont/AV-CRMA | Nitek/ET1500UWS | 12MP | Medium | H.264 | 10 | Enabled | View perimeter of property and between buildings 1 and 2 | |


Designed: BUKOSKI 6/16
 Drawn: BUKOSKI 6/21/16
 Checked: BUKOSKI 6/21/16
 Approved: _____ Date: _____
WHITE RIVER APARTMENTS
VIDEO SURVEILLANCE SITE PLAN
 2900 MARION DRIVE DIAZ, ARKANSAS
 LHP DEVELOPMENT
 KNOXVILLE, TENNESSEE

SAFER PLACES
 screening, testing & consulting
 25 Wareham Street, Suite 2-26
 Middleboro, Massachusetts 02346
 Tel: 508-947-0600

| REVISIONS | Description | Date | Approved |
|-----------|-------------|------|----------|
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| | | | |
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WHITE RIVER APARTMENTS
 VIDEO SURVEILLANCE OFFICE PLAN
 DIAZ, ARKANSAS
 2900 MARION DRIVE
 LHP DEVELOPMENT
 KNOXVILLE, TENNESSEE


SAFERPLACES
 screening, testing & consulting
 25 Wareham Street, Suite 2.26
 Middleboro, Massachusetts 02346
 Tel: 508-947-0600

| REVISIONS | | Approved |
|-----------|-----------------------|----------|
| Date | Description | SMB |
| 7/1/15 | UPDATED CAMERA LAYOUT | |
| | | |
| | | |

File No.
 OFFICE.DWG
 Drawing No.
 SEC.3
 Sheet 3 of 4

Designed: BUKOSKI 6/16
 Drawn: BUKOSKI 6/21/16
 Checked: BUKOSKI 6/21/16

Approved _____ Date _____
 Title _____

