

# 2015 Multi-Family Low Income Housing Tax Credit Program Application



A New Multi-Family Elderly Housing Development for:

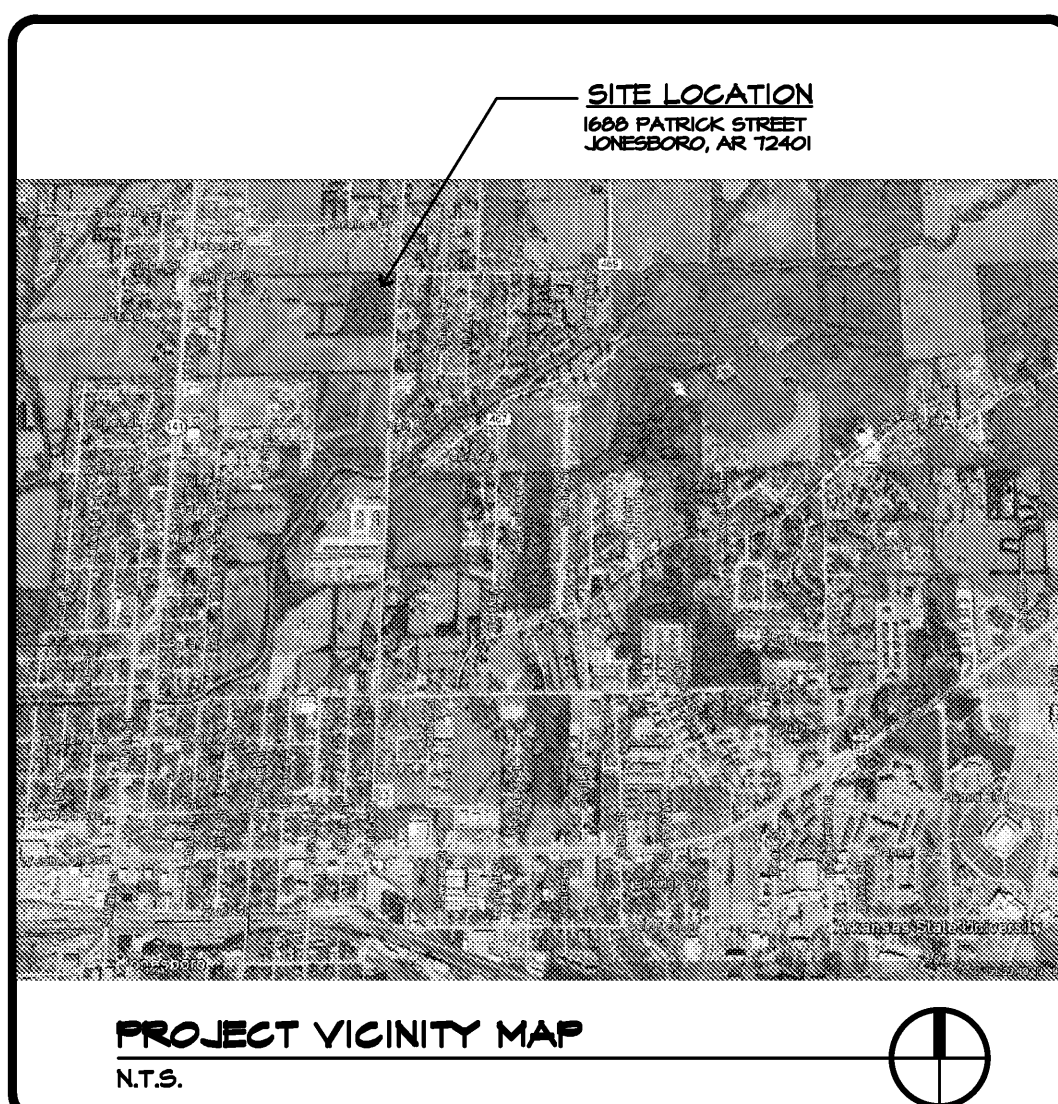
# Emerald Village

1688 Patrick Street • Jonesboro, Arkansas 72401

SCHEDULE OF SPECIAL INSPECTIONS				
PROJECT:	CNI / MEDIC ONE ADDITION			
MATERIAL / ACTIVITY	SERVICE	Y/N	EXTENT	APPLICABLE TO THIS PROJECT AGENT DATE COMPLETED
<b>IT04.4 CONCRETE CONSTRUCTION</b>				
Inspect reinf steel installation	Field inspection		Periodic	2/84
Verification of req design mix	Review submittals		Periodic	3/4
Fresh concrete sampling	Field testing		Continuous	2/8
Concrete curing operations	Field review		Periodic	2/8
Evaluation of concrete strength	Field testing & review of laboratory reports		Periodic	3/4
Inspection of formwork for shape, lines, & location	Field inspection		Periodic	2/8
<b>IT04.5 MASONRY CONSTRUCTION (LEVEL I)</b>				
Verify proportions of all prepared mortar	Field & submittal review		Periodic	2/8
Verify construction of mortar joints	Field inspection		Periodic	2/8
Verify size, grade, & type of reinforcement	Field inspection		Periodic	2/84
Verify protection of masonry during hoid weather	Field inspection		Periodic	2/8
Verify compliance w/ req inspection provisions of governing standards	Field inspection		Periodic	2/84
<b>IT04.6 WOOD CONSTRUCTION</b>				
Inspection of the fabrication process of wood structural elements & assemblies in accordance with SPS 12-01	In plant review		Periodic	0
<b>IT04.7 SOILS</b>				
Verify methods before allowing foundations and footings to be placed	Field inspection		Periodic	1
Perform classification & testing of controlled fill material	Field inspection		Periodic	1
Verify use of properly compacted fill	Field inspection		Continuous	1
Verify density of compacted fill complies w/ approved soils report	Review field testing		Periodic	1
<b>IT07.1 ARCHITECTURAL COMPONENTS SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE</b>				
Inspection during the erection & fastening of exterior cladding & interior & exterior veneer	Field inspection		Periodic	2/8
Inspection during the erection & fastening of exterior & interior non load bearing masonry	Field inspection		Periodic	2/8
<b>IT07.2 MECHANICAL &amp; ELECTRICAL COMPONENTS SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE</b>				
Inspection during the exchange of other electrical work	Field inspection		Periodic	5/6
Inspection during installation of piping systems, including contents & their associated mechanical risks	Field inspection		Periodic	5/6
Inspection during the installation of HVAC ductwork that will contain hazardous materials	Field inspection		Periodic	5/6
Inspection during the installation of vibration isolation systems	Field inspection		Periodic	5/6
<b>IT08.3 REINFORCING STEEL TESTING FOR SEISMIC RESISTANCE</b>				
Review certified mill test reports	Field review		Each Submittal	3/4
<b>IT08.5 SEISMIC QUALIFICATION OF MECHANICAL &amp; ELECTRICAL EQUIPMENT</b>				
Review certificate of compliance for designated seismic system components	Certificate of compliance review		Each Submittal	5/6
<b>INSPECTION AGENT FIRM</b>				
1 Testing Agency	NONE			
2 Testing Agency	NONE			
3 Architect	LITTLE & ASSOCIATES			
4 Structural Engineer	NONE			
5 Mechanical Engineer	NONE			
6 Electrical Engineer	NONE			
7 Steel Fabricator	NONE			
8 Laminated Wood Mfg	NONE			
<b>Notes:</b>				
1. The inspection & testing agency shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official prior to commencing work. The qualifications of the Special Inspector(s) and/or testing agency are subject to the approval of the Building Official and/or the Design Professional.				
2. The list of Special Inspections may be submitted as a separate document if noted as above.				
Encircle "Yes" or "No" as appropriate and date below:				
Are Requirements for Seismic Resistance Included in the Statement of Special Inspections? Yes (X) No				
Are Requirements for Wind Resistance Included in the Statement of Special Inspections? Yes (X) No				
Date:				
<b>Statement of Special Inspections</b>				
This project requires minimum special inspections. Architect will inspect UL components of the framing to ensure design by our plans are followed. Images along with on: Field Report will be produced and filed.				



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PROJECT AREA & PARKING CALCULATIONS			
PROJECT AREA:			
2 BR LIVING UNITS - (40) UNIT FLOOR AREA	1,151 sq.ft. (NET)	1,621 sq.ft. (GROSS)	
2 BR HDGP LIVING UNITS - (3) UNIT FLOOR AREA	1,151 sq.ft. (NET)	1,621 sq.ft. (GROSS)	
2 BR HSH LIVING UNITS - (1) UNIT FLOOR AREA	1,151 sq.ft. (NET)	1,621 sq.ft. (GROSS)	
OFFICE / COMMUNITY UNIT - FLOOR AREA			
	875 sq.ft. (NET)	1,118 sq.ft. (GROSS)	
TOTAL PROJECT FLOOR AREA			
	44,464 sq.ft. (NET)	72,106 sq.ft. (GROSS)	
PARKING INFORMATION:			
REQUIRED PARKING:			
STANDARD SPACES	(71) SPACES		
A.D.A ACCESSIBLE SPACES	(4) SPACES		
TOTAL REQUIRED SPACES	(81) SPACES		
ACTUAL PARKING:			
STANDARD SPACES	(91) SPACES		
A.D.A ACCESSIBLE SPACES	(10) SPACES		
TOTAL ACTUAL SPACES	(101) SPACES		
	(EXCEEDS MIN. REQ'D)		

CODE REVIEW	
A) 2012 ARKANSAS STATE FIRE PREVENTION CODE VOL I, VOL II, & VOL III	
B) 2012 NFPA LIFE SAFETY CODE	
C) 2014 NATIONAL ELECTRIC CODE	
D) 2004 ARKANSAS ENERGY CODE	
E) ACT 1100, 1991 - EARTHQUAKE RESISTANT DESIGN	
F) CITY ELECTRICAL CODE AMENDMENTS	
G) 2010 ARKANSAS PLUMBING CODE	
H) CITY PLUMBING & GAS CODE AMENDMENTS	
I) 2010 ARKANSAS MECHANICAL CODE	
J) 2006 ARKANSAS STATE GAS CODE	
K) 2003 ICC/ANSI A117.1 AMERICAN NATIONAL STANDARDS (ADA REQ'S)	
L) UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)	
M) ADFA MULTI-FAMILY HOUSING MINIMUM DESIGN STANDARDS - CURRENT ED.	
N) ARKANSAS USABILITY STANDARDS IN HOUSING (AUSH)	
(GUIDANCE MANUAL FOR CONSTRUCTING INCLUSIVE FUNCTIONAL DWELLINGS)	
AFFC CERTIFICATION	
I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE ARKANSAS FIRE PREVENTION CODE FOR THE STATE OF ARKANSAS.	
NOTES: (PER AFFC 106.4)	
WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE REVISED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AND AMENDED TO THIS SET OF CONSTRUCTION DOCUMENTS.	

PROJECT PROFESSIONALS:		CONTACT INFORMATION	
OWNER:	EMERALD VILLAGE OF JONESBORO, LP 101 E MADISON BASTROP, LA 71220 (504) 281-4120 Office		
DEVELOPER:	ANC DEVELOPMENT & CONSULTING, LLC P.O. BOX 414 BAUSTE, AR 72011		
PROPERTY MANAGER:	TOWER MANAGEMENT REAL ESTATE, LLC 1100 ALBERT PIKE SUITE 1 HOT SPRINGS, AR 71913		
ARCHITECT:	LITTLE & ASSOCIATES - ARCHITECTS 501 UNION STREET JONESBORO, AR 72401 (870) 430-3813 Office		
CIVIL ENGINEER:	ASSOCIATED ENGINEERING & TESTING, LLC 103 S. GARCIA STREET JONESBORO, AR 72401 (870) 432-3944 Office		

MATERIAL LEGEND	
	FACEBRICK
	MASONRY BLOCK
	PLYWOOD
	WOOD (FINISH OR STUD WALL)
	WOOD (BLOCKING)
	INSULATION (BATT)
	INSULATION (RIGID)
	GYP. BOARD OR PLASTER
	METAL
	METAL STUDS
	CONCRETE
SYMBOL LEGEND	
	SECTION SHEET
	DETAIL SHEET
	OPENING
	GENERAL NOTE
	LEVEL CHANGE
	NORTH ARROW
	WALL
	WALL ELEVATION SHEET
	FIXTURE

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1688 PATRICK STREET  
JONESBORO, ARKANSAS 72401

COMM. NO. 61415  
DATE : 6/20/16  
FILE: 471100VRR.dwg  
PLOT: FULL

LITTLE & ASSOCIATES  
ARCHITECTS

501 UNION  
JONESBORO, AR  
(870) 430-3813 TEL  
(870) 430-3820 FAX  
littlearch@earthlink.net

C

ABBREVIATIONS	
1	FOOT
2	INCHES
3	NUMBER
4	DOLLARS
5	AND
6	AND
7	ANCHOR BOLT
8	ANCHOR CONCRETE INSTITUTE
9	ACoustical
10	ACoustical
11	ACoustical
12	AR HIGHWAY & TRANSPORTATION
13	ALUM
14	BOARD
15	BFE BUILDING FLOOR ELEVATION
16	BLDG
17	BTUH BRITISH THERMAL UNITS PER HOUR
18	CENTER
19	CAPASL CAPACITY IN GALLONS
20	CERF CERTIFIED
21	CERT
22	CLG
23	CLG
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SHEET INDEX	
C	COVER SHEET
S01	SITE DEVELOPMENT PLAN - INDEX (ASSOCIATED ENGINEERING)
S02	SITE DEVELOPMENT PLAN - AREA MAP (ASSOCIATED ENGINEERING)
S03	SITE DEVELOPMENT PLAN - TOPO MAP (ASSOCIATED ENGINEERING)
S04	SITE DEVELOPMENT PLAN - RECORD PLAN (ASSOCIATED ENGINEERING)
S05	SITE DEVELOPMENT PLAN - SITE PLAN (ASSOCIATED ENGINEERING)
S06	SITE DEVELOPMENT PLAN - UTILITY PLAN (ASSOCIATED ENGINEERING)
S07	SITE DEVELOPMENT PLAN - DRAINAGE PLAN (ASSOCIATED ENGINEERING)
S08	SITE DEVELOPMENT PLAN - EROSION CONTROL PLAN (ASSOCIATED ENGINEERING)
S09	SITE DEVELOPMENT PLAN - STREET PROFILES (ASSOCIATED ENGINEERING)
S10	SITE DEVELOPMENT PLAN - STANDARD DETAILS (ASSOCIATED ENGINEERING)
S11	SITE DEVELOPMENT PLAN - EROSION CONTROL DETAILS (ASSOCIATED ENGINEERING)
S12	SITE PLAN - LANDSCAPING - ZONE A (LITTLE & ASSOC)
S13	SITE PLAN - LANDSCAPING - ZONE B / SCHEDULES (LITTLE & ASSOC)
A1	FOUNDATION PLAN - BLDG 'A' & 'B' & DETAILS
A2	FOUNDATION PLAN - BLDG 'C' & DETAILS
A3	FLOOR PLAN - BLDG 'A' - OVERALL / SCHEDULES
A4	FLOOR PLAN - BLDG 'B' - OVERALL / SCHEDULES
A5	FLOOR PLAN - BLDG 'C' - OVERALL / SCHEDULES
A6	EXTERIOR ELEVATIONS - BLDG 'A' & 'B'
A7	EXTERIOR ELEVATIONS - BLDG 'C'
A8	MILWORK - BLDG 'A' & 'B' INTERIOR SCHEDULES
A9	MILWORK - BLDG 'C' INTERIOR SCHEDULES
A10	FRAMING & ROOF PLAN - BLDG 'A' & 'B'
A11	FRAMING & ROOF PLAN - BLDG 'C'
A12	HVAC PLAN - BLDG 'A' & 'B'
A13	HVAC PLAN - BLDG 'C'
A14	PLUMBING PLAN - BLDG 'A' & 'B' / SCHEDULES / PLUMBING RISER DIAGRAM
A15	PLUMBING PLAN - BLDG 'C' / SCHEDULES / PLUMBING RISER DIAGRAM
A16	ELECTRICAL POWER & LIGHTING PLAN - BLDG 'A' & 'B' / ELECTRICAL POWER RISER DIAGRAM
A17	ELECTRICAL POWER & LIGHTING PLAN - BLDG 'C' / ELECTRICAL POWER RISER DIAGRAM

COVER SHEET

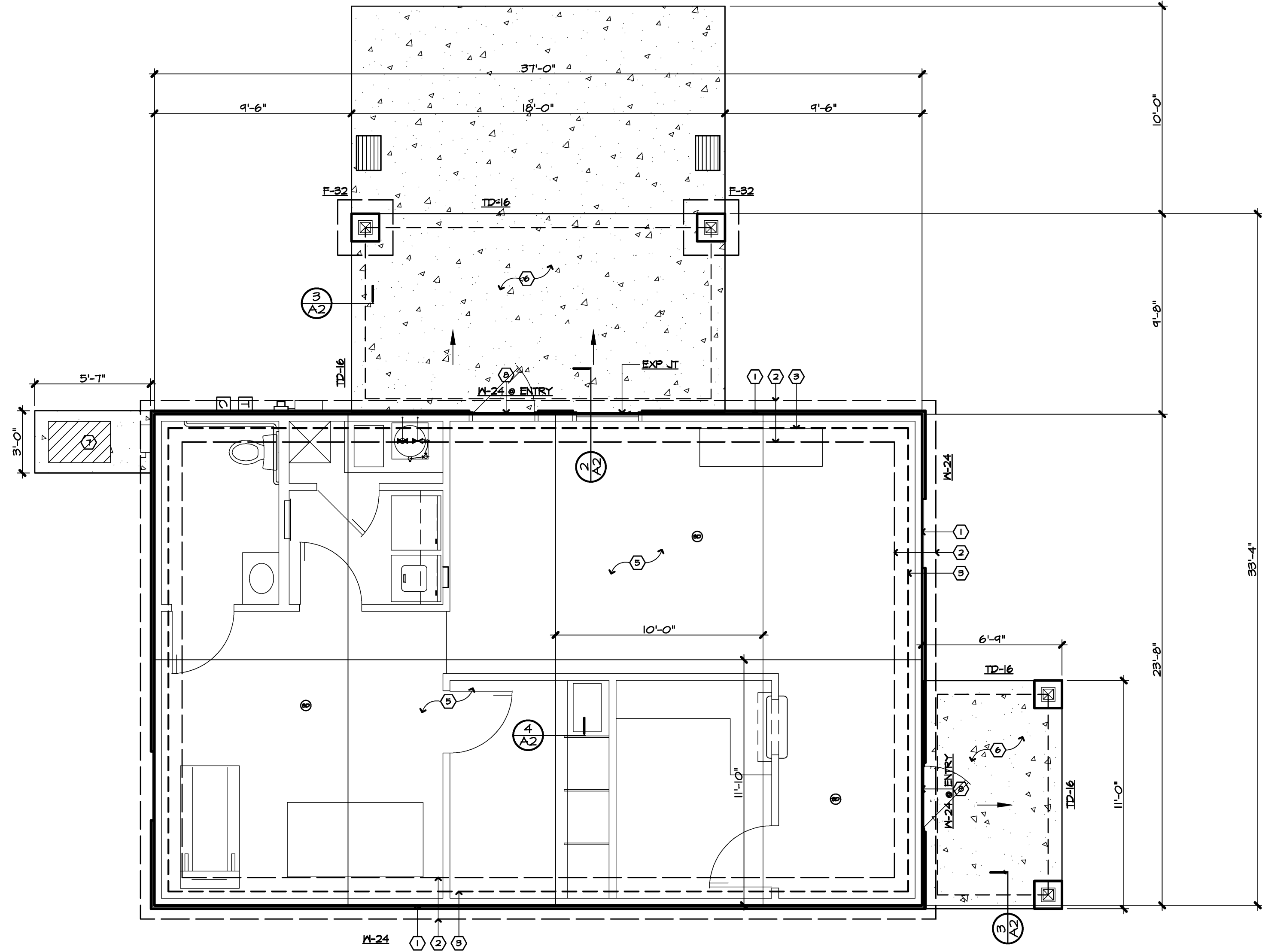
NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1688 PATRICK STREET  
JONESBORO, ARKANSAS 72401



6 ALT W-24 EXT 3/4" 5 CJ 3/4"







FOUNDATION PLAN - BLDG "C"  
1/4" = 1'-0"  
SEE SITE PLAN

0	GENERAL NOTES FOUNDATION PLANS		
MARK	DESCRIPTION		
1	EDGE OF SLAB		
2	LINE OF FOOTING		
3	LINE OF FOUNDATION WALL		
4	LINE OF BRICK - SEE EXT ELEVATIONS FOR REF		
5	4"TK CONC SLAB REINF w/ 6x6 W/4xW/4 OVER 6 MIL VAPOR BARRIER OVER CLEAN COMPACTED FILL - 45% PROCTOR		
6	4"TK CONC SLAB REINF w/ 6x6 W/4xW/4 OVER 6 MIL VAPOR BARRIER OVER CLEAN COMPACTED FILL - BROOM FINISH -45% PROCTOR - ALL EXTERIOR CONCRETE TO BE 5% AIR ENTRAINED		
7	4"TK CONC STOOP FOR HVAC UNIT (TYP) - SEE HVAC PLANS FOR REF		
8	DROP SLAB 1/2" THIS LOC - SEE DETAIL FOR REF		

FOOTING SCHEDULE			
MARK	SIZE	DESCRIPTION	REMARKS
W-24	12"x24"xCONT w/ 8"xW/6"D 6B	(3) #5% CONT w/ #4 TIES @ 48" OC (2) #5% CONT w/ #4 VERT DOWELS @ 48" OC EXT 24" INTO SLAB (2) #4% CONT EXTENDED INTO SLAB	(1)
W-24 @ ENT	12"x24"xCONT w/ 8"xW/6"D 6B	(3) #5% CONT w/ #4 TIES @ 48" OC (2) #5% CONT w/ #4 VERT DOWELS @ 48" OC EXT 24" INTO SLAB (2) #4% CONT EXTENDED INTO SLAB (1) #5 CONT @ STOOP FTG	(1)
T5	16"xW/8"DxCONT	(2) #5% CONT - TIE INTO VERT DOWELS @ PERIMETER FTG's	(2)
TD-16	8"xW/6"D	(2) #4% CONT w/ #4 VERT DOWELS @ 16" OC EXT 24" INTO SLAB	
F-32	32"x32"x12"	(3) #5% 30"L EA WAY, w/(4) #4% VERT IN PIER WITH #4 TIES @ 8" OC STARTING 5" BELOW SLAB SURFACE	

REMARKS FOOTING SCHEDULE	
(1) SIMPSON "MAS" MUDSILL ANCHOR CAST IN SLAB - SEE DETAIL FOR SPACING	
(2) ANCHOR BOLTS CAST INTO SLAB - SEE DETAIL FOR SIZE & SPACING	

ENGINEERING GENERAL NOTES	
1. ALL REINFORCING STL TO BE ASTM A615 GR60	
2. 3500 PSI CONC w/ 4" SLUMP FOR ALL FOOTINGS - 4000 PSI CONC w/ 4" SLUMP FOR SLAB	
3. ALL REINFORCING STL TO HAVE MIN 3" COVER WHEN EXPOSED TO SOIL	
4. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL w/ MIN 2500 PSF BEARING CAPACITY	
5. ALL EXTERIOR CONCRETE TO BE 5% AIR ENTRAINED	

<div><div><div><div><div>4" TK CONC SLAB REINF W/6x6 W/4xW/4 W/4 - BROOM FINISH</div><div>HARDIE BOARD SIDING</div><div>CONT BASE FLASHING W/4 @ 48" OC</div><div>SLOPE 1/8" PER FT</div><div>11" 1/2" COMP FILL 45% PROCTOR</div><div>6 MIL VAPOR BARRIER MIN</div><div>#5 CONT</div><div>3/4" EXP JT</div></div><div><div>**SEE WALL SECTIONS FOR DETAILS</div><div>**SEE 1/4/2 FOR DETAILS</div></div></div><div><div>6" 1" 1/2" 6" 1" 1/2" 6" 1" 1/2"</div><div>6" 1" 1/2" 6" 1" 1/2" 6" 1" 1/2"</div><div>6" 1" 1/2" 6" 1" 1/2" 6" 1" 1/2"</div></div></div><div><div>2</div><div>W-24 @ ENTRY</div><div>3/4"</div></div></div>	<div><div><div><div><div>4" TK CONC SLAB REINF W/6x6 W/4xW/4 W/4</div><div>SIMPSON "MAS" MUDSILL ANCHOR</div><div>4" TK CONC SLAB REINF W/6x6 W/4xW/4 W/4</div><div>6 MIL VAPOR BARRIER MIN</div><div>PERIM INSUL</div><div>24"</div><div>16"</div><div>12"</div><div>24"</div></div><div><div>**SEE WALL SECTIONS FOR DETAILS</div><div>**SEE 1/4/2 FOR DETAILS</div></div></div><div><div>1</div><div>W-24</div><div>3/4"</div></div></div></div>
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<div><div><div><div><div>4"TK CONC SLAB W/ 6x6 W/4xW/4 W/4</div><div>CONT SANKUT @ 1" DEEP</div><div>6 MIL VAPOR BARRIER (MIN)</div></div><div><div>4</div><div>CJ</div><div>3/4"</div></div></div></div></div>	<div><div><div><div><div>4"TK CONC SLAB W/ 6x6 W/4xW/4 W/4</div><div>SLOPE 1/8" PER 1'</div><div>6 MIL VAPOR BARRIER (MIN)</div><div>#4% VERT @ 16" OC EXTEND 24" INTO SLAB</div><div>#4% CONT</div></div><div><div>3</div><div>TD-16</div><div>3/4"</div></div></div></div></div>
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4"TK CONC SLAB W/ 6x6 W/4xW/4 W/4

CONT SANK CUT @ 1" DEEP

6 MIL VAPOR BARRIER (MIN)

4

CJ

3/4"

4"TK CONC SLAB W/ 6x6 W/4xW/4 W/4

SLOPE 1/8" PER 1'

6 MIL VAPOR BARRIER (MIN)

#4% VERT @ 16" OC EXTEND 24" INTO SLAB

#4% CONT

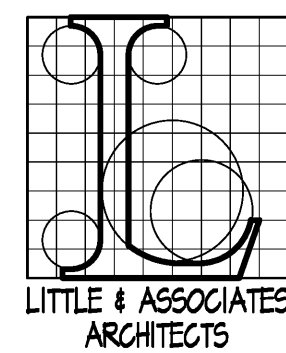
3

TD-16

3/4"

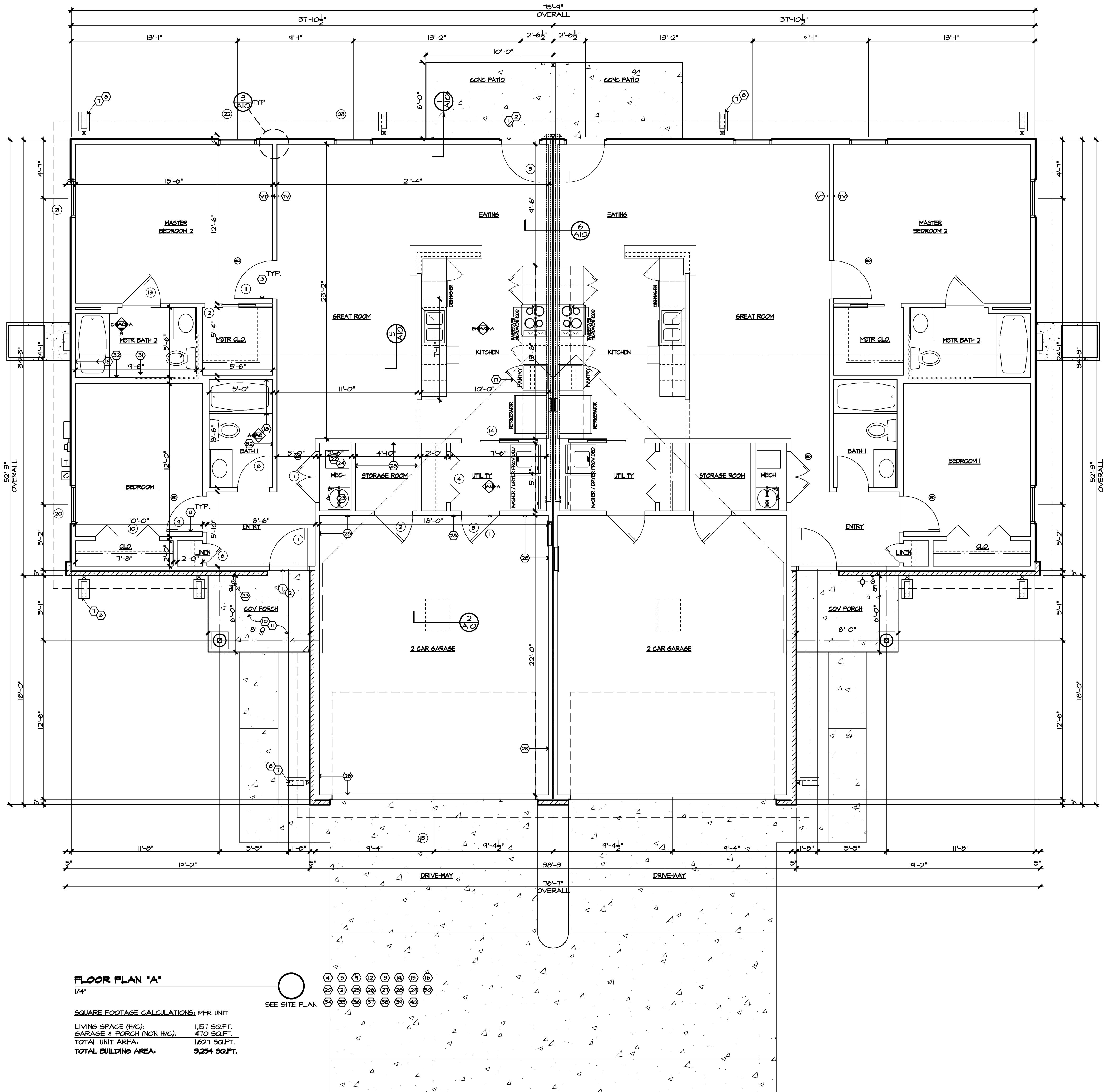
FOUNDATION PLAN - BLDG "C" & DETAILS

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401  
COMM. NO.: 61415  
DATE: 6/20/16  
FILE:



LITTLE & ASSOCIATES  
ARCHITECTS  
501 UNION  
JONESBORO, AR  
(870) 930-3813 TEL  
(870) 930-3820 FAX  
littlearch@ecglobal.net

A2



FLOOR PLAN "A"  
1/4"

SQUARE FOOTAGE CALCULATIONS: PER UNIT

LIVING SPACE (H/C):	1,151 SQ.FT.
GARAGE & PORCH (NON H/C):	410 SQ.FT.
TOTAL UNIT AREA:	1,621 SQ.FT.
TOTAL BUILDING AREA:	3,254 SQ.FT.



0	GENERAL NOTES	FLOOR PLANS
MARK	DESCRIPTION	
1.	ADA ACCESSIBLE 36" W (34" MIN. CLEAR) METAL CLAD INSULATED EXTERIOR DOOR UNIT w/ DOUBLE PEEP HOLES - TYPICAL AT ALL UNITS	
2.	DEADBOLT LOCK w/ INTERIOR THUMB LATCH DOOR HARDWARE - TYPICAL AT ALL UNITS	
3.	ADA ACCESSIBLE 36" W (34" MIN. CLEAR) INTERIOR DOOR UNIT - TYPICAL AT ALL UNITS	
4.	"NO" SLIDING GLASS DOOR'S ARE BEING INSTALLED IN THIS PROJECT	
5.	ARCHITECTURAL ROOFING SHINGLES, ANTI-FUNGAL, 30-YR WARRANTY, USE 15lb. ROOF FELT UNDER - TYPICAL AT ALL BLDG'S	
6.	5" "SEAMLESS" PRE-FINISHED CONTINUOUS METAL GUTTER SYSTEM AT ENTIRE ROOF PERIMETER (EXCLUDING GABLE'S) - TYPICAL AT ALL BLDG'S	
7.	2"D x 3"W PRE-FINISHED METAL DOWNSPOUTS - TYPICAL AT ALL BLDG'S	
8.	SPLASH BLOCKS AT ALL DOWNSPOUTS - TYPICAL AT ALL BLDG'S	
9.	VINYL ROOF GABLE VENT - TYPICAL AT ALL BLDG'S	
10.	COVERED CONCRETE ENTRY PAD w/ MIN. SLOPE OF 1/4" PER FOOT PROVIDED FOR ALL UNITS (5'x5' MIN. DESIGN STD.) - TYPICAL AT ALL BLDG'S (EXCEED'S MIN. REQ.)	
11.	COVERED ENTRY & CEILING & WALL COMPONENTS ARE NON-COMBUSTIBLE MATERIAL'S - TYPICAL AT ALL BLDG'S	
12.	EXTERIOR VINYL SHUTTERS AT EA SIDE OF ALL FRONT WINDOW OPENING'S WITH VINYL SIDING - SEE EXTERIOR ELEVATIONS	
13.	WALL MOUNTED EXTERIOR LIGHT FIXTURE w/ C.F.L. BULB'S AT ALL ENTRY/EXIT DOOR'S - TYPICAL AT ALL BLDG'S	
14.	PROVIDE HOUSING DEVELOPMENT SIGN w/ FAIR HOUSING LOGO AT THE MAIN ENTRANCE OF THE DEVELOPMENT	
15.	EQUIP EACH UNIT WITH READILY ACCESSIBLE DRY CHEMICAL FIRE EXTINGUISHER - TYPICAL AT ALL UNITS	
16.	ALL BASE CABINET'S SHALL HAVE DUAL SIDETRACK DRAWER'S - TYPICAL AT ALL UNITS	
17.	2'-0" x 2'-0" PANTRY CABINET w/ (5) PULL-OUT DRAWER'S - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)	
18.	30"x60" PRE-MANUFACTURED FIBERGLASS TUB/SHOWER UNIT - TYPICAL AT ALL NON-HDCP UNITS - SHEETROCK TO BE INSTALLED BEHIND UNIT	
19.	ADA ACCESSIBLE 34"x60" PRE-MANUFACTURED "ROLL-IN" SHOWER UNIT COMPLETE w/ ALL ADA REQ'D ACCESSORIES - TYPICAL AT ALL "LEVEL-5" HDCP UNITS - SHEETROCK TO BE INSTALLED BEHIND THE UNIT	
20.	ALL HALLWAY'S ARE 4'-6" (34") WIDE MIN. - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)	
21.	PROVIDE ENERGY STAR RATED CEILING FAN w/ LIGHT KIT IN ALL BEDROOM'S & LIVING ROOM'S - TYPICAL AT ALL UNITS	
22.	INSTALL AIR HANDLER AT MAIN FLOOR LEVEL ON WOOD MECH PLATFORM, CONNECT CONDENSATE DRAIN TO PLUMBING WASTE & FULLY INSULATE THE ENTIRE CLOSET SPACE WHERE AIR HANDLER IS LOCATED - TYPICAL AT ALL UNITS	
23.	40 GALLON ELECTRIC WATER HEATER w/ 0.92 E.F. RATINGS, INSTALLED AT MAIN FLOOR LEVEL w/ DRAIN PAN - TYPICAL AT ALL UNITS	
24.	ALL HVAC REFRIGERATION LINE'S SHALL BE INSULATED - TYPICAL AT ALL UNITS	
25.	INSTALL A HARD-WIRED SMOKE DETECTOR w/ BATTERY BACK-UP AT HALLWAY & IN EVERY BEDROOM NEAR THE DOOR UNIT - TYPICAL AT ALL UNITS	
26.	INSULATE ALL WATER PIPING (HOT & COLD) LOCATED IN EXTERIOR WALL'S - TYPICAL AT ALL BLDG'S	
27.	ENERGY EFFICIENT FLUORESCENT LIGHT FIXTURE'S IN KITCHEN, BATH'S & UTILITY SPACE'S - TYPICAL AT ALL UNITS & OFFICE/COMM.	
28.	3 1/2"TK BLOWN CELLULOSE EXTERIOR WALL INSULATION (R-16 RATINGS) - ALL EXTERIOR WALLS, GARAGE WALLS, MECHANICAL ROOM WALLS, & STORAGE ROOM WALLS - TYPICAL AT ALL BLDG'S	
29.	BLOWN CELLULOSE ATTIC INSULATION (R-38 RATINGS) - INCL. ABOVE GARAGE & STORAGE ROOM - TYPICAL AT ALL BLDG'S	
30.	INSTALL EXTERIOR HOUSE WRAP AT ALL EXTERIOR WALL'S - TYPICAL AT ALL BLDG'S	
31.	MTL GRAB BARS w/ SOLID BLK'S IN WALLS PER ADA FIG #24 - BLK'S TO BE INSTALLED IN ALL UNITS	
32.	MTL TOWEL BARS w/ SOLID BLK'S IN WALLS TO BE INSTALLED IN ALL BATHROOMS	
33.	DOORBELL/CHIME KIT TO BE PROVIDED FOR ALL UNITS	
34.	PROVIDE 2.5 G.P.M. OR LESS BATHROOM & KITCHEN FAUCETS - TYPICAL AT ALL UNITS	
ADVANCED ENERGY FEATURE'S:		
35.	PROVIDE 2.5 G.P.M. OR LESS SHOWER HEAD'S - ANTI-SCALD VALVES - TYPICAL AT ALL UNITS	
36.	PROVIDE 3/4"TK INSULATION ON ALL HOT WATER PIPE'S ABOVE SLAB - TYPICAL AT ALL UNITS	
37.	MIN. FOUNDATION INSULATION TO BE R-3 OR GREATER - TYPICAL AT ALL UNITS	
38.	ELECTRIC HEAT PUMP SYSTEM w/ 13 SEER RATING & 15 SEER RATING - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)	
39.	ALL EXTERIOR WINDOW'S SHALL MEET OR EXCEED THE FOLLOWING CRITERIA: (TYPICAL AT ALL BLDG'S)	
- SINGLE HINGE		
- FRAMES & SASH CONSTRUCTED OF EXTRUDED VINYL		
- (2) OR MORE PANE'S OF ARGON GAS FILLED INSULATED GLASS w/ AT LEAST PANE w/ LOW-E COATING		
- U-FACTOR RATINGS OF 0.30 (EXCEED'S MIN. REQ.)		
- SOLAR HEAT GAIN COEFFICIENT (SHGC) RATINGS OF 0.30 (EXCEED'S MIN. REQ.)		
UNIVERSAL DESIGN REQUIREMENT'S:		
40.	- SEVEN PERCENT (7%) OF ALL UNITS COMPLY w/ THE LEVEL-5 DESIGN CRITERIA TOTALING (3) UNITS FOR THIS PROJECT	
- ALL UNITS COMPLY w/ THE DESIGN CRITERIA IN THE "AISH" MANUAL		
- ALL UNITS HAVE "CLOSED-FIST" OPERABILITY THROUGHOUT THE ENTIRE UNIT INCLUDING THE FOLLOWING:		
* SINGLE HANDLE DOOR LEVER'S vs. DOORKNOBS		
** PUSH STICK LIGHTING AND ENVIRONMENTAL CONTROL'S		
*** CABINET DOOR'S CAN BE OPENED w/ A CLOSED FIST		
**** SINGLE HANDLE FAUCETS IN ALL BATHROOM'S & KITCHEN'S		
- ALL UNITS HAVE ENVIRONMENTAL CONTROL'S w/ VISUAL & TACTILE CUES INCLUDING "ROCKER" TYPE SWITCHES & DIGITAL PROGRAMMABLE THERMOSTAT'S w/ RAISED BUTTON'S		
- ALL (3) UNITS HAVE FLASHING DOORBELL ALARM FOR 1541		
DEVELOPMENT AMENITY LIST & DESCRIPTION'S: (ALL EQUIPMENT & APPLIANCE'S ENERGY STAR RATED)		
41.	KITCHEN APPLIANCE'S AS FOLLOW'S: ABOVE-THE-RANGE MICROWAVE OVEN, DISHWASHER, GARBAGE DISPOSAL, & SIDE-BY-SIDE REFRIGERATOR w/ ICE MAKER - ALL ENERGY STAR QUALIFIED OR EQUIVALENT	
42.	INDIVIDUAL STORAGE UNIT'S FOR ALL RESIDENT'S	
43.	INDIVIDUAL PATIO AREA FOR ALL RESIDENT'S	
44.	EXERCISE ROOM w/ EQUIPMENT FOR USE TO ALL RESIDENT'S - THIS CONTRACT	
45.	COMPUTER LAB WITH 4-IN-1 PRINTER FOR USE TO ALL RESIDENT'S	
46.	FREE INTERNET ACCESS AT COMMUNITY BUILDING AT NO COST TO RESIDENTS	
47.	COMMUNITY SPACE ON SITE - FLAT SCREEN T.V. w/ DVD PLAYER - THIS CONTRACT	
48.	COVERED PORCH AREA ATTACHED TO COMMUNITY BLDG'S FOR USE TO ALL RESIDENT'S	
49.	PICNIC AREA w/ PICNIC TABLES FOR USE TO ALL RESIDENT'S	
50.	TWO BARBECUE GRILLS FOR USE TO ALL RESIDENT'S - LOCATED AT PAVILION / PICNIC AREA	
51.	WASHER'S & DRYER'S FURNISHED IN ALL UNITS AT NO COST TO THE RESIDENT - THRU WALL MTL DRYER VENT w/ PEST FREE CAP	
52.	PRIVACY FENCING RUNNING ALONG THREE SIDES OF PROPERTY BOUNDARY LINE	
53.	DECORATIVE FENCING RUNNING ALONGS THE FRONT PROPERTY BOUNDARY LINE	
54.	VIDEO SURVEILLANCE	
55.	FENCED COMMUNITY GARDEN AREA	
56.	BUS SHELTER	

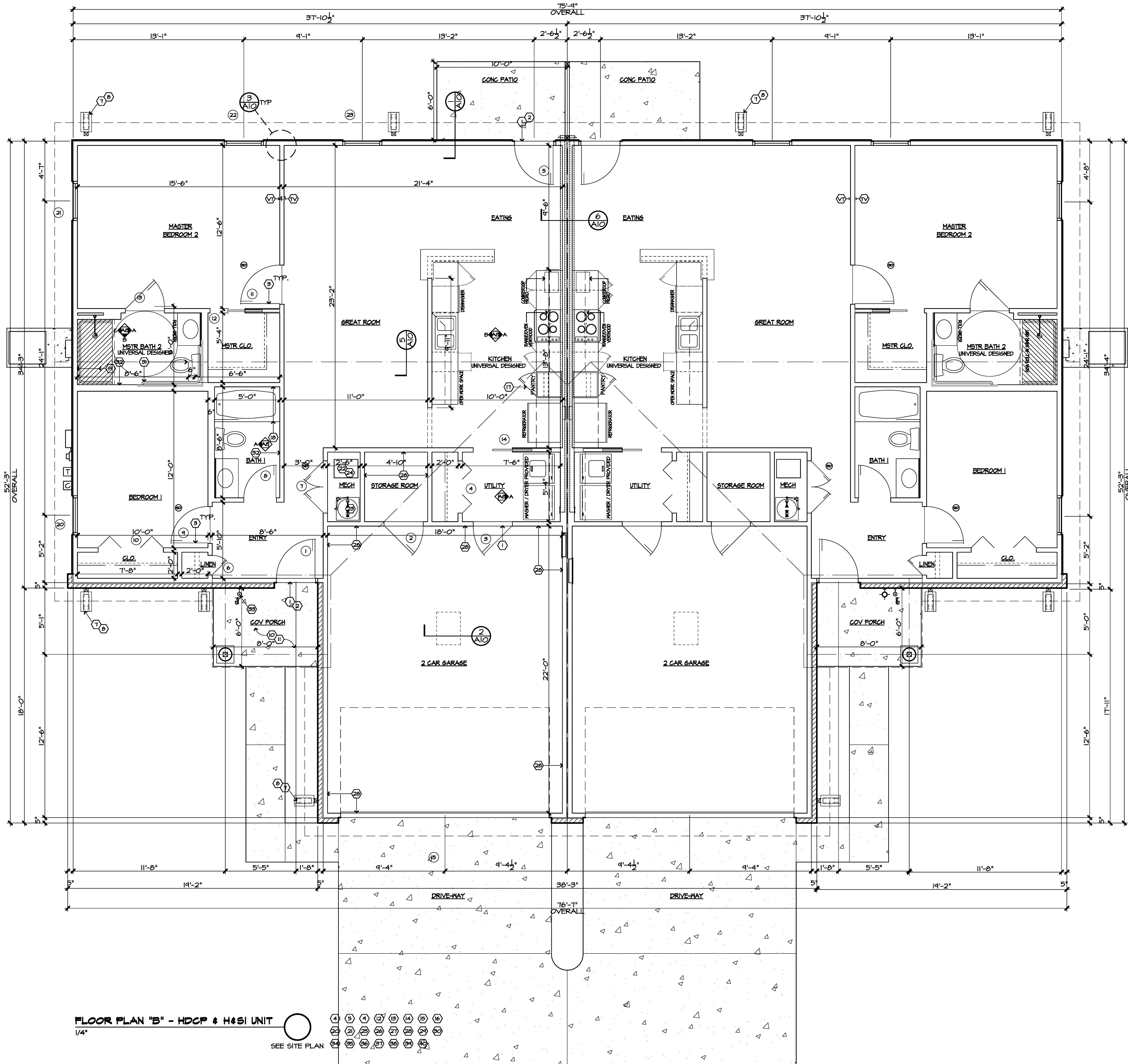
FLOOR PLAN - BLDG'S "A" - OVERALL / SCHEDULES

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401  
COMM. NO.: 61415  
DATE: 6/20/16  
FILE:

LITTLE & ASSOCIATES  
ARCHITECTS  
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A3





FLOOR PLAN "B" - HDCP & H&SI UNIT  
1/4"  
SEE SITE PLAN

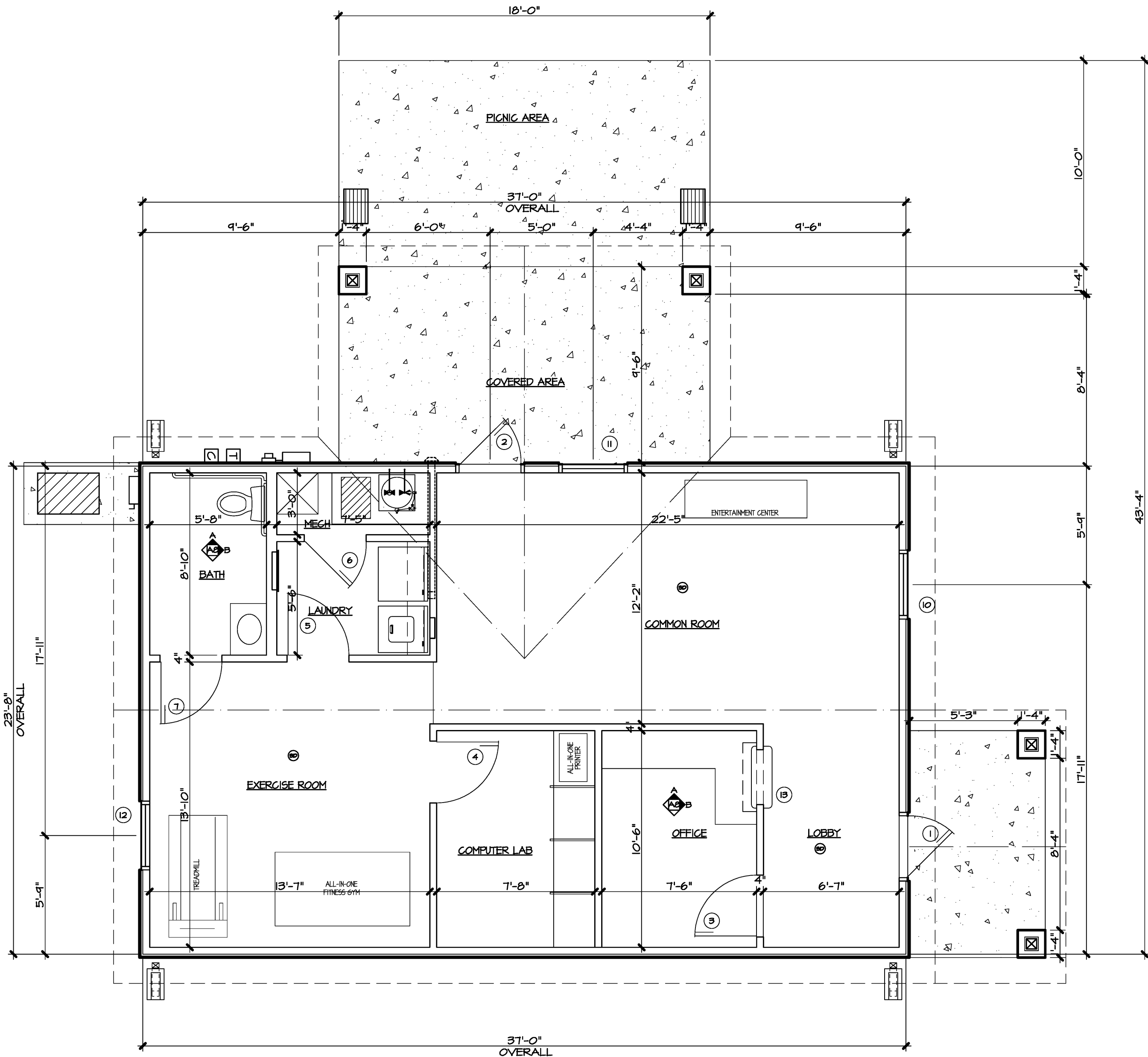
GENERAL NOTES FLOOR PLANS	
MARK	DESCRIPTION
1.	ADA ACCESSIBLE 36" W (34" MIN. CLEAR) METAL CLAD INSULATED EXTERIOR DOOR UNIT w/ DOUBLE PEEP HOLES - TYPICAL AT ALL UNITS
2.	DEADBOLT LOCK w/ INTERIOR THUMB LATCH DOOR HARDWARE - TYPICAL AT ALL UNITS
3.	ADA ACCESSIBLE 36" W (34" MIN. CLEAR) INTERIOR DOOR UNIT - TYPICAL AT ALL UNITS
4.	"NO" SLIDING GLASS DOOR'S ARE BEING INSTALLED IN THIS PROJECT
5.	ARCHITECTURAL ROOFING SHINGLES, ANTI-FUNGAL, 30-YR WARRANTY, USE 15lb. ROOF FELT UNDER - TYPICAL AT ALL BLDG'S
6.	5" "SEAMLESS" PRE-FINISHED CONTINUOUS METAL GUTTER SYSTEM AT ENTIRE ROOF PERIMETER (EXCLUDING GABLE'S) - TYPICAL AT ALL BLDG'S
7.	2"D x 3"W PRE-FINISHED METAL DOWNSPOUTS - TYPICAL AT ALL BLDG'S
8.	SPLASH BLOCKS AT ALL DOWNSPOUTS - TYPICAL AT ALL BLDG'S
9.	VINYL ROOF GABLE VENT - TYPICAL AT ALL BLDG'S
10.	COVERED CONCRETE ENTRY PAD w/ MIN. SLOPE OF 1/4" PER FOOT PROVIDED FOR ALL UNITS (5X5' MIN. DESIGN STD.) - TYPICAL AT ALL BLDG'S (EXCEED'S MIN. REQ.)
11.	COVERED ENTRY & CEILING & WALL COMPONENTS ARE NON-COMBUSTIBLE MATERIAL'S - TYPICAL AT ALL BLDG'S
12.	EXTERIOR VINYL SHUTTER'S AT EA SIDE OF ALL FRONT WINDOW OPENING'S WITH VINYL SIDING - SEE EXTERIOR ELEVATIONS
13.	WALL MOUNTED EXTERIOR LIGHT FIXTURE w/ C.F.L. BULB'S AT ALL ENTRY/EXIT DOOR'S - TYPICAL AT ALL BLDG'S
14.	PROVIDE HOUSING DEVELOPMENT SIGN w/ FAIR HOUSING LOGO AT THE MAIN ENTRANCE OF THE DEVELOPMENT
15.	EQUIP EACH UNIT WITH READILY ACCESSIBLE DRY CHEMICAL FIRE EXTINGUISHER - TYPICAL AT ALL UNITS
16.	ALL BASE CABINET'S SHALL HAVE DUAL SIDETRACK DRAWER'S - TYPICAL AT ALL UNITS
17.	2'-0" x 2'-0" PANTRY CABINET w/ (5) PULL-OUT DRAWER'S - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)
18.	30"x60" PRE-MANUFACTURED FIBERGLASS TUB/SHOWER UNIT - TYPICAL AT ALL NON-HDCP UNITS - SHEETROCK TO BE INSTALLED BEHIND UNIT
19.	ADA ACCESSIBLE 34"x60" PRE-MANUFACTURED "ROLL-IN" SHOWER UNIT COMPLETE w/ ALL ADA REQ'D ACCESSORIES - TYPICAL AT ALL "LEVEL-5" HDCP UNITS - SHEETROCK TO BE INSTALLED BEHIND THE UNIT
20.	ALL HALLWAY'S ARE 4'-6" (34") WIDE MIN. - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)
21.	PROVIDE ENERGY STAR RATED CEILING FAN w/ LIGHT KIT IN ALL BEDROOM'S & LIVING ROOM'S - TYPICAL AT ALL UNITS
22.	INSTALL AIR HANDLER AT MAIN FLOOR LEVEL ON WOOD MECH PLATFORM, CONNECT CONDENSATE DRAIN TO PLUMBING WASTE & FULLY INSULATE THE ENTIRE CLOSET SPACE WHERE AIR HANDLER IS LOCATED - TYPICAL AT ALL UNITS
23.	40 GALLON ELECTRIC WATER HEATER w/ 0.92 E.F. RATING, INSTALLED AT MAIN FLOOR LEVEL w/ DRAIN PAN - TYPICAL AT ALL UNITS
24.	ALL HVAC REFRIGERATION LINE'S SHALL BE INSULATED - TYPICAL AT ALL UNITS
25.	INSTALL A HARD-WIRED SMOKE DETECTOR w/ BATTERY BACK-UP AT HALLWAY & IN EVERY BEDROOM NEAR THE DOOR UNIT - TYPICAL AT ALL UNITS
26.	INSULATE ALL WATER PIPING (HOT & COLD) LOCATED IN EXTERIOR WALL'S - TYPICAL AT ALL BLDG'S
27.	ENERGY EFFICIENT FLUORESCENT LIGHT FIXTURE'S IN KITCHEN BATH'S & UTILITY SPACE'S - TYPICAL AT ALL UNITS & OFFICE/COMM.
28.	3 1/2"TK BLOWN CELLULOSE EXTERIOR WALL INSULATION (R-16 RATING) - ALL EXTERIOR WALLS, GARAGE WALLS, MECHANICAL ROOM WALLS, & STORAGE ROOM WALLS - TYPICAL AT ALL BLDG'S
29.	BLOWN CELLULOSE ATTIC INSULATION (R-38 RATING) - INCL. ABOVE GARAGE & STORAGE ROOM - TYPICAL AT ALL BLDG'S
30.	INSTALL EXTERIOR HOUSE WRAP AT ALL EXTERIOR WALL'S - TYPICAL AT ALL BLDG'S
31.	MTL GRAB BARS w/ SOLID BLK'S IN WALLS PER ADA FIG #24 - BLK'S TO BE INSTALLED IN ALL UNITS
32.	MTL TOWEL BARS w/ SOLID BLK'S IN WALLS TO BE INSTALLED IN ALL BATHROOMS
33.	DOORBELL/CHIME KIT TO BE PROVIDED FOR ALL UNITS
34.	PROVIDE 2.5 G.P.M. OR LESS BATHROOM & KITCHEN FAUCETS - TYPICAL AT ALL UNITS
ADVANCED ENERGY FEATURE'S:	
35.	PROVIDE 2.5 G.P.M. OR LESS SHOWER HEAD'S - ANTI-SCALD VALVES - TYPICAL AT ALL UNITS
36.	PROVIDE 3/4"TK INSULATION ON ALL HOT WATER PIPE'S ABOVE SLAB - TYPICAL AT ALL UNITS
37.	MIN. FOUNDATION INSULATION TO BE R-3 OR GREATER - TYPICAL AT ALL UNITS
38.	ELECTRIC HEAT PUMP SYSTEM w/ 13 SEER RATING & 15 SEER RATING - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)
39.	ALL EXTERIOR WINDOW'S SHALL MEET OR EXCEED THE FOLLOWING CRITERIA: (TYPICAL AT ALL BLDG'S) <ul style="list-style-type: none"><li>- SINGLE HING</li><li>- FRAMES &amp; SASH CONSTRUCTED OF EXTRUDED VINYL</li><li>- (2) OR MORE PANE'S OF ARGON GAS FILLED INSULATED GLASS w/ AT LEAST PANE W/ LOW-E COATING</li><li>- U-FACTOR RATINGS OF 0.30 (EXCEED'S MIN. REQ.)</li><li>- SOLAR HEAT GAIN COEFFICIENT (SHGC) RATINGS OF 0.30 (EXCEED'S MIN. REQ.)</li></ul>
UNIVERSAL DESIGN REQUIREMENT'S:	
40.	- SEVEN PERCENT (7%) OF ALL UNITS COMPLY w/ THE LEVEL-5 DESIGN CRITERIA TOTALING (3) UNITS FOR THIS PROJECT <ul style="list-style-type: none"><li>- ALL UNITS COMPLY w/ THE DESIGN CRITERIA IN THE "AUSI" MANUAL</li><li>- ALL UNITS HAVE "CLOSED-FIST" OPERABILITY THROUGHOUT THE ENTIRE UNIT INCLUDING THE FOLLOWING:<ul style="list-style-type: none"><li>* SINGLE HANDLE DOOR LEVERS vs. DOORKNOB'S</li><li>** PUSH STICK LIGHTING AND ENVIRONMENTAL CONTROL'S</li><li>*** CABINET DOOR'S CAN BE OPENED w/ A CLOSED FIST</li><li>**** SINGLE HANDLE FAUCETS IN ALL BATHROOM'S &amp; KITCHEN'S</li></ul></li><li>- ALL UNITS HAVE ENVIRONMENTAL CONTROL'S w/ VISUAL &amp; TACTILE CUE'S INCLUDING "ROCKER" TYPE SWITCHES &amp; DIGITAL PROGRAMMABLE THERMOSTAT'S w/ RAISED BUTTON'S</li><li>- ALL (3) UNITS HAVE FLASHING DOORBELL ALARM FOR H&amp;SI</li></ul>
DEVELOPMENT AMENITY LIST & DESCRIPTION'S: (ALL EQUIPMENT & APPLIANCE'S ENERGY STAR RATED)	
41.	KITCHEN APPLIANCE'S AS FOLLOW'S: ABOVE-THE-RANGE MICROWAVE OVEN, DISHWASHER, GARBAGE DISPOSAL, & SIDE-BY-SIDE REFRIGERATOR w/ ICE MAKER - ALL ENERGY STAR QUALIFIED OR EQUIVALENT
42.	INDIVIDUAL STORAGE UNIT'S FOR ALL RESIDENT'S
43.	INDIVIDUAL PATIO AREA FOR ALL RESIDENT'S
44.	EXERCISE ROOM w/ EQUIPMENT FOR USE TO ALL RESIDENT'S - THIS CONTRACT
45.	COMPUTER LAB WITH 4-INCH PRINTER FOR USE TO ALL RESIDENT'S
46.	FREE INTERNET ACCESS AT COMMUNITY BUILDING AT NO COST TO RESIDENTS
47.	COMMUNITY SPACE ON SITE - FLAT SCREEN T.V. w/ DVD PLAYER - THIS CONTRACT
48.	COVERED PORCH AREA ATTACHED TO COMMUNITY BLDG'S FOR USE TO ALL RESIDENT'S
49.	PICNIC AREA w/ PICNIC TABLES FOR USE TO ALL RESIDENT'S
50.	TWO BARBECUE GRILLS FOR USE TO ALL RESIDENT'S - LOCATED AT PAVILION / PICNIC AREA
51.	WASHER'S & DRYER'S FURNISHED IN ALL UNITS AT NO COST TO THE RESIDENT - THRU WALL MTL DRYER VENT w/ PEST FREE CAP
52.	PRIVACY FENCING RUNNING ALONGS THREE SIDES OF PROPERTY BOUNDARY LINE
53.	DECORATIVE FENCING RUNNING ALONGS THE FRONT PROPERTY BOUNDARY LINE
54.	VIDEO SURVEILLANCE
55.	FENCED COMMUNITY GARDEN AREA
56.	BUS SHELTER

FLOOR PLAN - BLDG'S "B" - OVERALL / SCHEDULES  
HDCP & H&SI ACCESSIBLE UNIT

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401  
COMM. NO. 61415  
DATE: 6/20/16  
FILE:

LITTLE & ASSOCIATES  
ARCHITECTS  
501 UNION  
JONESBORO, AR  
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(870) 430-3820 FAX  
littlearch@ecgblglobal.net

**A4**



**FLOOR PLAN "C"**  
1/4" = 1'-0"

SEE SITE PLAN

**SQUARE FOOTAGE CALCULATIONS:**

LIVING SPACE (H/C):	875 SQ.FT.
COV. PORCH (NON H/C):	243 SQ.FT.
TOTAL AREA:	1,118 SQ.FT.

GENERAL NOTES FLOOR PLANS	
MARK	DESCRIPTION
1.	ADA ACCESSIBLE 36" H (34" MIN. CLEAR) METAL CLAD INSULATED EXTERIOR DOOR UNIT w/ DOUBLE PEEP HOLES - TYPICAL AT ALL UNITS
2.	DEADBOLT LOCK w/ INTERIOR THUMB LATCH DOOR HARDWARE - TYPICAL AT ALL UNITS
3.	ADA ACCESSIBLE 36" H (34" MIN. CLEAR) INTERIOR DOOR UNIT - TYPICAL AT ALL UNITS
4.	*NO* SLIDING GLASS DOOR'S ARE BEING INSTALLED IN THIS PROJECT
5.	ARCHITECTURAL ROOFING SHINGLES, ANTI-FUNGAL, 30-YR WARRANTY, USE 15lb. ROOF FELT UNDER - TYPICAL AT ALL BLDG'S
6.	3" "SEAMLESS" PRE-FINISHED CONTINUOUS METAL GUTTER SYSTEM AT ENTIRE ROOF PERIMETER (EXCLUDING GABLE'S) - TYPICAL AT ALL BLDG'S
7.	2"D x 3" M PRE-FINISHED METAL DOWNSPOUT'S - TYPICAL AT ALL BLDG'S
8.	SPLASH BLOCKS AT ALL DOWNSPOUT'S - TYPICAL AT ALL BLDG'S
9.	VINYL ROOF GABLE VENT - TYPICAL AT ALL BLDG'S
10.	COVERED CONCRETE ENTRY PAD w/ MIN. SLOPE OF 1/4" PER FOOT PROVIDED FOR ALL UNITS (5X5' MIN. DESIGN STD.) - TYPICAL AT ALL BLDG'S (EXCEED'S MIN. REQ.)
11.	COVERED ENTRY & CEILING & WALL COMPONENT'S ARE NON-COMBUSTIBLE MATERIAL'S - TYPICAL AT ALL BLDG'S
12.	EXTERIOR VINYL SHUTTER'S AT EA SIDE OF ALL FRONT WINDOW OPENING'S WITH VINYL SIDING - SEE EXTERIOR ELEVATIONS
13.	WALL MOUNTED EXTERIOR LIGHT FIXTURE w/ C.F.L. BULB'S AT ALL ENTRY/EXIT DOOR'S - TYPICAL AT ALL BLDG'S
14.	PROVIDE HOUSING DEVELOPMENT SIGN w/ FAIR HOUSING LOGO AT THE MAIN ENTRANCE OF THE DEVELOPMENT
15.	EQUIP EACH UNIT WITH READILY ACCESSIBLE DRY CHEMICAL FIRE EXTINGUISHER - TYPICAL AT ALL UNITS
16.	ALL BASE CABINET'S SHALL HAVE DUAL SIDETRACK DRAWER'S - TYPICAL AT ALL UNITS
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20.	ALL HALLWAY'S ARE 4'-6" (34") WIDE MIN. - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)
21.	PROVIDE ENERGY STAR RATED CEILING FAN w/ LIGHT KIT IN ALL BEDROOM'S & LIVING ROOM'S - TYPICAL AT ALL UNITS
22.	INSTALL AIR HANDLER AT MAIN FLOOR LEVEL ON WOOD MECH PLATFORM, CONNECT CONDENSATE DRAIN TO PLUMBING WASTE & FULLY INSULATE THE ENTIRE CLOSET SPACE WHERE AIR HANDLER IS LOCATED - TYPICAL AT ALL UNITS
23.	40 GALLON ELECTRIC WATER HEATER w/ 0.92 E.F. RATING, INSTALLED AT MAIN FLOOR LEVEL w/ DRAIN PAN - TYPICAL AT ALL UNITS
24.	ALL HVAC REFRIGERATION LINE'S SHALL BE INSULATED - TYPICAL AT ALL UNITS
25.	INSTALL A HARD-WIRED SMOKE DETECTOR w/ BATTERY BACK-UP AT HALLWAY & IN EVERY BEDROOM NEAR THE DOOR UNIT - TYPICAL AT ALL UNITS
26.	INSULATE ALL WATER PIPING (HOT & COLD) LOCATED IN EXTERIOR WALL'S - TYPICAL AT ALL BLDG'S
27.	ENERGY EFFICIENT FLUORESCENT LIGHT FIXTURE'S IN KITCHEN BATH'S & UTILITY SPACE'S - TYPICAL AT ALL UNITS & OFFICE/COMM.
28.	3 1/2"TK BLOWN CELLULOSE EXTERIOR WALL INSULATION (R-16 RATING) - ALL EXTERIOR WALLS, GARAGE WALLS, MECHANICAL ROOM WALLS, & STORAGE ROOM WALLS - TYPICAL AT ALL BLDG'S
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37.	MIN. FOUNDATION INSULATION TO BE R-3 OR GREATER - TYPICAL AT ALL UNITS
38.	ELECTRIC HEAT PUMP SYSTEM w/ 1.5 HSPF RATING & 15 SEER RATING - TYPICAL AT ALL UNITS (EXCEED'S MIN. REQ.)
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<b>UNIVERSAL DESIGN REQUIREMENT'S:</b>	
40.	- SEVEN PERCENT (7%) OF ALL UNITS COMPLY w/ THE LEVEL-5 DESIGN CRITERIA TOTALING (3) UNITS FOR THIS PROJECT <ul style="list-style-type: none"><li>- ALL UNITS COMPLY w/ THE DESIGN CRITERIA IN THE "AUSH" MANUAL</li><li>- ALL UNITS HAVE "CLOSED-FIST" OPERABILITY THROUGHOUT THE ENTIRE UNIT INCLUDING THE FOLLOWING:<ul style="list-style-type: none"><li>* SINGLE HANDLE DOOR LEVERS vs. DOORKNOB'S</li><li>** PUSH STICK LIGHTING AND ENVIRONMENTAL CONTROL'S</li><li>*** CABINET DOOR'S CAN BE OPENED w/ A CLOSED FIST</li><li>**** SINGLE HANDLE FAUCETS IN ALL BATHROOM'S &amp; KITCHEN'S</li></ul></li><li>- ALL UNITS HAVE ENVIRONMENTAL CONTROL'S w/ VISUAL &amp; TACTILE CUE'S INCLUDING "ROCKER" TYPE SWITCHES &amp; DIGITAL PROGRAMMABLE THERMOSTAT'S w/ RAISED BUTTON'S</li><li>- ALL (3) UNITS HAVE FLASHING DOORBELL ALARM FOR H541</li></ul>
<b>DEVELOPMENT AMENITY LIST &amp; DESCRIPTION'S:</b> (ALL EQUIPMENT & APPLIANCE'S ENERGY STAR RATED)	
41.	KITCHEN APPLIANCE'S AS FOLLOW'S: ABOVE-THE-RANGE MICROWAVE OVEN, DISHWASHER, GARBAGE DISPOSAL, & SIDE-BY-SIDE REFRIGERATOR w/ ICE MAKER - ALL ENERGY STAR QUALIFIED OR EQUIVALENT
42.	INDIVIDUAL STORAGE UNIT'S FOR ALL RESIDENT'S
43.	INDIVIDUAL PATIO AREA FOR ALL RESIDENT'S
44.	EXERCISE ROOM w/ EQUIPMENT FOR USE TO ALL RESIDENT'S - THIS CONTRACT
45.	COMPUTER LAB WITH 4-IN-1 PRINTER FOR USE TO ALL RESIDENT'S
46.	FREE INTERNET ACCESS AT COMMUNITY BUILDG FOR USE TO ALL RESIDENT'S
47.	COMMUNITY SPACE ON SITE - FLAT SCREEN T.V. w/ DVD PLAYER - THIS CONTRACT
48.	COVERED PORCH AREA ATTACHED TO COMMUNITY BLDG FOR USE TO ALL RESIDENT'S
49.	PICNIC AREA w/ PICNIC TABLES FOR USE TO ALL RESIDENT'S
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51.	WASHER'S & DRYER'S FURNISHED IN ALL UNITS AT NO COST TO THE RESIDENT - THRU WALL MTL DRYER VENT w/ PEST FREE CAP
52.	PRIVACY FENCING RUNNING ALONGS THREE SIDES OF PROPERTY BOUNDARY LINE
53.	DECORATIVE FENCING RUNNING ALONGS THE FRONT PROPERTY BOUNDARY LINE
54.	VIDEO SURVEILLANCE
55.	FENCED COMMUNITY GARDEN AREA
56.	BUS SHELTER

FLOOR PLAN - COMMUNITY BLDG "C" - OVERALL

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1868 PATRICK STREET  
JONESBORO, ARKANSAS 72401

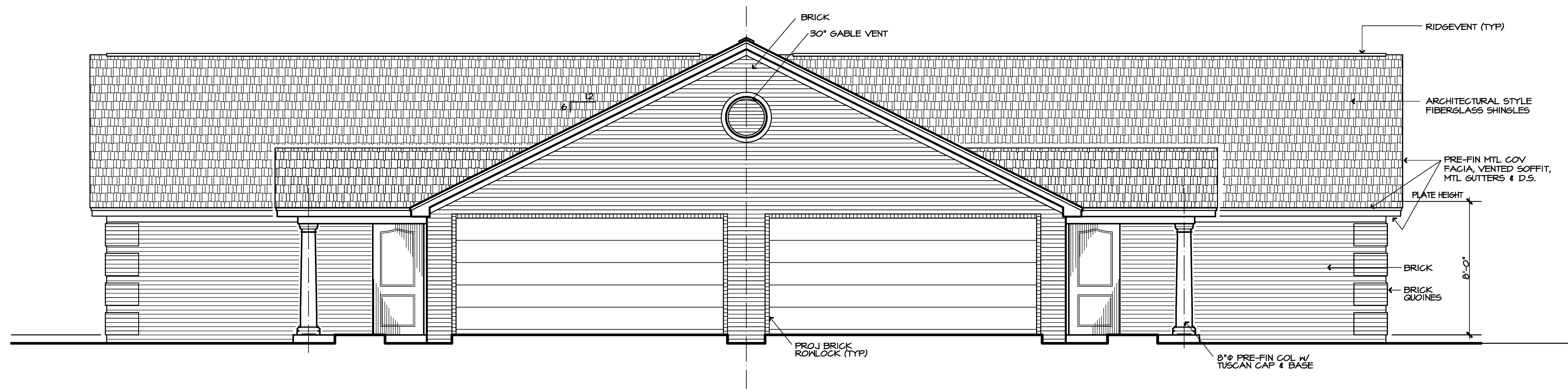
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DATE: 6/20/16  
FILE:

LITTLE & ASSOCIATES  
ARCHITECTS

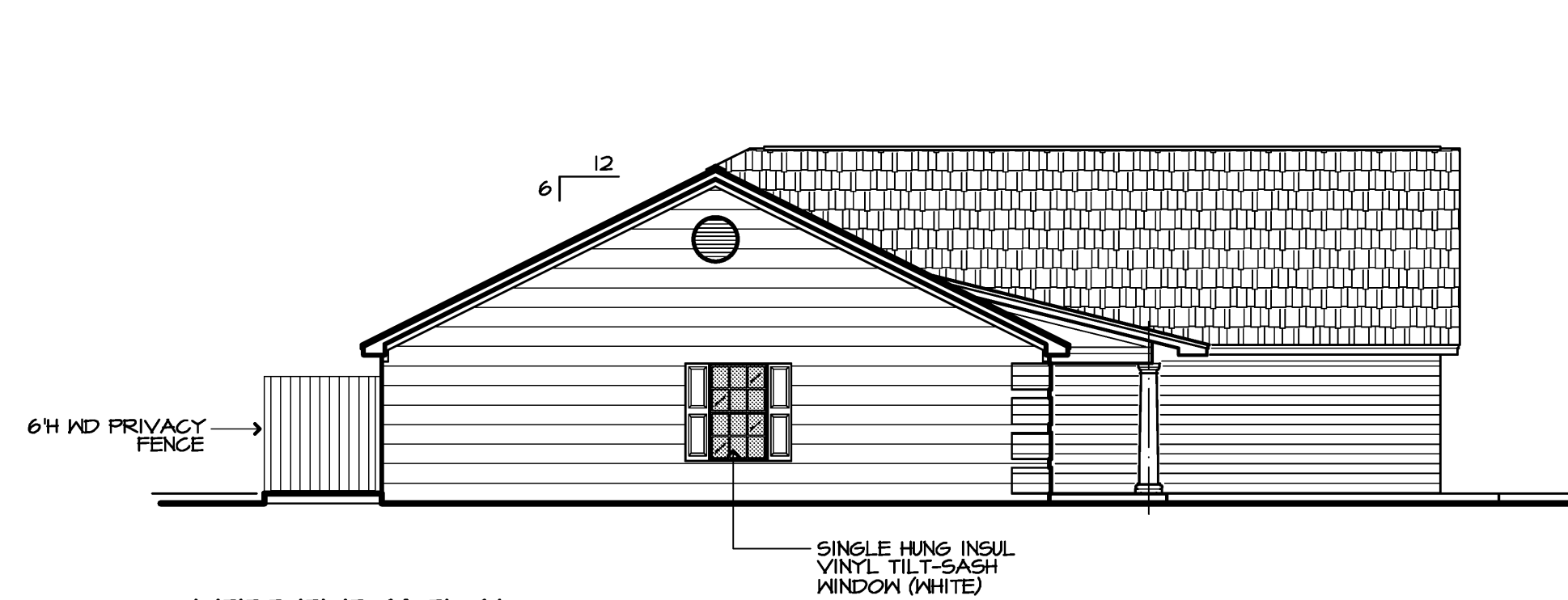
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**A5**

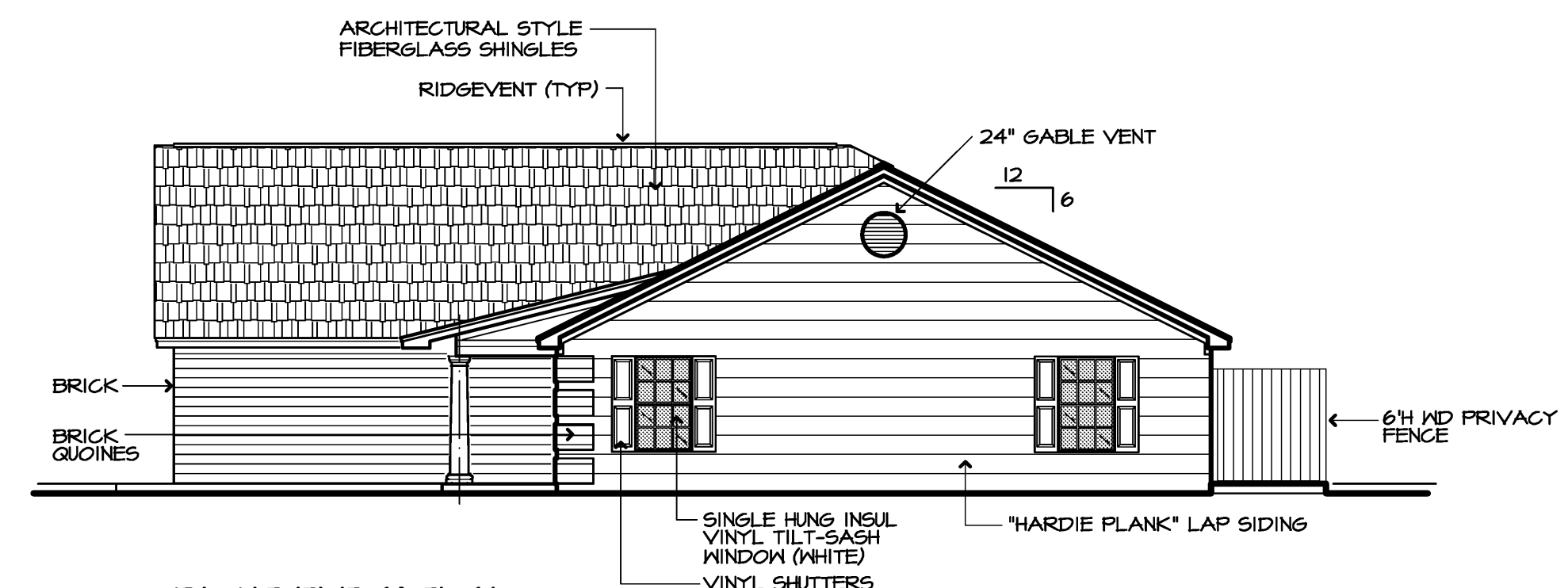




FRONT ELEVATION  
1/4"



LEFT ELEVATION  
1/8"



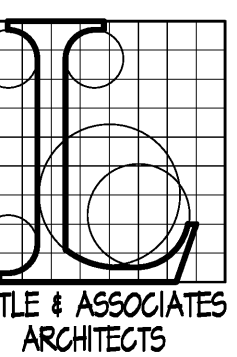
RIGHT ELEVATION  
1/8"



REAR ELEVATION  
1/4"

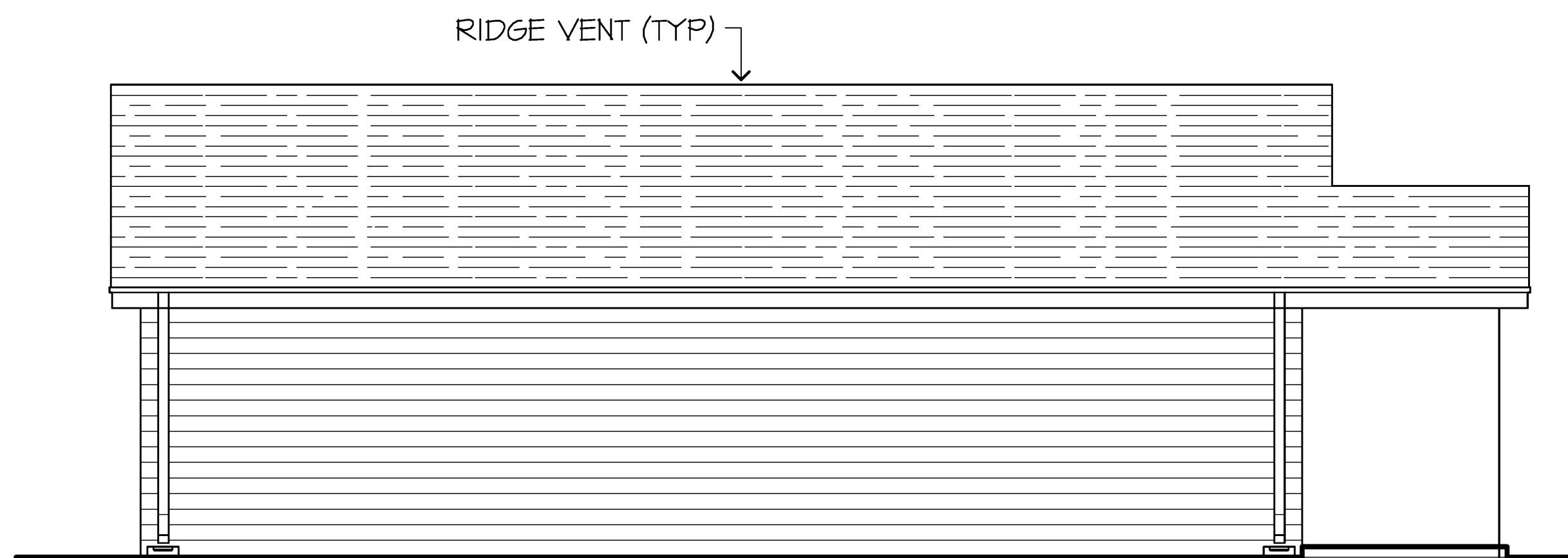
EXTERIOR ELEVATIONS - BLDG "A" & "B"

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1888 PATRICK STREET  
JONESBORO, ARKANSAS 72401  
COMM. NO.: 61415  
DATE: 01/24/16  
FILE:

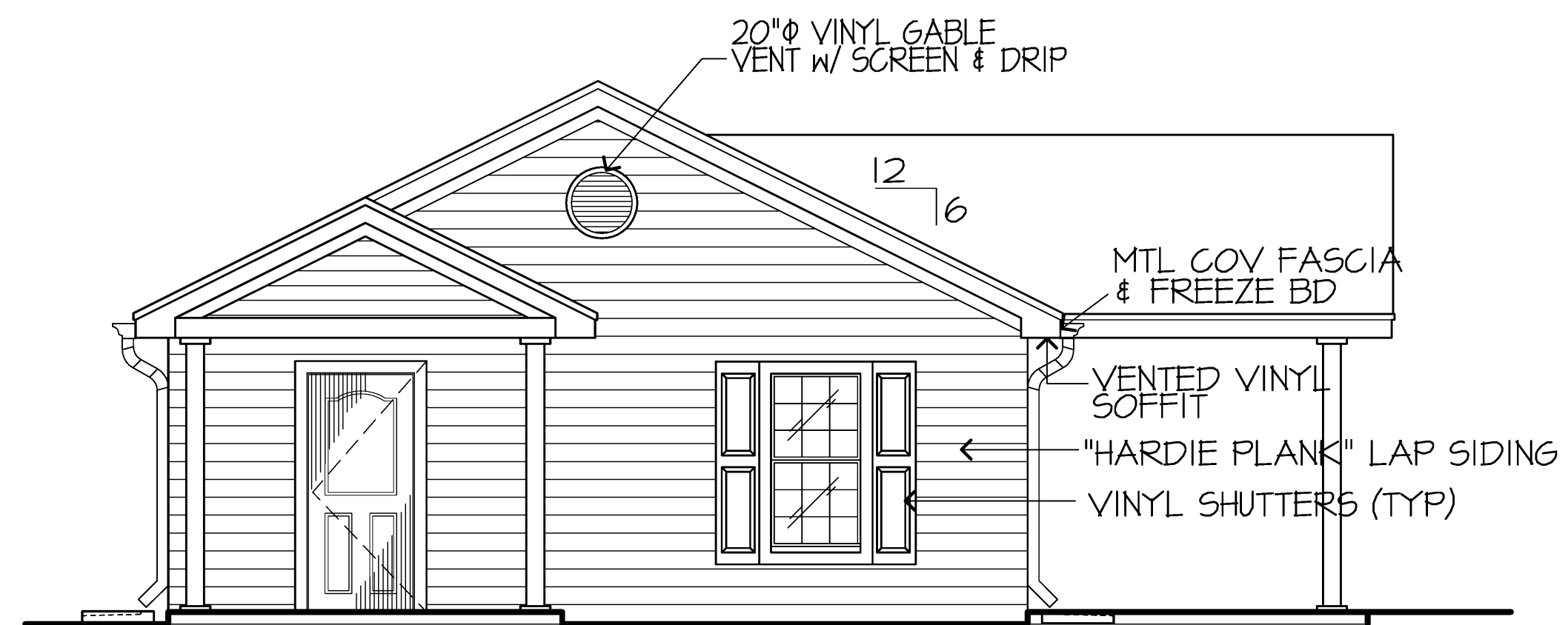


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(870) 930-3820 FAX  
littlearch@ecglobal.net

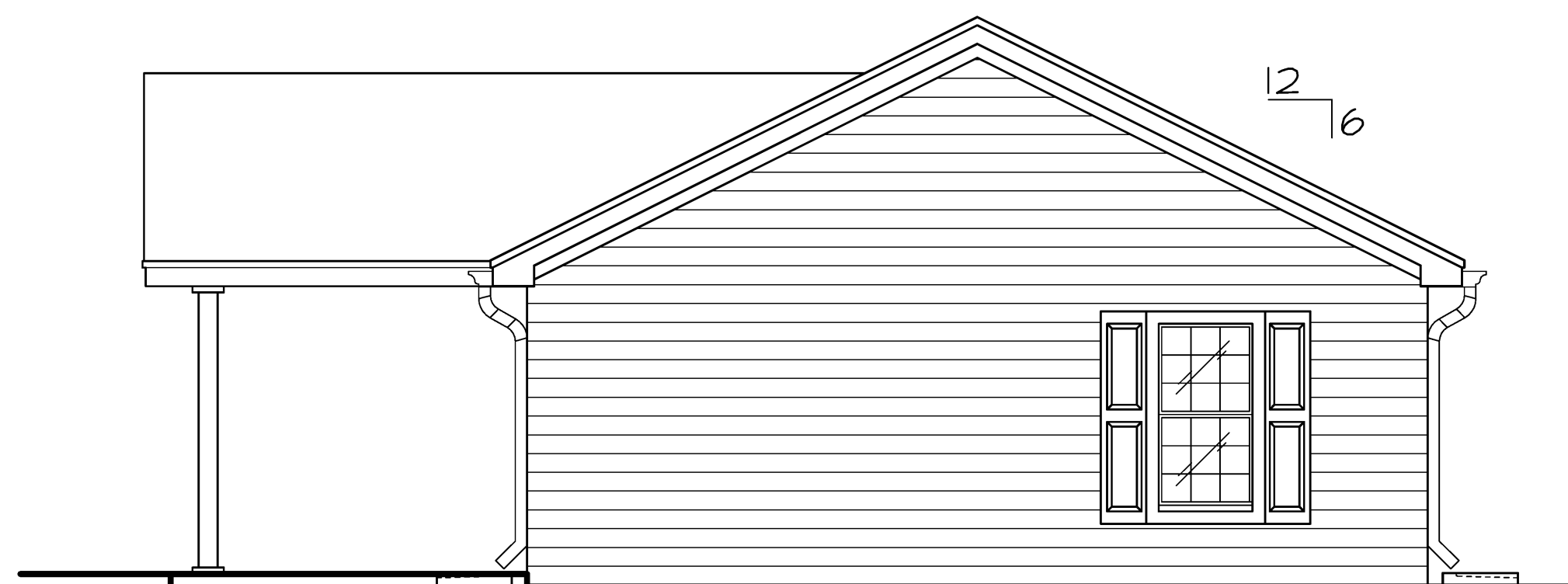
A6



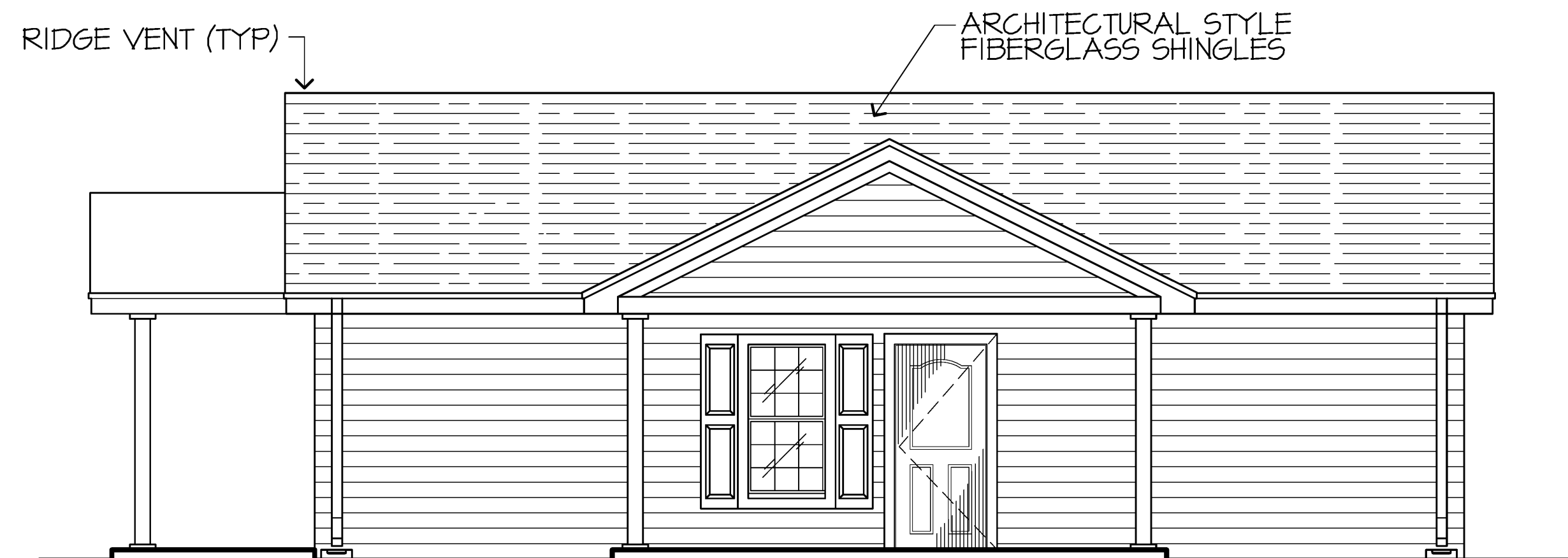
LEFT ELEVATION  
1/4"



FRONT ELEVATION  
1/4"



REAR ELEVATION  
1/4"

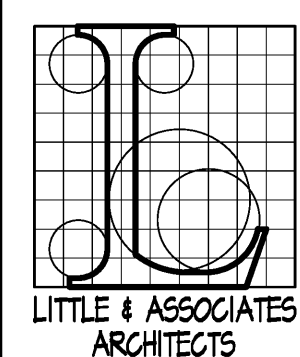


RIGHT ELEVATION  
1/4"

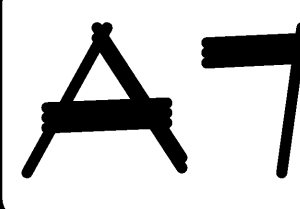
EXTERIOR ELEVATIONS - BLDG "C"

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1888 PATRICK STREET  
JONESBORO, ARKANSAS 72401

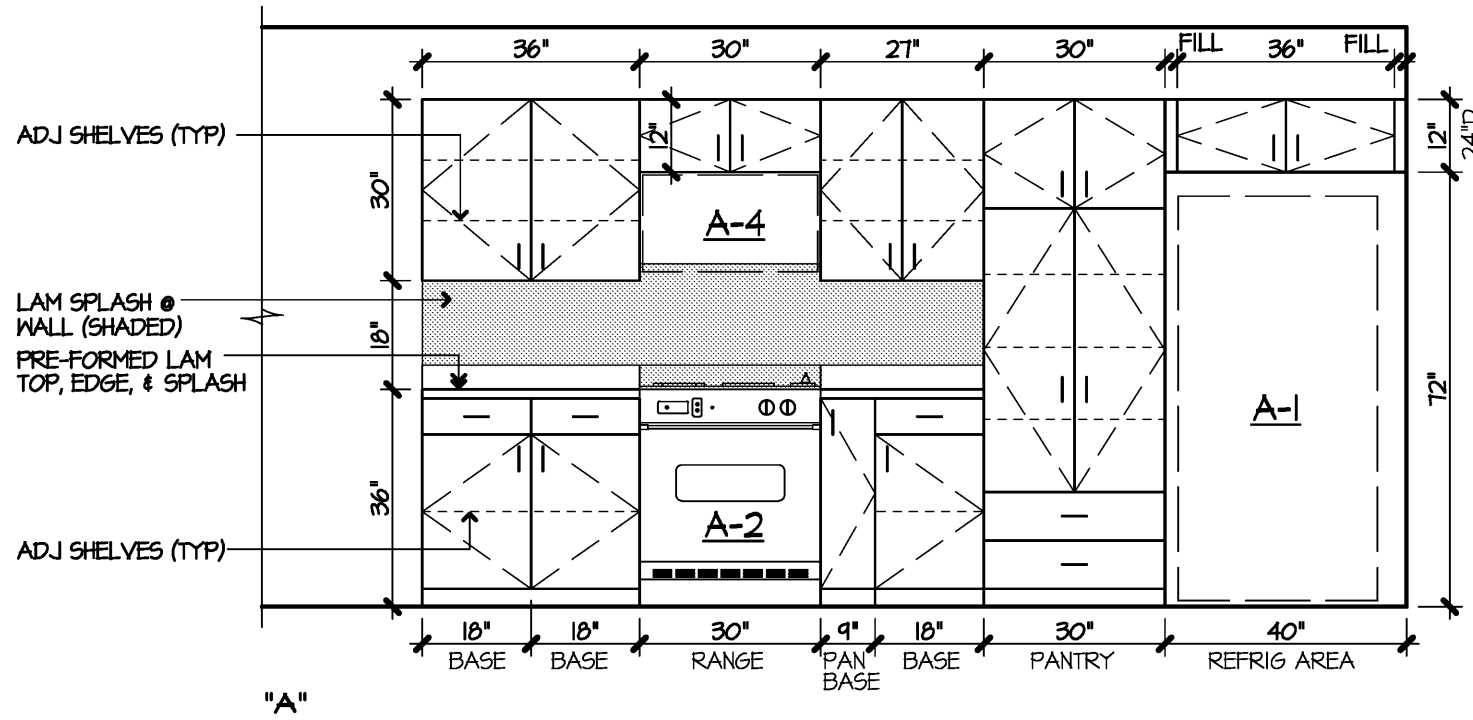
COMM. NO.: 61415  
DATE: 01/29/16  
FILE: 4710CEE1.dwg



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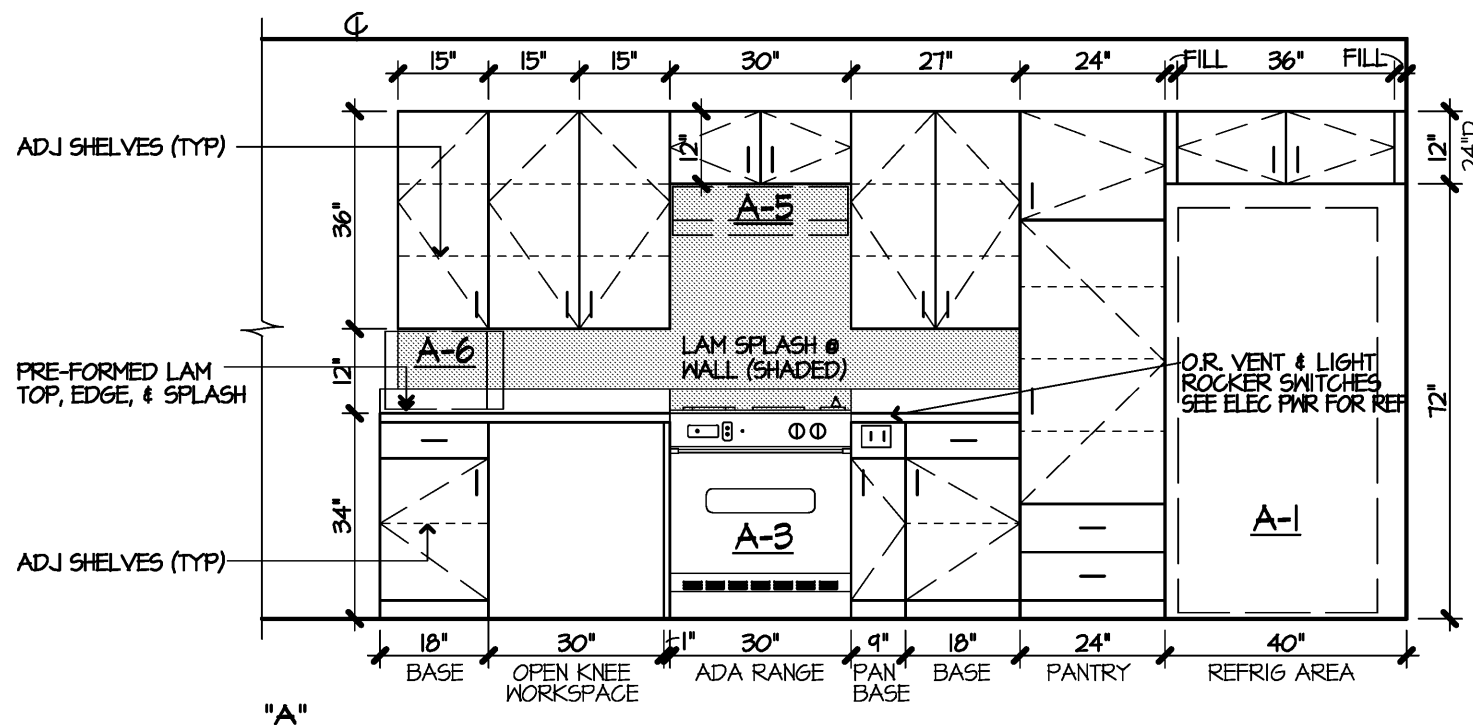






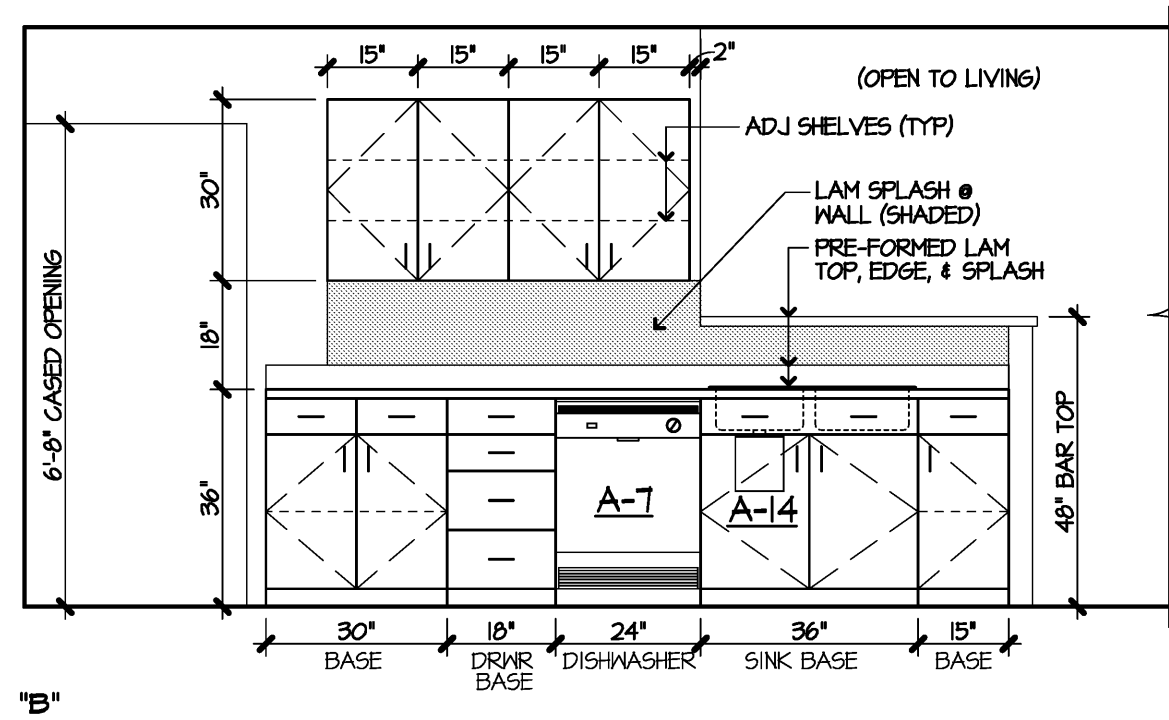
KITCHEN - BLDG "A"

9/8"

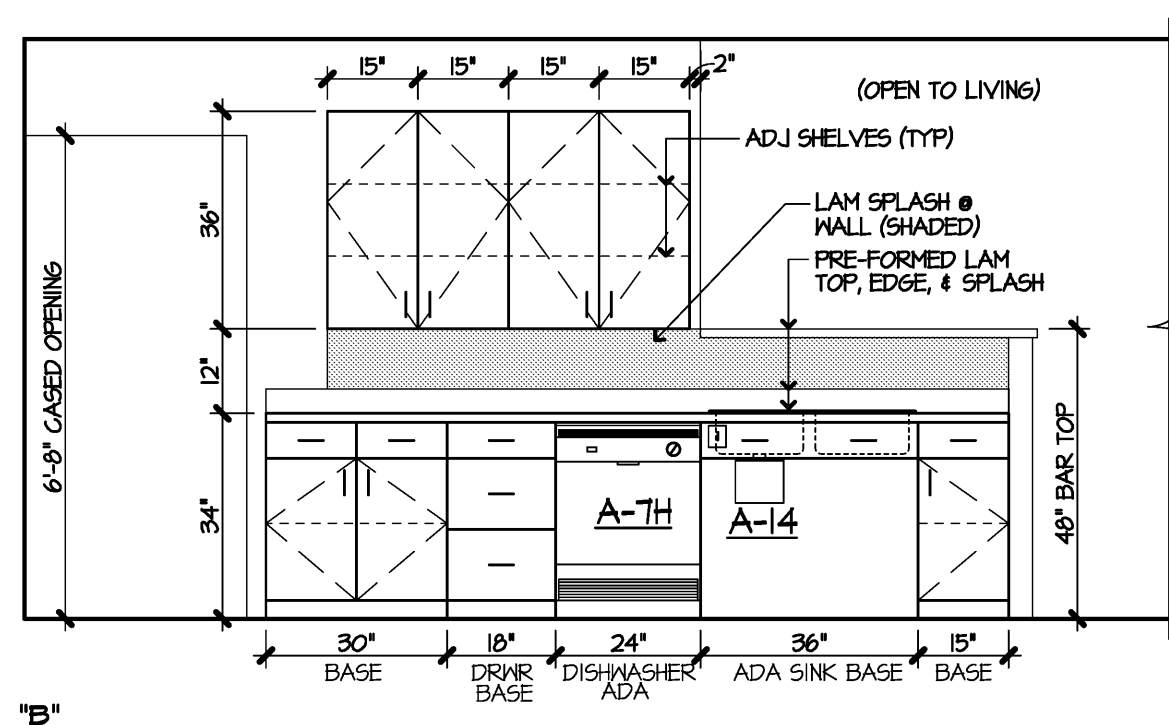


KITCHEN - BLDG "B" HDCP & H&SI UNIT

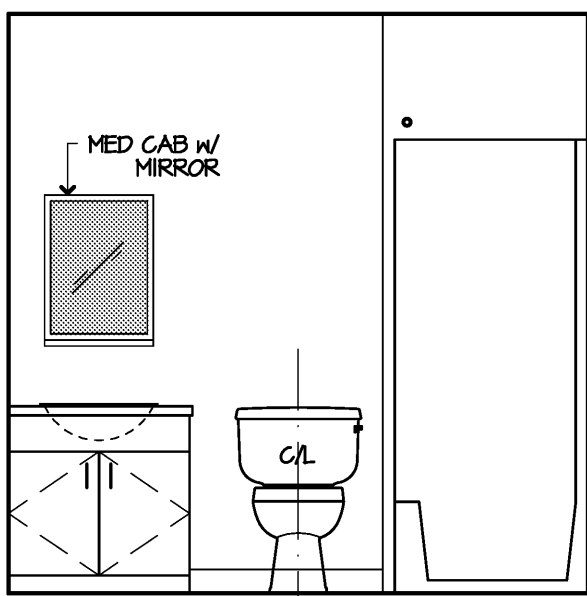
9/8"



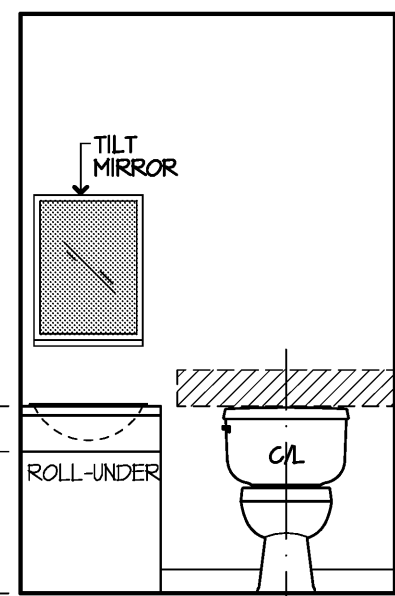
"B"



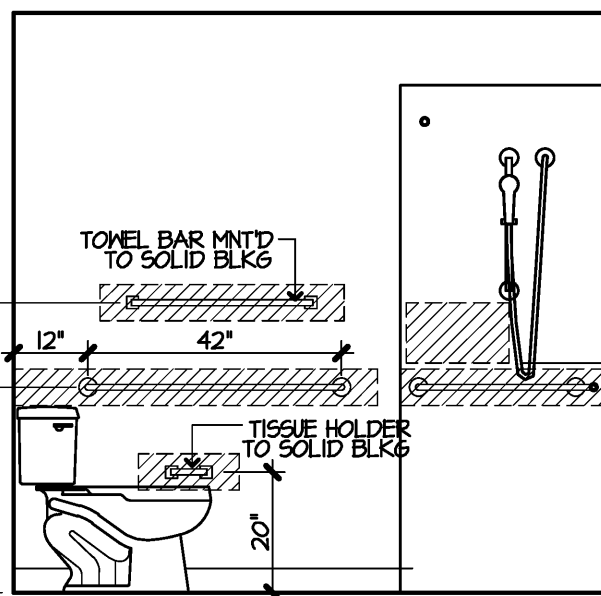
"B"



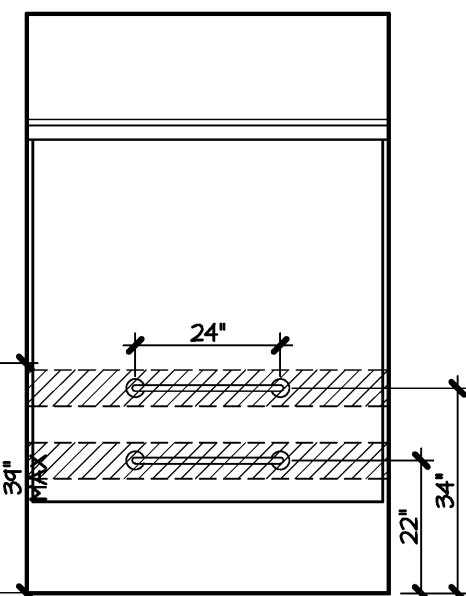
BATH I - "A"



MASTER BATH 2 - "A"



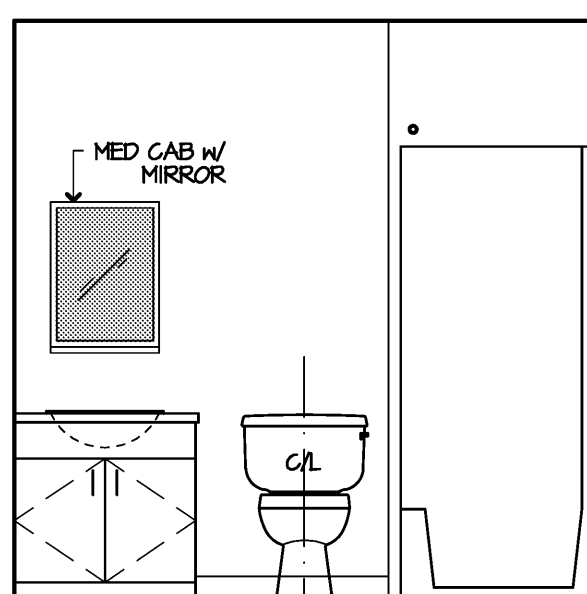
MASTER BATH 2 - "B"



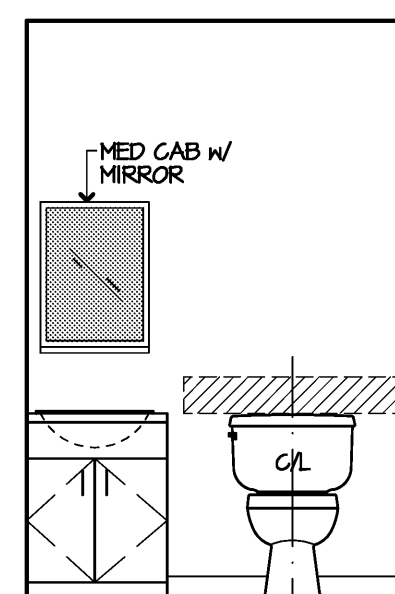
MASTER BATH 2 - "C"

BATH ELEVATIONS - BLDG "B" HDCP & H&SI UNIT

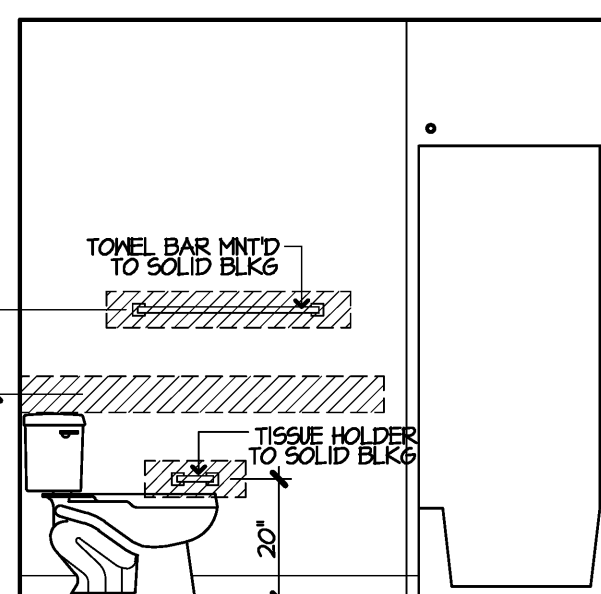
9/8"



BATH I - "A"



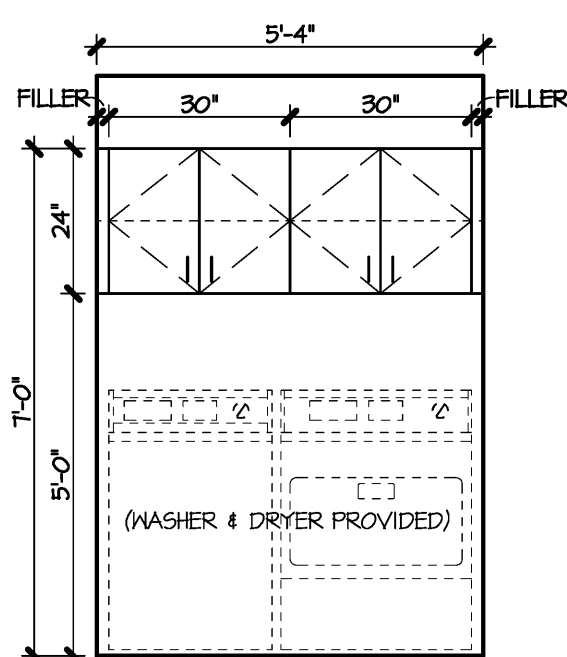
MASTER BATH 2 - "A"



MASTER BATH 2 - "B"

BATH ELEVATIONS - BLDG "A"

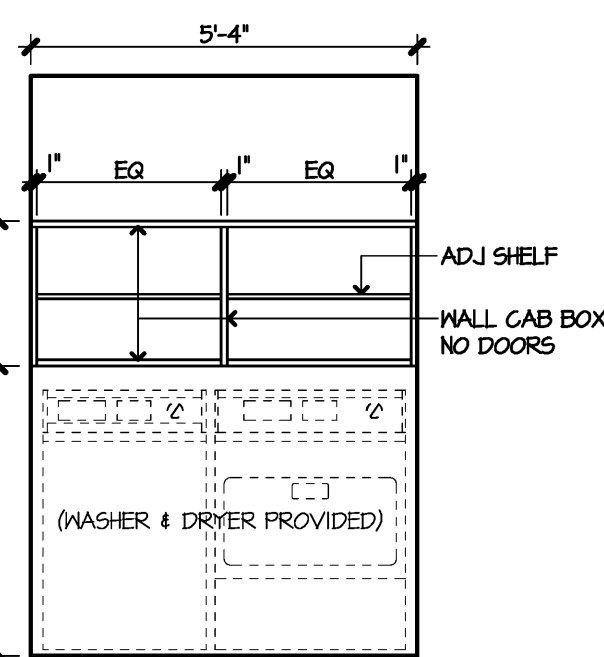
9/8"



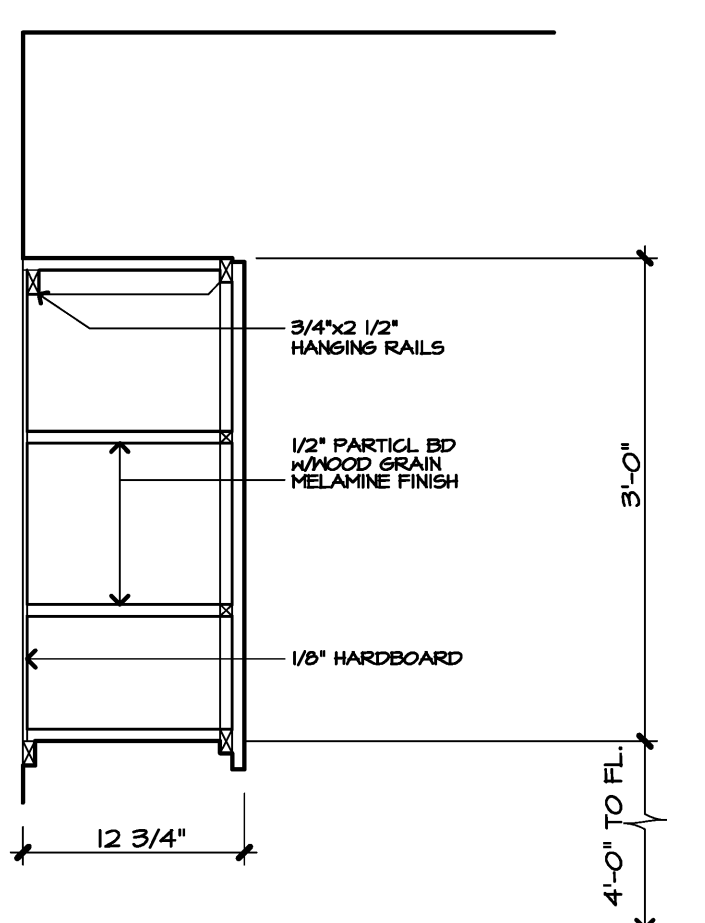
TYP UNIT - "A"

UTILITY / LAUNDRY

9/8"

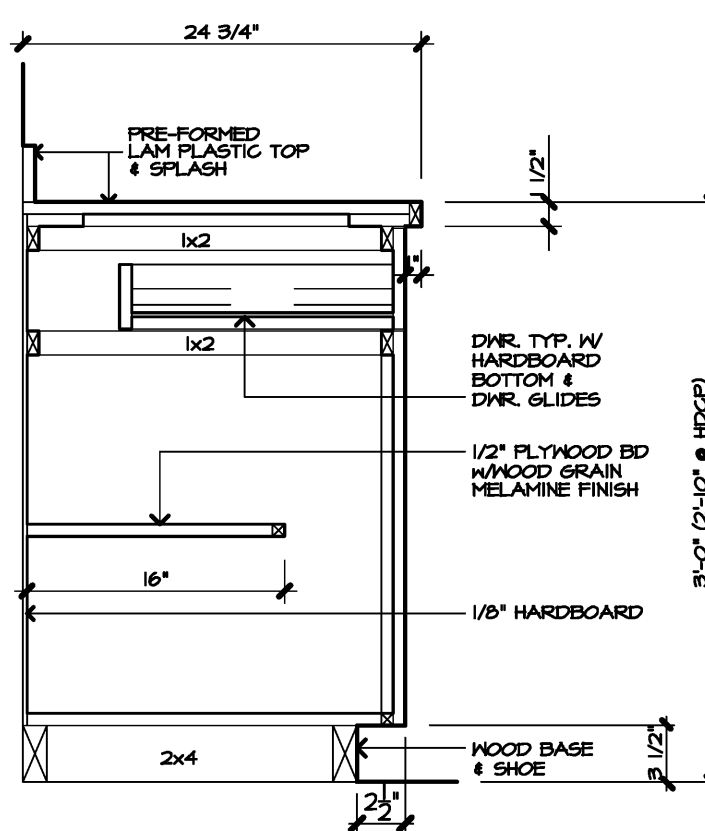


HDCP & H&SI UNIT - "A"



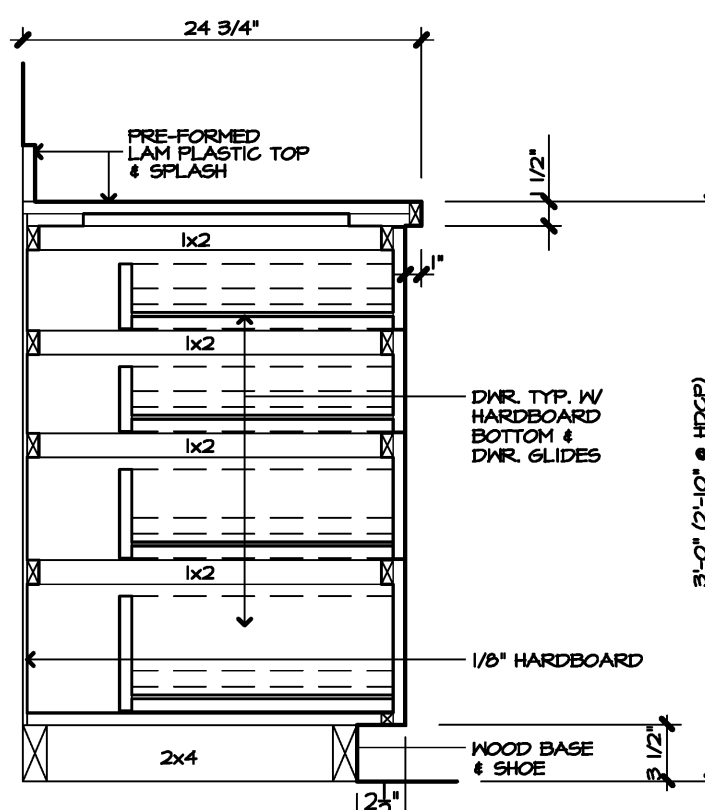
1 WALL CABINET

1"



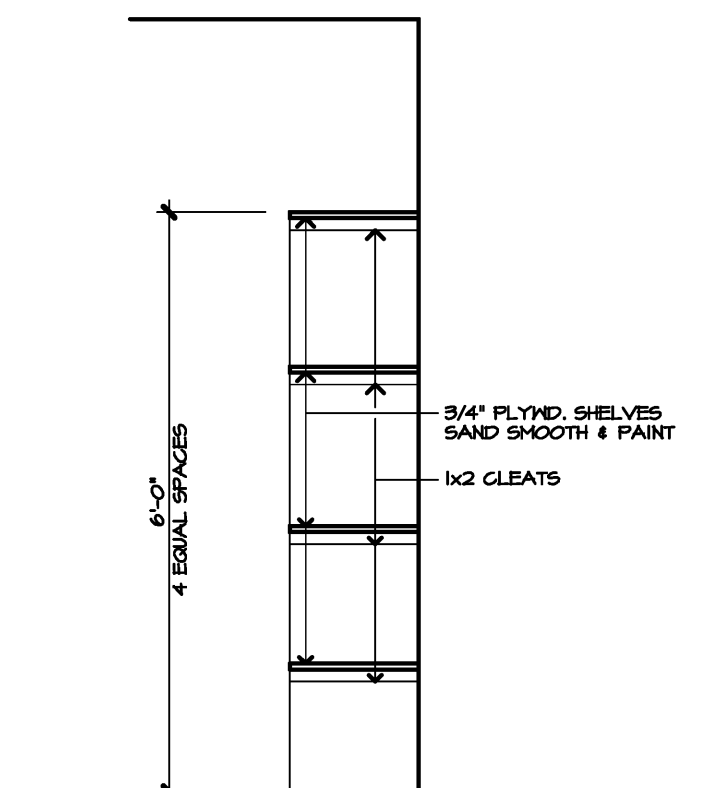
3 BASE CABINET

1"



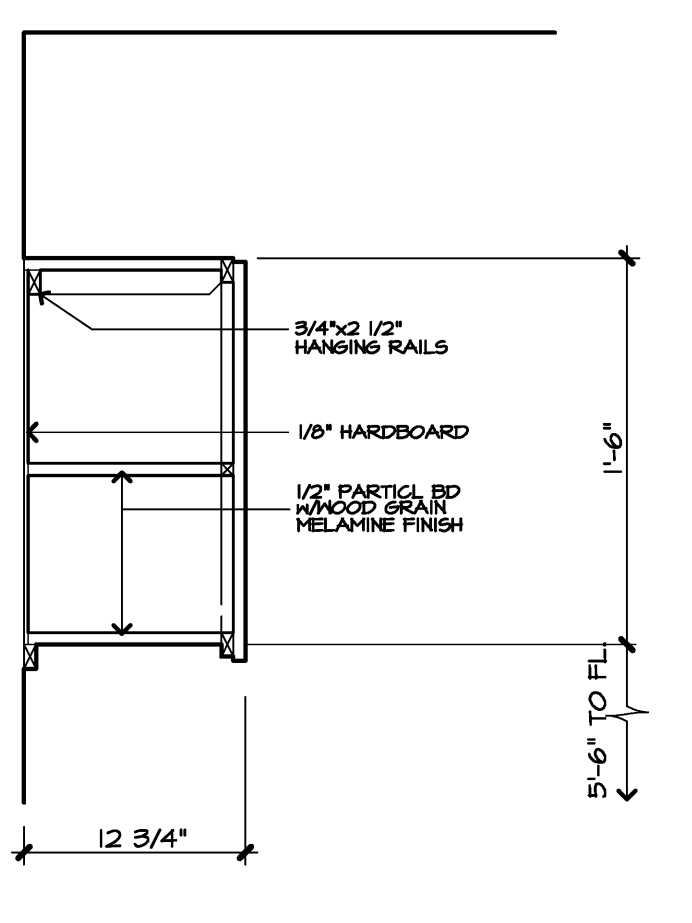
5 BASE CABINET W/DRAWERS

1"



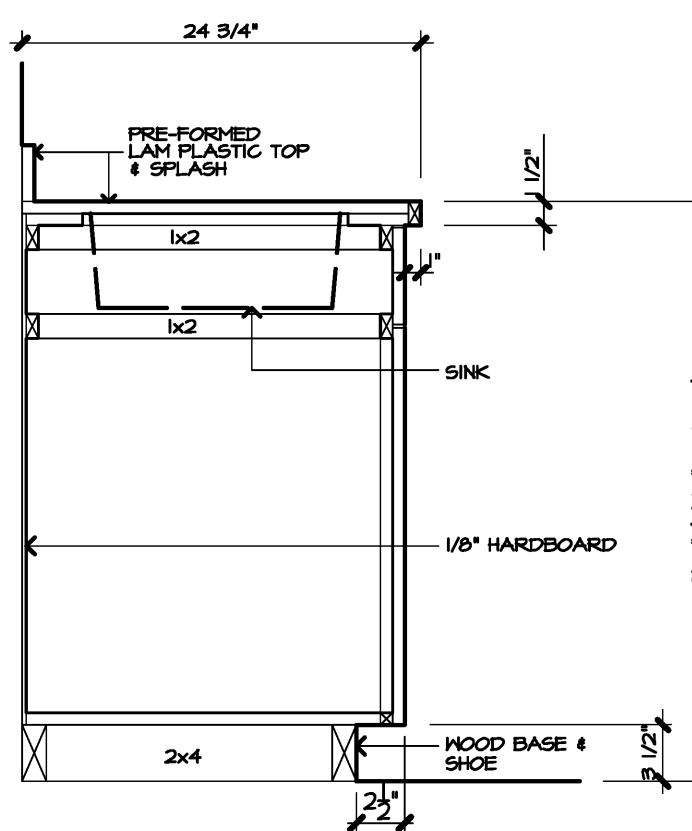
7 SHELVING

1/2"



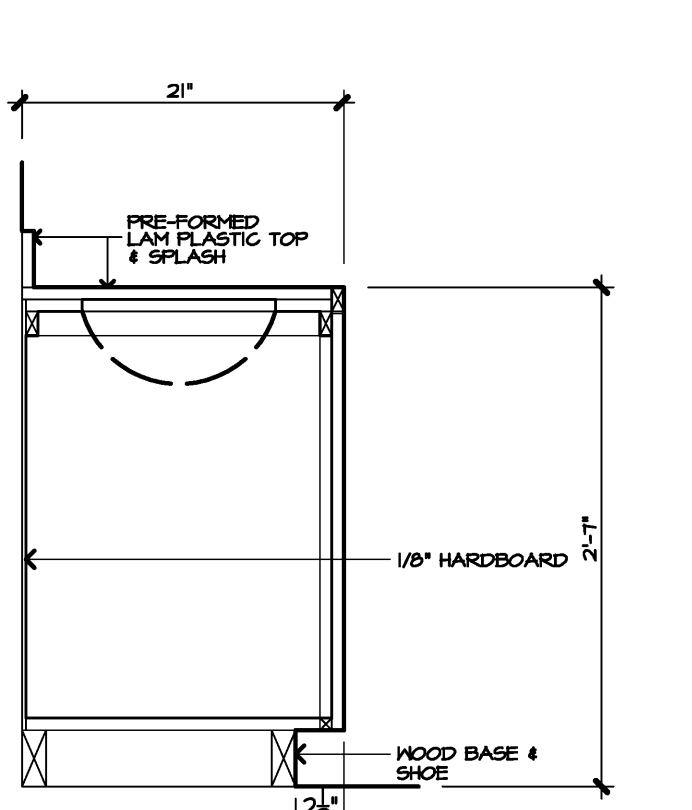
2 WALL CABINET

1"



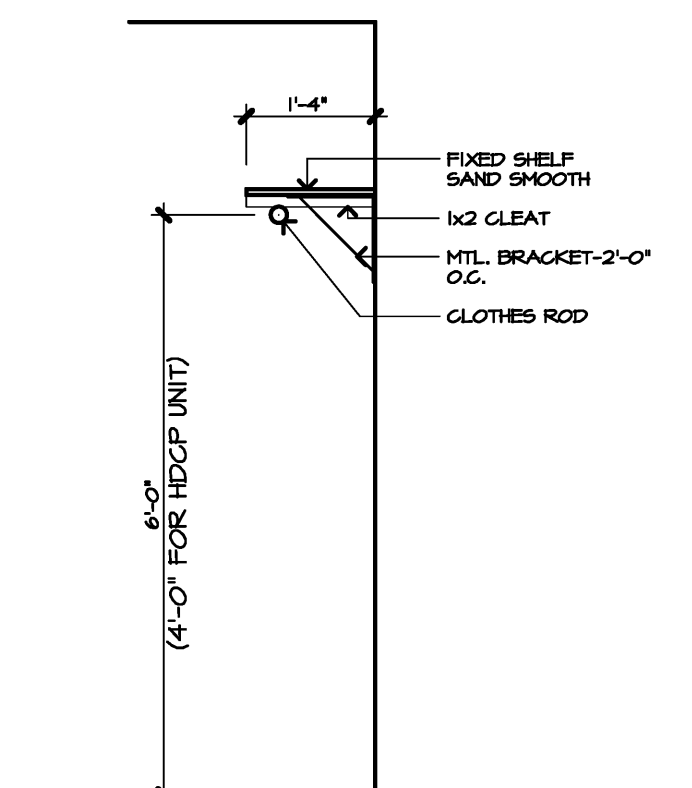
4 BASE CABINET W/SINK

1"



6 LAVATORY

1"



8 ROD & SHELF

1/2"

APPLIANCE SCHEDULE			
MARK	ITEM	DESCRIPTION	REMARKS
A-1	FREEZER TOP REFRIGERATOR	GE EE216THBB 21.2 CU FT TOP FREEZER REFRIG W/ ICE MAKER 32 1/8" W CLOSED, 35 1/2" W WITH OPEN DOOR @ 90 DEGREES, 66 3/4" H	ENERGY STAR ADA COMPLIANT BLACK (1), (2), (4)
A-2	RANGE	GE AB5450FBB ARTISTRY SERIES 30" FREE-STANDING ELECTRIC RANGE UP FRONT CONTROLS	FREE-STANDING ELEC ADA COMPLIANT BLACK (2), (4)
A-3	RANGE (ADA TYPE)	GE JD630DFBB 30" DROP-IN ELEC RANGE, UP FRONT CONTROLS	DROP IN ELEC ADA COMPLIANT BLACK (2), (4)
A-4	OVER THE RANGE MICROWAVE / HOOD	GE ARTISTRY SERIES 16 CU FT OVER THE RANGE MICROWAVE OVEN 1 VENTHOOD 30" W x 16 1/2" H x 15 1/4" D (FOR 12" MIN MAX WALL CAB SURROUND) 3 1/4" x 10" RECT DUCT OR TRANSITION TO ROUND ADAPTER & 6" DUCT MIN THRU ROOF W/ WATER PROOF CAP / DAMPER. DUCT BY HVAC CONTRACTOR	BLACK (2), (3), (4)
A-5	OVER THE RANGE VENTHOOD ADA TYPE	GE JN 330 HBB 30" STANDARD HOOD, VENTED, W/ LIGHT MTL DUCT (7" DIA) THRU ROOF W/ WATER PROOF CAP & DAMPER. INSTALLED BY HVAC CONTRACTOR (SEE INTERIOR ELEVATIONS FOR REF)	BLACK (2) (4)
A-6	COUNTER MICROWAVE	GE JES1460DSBB 1.4 CU FT COUNTERTOP MICROWAVE OVEN	BLACK (2) (4)
A-7	DISHWASHER	GE GDF320P6JBB DISHWASHER WITH FRONT CONTROLS	ENERGY STAR BLACK (1), (2), (4)
A-7H	DISHWASHER (HDCP)	GE GLD4640FBB DISHWASHER WITH FRONT CONTROLS	ENERGY STAR BLACK (1), (2), (4)
A-8	WASHING MACHINE	GE GFPH200H FRONTLOAD 3.6 DOE IEC CU FT. ENERGY STAR	ENERGY STAR WHITE, (2) (5)
A-9	CLOTHES DRYER	GE GFPH200H FRONTLOAD 1.0 CU FT. - DUCT (4" DIA) MAX 35' W/ 3 90° BENDS	
A-10	COIN WASHER ADA	WHIRLPOOL CWM6050AM HIGH EFFICIENCY COMMERCIAL FRONT LOAD WASHER	ENERGY STAR WHITE, (2) (5)
A-11	COIN DRYER ADA	WHIRLPOOL GED4050AM COMMERCIAL ELEC DRYER	
A-12	DISPOSER	GE GFC52SV 1/2 HP CONT FEED GARBAGE DISPOSAL - CORDED	

**REMARKS** APPLIANCE SCHEDULE  
 (1) ENERGY STAR CERTIFIED  
 (2) ADA COMPLIANT APPLIANCE  
 (3) SWITCH HOOD TO ROCKER SWITCHES MOUNTED ON FACE OF CABINET FOR ADA COMPLIANCE, LIGHTING & VENT  
 (4) ALL LIVING UNIT APPLIANCES SPECIFIED AS "BLACK". VERIFY ALL APPLIANCE COLORS WITH OWNER / ARCHITECT BEFORE PURCHASING  
 (5) PROVIDED & INSTALLED BY PLUMBING CONTRACTOR - SEE PLUMBING FIXTURE SCHEDULE FOR REF

OPENING SCHEDULE						
MARK	OPENINGS					REMARKS
	W	H	T	MAT	TYPE	
** ALL LOCKS MASTERKEYED FOR MANAGEMENT ACCESS						
1	3'-0"	6'-8"		MTL	A	BLADE HANDLE & LOCKSET, ADA 1/2"H ALUM THRESHOLD, DEADBOLT
2	3'-0"	6'-8"		WD	B	BLADE HANDLE, MFG INSTALLED CLOSER & LOCK
3	3'-0"	6'-8"		WD	B	BLADE HANDLE & LOCKSET, ADA 1/2"H ALUM THRESHOLD
4	(2) 2'-6"	6'-8"		WD		BI-FOLDING
5	3'-0"	6'-8"		MTL	A	BLADE HANDLE & LOCKSET, ADA 1/2"H ALUM THRESHOLD, DEADBOLT
6	18"	6'-8"		WD	B	BLADE HANDLE, CLOSET HARDWARE
7	(2) 2'-6"	6'-8"		WD	B	BLADE HANDLE, CLOSET HARDWARE
8	3'-0"	6'-8"		WD	B	BLADE HANDLE PRIVACY SET
9	3'-0"	6'-8"		WD	B	BLADE HANDLE PRIVACY SET
10	(2) 2'-6"	6'-8"		WD		BI-FOLDING
11	3'-0"	6'-8"		WD	B	BLADE HANDLE PRIVACY SET
12	3'-0"	6'-8"		WD		POCKET DR
13	3'-0"	6'-8"		WD	B	BLADE HANDLE PRIVACY SET
14	3'-0"	6'-8"		WD		POCKET DR
15	16'-0"	7'-0"		ALUM		DBL GARAGE DOOR - ALL HARDWARE THIS CONTRACT
20	3'-0"	5'-0"		VINYL	C	VINYL SINGLE HUNG
21	3'-0"	5'-0"		VINYL	C	VINYL SINGLE HUNG
22	3'-0"	5'-0"		VINYL	C	VINYL SINGLE HUNG
23	3'-0"	5'-0"		VINYL	C	VINYL SINGLE HUNG

OPENING ELEVATIONS			
SCALE: 1/8" FROM EXTERIOR VIEW			
A	B	C	
** NOTE: WRAP ALL EXTERIOR BRICK MOLDS W/ METAL			

INTERIOR FINISH SCHEDULE (4)									
SPACE	FLOOR			BASE	WALLS		CEILING	CLS HT	REMARKS
	EXPOSED CONC								
	VCT		WOOD	1/2" GYP BD, PAINTED	1/2" GYP BD, PAINTED	1/2" GYP BD, PAINTED			
	CARPET		NONE	1/2" TYPE "WR" GYP BD, PAINTED	1/2" TYPE "WR" GYP BD, PAINTED	1/2" TYPE "WR" GYP BD, PAINTED			

MILLWORK - BLDG "A" & "B" & INTERIOR SCHEDULES

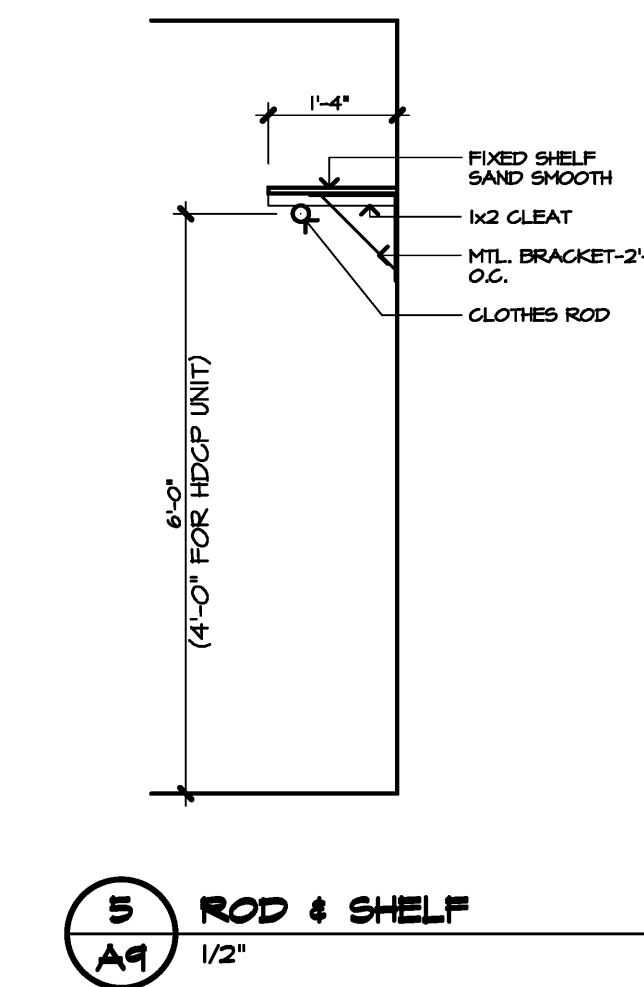
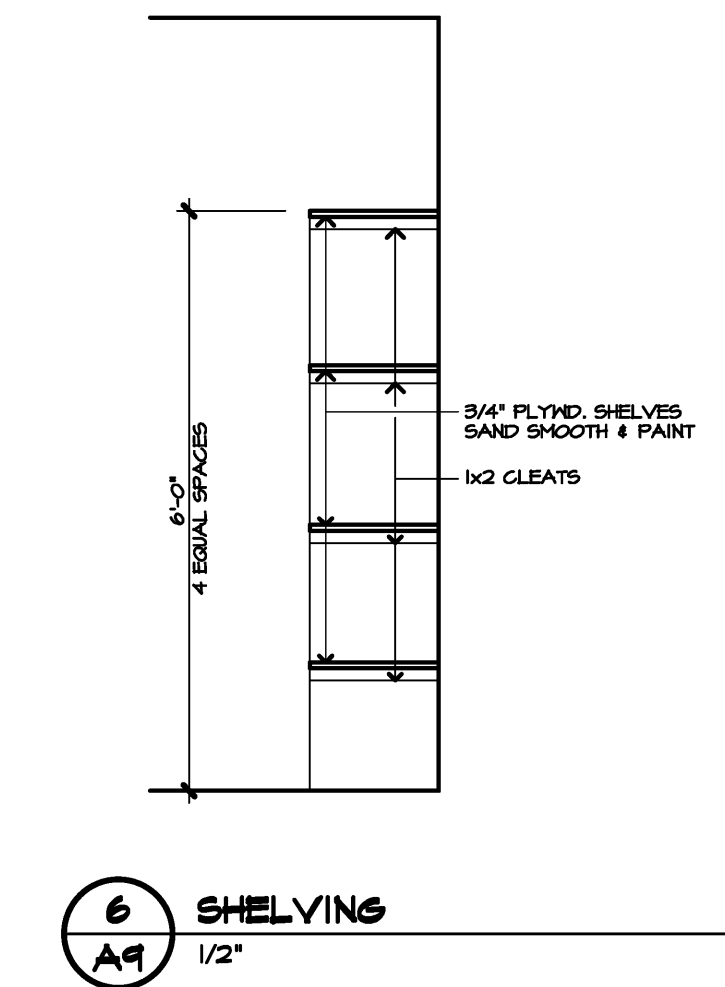
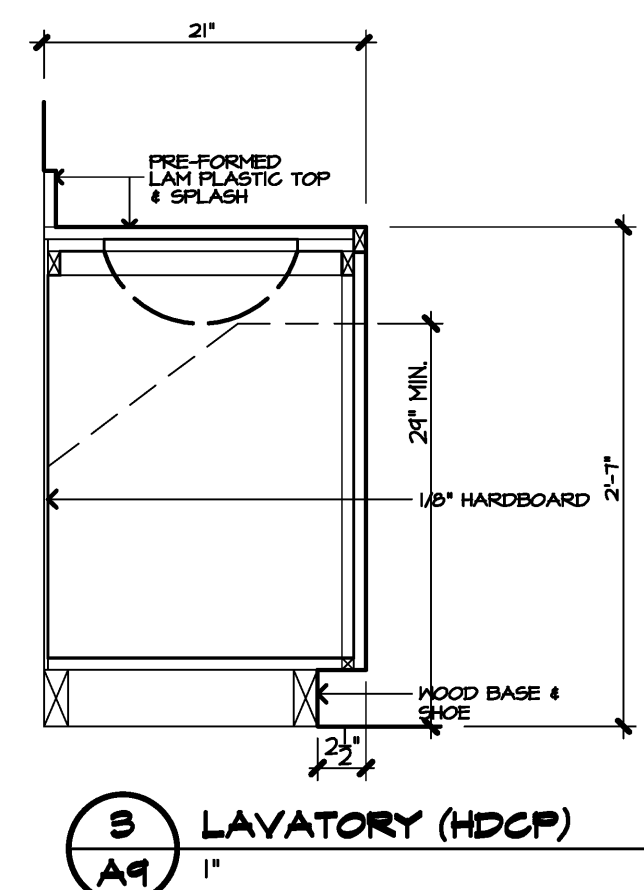
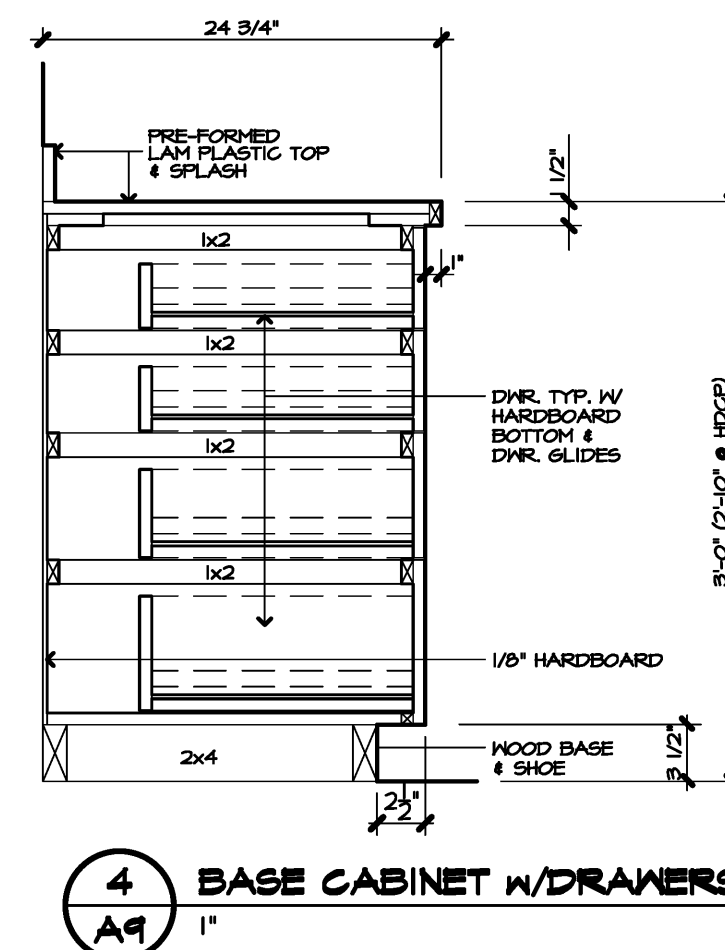
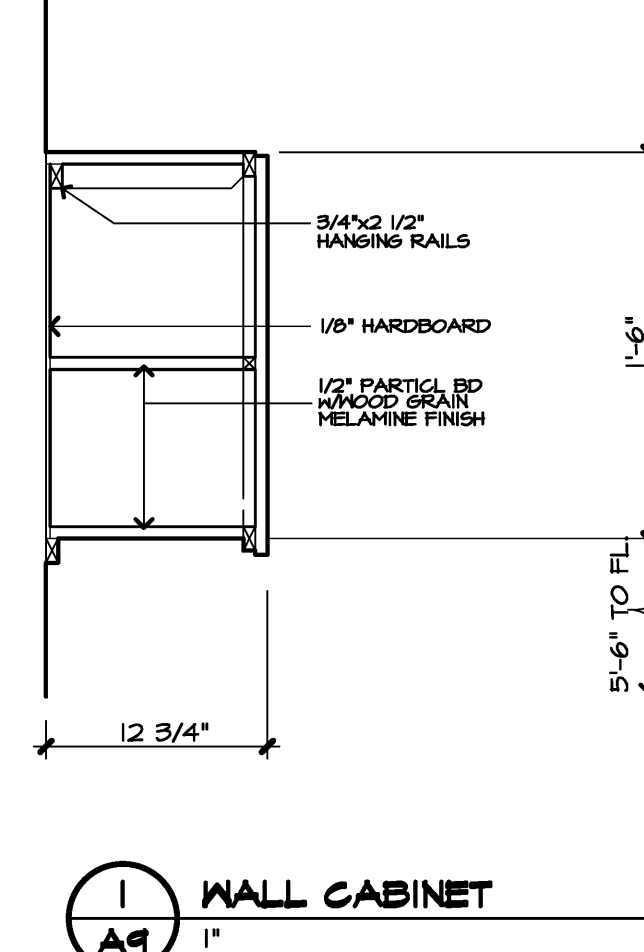
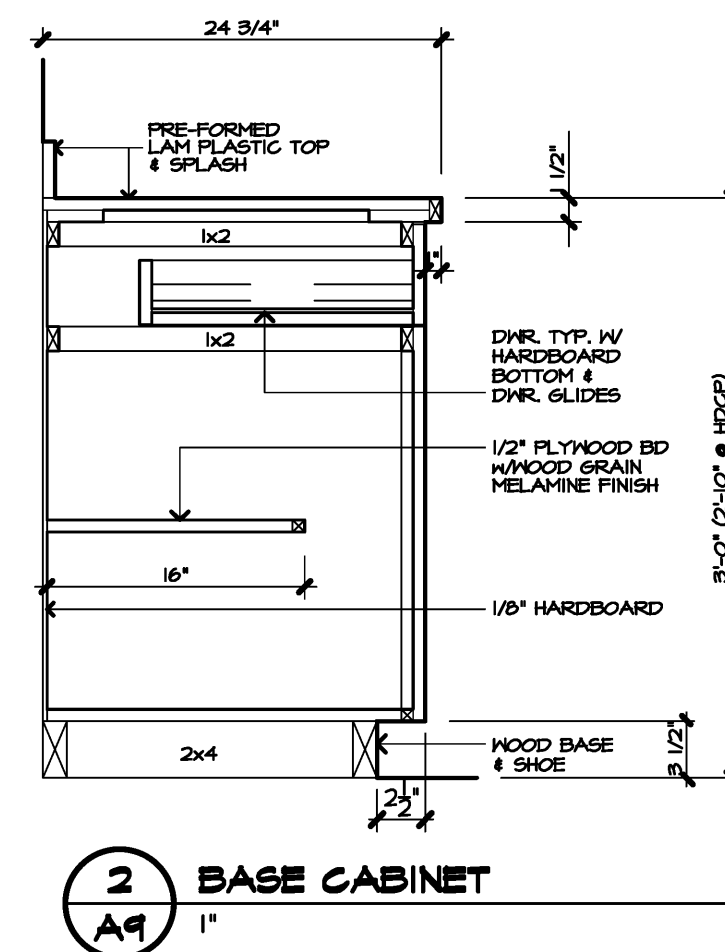
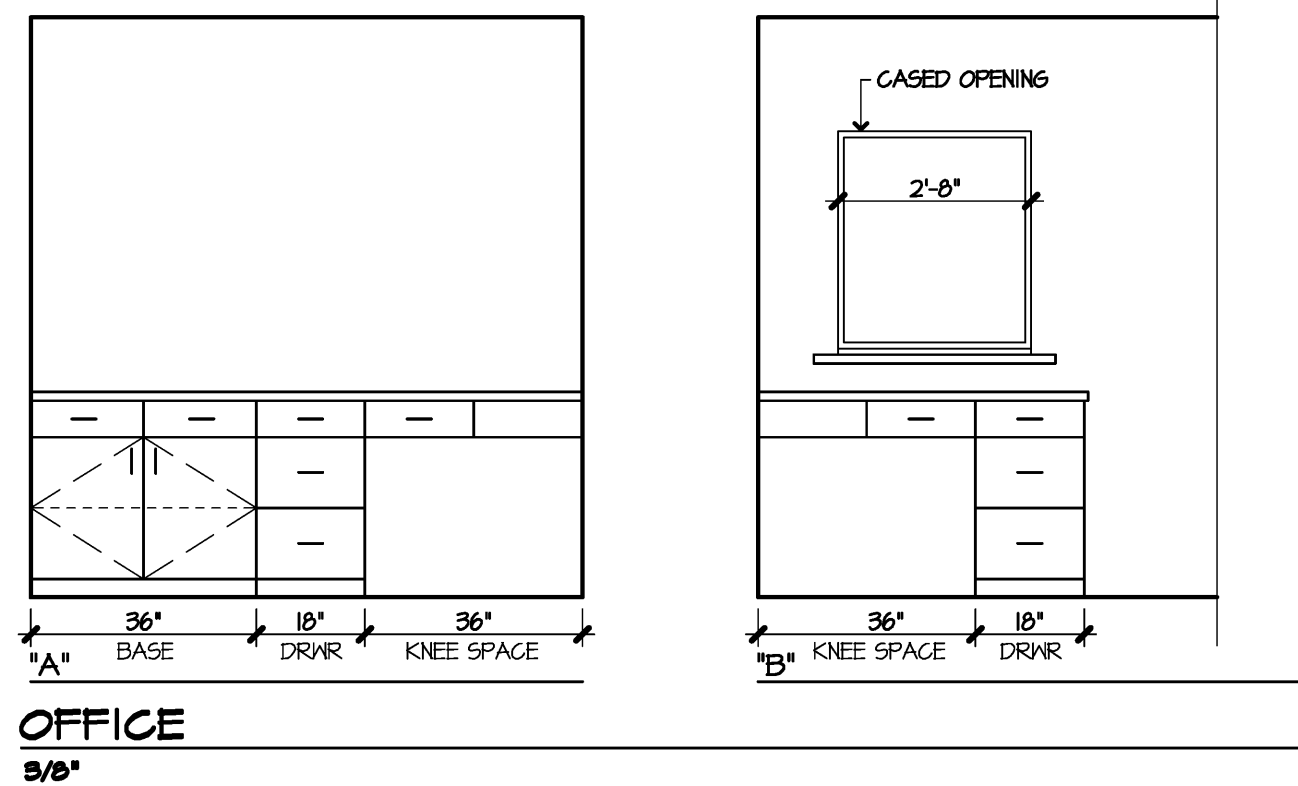
NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
 1666 PATRICK STREET  
 JONESBORO, ARKANSAS 72401

COMM. NO. 61415  
 DATE: 6/20/16  
 FILE:  
 5:58pm

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**A8**




APPLIANCE SCHEDULE			
MARK	ITEM	DESCRIPTION	REMARKS
A-1	FREEZER TOP REFRIGERATOR	GE GE216THBB 21.2 CU FT TOP FREEZER REFRIG w/ ICE MAKER 32 1/8" W CLOSED, 35 1/2" W with OPEN DOOR @ 90 DEGREES, 66 3/4" H	ENERGY STAR ADA COMPLIANT BLACK (1), (2), (4)
A-2	RANGE	GE AB545DFBS ARTISTRY SERIES 30" FREE-STANDING ELECTRIC RANGE UP FRONT CONTROLS	FREE-STANDING ELEC ADA COMPLIANT BLACK (2), (4)
A-3	RANGE (ADA TYPE)	GE JD630DFBB 30" DROP-IN ELEC RANGE, UP FRONT CONTROLS	DROP IN ELEC ADA COMPLIANT BLACK (2), (4)
A-4	OVER THE RANGE MICROWAVE / HOOD	GE ARTISTRY SERIES 16 CU FT OVER THE RANGE MICROWAVE OVEN & VENTHOOD 30 3/4" x 16 1/2" x 15 1/4" (FOR 12" MIN/36" MAX WALL CAB SURROUND) 3 1/4" x 10" RECT DUCT OR TRANSITION TO ROUND DUCT & 8" DUCT MIN THRU ROOF w/ WATER PROOF CAP / DAMPER. DUCT BY HVAC CONTRACTOR	BLACK (2), (3), (4)
A-5	OVER THE RANGE VENTHOOD ADA TYPE	GE LVN 330 HBB 30" STANDARD HOOD, VENTED, w/ LIGHT MILN DUCT (7" DIA) THRU ROOF w/ WATER PROOF CAP / DAMPER INSTALLED BY HVAC CONTRACTOR (SEE INTERIOR ELEVATIONS FOR REF)	BLACK (2), (3), (4)
A-6	COUNTER MICROWAVE	GE JES146D0SBB 1.4 CU FT COUNTERTOP MICROWAVE OVEN	BLACK (2) (4)
A-7	DISHWASHER	GE GDF320P6LEB DISHWASHER with FRONT CONTROLS	ENERGY STAR BLACK (1), (2), (4)
A-7H	DISHWASHER (HDCP)	GE 6LD640F0EB DISHWASHER with FRONT CONTROLS	ENERGY STAR BLACK (1), (2), (4)
A-8	WASHING MACHINE	GE GFPH1200H FRONTLOAD 3.6 DOE IEC CU FT. ENERGY STAR	
A-9	CLOTHES DRYER	GE 6FDN120D FRONTLOAD 10 CU FT. - DUCT (4" DIA) MAX 35" w/ 3 40" BENDS	
A-10	COPIN WASHER ADA	WHIRLPOOL CHW9050A0N HIGH EFFICIENCY COMMERCIAL FRONT LOAD WASHER	ENERGY STAR, WHITE (1), (2) WHITE, (2)
A-11	COIN DRYER ADA	WHIRLPOOL CED4050A0N COMMERCIAL ELEC DRYER	
A-12	DISPOSER	GE GFC352SV 1/2 HP CONT FEED GARBAGE DISPOSAL - CORDED	(5)

REMARKS	APPLIANCE SCHEDULE
(1) ENERGY STAR CERTIFIED	
(2) ADA COMPLIANT APPLIANCE	
(3) SWITCH HOOD TO ROCKER SWITCHES MOUNTED ON FACE OF CABINET FOR ADA COMPLIANCE, LIGHTING & VENT	
(4) ALL LIVING UNIT APPLIANCES SPECIFIED AS "BLACK". VERIFY ALL APPLIANCE COLORS WITH OWNER / ARCHITECT BEFORE PURCHASING	
(5) PROVIDER & INSTALLED BY PLUMBING CONTRACTOR - SEE PLUMBING FIXTURE SCHEDULE FOR REF	

OPENING SCHEDULE						
MARK	OPENINGS					REMARKS
	W	H	T	MAT	TYPE	** ALL LOCKS MASTERKEYED FOR MANAGEMENT ACCESS
1	3'-0"	6'-8"		MTL	A	BLADE HANDLE & LOCKSET, ADA 1/2"H ALUM THRESHOLD, DEADBOLT
2	3'-0"	6'-8"		MTL	A	BLADE HANDLE & LOCKSET, ADA 1/2"H ALUM THRESHOLD, DEADBOLT
3	3'-0"	6'-8"		WID	B	BLADE HANDLE PRIVACY SET
4	3'-0"	6'-8"		WID	B	BLADE HANDLE LOCKSET SET
5	3'-0"	6'-8"		WID	B	BLADE HANDLE LOCKSET SET
6	3'-0"	6'-8"		WID	B	BLADE HANDLE LOCKSET SET
7	3'-0"	6'-8"		WID	B	BLADE HANDLE PRIVACY SET
11	3'-0"	5'-0"		VINYL	C	VINYL SINGLE HUNG
12	3'-0"	5'-0"		VINYL	C	VINYL SINGLE HUNG
13	2'-8"	3'-0"		WID		PASS THRU W/ OH DOOR CLOSER & LOCK


## OPENING ELEVATIONS

*SCALE: 1/8" FROM EXTERIOR VIEW*




INSUL. MT. GLAD  
PRE-HUNG  
ENTRANCE UNIT  
CLASSIQUE DESIGN  
2 PANEL  
ARCH TOP  
DEL. PEEP HOLE  
MTL. FR.  
1/2" MAX. ADA TYPE  
ALUM. THRESH.

(A)



PRIMED  
HARDBOARD  
PRE-HUNG INT. UNIT  
2 PANEL  
ARCH TOP  
CLASSIQUE DESIGN  
ND FR.

(B)



LOW-E ARGON  
U-VALUE 0.30  
SHGC 0.30  
SINGLE HUNG VINYL  
INSUL. GL. MTL. W/  
INCLUDE SCREEN  
TRADITIONAL GRID  
P.F.F.

(C)

\*\* NOTE: WRAP ALL EXTERIOR BRICK MOUNDS W/ METAL

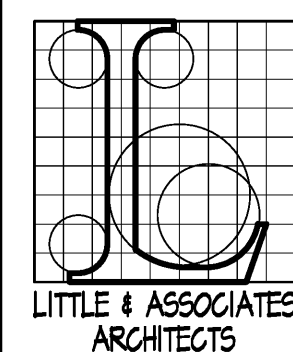
INTERIOR FINISH SCHEDULE (4)						
SPACE	FLOOR	BASE	WALLS	CEILING	CLS HT	REMARKS
	EXPOSED CONC VCI	WOOD NONE	1/2" GYP BD, PAINTED 1/2" TYPE WRK GYP BD, PAINTED	1/2" GYP BD, PAINTED 1/2" TYPE WRK GYP BD, PAINTED	8'-0"	NOTE: SEE SHEET A9 FOR REMARKS
COMMUNITY BLDG						(4)
LOBBY	•	•	•	•	•	(1) (2)
COMMON ROOM	•	•	•	•	•	
OFFICE	•	•	•	•	•	
BATH	•	•	•	•	•	
COMPUTER LAB	•	•	•	•	•	
EXERCISE ROOM	•	•	•	•	•	
MECHANICAL	•	•	•	•	•	

REMARKS	INTERIOR FINISH SCHEDULE
(1)	ALL GYP BOARD WALLS & CEILINGS TO HAVE LIGHT KNICK-DOWN FINISH
(2)	INSUL & GYP BOARD TO BE RUN BEHIND SHOWER UNITS PRIOR TO INSTALLING SHOWER
(3)	MET ROCK TYPE GYP BOARD TO BE USED AT ALL MET LOCATIONS WALLS & CEILINGS AS SHOWN ON SCHEDULE
(4)	ALL BASE TRIM, MIGHTO TRIM, & DOOR OPENING TRIM TO BE 3 SHADES DARKER THAN WALL COLOR ● HDPC @ HEARING & SIGHT IMPAIRED UNITS @ COMMUNITY BUILDING

**MILLWORK - BLDG "C" & INTERIOR SCHEDULES**

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1660 PATRICK STREET  
JONESBORO, ARKANSAS 72401

COMM. NO. 61415  
DATE : 6/20/16  
FILE:  
PLOT:



501 UNION  
JONESBORO, AR  
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littlearch@sbcglobal.net

A





1. LINTEL SCHEDULE APPLIES UNLESS NOTED OR DETAILED OTHERWISE.
2. BEAR ANGLE LINTELS 8" @ EACH END, MIN. TYP. U.N.O.

**FRAMING & ROOF PLAN - BLDG "A" & "B"**

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1688 PATRICK STREET  
JONESBORO, ARKANSAS 72401

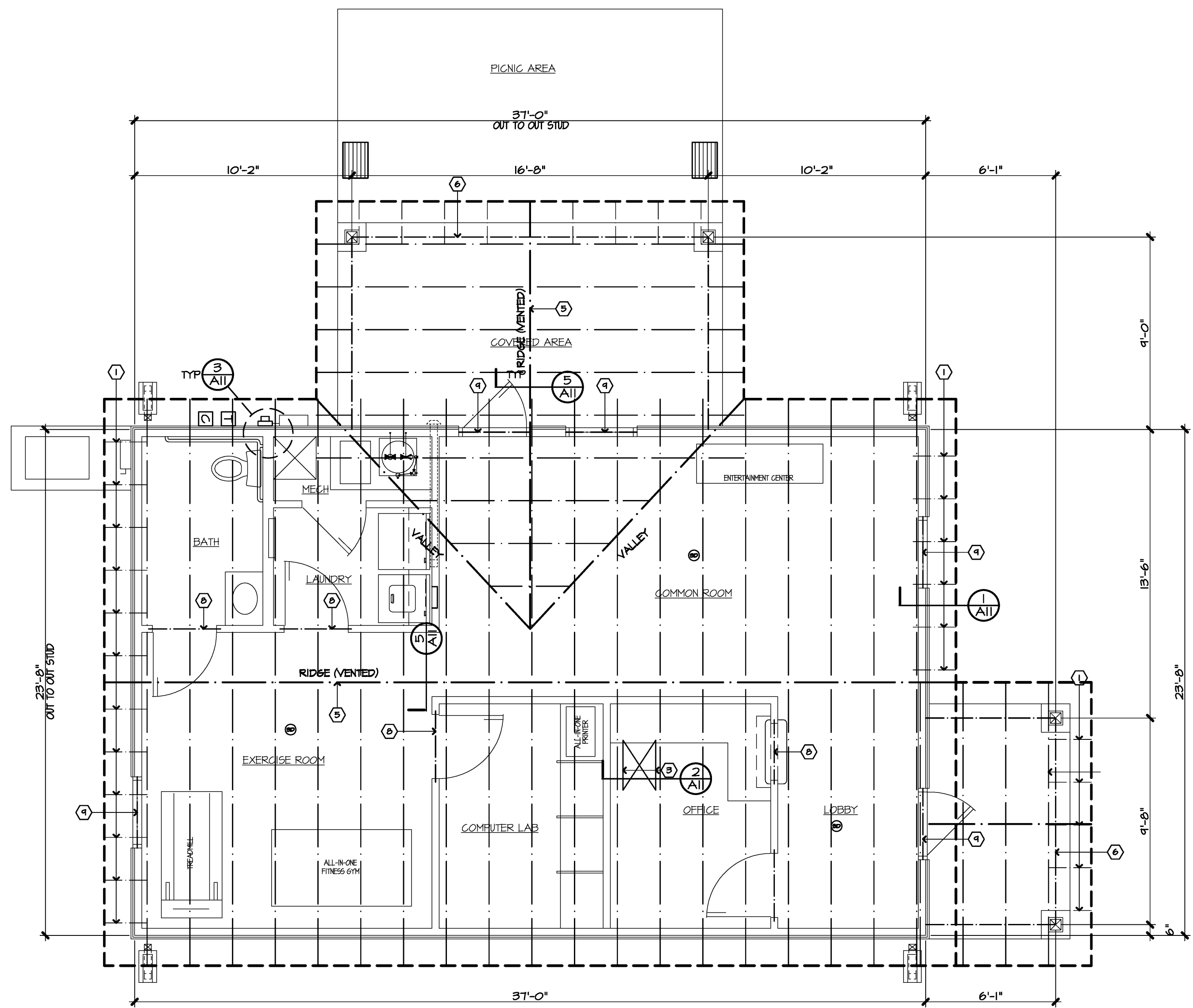
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COMM. NO.: 61415  
DATE : 6/20/16  
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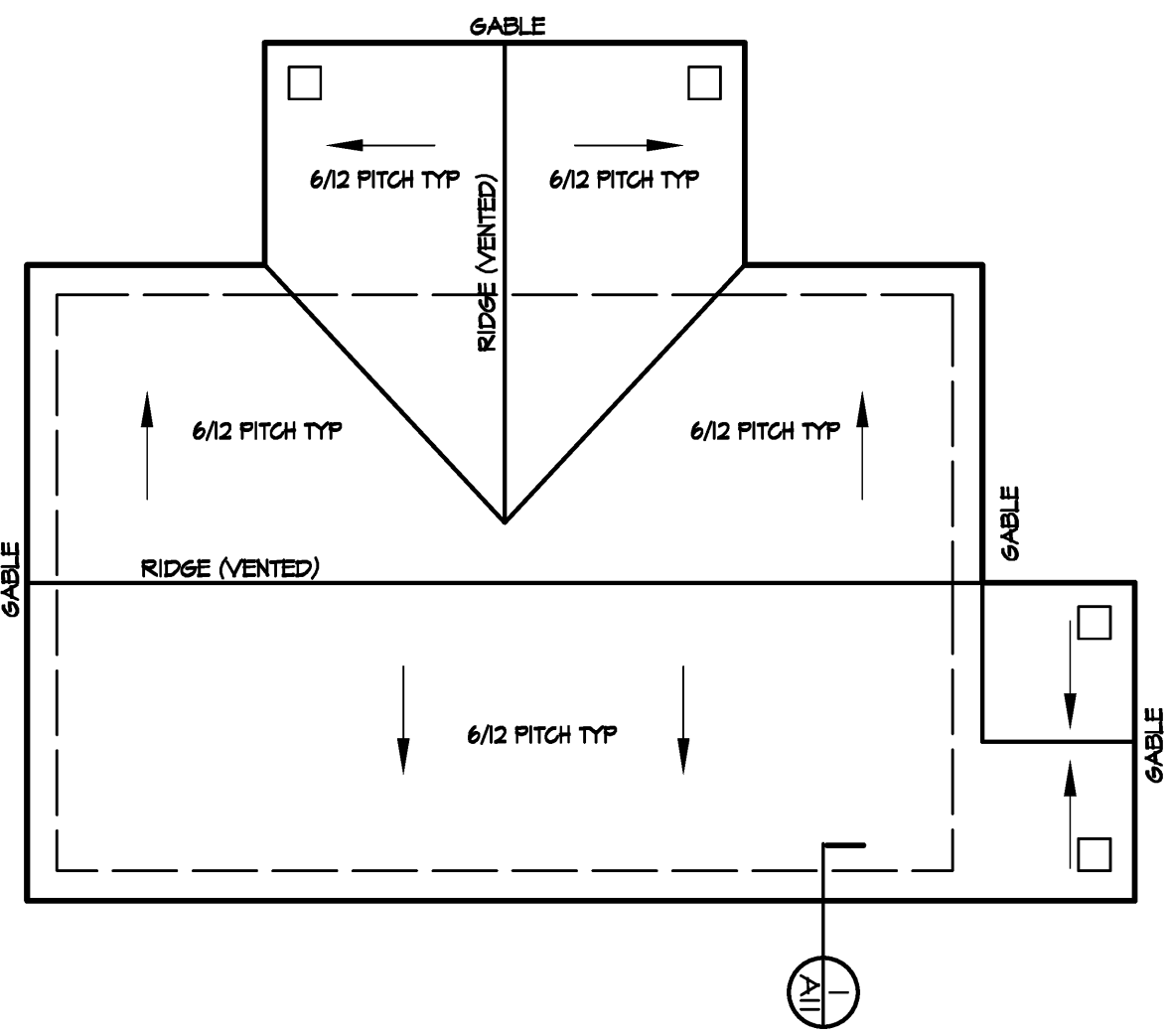
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A|C



FRAMING PLAN - BLDG "C"  
1/4" SEE SITE PLAN



ROOF PLAN  
1/8" ASSUMED

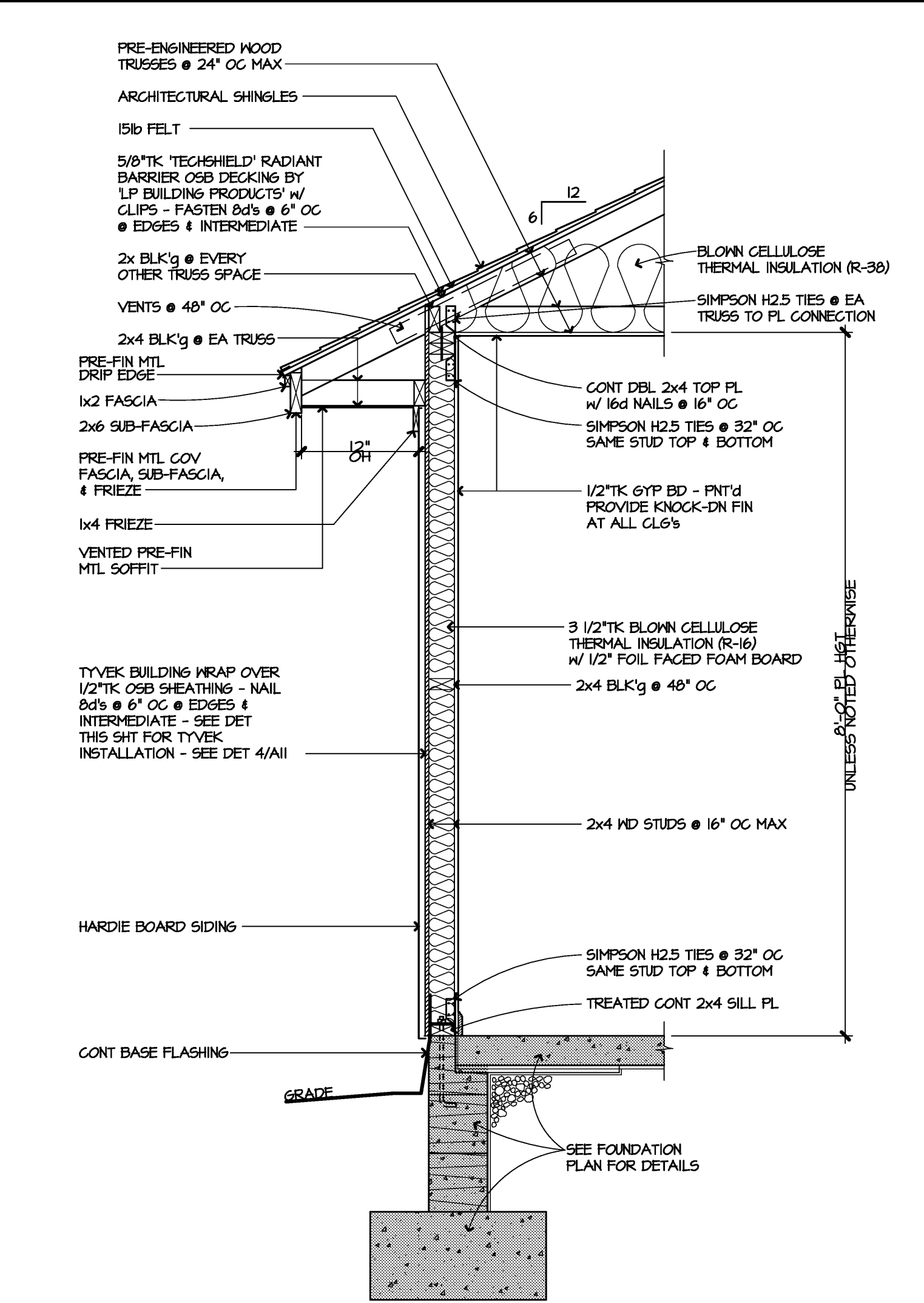
- GENERAL NOTES** FRAMING PLAN
- 1 PRE-ENGINEERED WOOD TRUSSES @ 24" OC
  - 2 GABLE TRUSS LOC - DROP 3 1/2" TO ALLOW FOR OUTRIGGERS
  - 3 ATTIC SCUTTLE - SEE DET 2/ALL
  - 4 PROVIDE FOR CONTINUOUS PERMANENT BRACING AS REQD BY TRUSS SUPPLIER - CONTRACTOR SHALL INSTALL CONT WEB BRACING AS NOTED ON TRUSS SUPPLIER'S SHOP DRAWINGS
  - 5 PROVIDE BLK'g AT RIDGE - SEE DET 5/ALL
  - 6 GARAGE BEAM: (2) ea 2x12's NAILED & LAG BOLTED TOGETHER (MIN). (USE SAME FOR COMMUNITY PORCH)
  - 7 2x4 OUTRIGGERS @ 2'-0" OC MAX
  - 8 SEE LINTEL SCHEDULE THIS SHEET
  - 9 HEADERS SHALL BE (2) 2x10's w/ 1/2"TK PLY BTWN @ 2x4 WALLS - ALL HDR's SHALL BEAR ON (2) STUDS MIN - TYPICAL UNLESS NOTED OTHERWISE

- TRUSS NOTES**
- 1 ALL ROOF TRUSSES SHALL BE DESIGNED BY THE FABRICATOR TO SUPPORT 10 PSF DEAD LOAD ON TOP CHORD AND 10 PSF DEAD LOAD ON BOTTOM CHORD PLUS 20 PSF LIVE LOAD ON TOP CHORD PLUS 10 PSF LIVE LOAD ON BOTTOM CHORD, PLUS CODE WIND LOAD
  - 2 FABRICATOR SHALL SUBMIT CALCULATIONS w/SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ARKANSAS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OF TRUSSES
  - 3 CONTRACTOR SHALL PROVIDE BRACING FOR TRUSS CHORD AND WEB MEMBERS AS REQUIRED BY THE TRUSS FABRICATOR. SYSTEM IS NOT STABLE UNTIL SHEATHING AND PERMANENT BRACING ARE INSTALLED
  - 4 NUMBER 3 GRADE LUMBER WILL NOT BE ALLOWED FOR CHORDS OR TENSION WEB MEMBERS
  - 5 MINIMUM TRUSS PLATE SIZE SHALL BE 3"x5" (OR 4"x4") EA SIDE OF TRUSS @ ALL JOINTS
  - 6 MINIMUM CONTACT AREAS FOR TRUSS PLATES SHALL BE 3.75 SQUARE INCHES ON EA MEMBER @ ALL JOINTS, EA SIDE OF TRUSS
- NAILING, BEAM, AND COLUMN NOTES**
- 1 PLYWOOD FOR ROOF SHALL BE 5/8" OSB BRD. NAILING FOR PLYWOOD ROOF DECKING SHALL BE 8d COMMON NAILS @ 6" CENTER @ SUPPORTED PLYWOOD EDGES AND 8d NAILS @ 6" ON CENTER ALONG ALL INTERMEDIATE SUPPORTS
  - 2 WALL SHEATHING SHALL CONSIST OF 1/2" OSB BRD. NAILING FOR WALL SHEATHING SHALL BE 8d NAILS @ 6" ON CENTER ALONG PLYWOOD EDGES AND 6" ON CENTER ALONG INTERMEDIATE MEMBERS. BLOCK ALL PLYWOOD EDGES
  - 3 NAILS FOR ALL FRAMING CONNECTORS SHALL BE FURNISHED BY CONNECTOR MANUFACTURER NAIL PER SCHEDULE FURNISHED BY CONNECTOR MANUFACTURER

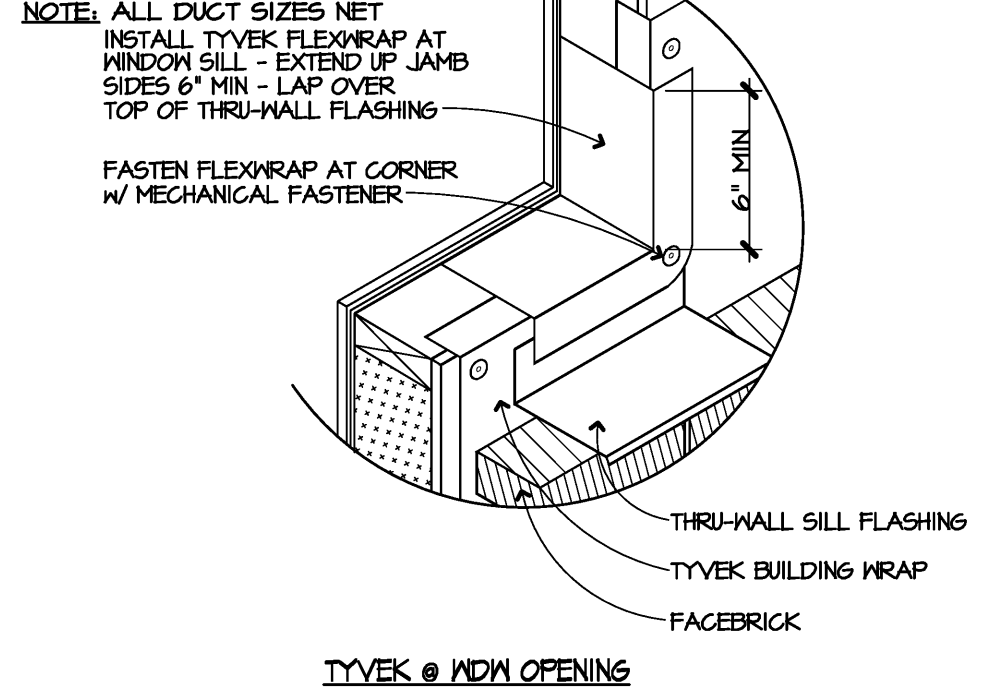
**LINTEL SCHEDULE** (FOR BLDG w/ BRICK VENEER)

WALL TYPE	UP TO 4'-0" OPENING	4'-1" TO 6'-0" OPENING	6'-1" TO 8'-0" OPENING	8'-1" TO 10'-0" OPENING
4" VENEER	23x33x3/4	45x33x3/4 (LLV)	45x33x3/4 (LLV)	47x44x3/4 (LLV)

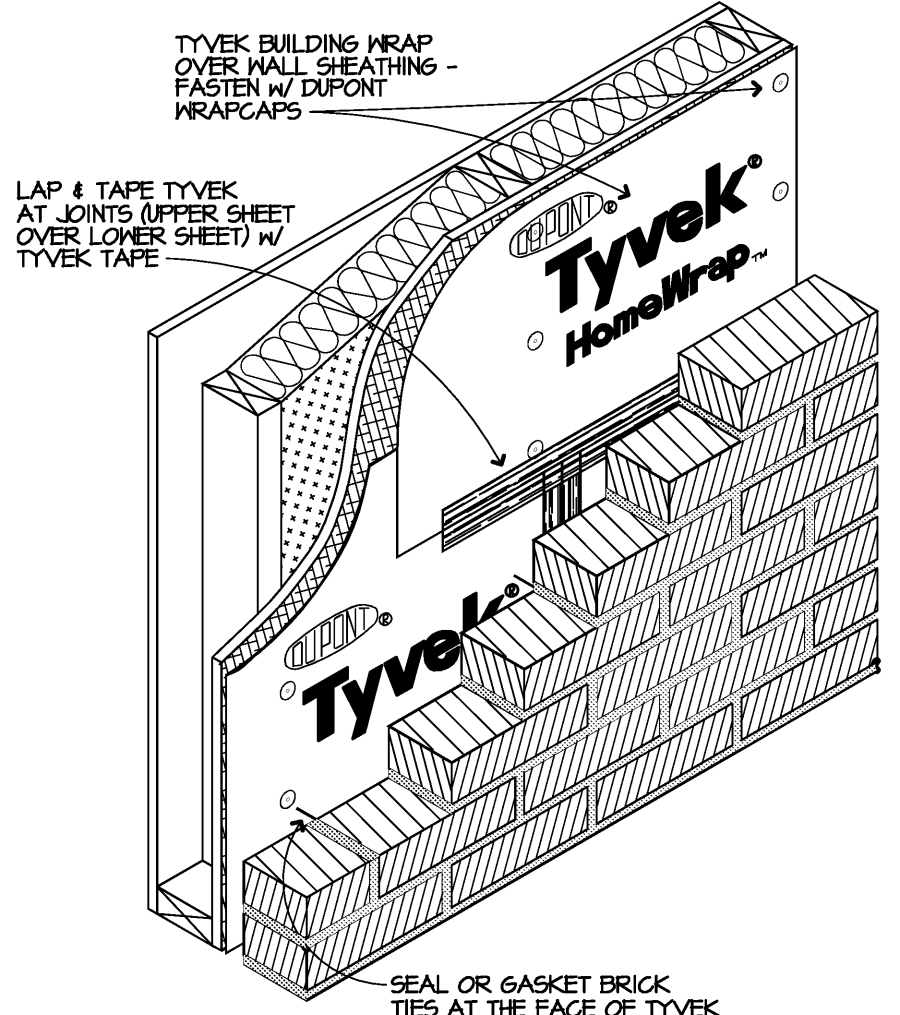
- 1. LINTEL SCHEDULE APPLIES UNLESS NOTED OR DETAILED OTHERWISE.
- 2. BEAR ANGLE LINTELS 8" @ EACH END, MIN. TYP. UNO.



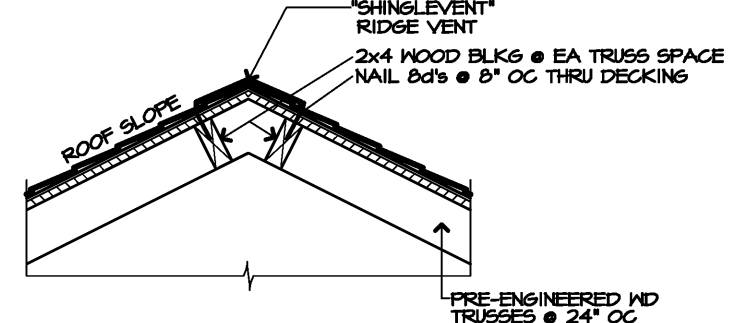
1  
ALL 3/4" TYPICAL WALL SECTION



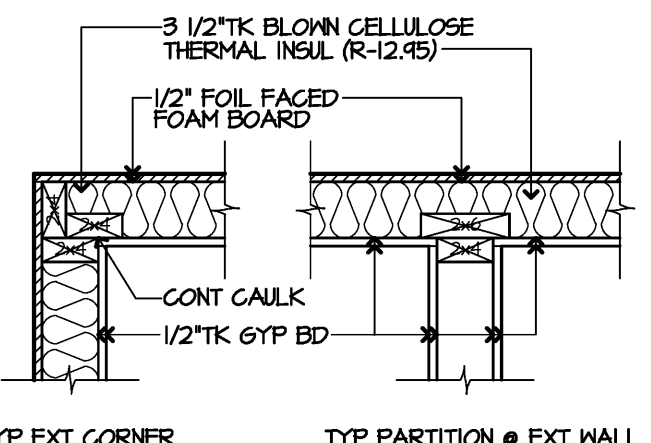
4  
ALL 1" TYVEK INSTALLATION DETAIL



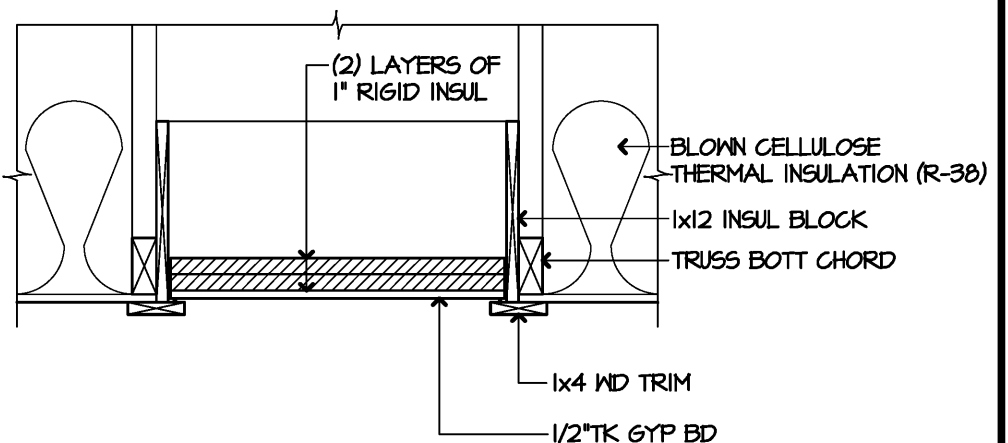
TYP TYVEK @ EXTERIOR WALL



5  
ALL NTS RIDGE BLOCKING



3  
ALL 1" TYPICAL WALL FRAMING DETAIL



2  
ALL 1" ATTIC ACCESS PANEL

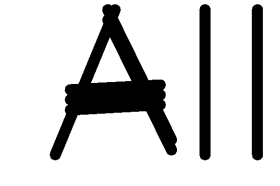
FRAMING & ROOF PLAN - BLDG "C"

NEW MULTI-FAMILY ELDERS DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401

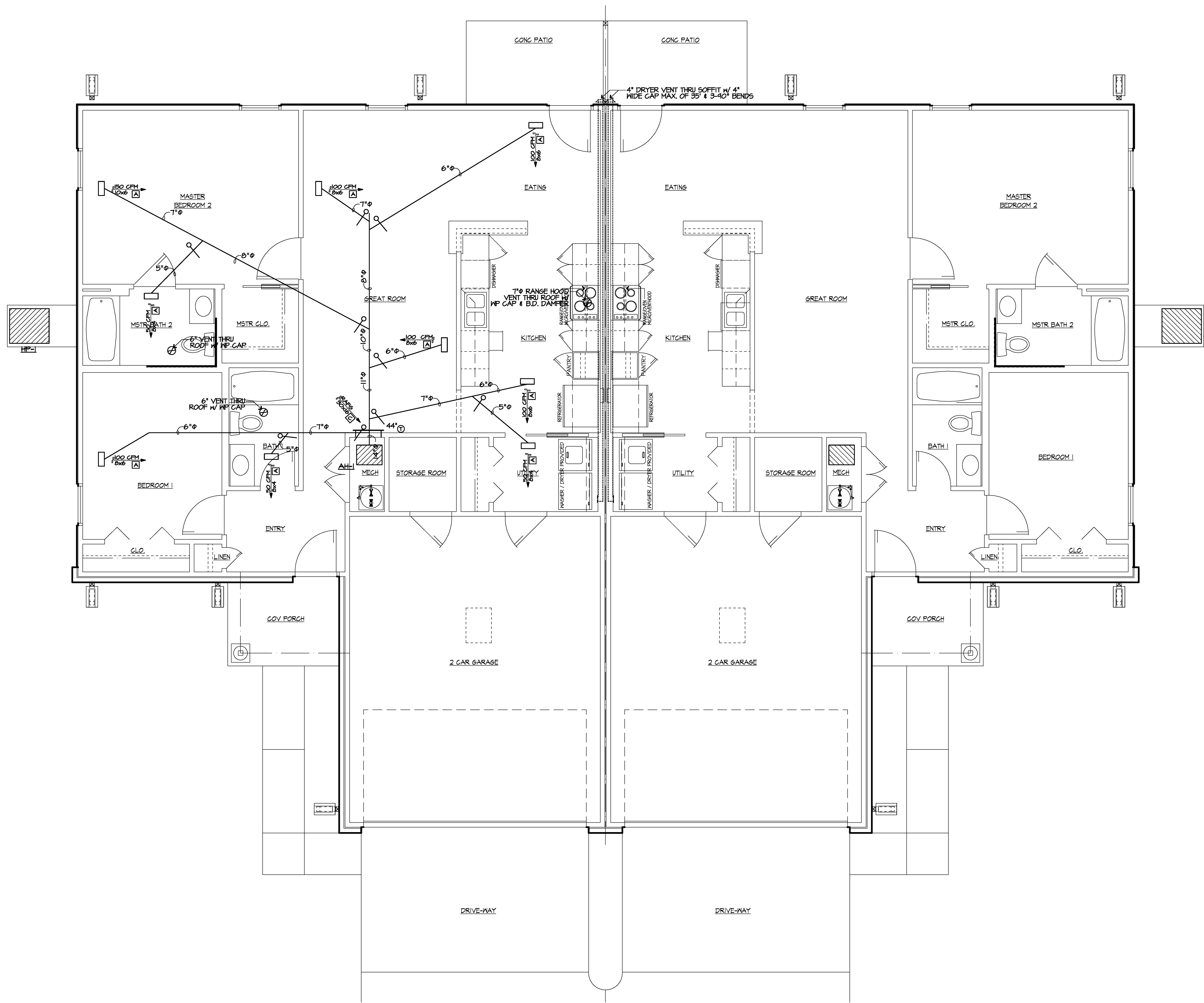
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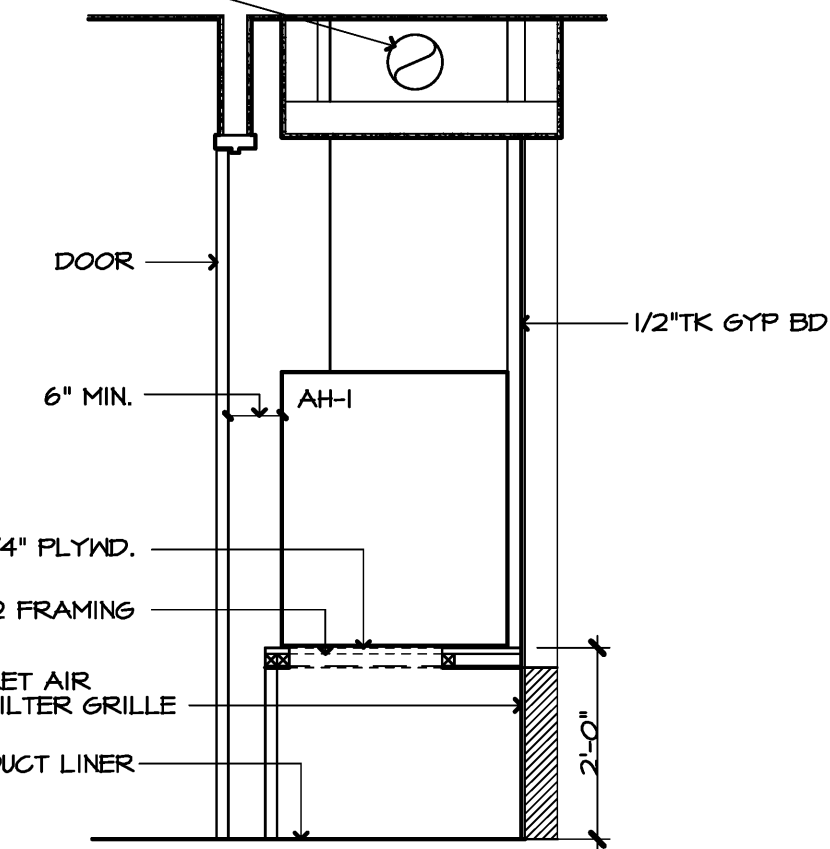


HVAC PLAN - BLDG "A" & "B"  
1/4" SEE SITE PLAN

NOTE: ALL DUCT SIZES NET

H.V.A.C. EQUIPMENT SCHEDULE				
MARK	ITEM	DESCRIPTION	CAPACITY	REMARKS
HP-1	HEAT PUMP	RHEEM RPI524AJINA	24,000 BTUH NOMINAL	15 SEER
AH-1	AIR HANDLER & COIL	RHEEM RHIT2417STANJA	10 KW RES-HIT 800 CFM	2 TON COIL
A	SUPPLY REG	HART & COOLEY A303	SEE DRAWING	WHITE FINISH
B	SUPPLY REG	HART & COOLEY 24-STEEL STEP DOWN, SQUARE DIFFUSER	SEE DRAWING	WHITE FINISH
C	RET AIR FILTER GRILLE	HART & COOLEY 6-T3	SEE DRAWING	WHITE FINISH
D	THERMOSTAT	WHITE ROGERS IF84EZ-025I	HEATING/COOLING 2 STAGE HEAT \ 1 STAGE COOL 3 TEMP PRE SETS	44" MTG HT
○	TAKE OFF DAMPER		SEE PLAN	
⊗	VENT FAN			VENT THRU ROOF

SCREW ALL JOINTS W/3 SCREWS MIN ON ROUND DUCT. STD LOCK SEAM ON RECT DUCT. SEAL ALL DUCT JOINTS & CONNECTIONS w/ REGISTERS, PLENUMS, SUPPLIES, & RETURNS w/DUCT MASTIC IRONGRIP 601 OR HARDCAST DT-IMPREGNATED FIBER TAPE w/ RTA-50 ADHESIVE. FOIL TAPE OR DUCT TAPE WILL NOT BE ACCEPTED.

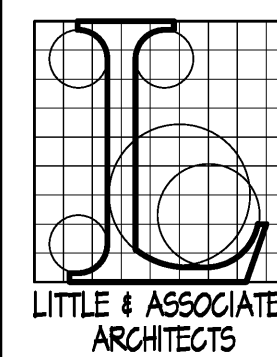


1 TYP MECH CLO  
A/2 1/2"

HVAC PLAN - BLDG "A" & "B"

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1868 PATRICK STREET  
JONESBORO, ARKANSAS 72401

COMM. NO.: 61415  
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A/2



SCREW ALL JOINTS W/B SCREWS MIN ON ROUND DUCT. STD LOCK SEAM ON RECT DUCT. SEAL ALL DUCT JOINTS & CONNECTIONS @ REGISTERS, PLenums, SUPPLIES, & RETURNS W/DUCT MASTIC IRONGRIP 601 OR HARDCAST DT-IMPREGNATED FIBER TAPE W/ RTA-50 ADHESIVE. FOIL TAPE OR DUCT TAPE WILL NOT BE ACCEPTED.

The diagram is a cross-section of a duct assembly. At the top, a horizontal duct is shown with a circular access point. Below it, a vertical duct runs down. To the left of this vertical duct is a door, indicated by a horizontal arrow. The vertical duct has a 6" MIN. dimension for its lower section. To the right of the vertical duct is a 1/2" TK GYP BD. The vertical duct is connected to a horizontal duct at the bottom. This horizontal duct has a 3/4" FLYND. dimension for its upper section and a 2X2 FRAMING dimension for its lower section. The horizontal duct is connected to a RET AIR FILTER GRILLE. Below the grille is a DUCT LINER. The entire assembly is shown within a 2'-0" vertical dimension.

DOOR →

6" MIN.

1/2" TK GYP BD

3/4" FLYND.

2X2 FRAMING

RET AIR FILTER GRILLE

DUCT LINER

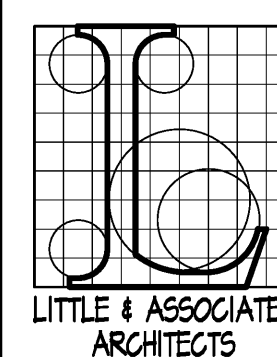
2'-0"

1 TYP MECH CLO  
A13 1/2"

HVAC PLAN - BLDG "C"

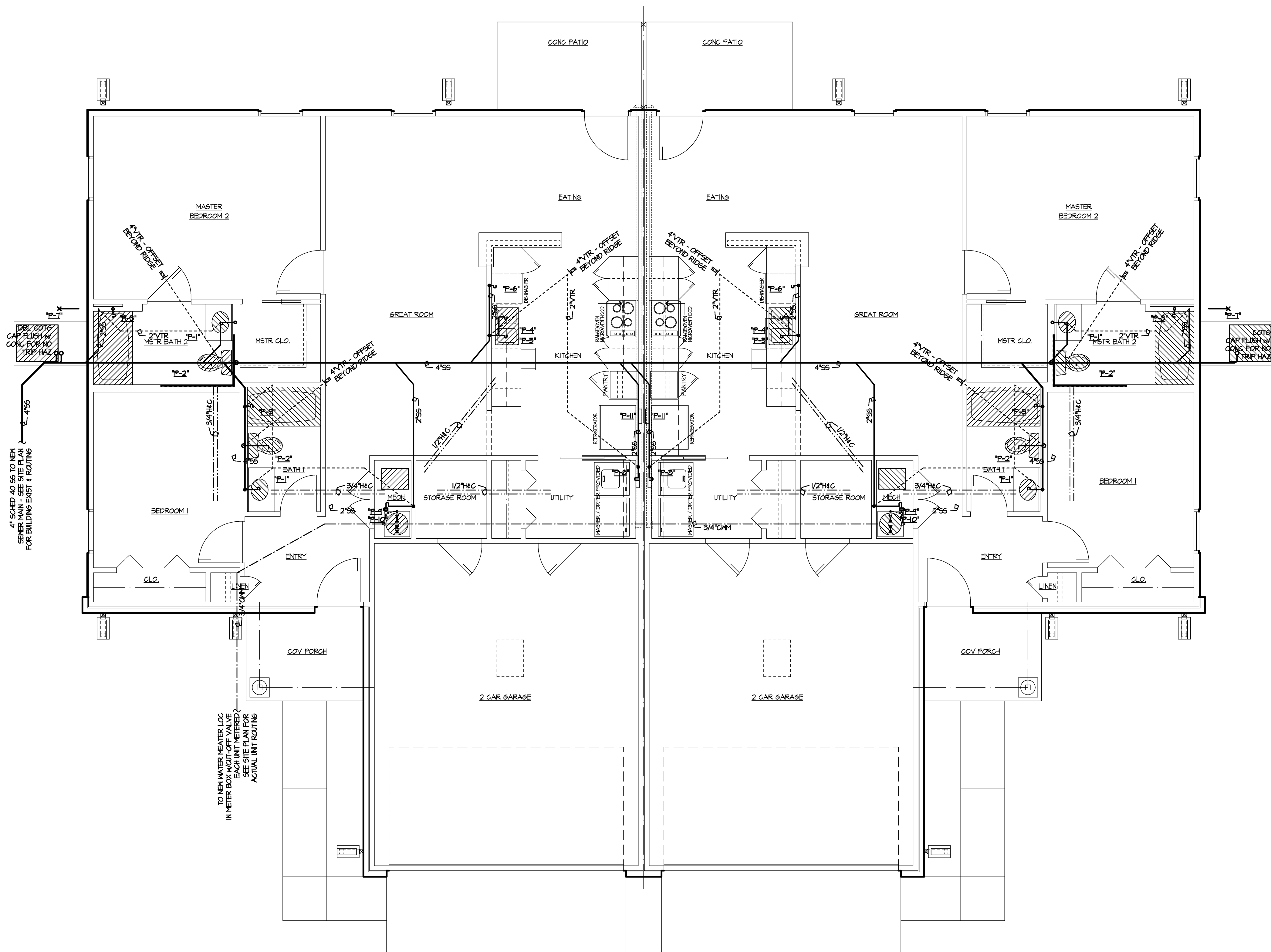
NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1669 PATRICK STREET  
JONESBORO, ARKANSAS 72401

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# A|3



**PLUMBING PLAN - BLDG "A" & "B"**  
1/4"  
SEE SITE PLAN

NOTE: ALL PLUMBING FIXTURES IN BLDG "B" TO BE HDGP ACCESSIBLE  
SEE FLOOR PLAN BLDG "B" FOR REFERENCE

SEWER AND WATER MAIN LOCATION TO ALTERNATE SIDES -  
4 UNITS PER CONNECTION - SEE SITE UTILITY PLAN FOR REF

PLUMBING FIXTURE SCHEDULE			
MARK	ITEM	DESCRIPTION	REMARKS
P-1	LAVATORY	22x37 (3 BR) 22x31 (2 BR) MARBLE TOP & INTEGRATED BOWL WITH CHICAGO 420-ABCP FAUCET	(2)
P-1	LAVATORY	ADA TYPE	(2)
P-2	WATER CLOSET	GERBER MAXWELL 21-41B WITH GLAZED WOOD SEAT	(1), (3)
P-2	WATER CLOSET	ADA TYPE	(1), (3)
P-3	TUB / SHOWER	AKER OPTS-6032 W/ FACTORY INSTALLED ROD & CURTAIN DELTA T13420-PD505 FAUCET	(1), (4)
P-3	TUB / SHOWER	ADA TYPE	(1), (4)
P-4	SS SINK	DAYTON D-23322-4 SS SINK W/ CHICAGO 432ABCP FAUCET & SPRAY DEARBORN BRASS 11 STRAINER	(2)
P-4	SS SINK	ADA TYPE	(2)
P-5	DISPOSAL	GE GFC325V 1/2 HP CONT FEED GARBAGE DISPOSAL - CORDED	(5)
P-6	DISHWASHER CONNECTION	INSTALLED BY PLUMBING CONTRACTOR	
P-7	HOSE BIBB	WOODFORD MODEL 25P AUTOMATIC DRAINING FREEZELESS WALL FAUCET	
P-8	WASHING MACH CONNECTION	OATEY 38751 W/NIBCO #T4 VALVES	
P-9	WATER HEATER	AO SMITH ELEC 40 GAL ELEC WATER HEATER INCLUDE PRE-MFG STAND & DRAIN PAN	(6)
P-10	HUB DRAIN	2" PROSET TRAP GUARD HUB DRAIN W/MADE 2490 FIXED AIR GAP MOUNTED @ TOP OF DRAIN	(7)
P-11	ICE MAKER CONNECTION	OATEY 1 M.O.B. W/ SUPPLY VALVE	(9)
P-12	WATER COOLER	OASIS P8AC ERSA COOLER - SANDSTONE	(6)
P-13	MOP SINK	FIAT MSB2424 MOP BASIN DELTA 28T9 FAUCET, 832-AA HOSE & BRACKET, 884-CC MOP BRACKET	(11)
P-14	FLOOR DRAIN	PROSET T25630-F-P 2. TRAP GAURD FLOOR DRAIN W/ 5" NICKEL BRONZE STRAINER	
P-15	RADON MEDIATION	"TEE" FITTING IN SLAB WITH 4" VENT PIPE THRU ROOF FOR RADON GAS MEDIATION - INSTALLED THIS CONTRACT BY PLUMBING CONTRACTOR	

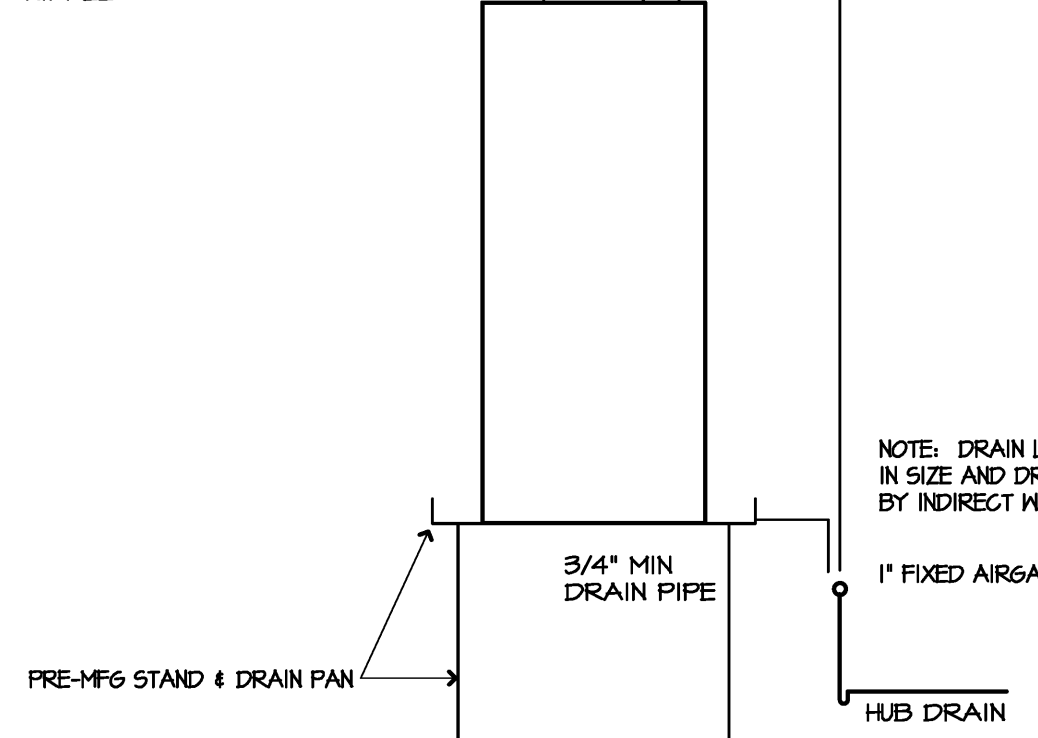
**REMARKS** PLUMBING FIXTURE SCHEDULE

- (1) WHITE
- (2) FIXTURE SUPPLIES & DRAIN SHALL EXTEND NO MORE THAN 6" OUT FROM WALL & SHALL PROVIDE 24" MIN. FLOOR TO BOTTOM - 24" CLEAR UNDER MIN. SINK RIM 34"H MAX - SEE MILLWORK FOR REF
- (3) FLUSH HANDLE ON TANK TO BE ON OPEN SIDE OF STALL (ENFORCED)
- (4) DO NOT INSTALL TUB UNIT UNTIL WALL HAS BEEN INSULATED & GYP BD INSTALLED BEHIND TUB
- (5) PROVIDED & INSTALLED BY PLUMBING CONTRACTOR - SEE APPLIANCE SCHED FOR REF
- (6) PROVIDE PRE-MFG STAND & AUXILIARY DRAIN PAN, H&C CUT OFF VALVES @ WATER HEATER SEE DETAIL 1A1
- (7) HUBB DRAINS @ MECHANICAL UNITS SHALL NOT BE INSTALLED IN RETURN AIR SPACE - EXTEND ABOVE MECH PLATFORM WHERE APPLICABLE
- (8) WATER LINE FROM ICE MAKER OUTLET BOX TO REFRIGERATOR TO BE PROVIDED & INSTALLED THIS CONTRACT
- (9) LOOSE FLEX COPPER LINES RUN THROUGH CABINETS WILL NOT BE ACCEPTED. LINES MUST BE CONCEALED IN WALL & FIXED TO PRE-MFG BOX
- (10) MOUNT ORIFICE @ 34"H MAX FOR ADA REQUIREMENTS
- (11) MOP SINK FAUCET TO BE MOUNTED TO SECURE WD BLOCKING IN WALL - COORDINATE REQ W/FRAMER - DO NOT INSTALL WITHOUT BLOCKING IN WALL

NOTE: MINIMUM 3/4" NOMINAL DIAMETER UNTIL FIRST BRANCH

HOT WATER  
INSULATED UNION OR COPPER FLEX BRASS OR GALVANIZED NIPPLE

SHUT-OFF VALVE  
COLD WATER  
T & P VALVE



THIS WATER HEATER & ALL COMPONENTS SHALL BE INSTALLED PER THE APC - ARKANSAS PLUMBING CODE 2006

**WATER HEATER DETAIL (TYP - ELEC)**  
NTS

PLUMBING PLAN - BLDG "A" & "B" / SCHEDULES /  
PLUMBING RISER DIAGRAM

NEW MULTI-FAMILY ELDERS DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1868 PATRICK STREET  
JONESBORO, ARKANSAS 72401

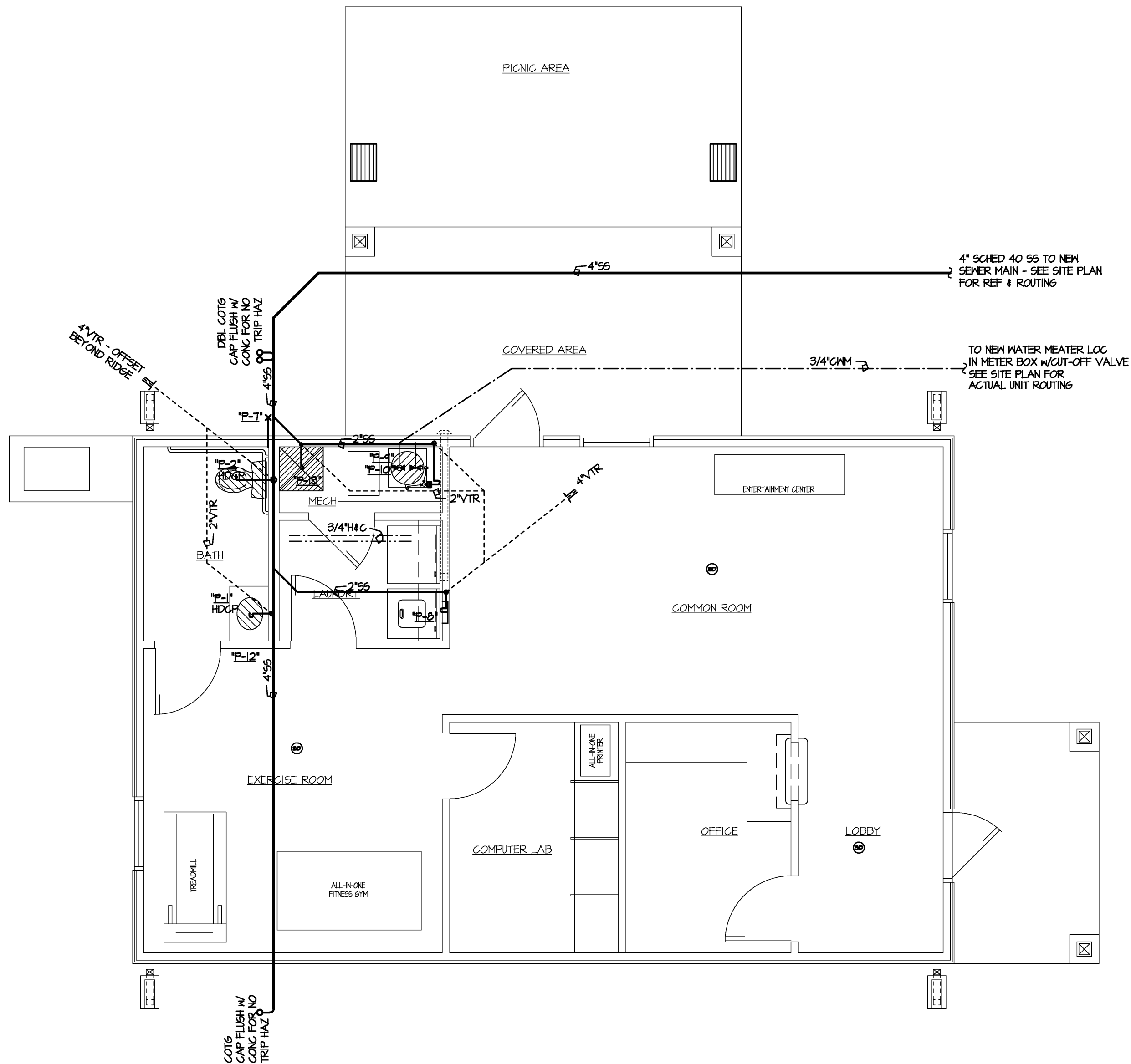
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**A|4**



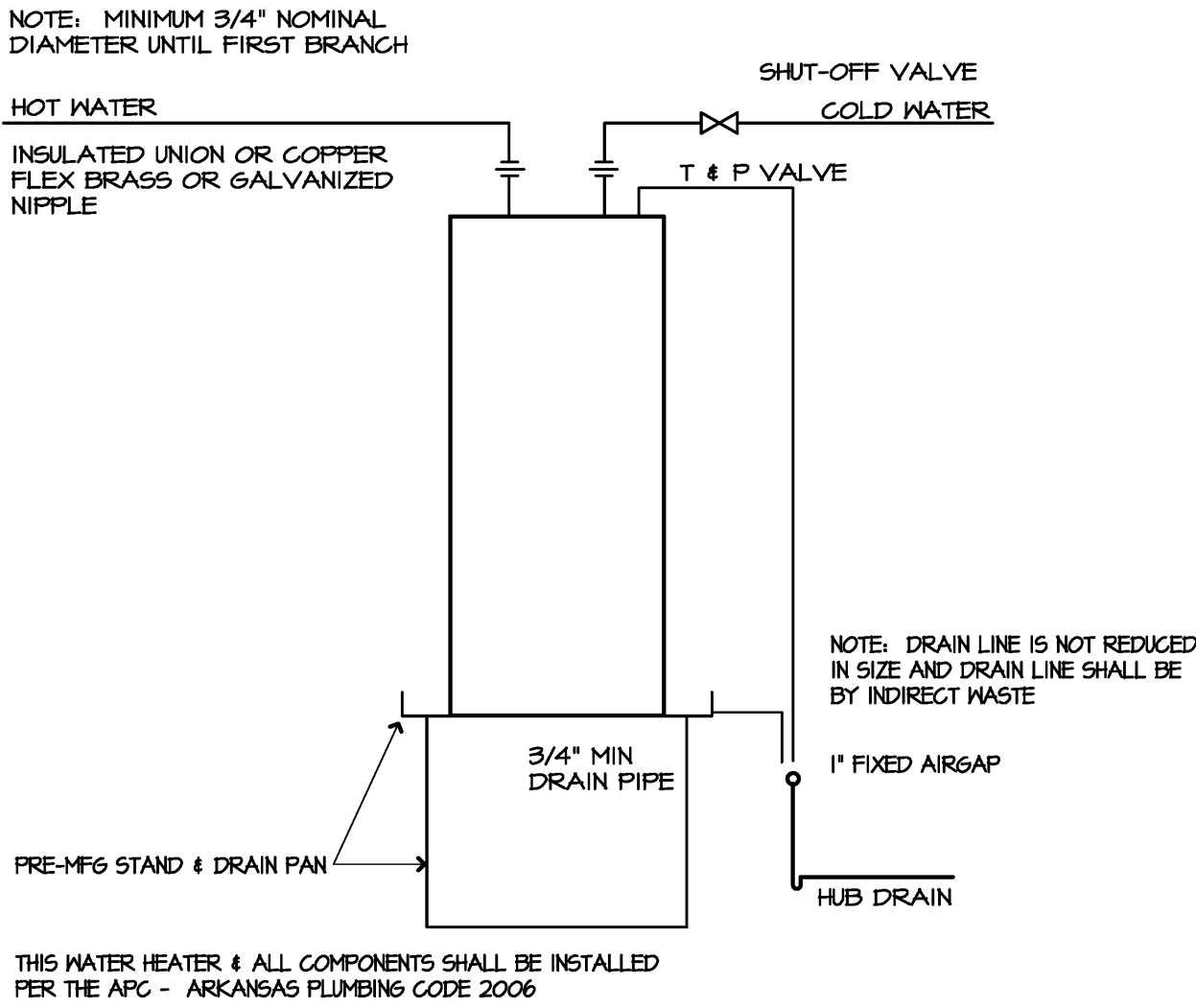


PLUMBING PLAN - BLDG "C"  
1/4" SEE SITE PLAN  
NOTE: ALL FIXTURES IN COMMUNITY BLDG TO BE HDOP ACCESSIBLE

PLUMBING FIXTURE SCHEDULE			
MARK	ITEM	DESCRIPTION	REMARKS
P-1	LAVATORY	22x37 (3 BR) 22x31 (2 BR) MARBLE TOP & INTEGRATED BOWL WITH CHICAGO 420-ABCP FAUCET	(2)
P-1	LAVATORY	ADA TYPE	
P-2	WATER CLOSET	AMERICAN STANDARD LUCERN 0355.012 W/ CHICAGO 420-ABCP FAUCET & WATTS CA-411 CONCEALED CARRIERS	(2)
P-2	WATER CLOSET	ADA TYPE	
P-2	WATER CLOSET	GERBER MAXWELL 21-418 WITH GLAZED WOOD SEAT	(1), (3)
P-2	WATER CLOSET	ADA TYPE	
P-2	WATER CLOSET	GERBER MAXWELL 21-418 WITH GLAZED WOOD OPEN FRONT SEAT	(1), (3)
P-3	TUB / SHOWER	AKER OPTS-6032 W/ FACTORY INSTALLED ROD & CURTAIN DELTA T13420-PD505 FAUCET	(1), (4)
P-3	TUB / SHOWER	ADA TYPE	
P-3	TUB / SHOWER	MAAX OPS-6030-R5 W/ FACTORY INSTALLED ROD & CURTAIN COMPLETE W/ ADA-ANSI PACKAGE INCLUDING SEAT - DELTA T13420 TRIM & HAND SHOWER, & DIV VALVE	(1), (4)
P-4	SS SINK	DAYTON D-23322-4 SS SINK W/ CHICAGO 432ABCP FAUCET & SPRAY DEARBORN BRASS 11 STRAINER	
P-4	SS SINK	ADA TYPE	
P-4	SS SINK	DAYTON 6E-23321-4 W/ CHICAGO 432ABCP FAUCET & SPRAY DEARBORN BRASS 11 BASKET STRAINER	(2)
P-5	DISPOSAL	6E 6FC325V 1/2 HP CONT FEED GARBAGE DISPOSAL - CORDED	(5)
P-6	DISHWASHER CONNECTION	INSTALLED BY PLUMBING CONTRACTOR	
P-7	HOSE BIBB	WOODFORD MODEL 25P AUTOMATIC DRAINING FREEZELESS WALL FAUCET	
P-8	WASHING MACH CONNECTION	OATEY 38751 W/NIBCO #T4 VALVES	
P-9	WATER HEATER	AO SMITH ELEC 40 GAL ELEC WATER HEATER INCLUDE PRE-MFG STAND & DRAIN PAN	(6)
P-10	HUB DRAIN	2" PROSET TRAP GUARD HUB DRAIN W/MADE 2490 FIXED AIR GAP MOUNTED @ TOP OF DRAIN	(7)
P-11	ICE MAKER CONNECTION	OATEY 1.M.O.B. W/ SUPPLY VALVE	(9)
P-12	WATER COOLER	PORTABLE WATER COOLER - PROVIDED THIS CONTRACT	(6)
P-13	MOP SINK	FIAT MSB2424 MOP BASIN, DELTA 28T9 FAUCET, 832-AA HOSE & BRACKET, 884-CC MOP BRACKET	(11)
P-14	FLOOR DRAIN	PROSET T25630-F-P 2. TRAP GAURD FLOOR DRAIN W/ 5" NICKEL BRONZE STRAINER	

REMARKS PLUMBING FIXTURE SCHEDULE

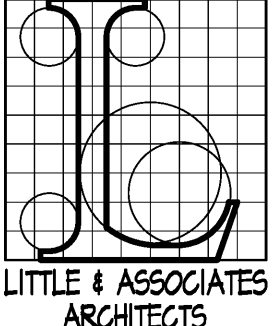
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- FLUSH HANDLE ON TANK TO BE ON OPEN SIDE OF STALL (ENFORCED)
- DO NOT INSTALL TUB UNIT UNTIL WALL HAS BEEN INSULATED & 6"TP BD INSTALLED BEHIND TUB
- PROVIDED & INSTALLED BY PLUMBING CONTRACTOR - SEE APPLIANCE SCHED FOR REF
- PROVIDE PRE-MFG STAND & AUXILIARY DRAIN PAN, H&C CUT OFF VALVES @ WATER HEATER SEE DETAIL 1/M
- HUBB DRAINS @ MECHANICAL UNITS SHALL NOT BE INSTALLED IN RETURN AIR SPACE - EXTEND ABOVE MECH PLATFORM WHERE APPLICABLE
- WATER LINE FROM ICE MAKER OUTLET BOX TO REFRIGERATOR TO BE PROVIDED & INSTALLED THIS CONTRACT
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WATER HEATER DETAIL (TYP - ELEC)  
NTS

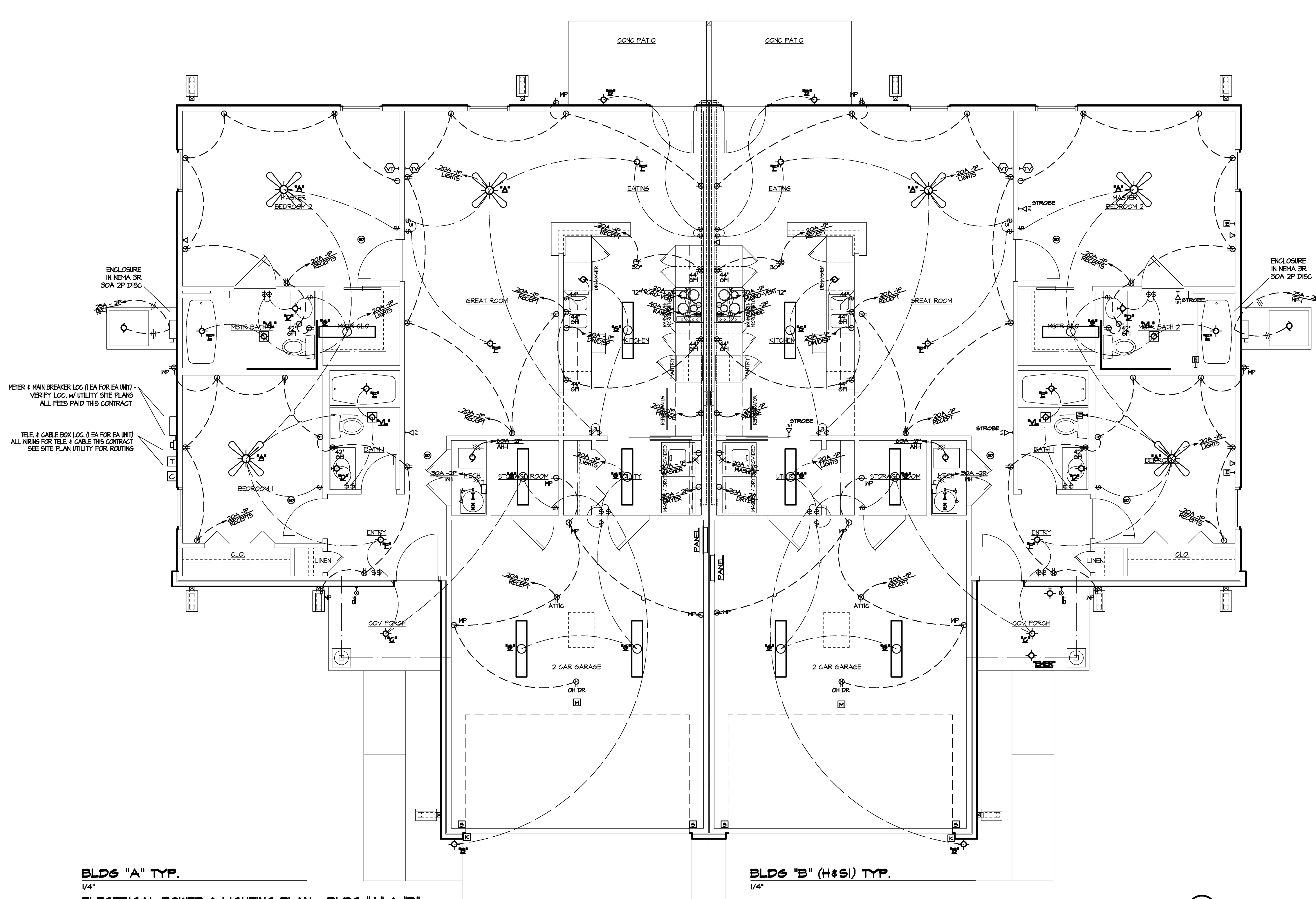
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ELECTRICAL SYMBOL LEGEND			
	DUPLEX RECEPTACLE		PANEL BOARD
	DUPLEX RECEPTACLE - WATER PROOF		DISCONNECT SWITCH
	DUPLEX RECEPTACLE - GROUND FAULT		JUNCTION BOX
	DUPLEX RECEPTACLE - ALL LOCATIONS - NO FEED THRU		MOTOR
	220 V. RECEPTACLE		MOTOR STARTER
	SINGLE POLE SWITCH		TIMER
	CL6 FAN & LIGHTING CONTROL SWITCH		FLOOR BOX
	INTEGRATED CONTROLS, (1) SWITCH PLATE LIGHTING & FAN SPEED		FLUORESCENT LIGHT
	3 WAY SWITCH		FLUORESCENT LIGHT - STRIP
	4 WAY SWITCH		TRACK LIGHT
	VIDEO OUTLET		INCANDESCENT LIGHT - CL6, SURFACE
	COMPUTER OUTLET		INCANDESCENT LIGHT - WALL
	T.V. OUTLET		INCANDESCENT LIGHT - VENT
	TELEPHONE JACK		EMERGENCY LIGHT
	BELL / CHIME TYP UNIT		EXIT LIGHT
	BELL / CHIME BROAN 978		INTERCOM MASTER
	STROBE		INTERCOM FASING HORN
	THERMOSTAT		CL6 MOUNTED INTERCOM SPEAKER
	EXHAUST		INTERCOM PUSH TO CALL SWITCH
	SMOKE DETECTOR		MASTER CLOCK
	FIREX #244 w/STROBE		CLOCK OUTLET
	HEARING & SIGHT IMPAIRED UNIT ONLY		EMERGENCY PULL SWITCH LEVITON
			DRILL TOGGLE & INSTALL BRAIDED CORD OR CHAIN & END CAP TO FLOOR, SW ON WHEN PULLED DOWN
			O.H. DOOR KEYPAD/OPENER
			O.H. DOOR OPERATOR
			O.H. DOOR SENSOR

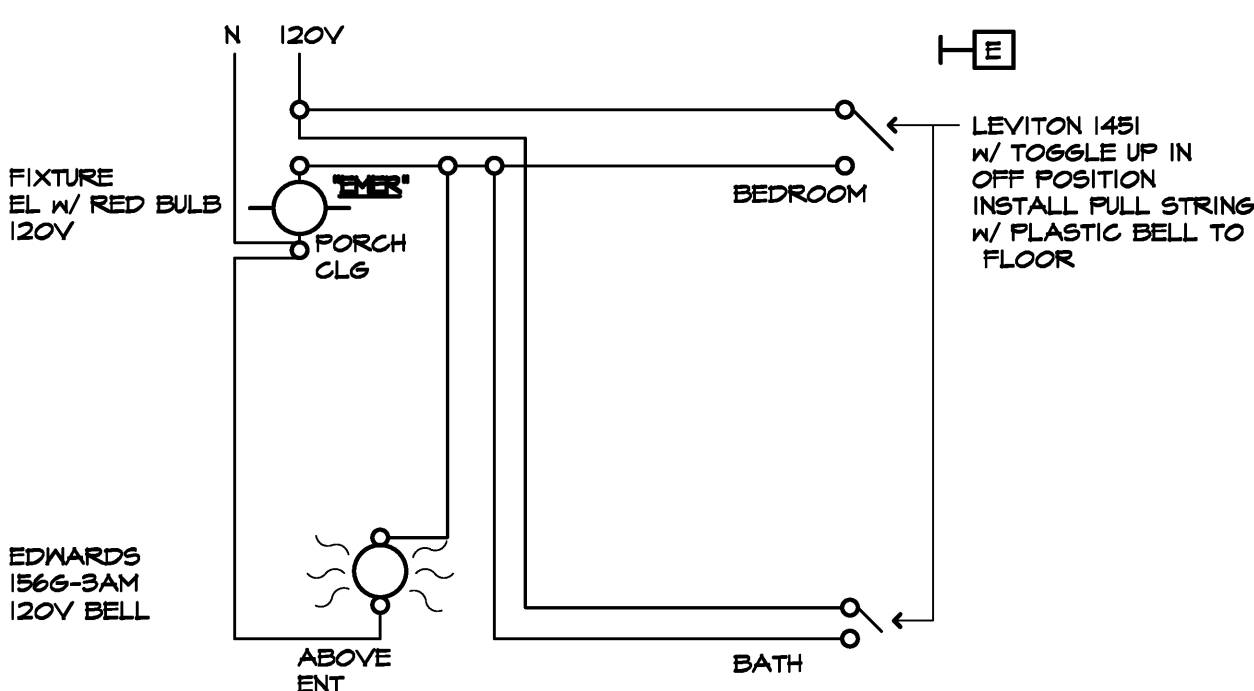
ELECTRICAL FIXTURE SCHEDULE				
MARK	DESCRIPTION	LAMP	MOUNTING	REMARKS
"A"	EMERSON CF1050RB W/ LK 100RB LT KIT	(3) 13W, MED BASE CFL	HUGGER	(2)
"B"	PROGRESS F5062-20 W/ TAIL	(1) 60W A CLEAR	WALL	(2)
"C"	PROGRESS F5124-20 9.25"	(2) 60W A19 CLEAR	FLUSH @ CL6	(2)
"D"	PROGRESS F3015-30	(2) T5W A	WALL	(2), (4)
"E"	6" I.C. RATED RECESSED CAN W/ LENSE	(1) T5W A	RECESSED CL6	NET LOC
"F"	MEADER BROTHERS I07TTTB	(3) 26W CFL	SURFACE	(2)
"G"	CRESCENT NL232BL2A	(2) 32W T8 40"	SURFACE - WRAP	
"VL"	BROAN 610	(1) 100W A	RECESSED	50 CFM
"EL"	PROGRESS 5121-31	(1) 60W A	SURFACE	RED (2)
"X"	DUAL-LITE LT U R W 3 - O W/ SRH SB 0620 REMOTE HEAD	LED, 120V, BAT BUL, 20W HAL REMOTE HEAD	UNIVERSAL	BUILT IN LAMPHEADS REMOTE EXT HEAD
"S1"	PROVIDED BY CM&L VERIFY ROUTING AND LOCATION WITH CM&L			(1), (3)
"S2"	HUBBELL MICO150CH50	(1) T5W MH	CONG FTG	(1), (3), (5)

**REMARKS** ELECTRICAL FIXTURE SCHEDULE

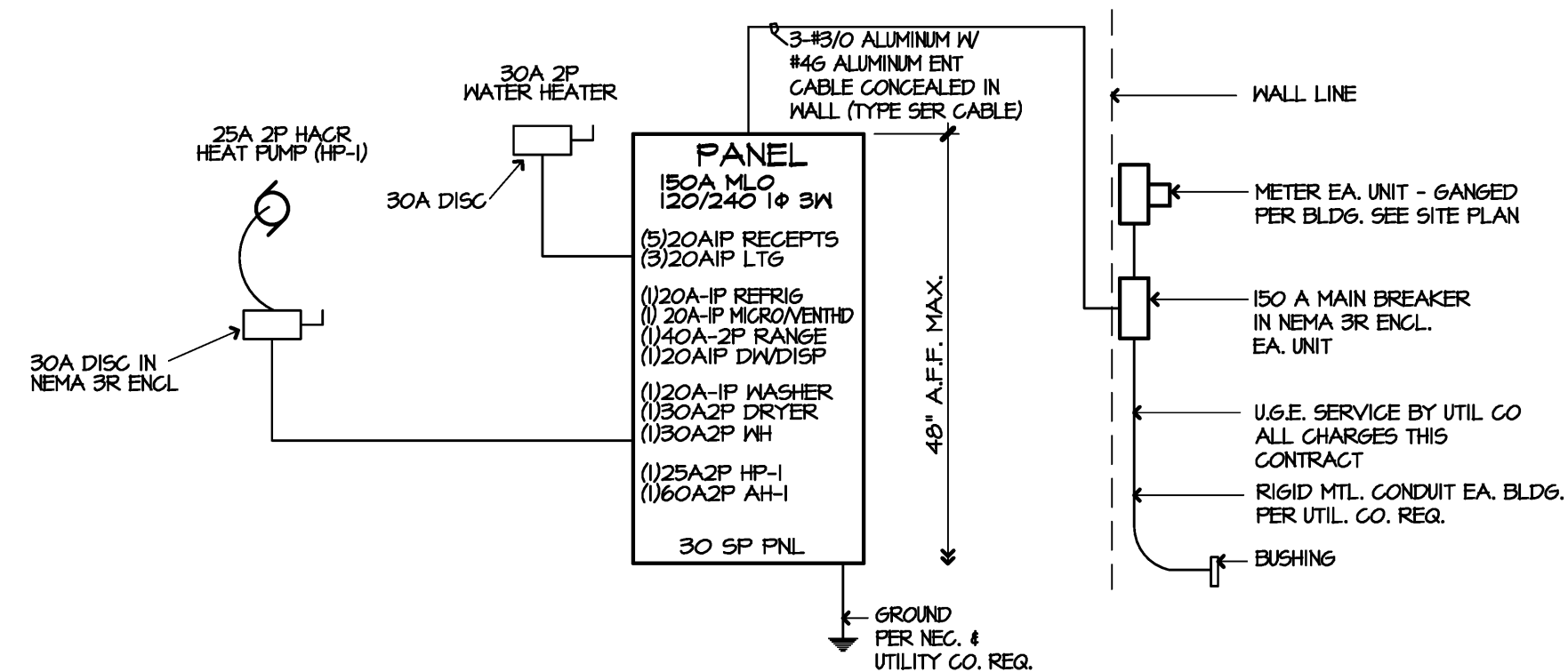
(1) REFER TO SITE PLAN ARCHITECTURAL  
(2) ALL FIXTURES TO BE OIL RUBBED BRONZE FINISH  
(3) MOUNT TO CONG FOOTING PER REQ.  
(4) CENTER VANITY LIGHT ON CENTER OF VANITY - COORDINATE W/ FRAMING. DO NOT INSTALL OFF CENTER  
(5) FIXTURE LOCATED @ PROJECT SIGN - CIRCUIT TO COMMUNITY BLDG

BLDG "A" TYP.  
1/4"  
ELECTRICAL POWER & LIGHTING PLAN - BLDG "A" & "B"

- ELECTRICAL NOTES:**
- MINIMUM WIRE SIZE SHALL BE 12ga COPPER
  - ARC FAULT BREAKERS SHALL BE USED FOR ALL RECEPTACLES, LIGHTING, & SMOKE DETECTORS REQUIRED BY NEC. ALL RECEPTS TAMP PROOF
  - "SD" ALL AREAS EXCEPT KITCHEN, LAUNDRY, AND BATH PER THE NEC 210-12
  - SEE SITE PLAN UTILITY FOR METER / MCB LOCATIONS @ BLDG



SCHEMATIC OF EMERGENCY CALL  
HDCP & H&SI UNITS



POWER RISER DIAGRAM - TYP UNITS  
NTS

ELECTRICAL POWER & LIGHTING PLAN - BLDG "A" & "B" /  
ELECTRICAL POWER RISER DIAGRAM

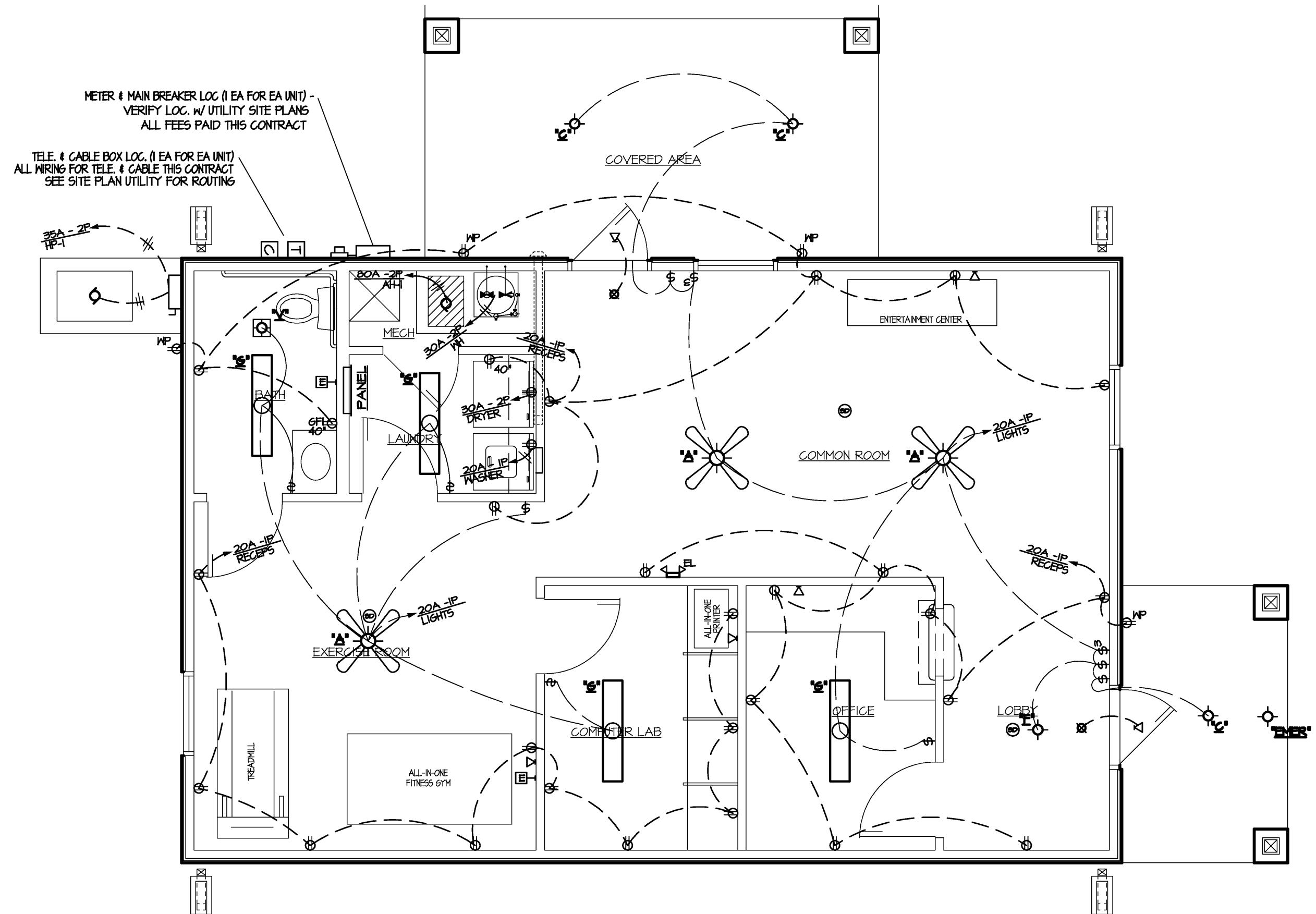
NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401

COMM. NO. 61415  
DATE: 6/20/16  
FILE:

LITTLE & ASSOCIATES  
ARCHITECTS

501 UNION  
JONESBORO, AR  
(870) 930-3813 TEL  
(870) 930-3820 FAX  
littlearch@ecgglobal.net

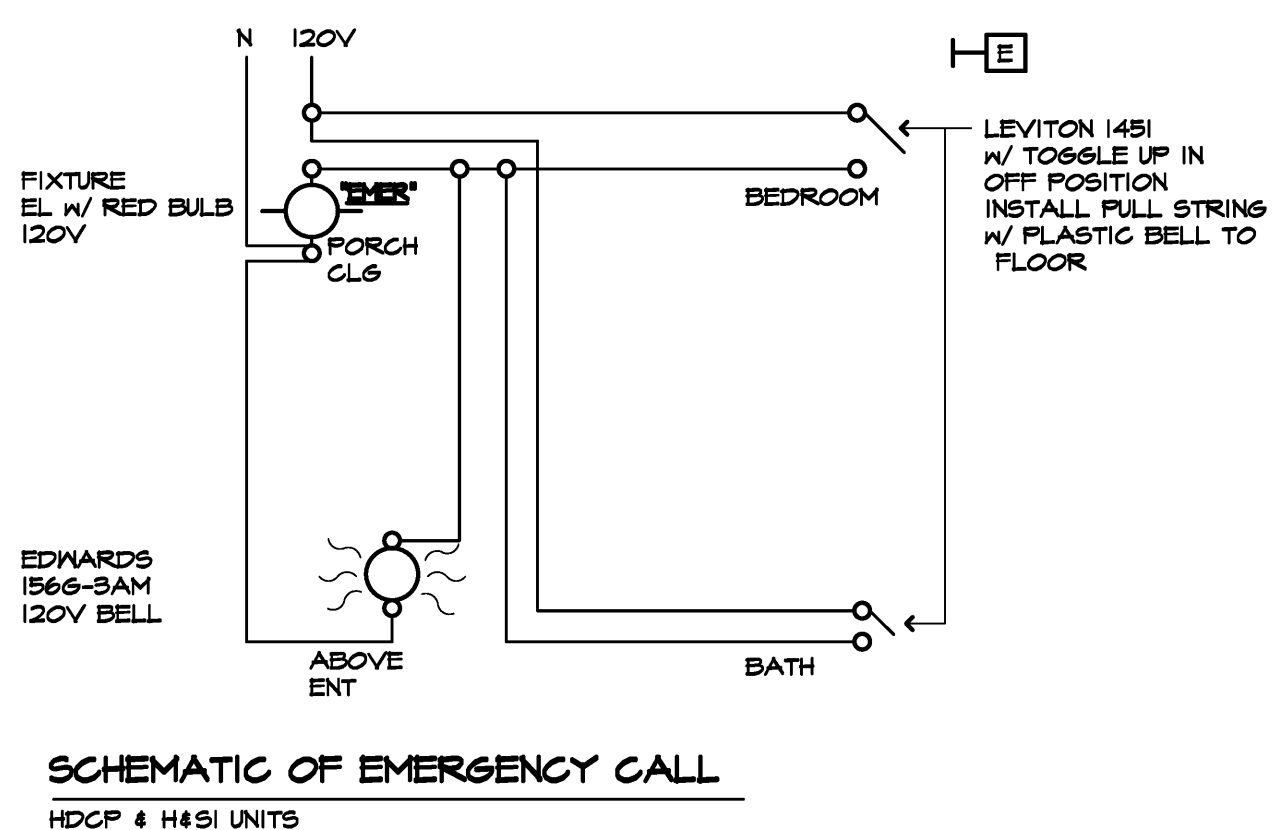
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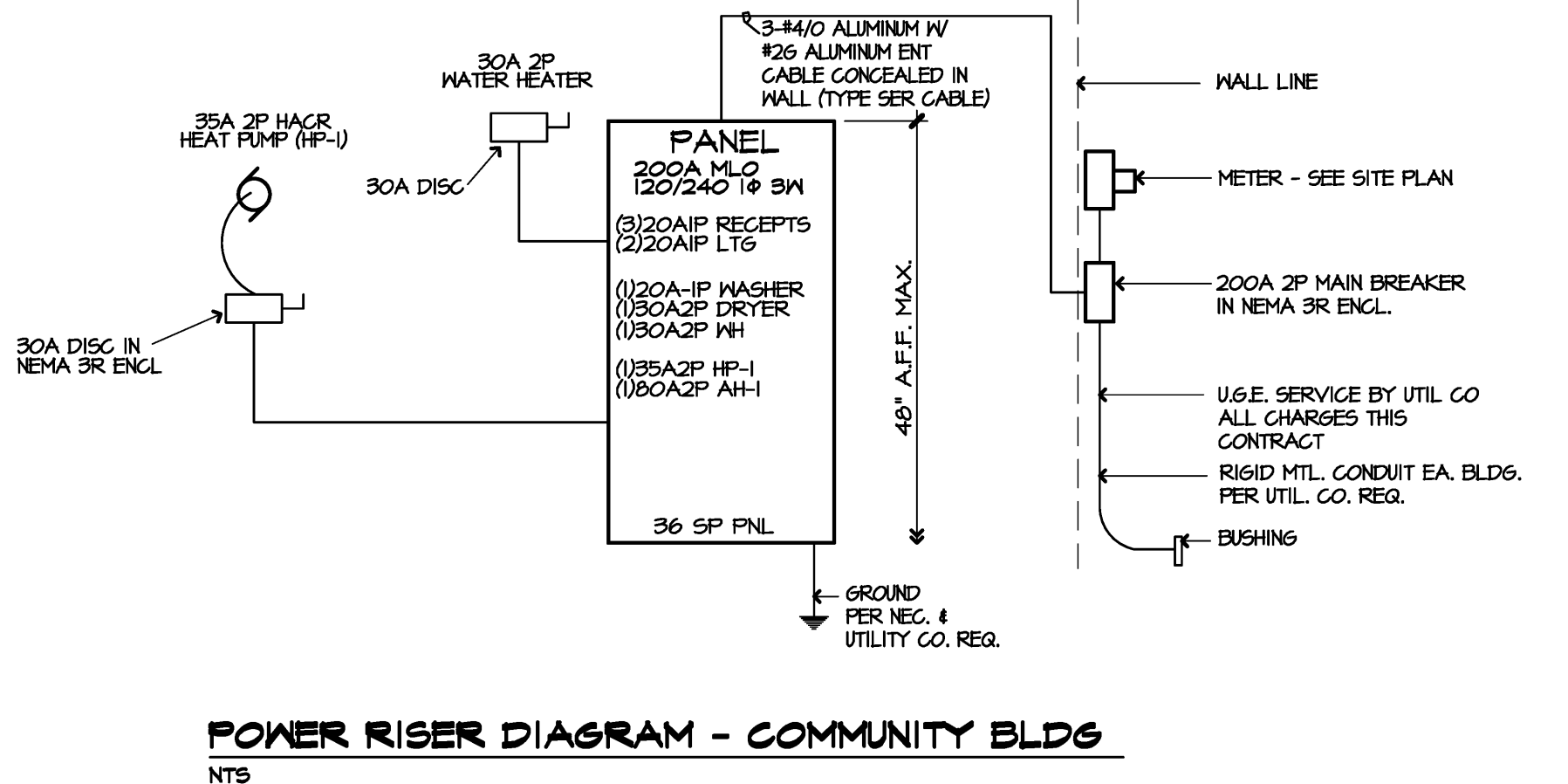
ELECTRICAL POWER & LIGHTING PLAN - BLDG "C"  
1/4"



- ELECTRICAL NOTES:**
1. MINIMUM WIRE SIZE SHALL BE 12ga COPPER
  2. ARC FAULT BREAKERS SHALL BE USED FOR ALL RECEPTACLES, LIGHTING, & SMOKE DETECTORS REQUIRED BY NEC. ALL RECEPTS TAMP PROOF
  3. \*SD\* ALL AREAS EXCEPT KITCHEN, LAUNDRY, AND BATH PER THE NEC 210-12
  4. SEE SITE PLAN UTILITY FOR METER / MCB LOCATIONS @ BLDG



SCHEMATIC OF EMERGENCY CALL  
HDGP & H&SI UNITS



POWER RISER DIAGRAM - COMMUNITY BLDG  
NTS

ELECTRICAL SYMBOL LEGEND			
	DUPLEX RECEPTACLE		PANEL BOARD
	DUPLEX RECEPTACLE - WATER PROOF		DISCONNECT SWITCH
	DUPLEX RECEPTACLE - GROUND FAULT		JUNCTION BOX
	DUPLEX RECEPTACLE - ALL LOCATIONS-NO FEED THRU		MOTOR
	220 V. RECEPTACLE		MOTOR STARTER
	SINGLE POLE SWITCH		TIMER
	CLG FAN & LIGHTING CONTROL SWITCH		FLOOR BOX
	INTEGRATED CONTROLS, (1) SWITCH PLATE LIGHTING & FAN SPEED		FLUORESCENT LIGHT
	3 WAY SWITCH		FLUORESCENT LIGHT - STRIP
	4 WAY SWITCH		TRACK LIGHT
	VIDEO OUTLET		INCANDESCENT LIGHT - CLG. SURFACE
	COMPUTER OUTLET		INCANDESCENT LIGHT - WALL
	T.V. OUTLET		INCANDESCENT LIGHT - VENT
	TELEPHONE JACK		EMERGENCY LIGHT
	BELL / CHIME TYP UNIT		EXIT LIGHT
	BELL / CHIME BROAN 978		INTERCOM MASTER
	ALTRONIX-FUNCTION TIMER MODEL 6062		INTERCOM FASING HORN
	ALTRONIX AL624 POWER SUPPLY, STROBE WHEELOCK NM ST-24-TR TRANS - 120V PRIMARY - 12V OR 24V DC SECONDARY - STROBE IN LIV, BR, & BATH S.I. UNIT ONLY		CLG. MOUNTED INTERCOM SPEAKER
	CHIME PUSH BUTTON BROAN 908		INTERCOM PUSH TO CALL SWITCH
	THERMOSTAT		MASTER CLOCK
	EXHAUST		CLOCK OUTLET
	SMOKE DETECTOR FIREX #244 W/STROBE IN BEDROOM AND KITCHEN & HEARING & SIGHT IMPAIRED UNIT ONLY		EMERGENCY PULL SWITCH LEVITON DRILL TOGGLE & INSTALL BRAIDED CORD OR CHAIN & END CAP TO FLOOR, SW ON WHEN PULLED DOWN

ELECTRICAL FIXTURE SCHEDULE				
MARK	DESCRIPTION	LAMP	MOUNTING	REMARKS
*A*	EMERSON CF1050RB W/ LK 100RB LT KIT	(3) 13W MED BASE CFL	HUGGER	(2)
*B*	PROGRESS F5062-20 W/ TAIL	(1) 60W A CLEAR	WALL	(2)
*C*	PROGRESS F5124-20 9.25"	(2) 60W A19 CLEAR	FLUSH @ CLG	(2)
*D*	PROGRESS F3015-30	(2) T5W A	WALL	(2), (4)
*E*	6" I.C. RATED RECESSED CAN W/ LENSE	(1) T5W A	RECESSED CLG	NET LOC
*F*	MEADER BROTHERS 10TTTB	(3) 26W CFL	SURFACE	(2)
*G*	CRESCENT NL1232BL2A	(2) 32W T8 48"L	SURFACE - WRAP	
*VL*	BROAN 610	(1) 100W A	RECESSED	50 CFM
*EL*	PROGRESS 5121-31	(1) 60W A	SURFACE	RED (2)
*H*	DUAL-LITE LT U R W 3 -O W/ SRH SB 0620 REMOTE HEAD	LED, 120V, BAT BUL, 20W HAL REMOTE HEAD	UNIVERSAL	BUILT IN LAMPHEADS REMOTE EXT HEAD
*SI*	PROVIDED BY CH&L VERIFY ROUTING AND LOCATION WITH CH&L			(1), (3)
*S2*	HUBBELL MICO150CH50	(1) T5W MH	CONG FTG	(1), (3), (5)

**REMARKS**

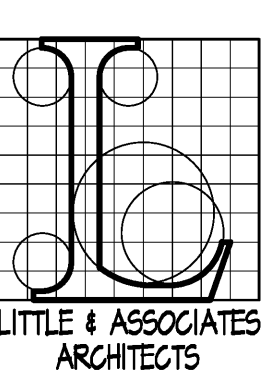
ELECTRICAL FIXTURE SCHEDULE

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ELECTRICAL POWER & LIGHTING PLAN - BLDG "C" /  
ELECTRICAL POWER RISER DIAGRAM

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
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1666 PATRICK STREET  
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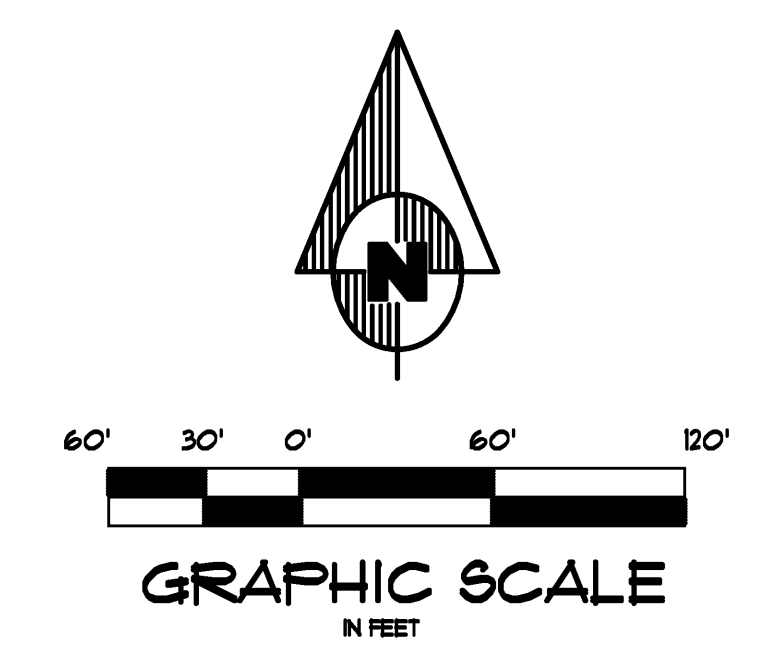
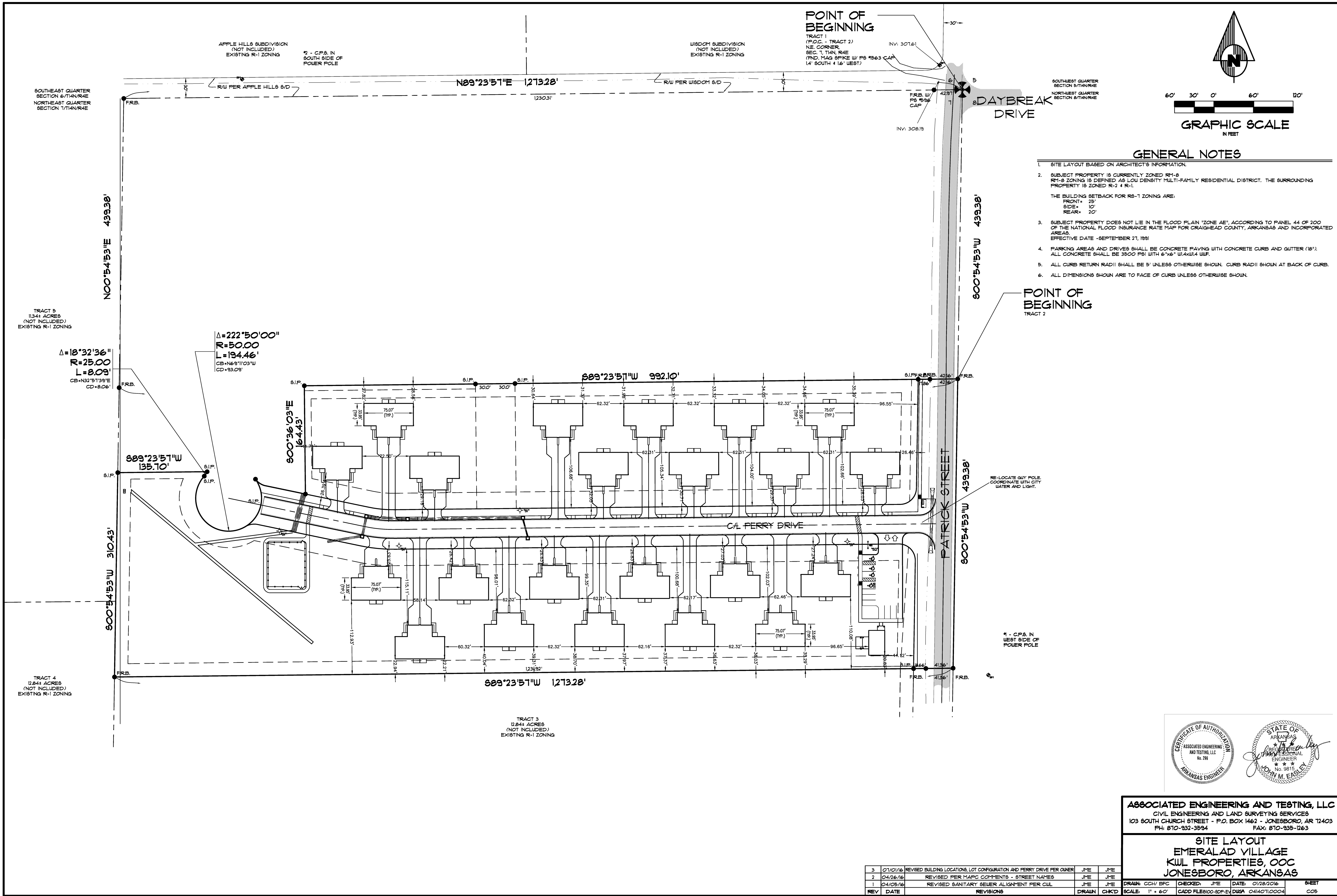
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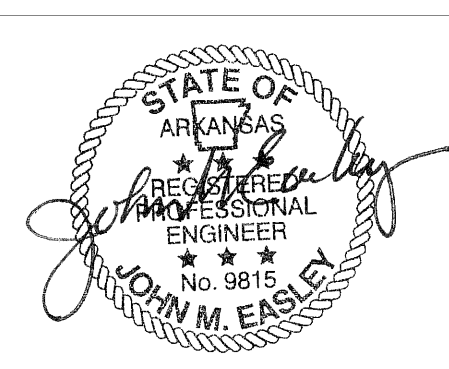
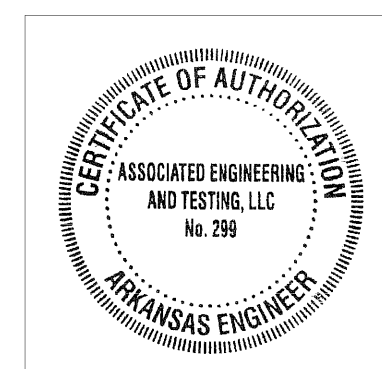


- GENERAL NOTES**
1. SITE LAYOUT BASED ON ARCHITECT'S INFORMATION.
  2. SUBJECT PROPERTY IS CURRENTLY ZONED RM-8. RM-8 ZONING IS DEFINED AS LOW DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT. THE SURROUNDING PROPERTY IS ZONED R-2 & R-1.  
THE BUILDING SETBACK FOR RM-8 ZONING ARE:  
FRONT = 25'  
SIDE = 10'  
REAR = 20'
  3. SUBJECT PROPERTY DOES NOT LIE IN THE FLOOD PLAIN 'ZONE AE' ACCORDING TO PANEL 44 OF 200 OF THE NATIONAL FLOOD INSURANCE RATE MAP FOR CRAIGHEAD COUNTY, ARKANSAS AND INCORPORATED AREAS. EFFECTIVE DATE - SEPTEMBER 21, 1991.
  4. PARKING AREAS AND DRIVES SHALL BE CONCRETE PAVING WITH CONCRETE CURB AND GUTTER (18"). ALL CONCRETE SHALL BE 3500 PSI WITH 6"x6" W/4xW/4 W/F.
  5. ALL CURB RETURN RADII SHALL BE 5' UNLESS OTHERWISE SHOWN. CURB RADII SHOWN AT BACK OF CURB.
  6. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE SHOWN.

POINT OF BEGINNING  
TRACT 2

RE-LOCATE GUY POLE  
COORDINATE WITH CITY  
WATER AND LIGHT.

1" - C.P.S. IN  
WEST SIDE OF  
POWER POLE

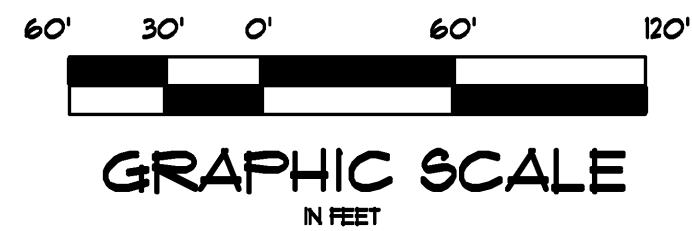
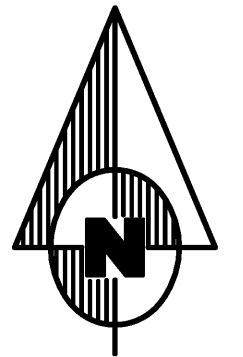


**ASSOCIATED ENGINEERING AND TESTING, LLC**  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3594 FAX: 870-935-1263

**SITE LAYOUT  
EMERALAD VILLAGE  
KWL PROPERTIES, LLC  
JONESBORO, ARKANSAS**

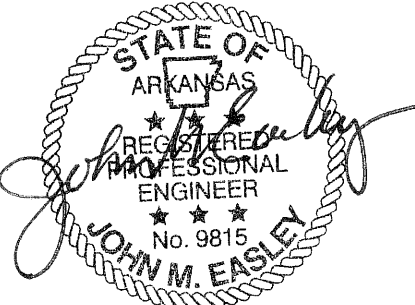
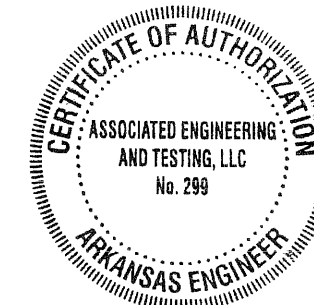
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3	01/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME				
2	04/26/16	REVISED PER MAP COMMENTS - STREET NAMES	JME	JME				
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JME	JME				

DRAWN: CCH/BFC  
SCALE: 1" = 60'  
CHECKED: JME  
CADD FILE: 100-SDP-EV DUGA 04140711.0004  
DATE: 01/28/2016  
SHEET: C05



### GENERAL UTILITY NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- VERTICAL DATUM REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD 88).
- 75 L.F. OF 6" ALUMINUM C-900 PRESSURE CLASS 150/DR18 WATER LINE.
- 841 L.F. OF 8" ASTM D3034 SDR-26 SEWER LINE.  
818 L.F. OF 12" ASTM D3034 SDR-26 SEWER LINE.
- PIPE DISTANCE SHOWN ARE TO CENTER OF STRUCTURES.
- ALL WATER LINES SHALL BE 6" C-900 WITH 42" MIN. COVER. VALVES, CONNECTIONS AND RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA STANDARDS. CITY OF JONESBORO UTILITIES SPECIFICATION AS WELL AS THE CITY OF JONESBORO AND INSTALLED WITH REQUIRED BEDDING AND THRUST BLOCKING.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- EXCAVATE AND VERIFY ALL UTILITY CROSSINGS AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- WHERE SEWER LINES PASS WITHIN 2 FT. VERTICALLY OF WATER LINES, THE SEWER LINE SHALL BE ENCASED IN WATERTIGHT PIPE (SEE PART XIV-A OF ADH RULES AND REGULATIONS PERTAINING TO EUS).
- WATER LINES AND STORM SEWER CROSSINGS SHALL MAINTAIN 36" MIN. SEPARATION IN ALL DIRECTIONS.
- THE INSTALLER OF THE SANITARY SEWER DISPOSAL SYSTEM MUST BE LICENSED IN THE STATE OF ARKANSAS TO INSTALL LOW PRESSURE PIPE SYSTEMS.
- WATER AND SEWER LINES SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION.
- THE SITE SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF UTILITIES.
- LOCATION OF UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE COSTS OF SUCH PROTECTION IS INCLUDED IN THE BASE BID.
- UNDERGROUND ELECTRIC TO BE INSTALLED WITH PROPOSED WATER LINES ALONG PROPOSED STREETS.

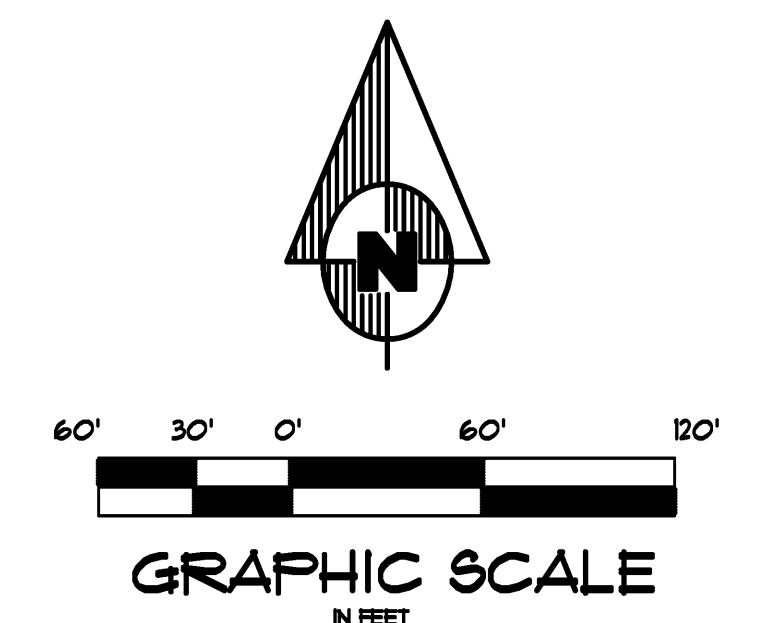
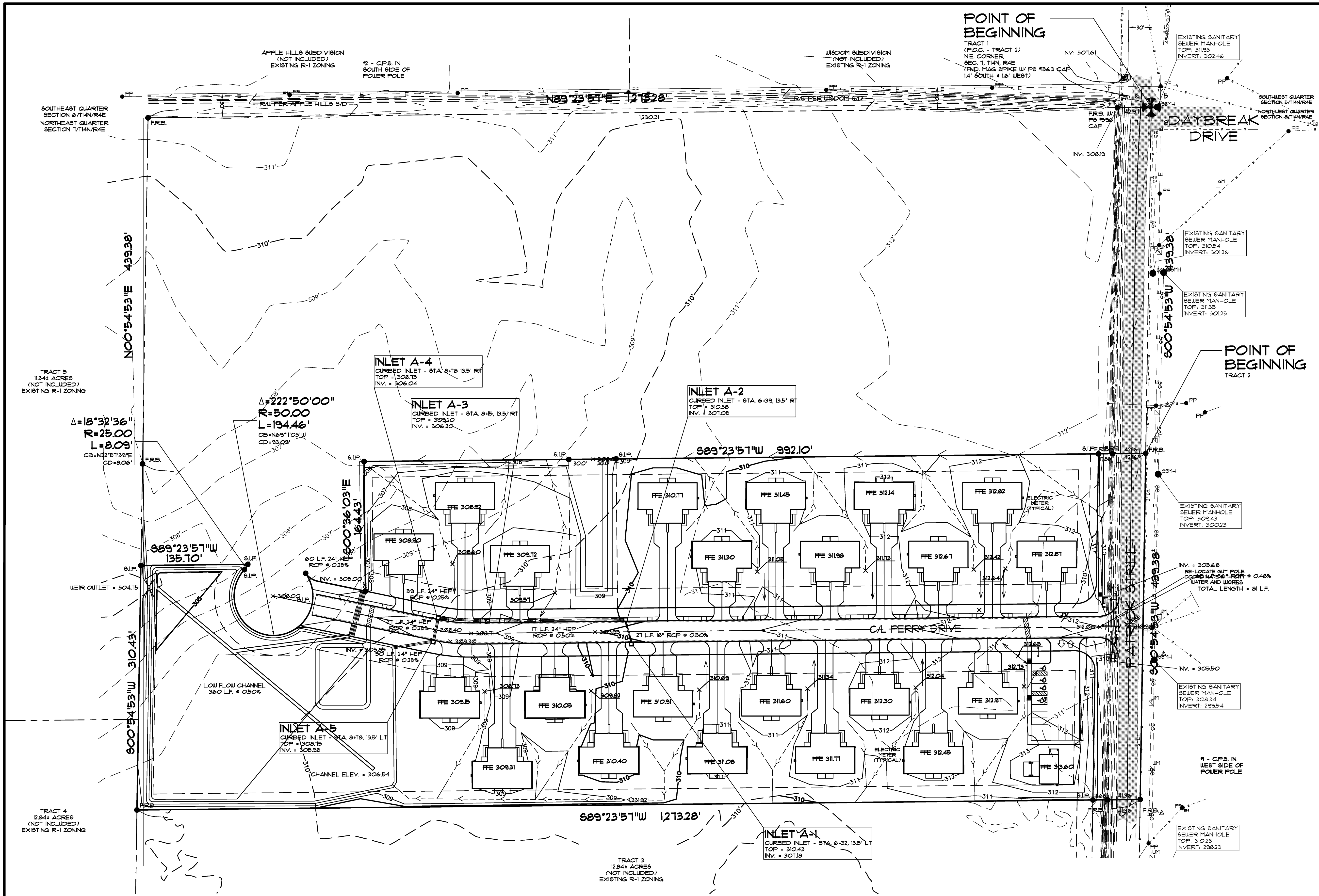


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### SITE UTILITY PLAN EMERALD VILLAGE KUL PROPERTIES, LLC JONESBORO, ARKANSAS

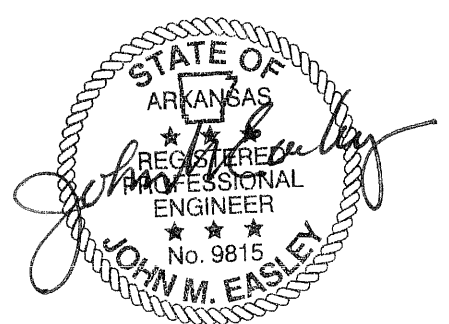
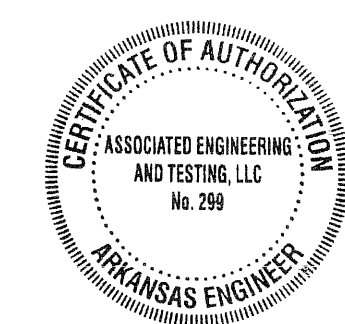
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2	04/26/16	REVISED PER MAPC COMMENTS - STREET NAMES	JME	JME		
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JME	JME		
REV	DATE	REVISIONS	DRAWN	CHECKED	DATE	SHEET
					01/28/2016	C06
					04/10/2016	





ENGINEER'S NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO NAVD 88 DATUM.
- REFER TO SHEET 02 FOR BENCHMARK INFORMATION.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND RECOMMENDATIONS CONCERNING SUB-SURFACE CONDITIONS.
- RUNOFF CALCULATIONS:  
10-YEAR EXISTING RUNOFF: 28.11 CFS  
10-YEAR DEVELOPED RUNOFF: 26.35 CFS  
100-YEAR EXISTING RUNOFF: 48.95 CFS  
100-YEAR DEVELOPED RUNOFF: 48.14 CFS  
DETENTION BASIN LOCATED AT SOUTHWEST CORNER OF PROJECT  
BOTTOM: 304.15  
TOP: 308.50  
OUTLET STRUCTURE: BROAD CRESTED WEIR, 140" x 304.15  
OUTLET STRUCTURE: BROAD CRESTED WEIR, 3' x 301.00  
REFER TO DRAINAGE REPORT FOR ADDITIONAL INFORMATION REGARDING DETENTION.
- PIPE SHALL BE R.C.P. FOR ALL ROAD CROSSINGS. ULTRA FLO STORY PIPES MAY BE USED IN OTHER APPLICATIONS WITH ENGINEER'S APPROVAL.
- THROUGHOUT ALL EXCAVATION ACTIVITIES, POSITIVE DRAINAGE SHALL BE MAINTAINED WITHIN MINIMUM SLOPES OF 0.50% OR GREATER AND SURFACE DRAINAGE GENERALLY IN THE DIRECTION PROVIDED BY EXISTING TOPOGRAPHY.
- WORK SHALL PROGRESS IN SUCH A MANNER AS TO ALLOW EXISTING VEGETATION TO REMAIN AS LONG AS POSSIBLE, CONSISTENT WITH THE SCOPE OF WORK.
- ALL SPOT ELEVATIONS ARE EDGE OF ASPHALT, UNLESS OTHERWISE NOTED.
- DUST SHALL BE KEPT AT TOLERABLE LIMITS.
- ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS.
- ALL SIDEWALKS HAVE A SLOPE OF LESS THAN 5.0%. ALL SIDEWALKS HAVE A CROSS SLOPE OF 2.0% OR LESS.



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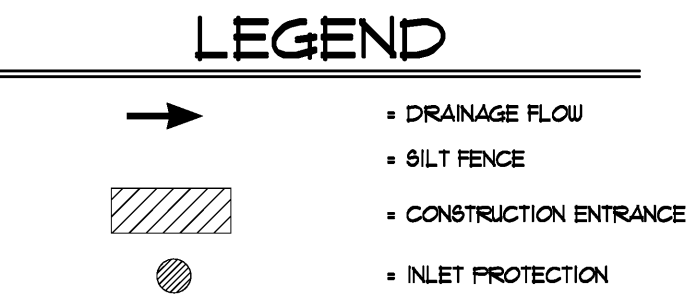
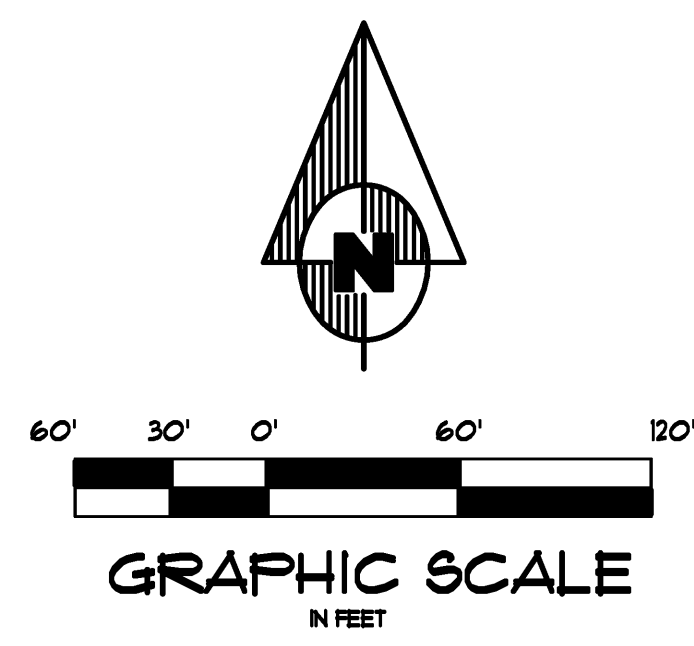
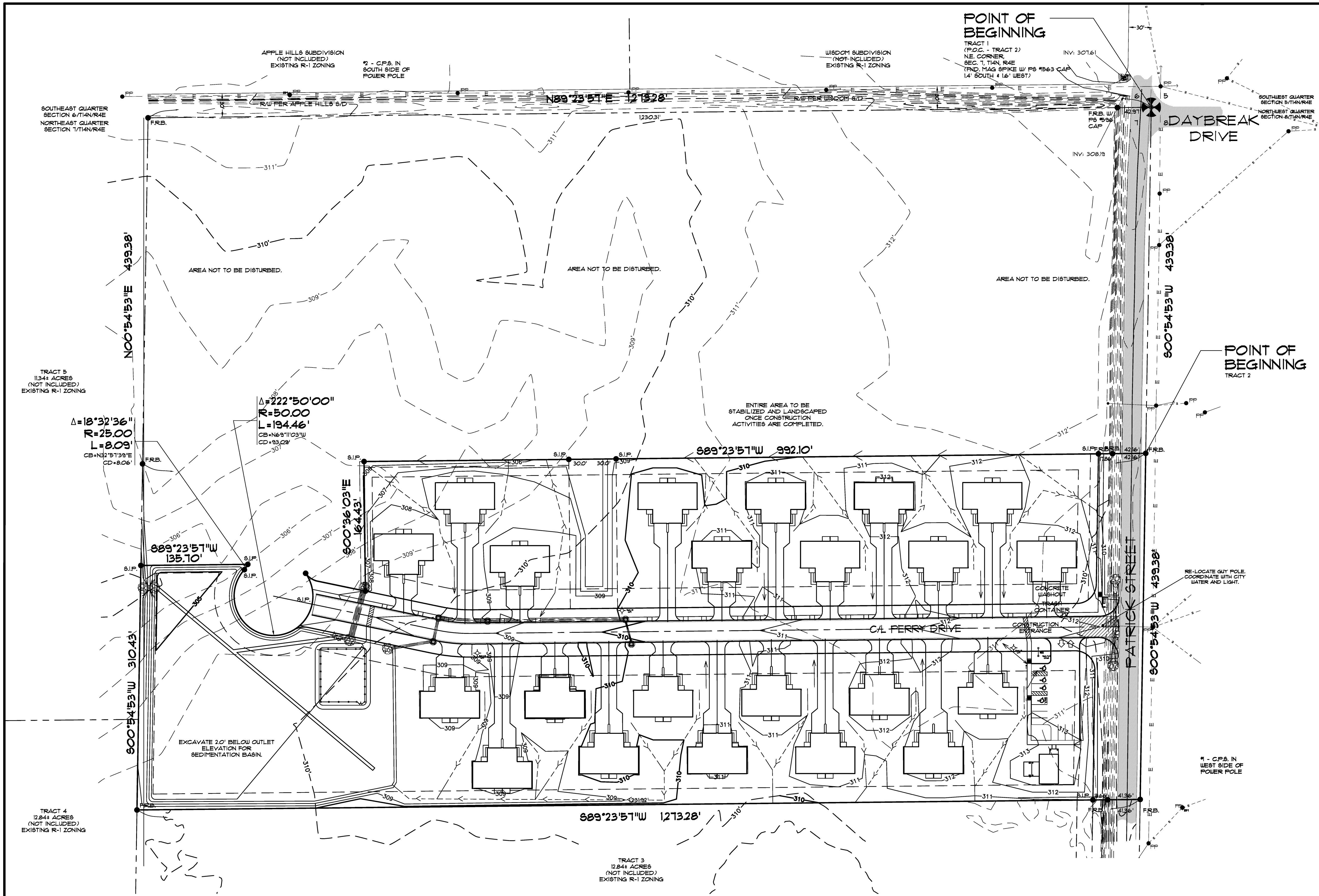
SITE DRAINAGE PLAN  
EMERALD VILLAGE  
KUL PROPERTIES, LLC  
JONESBORO, ARKANSAS

3	01/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME		
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REV	DATE	REVISIONS	DRAIN	CHK'D	CHECKED	DATE

DRAIN	CHK'D	CHECKED	DATE	SHEET

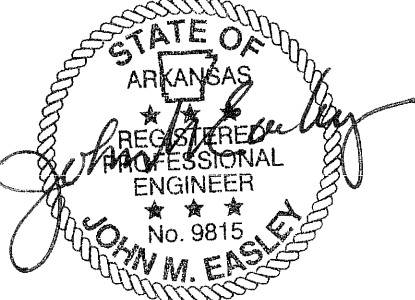
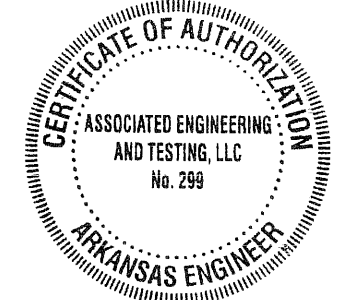
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**EROSION CONTROL MEASURES**

1. THE PURPOSE OF THIS PLAN IS TO ESTABLISH MINIMUM EROSION CONTROL MEASURES. THIS PLAN IS NOT INTENDED TO COVER ALL MEASURES, BUT TO SUPPLEMENT, EXPAND OR IMPLEMENT THE REQUIREMENTS OF THE STATE OF ARKANSAS NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT).
2. SILT FENCING SHALL BE PLACED ALONG THE LIMITS OF CONSTRUCTION AND AROUND EACH DRAINAGE STRUCTURE PRIOR TO CONSTRUCTION.
3. GRAVEL CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT PROPOSED DRIVEWAY LOCATIONS TO PREVENT TRANSPORT OF SEDIMENT OFF SITE. WHEEL WASH FACILITIES MAY BE REQUIRED.
4. THE OWNER SHALL BE RESPONSIBLE FOR INSTALLING ALL EROSION CONTROL MEASURES AND FACILITIES IN GOOD WORKING CONDITION THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ANY FAILURES IN THE MEASURES MUST BE IMMEDIATELY REPAIRED. EROSION CONTROL MEASURES AND FACILITIES SHALL BE FREQUENTLY INSPECTED FOR COMPLIANCE. FAILURE TO INSTALL OR MAINTAIN THESE FACILITIES MAY RESULT IN DENIAL OF BUILDING INSPECTIONS UNTIL ALL PROBLEMS ARE CORRECTED. CONTRACTORS SHALL BE HELD ACCOUNTABLE FOR CONSTRUCTION VEHICLES TRACKING DIRT AND MUD ONTO PUBLIC STREETS. CONTRACTORS SHALL PUT INTO PLACE APPROPRIATE FACILITIES TO CLEAN VEHICLES BEFORE THEY ENTER STREETS. THE CONTRACTOR SHALL FREQUENTLY SWEEP THE ACCESS STREETS.
5. THE OWNER SHALL BE RESPONSIBLE FOR SUBMITTING A NOTICE OF INTENT WITH THE ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ).
6. DUST SHALL BE KEPT TO A MINIMUM. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED LIQUIDS FOR DUST SUPPRESSION ARE PROHIBITED.
7. ALL WORK ON THIS SITE PERTAINING TO EXCAVATION AND DRAINAGE SHALL BE IN ACCORDANCE WITH THIS PLAN AND THE APPLICABLE PROVISIONS OF THE CITY OF JONESBORO STORM WATER MANAGEMENT REGULATIONS.
8. ADDITIONAL CONTROLS MAY BE REQUIRED BY THE CITY OF JONESBORO AND ADEQ DURING CONSTRUCTION. GUIDELINES ESTABLISHED BY THE SOIL CONSERVATION SERVICE MAY BE REQUIRED FOR SEEDING OPERATIONS IF DETERMINED NECESSARY.



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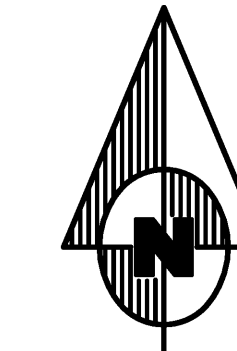
**SITE EROSION CONTROL**  
**EMERALD VILLAGE**  
**KUL PROPERTIES, LLC**  
**JONESBORO, ARKANSAS**

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REV	DATE	REVISIONS	DRAWN	CHK'D	SCALE: 1" = 60'	CADD FILE: 100-30P-EV DUGA 04140711.0004	SHEET	C08

ACT 5  
ACRES  
(CLUDED)  
R-1 ZONING

$\Delta=18^{\circ}32'36''$   
 $R=25.00$   
 $L=8.09'$   
CB=N32°51'39"E  
CD=8.06'

$\Delta=222^{\circ}50'00''$   
 $R=50.00$   
 $L=194.46'$   
CB=N63°11'03"W  
CD=93.03'



BEARING BASIS  
(STATE PLANE COORDINATES - ARKANSAS NORTH ZONE)  
50' 25' 0' 50' 100'  
GRAPHIC SCALE  
IN FEET

EXISTING 8" S.I.  
SEWER MANHO  
TOP: 308.43  
INVERT: 300.23

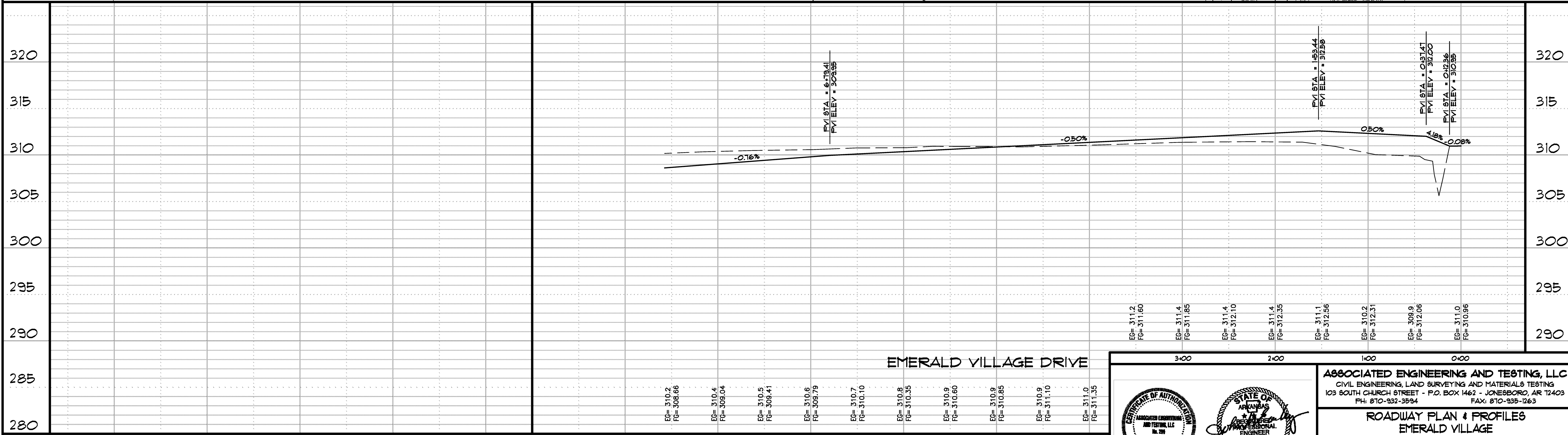
RE-LOCATE GUY POLE  
COORDINATE WITH CITY  
WATER AND LIGHT.

EXISTING SANITARY  
SEWER MANHOLE  
TOP: 308.34  
INVERT: 299.54

1" - C.P.S. IN  
WEST SIDE OF  
POWER POLE

EXISTING SANITARY  
SEWER MANHOLE  
TOP: 310.23

ACT 4  
ACRES  
(CLUDED)  
R-1 ZONING



50' 25' 0' 50' 100'  
GRAPHIC SCALE  
IN FEET

ENGINEER'S NOTES

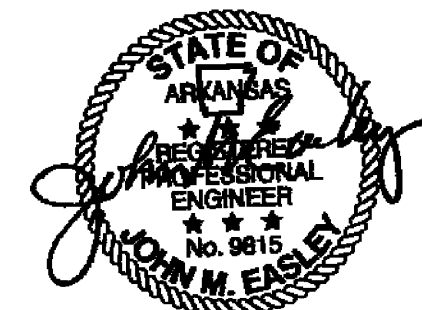
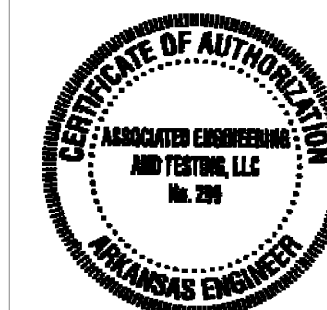
1. FOR BENCHMARK LOCATION AND ELEVATION PLEASE REFER  
TO BENCHMARK LISTINGS ON SHEET 2 OF THESE PLANS.

SCALE:

HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=5'

© Copyright 2012 AETLLC

REV	DATE	REVISIONS	DRAWN	CHECKED
3	01/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME
2	04/26/16	REVISE PER MAPC COMMENTS - STREET NAMES	JME	JME
1	04/08/16	REVISE SANITARY SEWER ALIGNMENT PER CUL	JME	JME



ASSOCIATED ENGINEERING AND TESTING, LLC  
CIVIL ENGINEERING, LAND SURVEYING AND MATERIALS TESTING  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3534 FAX: 870-935-1263

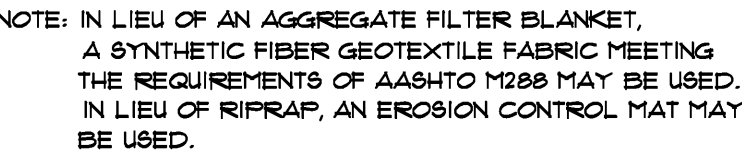
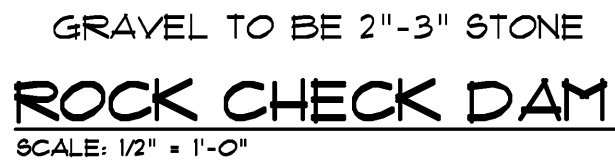
ROADWAY PLAN & PROFILES  
EMERALD VILLAGE  
KWL PROPERTIES, LLC  
JONESBORO, ARKANSAS

DRAWN: CCH	CHECKED: JME	DATE: 01/28/16	SHEET: C09
SCALE: 1"=50'	CADD FILE: B002-S01-EP	DWG# 0516143.00008	

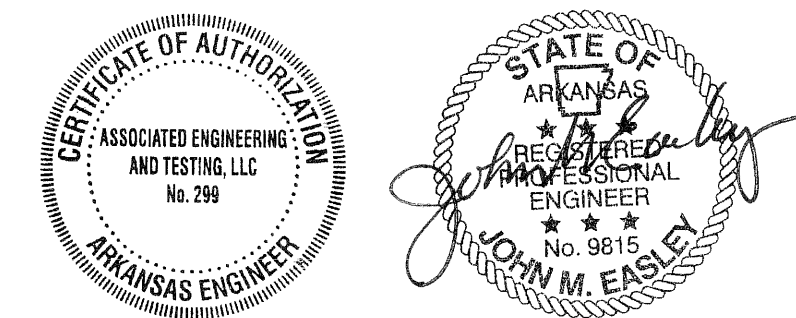








**SECTION - DUMPED RIPRAP**  
TOE EXCAVATION IN SOIL



**ASSOCIATED ENGINEERING AND TESTING, LLC**  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3594 FAX: 870-935-1263

EROSION CONTROL DETAILS  
EMERALD VILLAGE  
KWL PROPERTIES, LLC  
JONESBORO, ARKANSAS

3	07/10/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME	NWE PROFITENKES, LLC JONESBORO, ARKANSAS				
4	04/26/16	REVISED PER MAPC COMMENTS - STREET NAMES	JME	JME					
1	04/09/16	REVISED SANITARY SEWER ALIGNMENT PER CUL.	JME	JME					
REV	DATE	REVISIONS	DRAWN	CHECK'D	DRAWN	JME	CHECKED: JME	DATE: 01/28/16	SHEET
					SCALE: AS SHOWN		CADD FILED: 000-SDP-EV		CIL

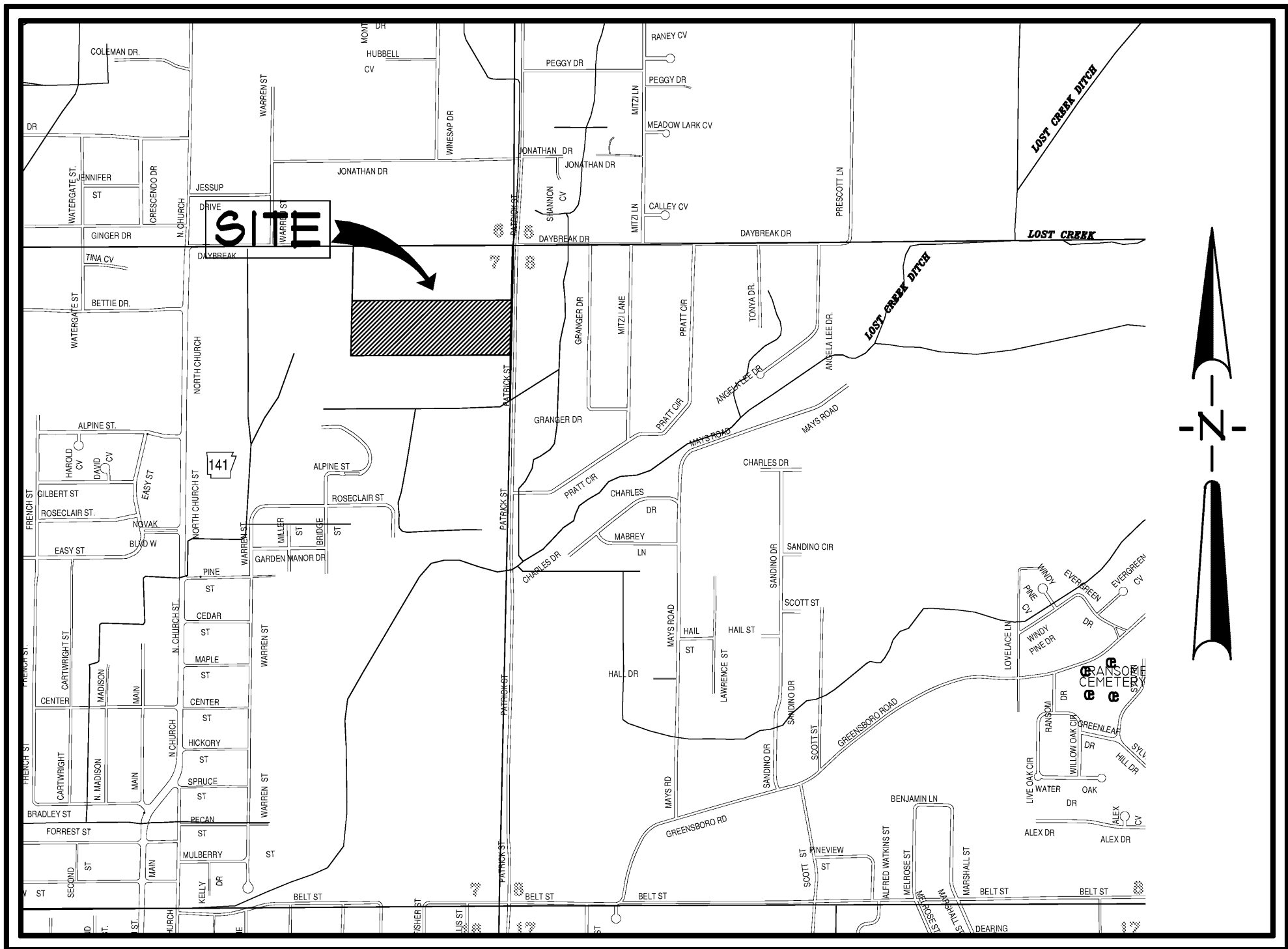
SANITARY SEWER AND WATER DISTRIBUTION PLANS

EMERALD VILLAGE

LYING IN SECTION 7, TOWNSHIP 14 NORTH,  
RANGE 4 EAST, CRAIGHEAD COUNTY,  
JONESBORO, ARKANSAS  
MAY 2016

INDEX TO SHEETS

- CO1 INDEX SHEET
- CO2 SANITARY SEWER AND WATER DISTRIBUTION PLAN
- CO3 SANITARY SEWER PLAN & PROFILE
- CO4 SANITARY SEWER PLAN & PROFILE
- CO5 WATER DISTRIBUTION DETAILS
- CO6 SANITARY SEWER DETAILS

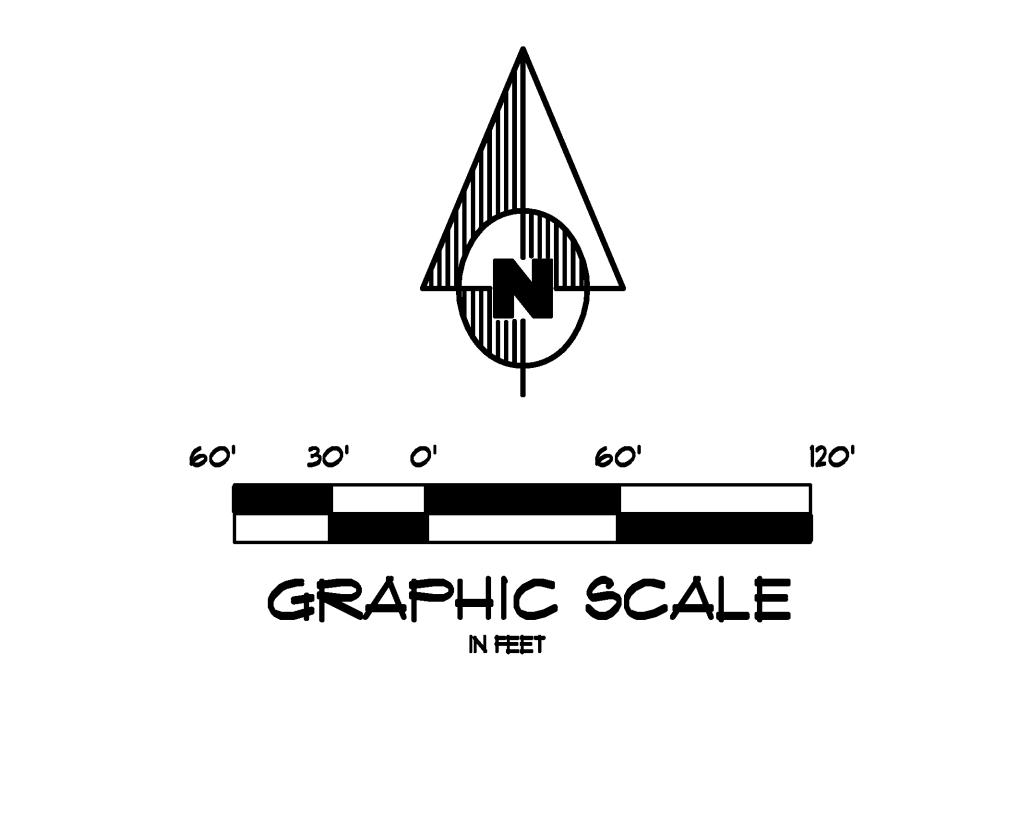
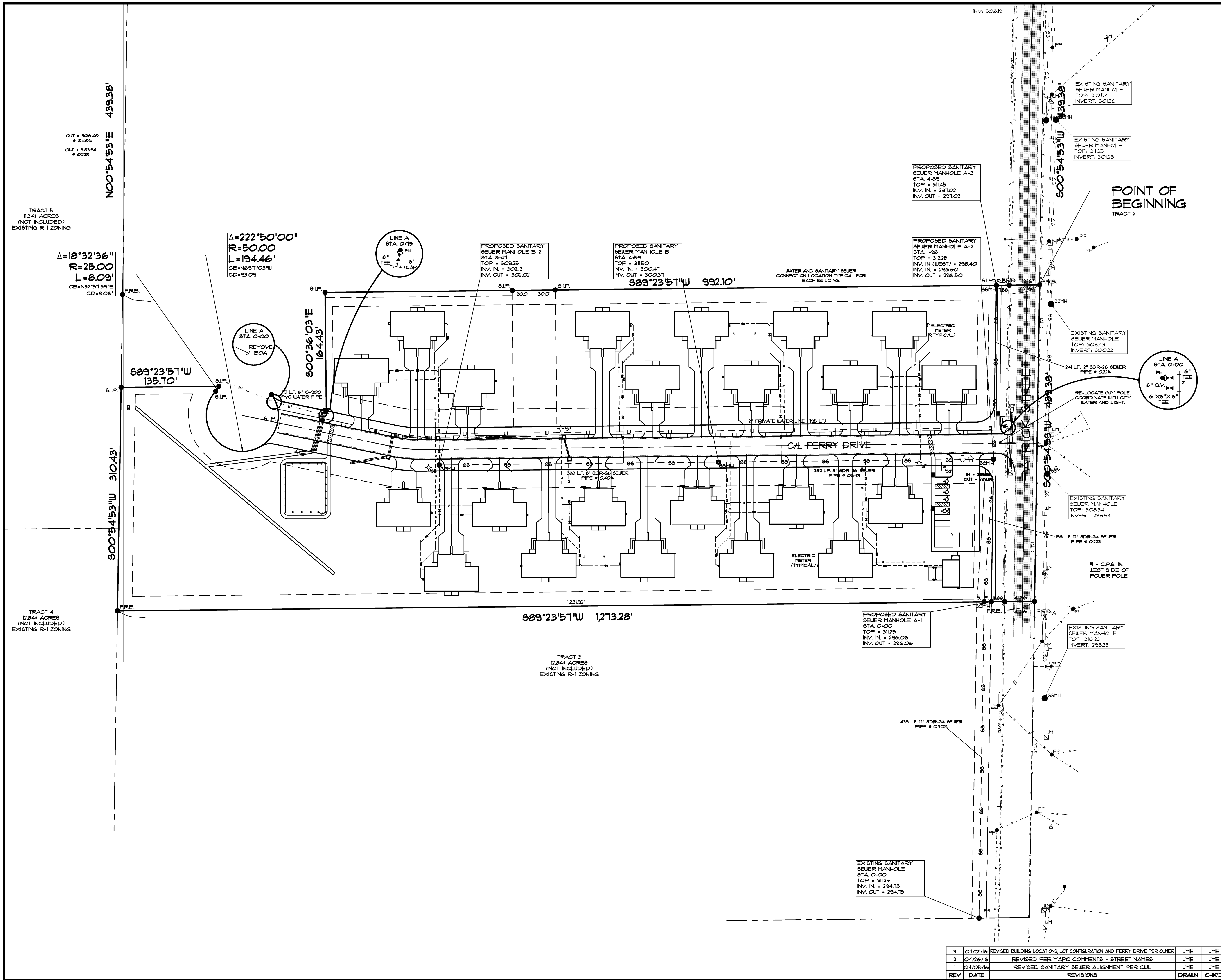


VICINITY MAP  
SCALE: 1" = 1000'

ASSOCIATED ENGINEERING AND TESTING, LLC  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3594 FAX: 870-935-1263

INDEX SHEET  
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EMERALD VILLAGE  
JONESBORO, ARKANSAS

3	07/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME					
2	04/26/16	REVISED PER MAPC COMMENTS - STREET NAMES	JME	JME					
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JME	JME					
REV	DATE	REVISIONS	DRAWN	CHK'D	SCALE: 1" = 1000'	CADD FILE#100-SEP-EV DUGA	DATE: 01/28/16	SHEET	CO1



- ### GENERAL UTILITY NOTES
- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
  - VERTICAL DATUM REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD 88).
  - 75 LF OF 6" ALUMINA C-900 PRESSURE CLASS 150/DR18 WATER LINE.
  - 841 LF OF 8" ASTM D3034 SDR-26 SEWER LINE.
  - 818 LF OF 12" ASTM D3034 SDR-26 SEWER LINE.
  - PIPE DISTANCE SHOWN ARE TO CENTER OF STRUCTURES.
  - ALL WATER LINES SHALL BE 6" C-900 WITH 42" MIN. COVER. VALVES, CONNECTIONS AND RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA STANDARDS, CITY OF JONESBORO UTILITIES SPECIFICATION AS WELL AS THE CITY OF JONESBORO AND INSTALLED WITH REQUIRED BEDDING AND THRUST BLOCKING.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL NOTIFY ALL AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
  - EXCAVATE AND VERIFY ALL UTILITY CROSSINGS AND INFORM THE OWNER'S REPRESENTATIVE OF ANY CONFLICT OR REQUIRED DEVIATION FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
  - WHERE SEWER LINES PASS WITHIN 2 FT. VERTICALLY OF WATER LINES, THE SEWER LINE SHALL BE ENCASED IN WATERTIGHT PIPE (SEE PART XIX/A OF ADH RULES AND REGULATIONS PERTAINING TO PUB).
  - WATER LINES AND STORM SEWER CROSSINGS SHALL MAINTAIN 36" MIN. SEPARATION IN ALL DIRECTIONS.
  - THE INSTALLER OF THE SANITARY SEWER DISPOSAL SYSTEM MUST BE LICENSED IN THE STATE OF ARKANSAS TO INSTALL LOW PRESSURE PIPE SYSTEMS.
  - WATER AND SEWER LINES SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION.
  - THE SITE SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF UTILITIES.
  - LOCATION OF UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE COSTS OF SUCH PROTECTION IS INCLUDED IN THE BASE BID.
  - UNDERGROUND ELECTRIC TO BE INSTALLED WITH PROPOSED WATERLINES ALONG PROPOSED STREETS.

**ASSOCIATED ENGINEERING AND TESTING, LLC**  
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PH: 870-932-3594 FAX: 870-935-1263

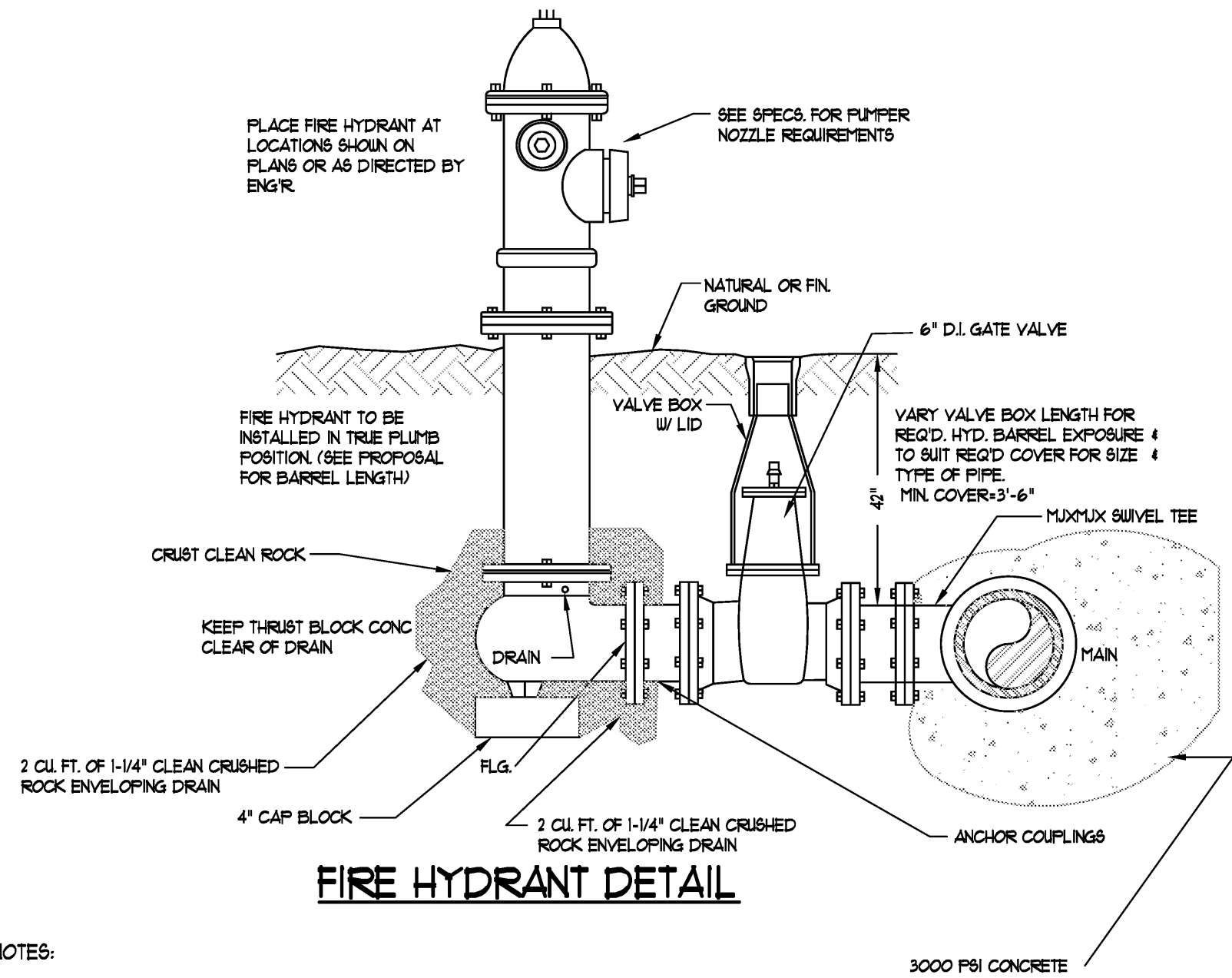
**SANITARY SEWER AND WATER PLAN**  
**EMERALD VILLAGE**  
**KUL PROPERTIES, LLC**  
**JONESBORO, ARKANSAS**

3	01/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME		
2	04/26/16	REVISED PER MAP COMMENTS - STREET NAMES	JME	JME		
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JME	JME		
REV	DATE	REVISIONS	DRAWN	CHECK'D	SCALE: 1" = 60'	SHEET C02

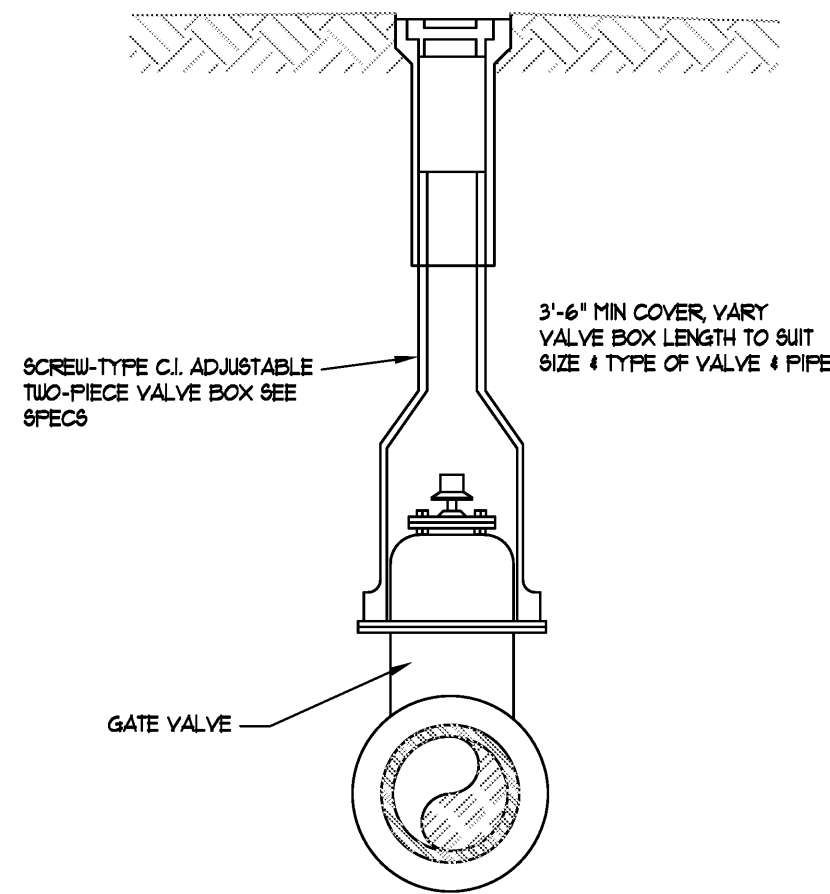




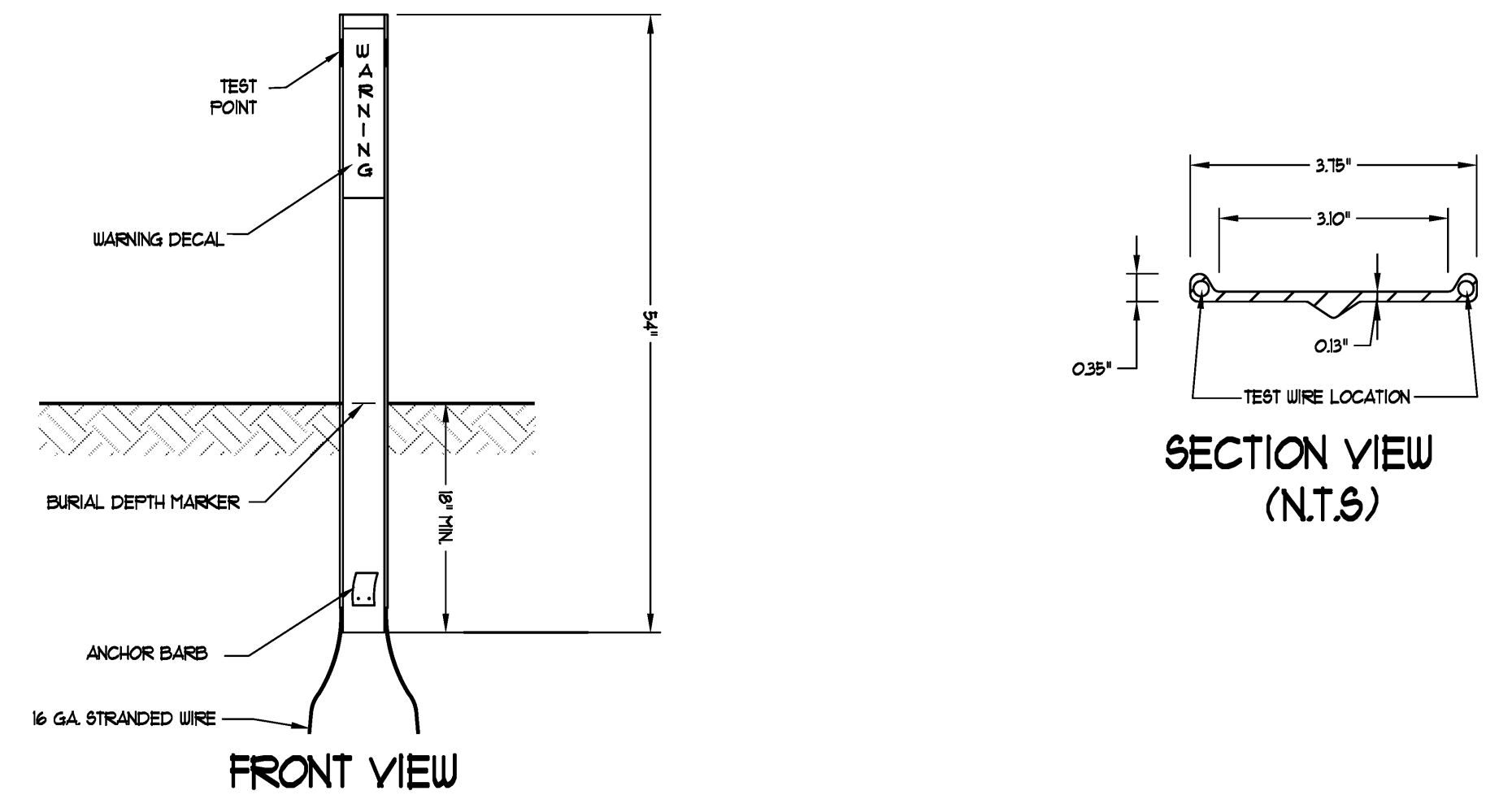




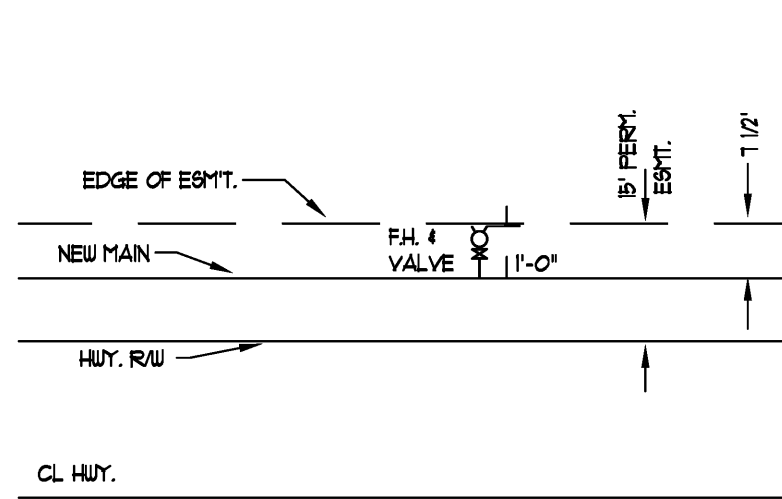
- NOTES:
- (1) PROVIDE TWO (2) MECHANICAL JOINT ANCHORING COUPLINGS (CLOW F-1211M) OR EQUAL) FOR EACH HYDRANT (1-BTUN. HYDRANT & VALVE & 1-BTUN. VALVE AND MAIN).
  - (2) CUL WILL PROVIDE FIRE HYDRANTS, ANCHORING COUPLINGS, VALVES, VALVE BOXES AND TEES WITHIN CITY LIMITS.



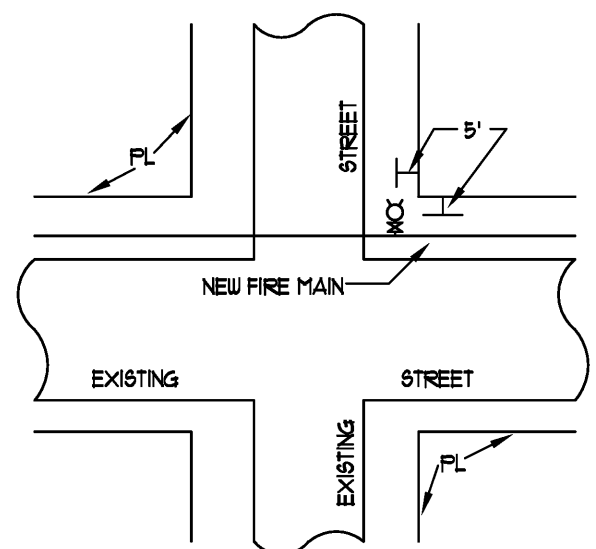
VALVE BOX DETAIL



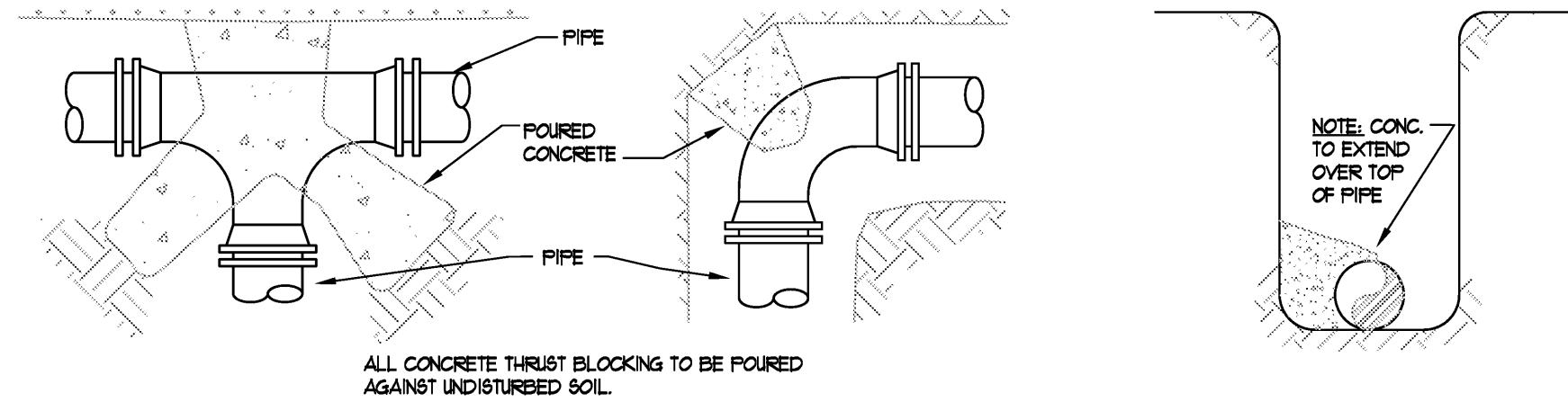
WATER LINE & FORCE MAIN MARKER DETAIL



TYPICAL FIRE HYDRANT  
LOCATION ALONG HWY.  
RIGHT-OF-WAY

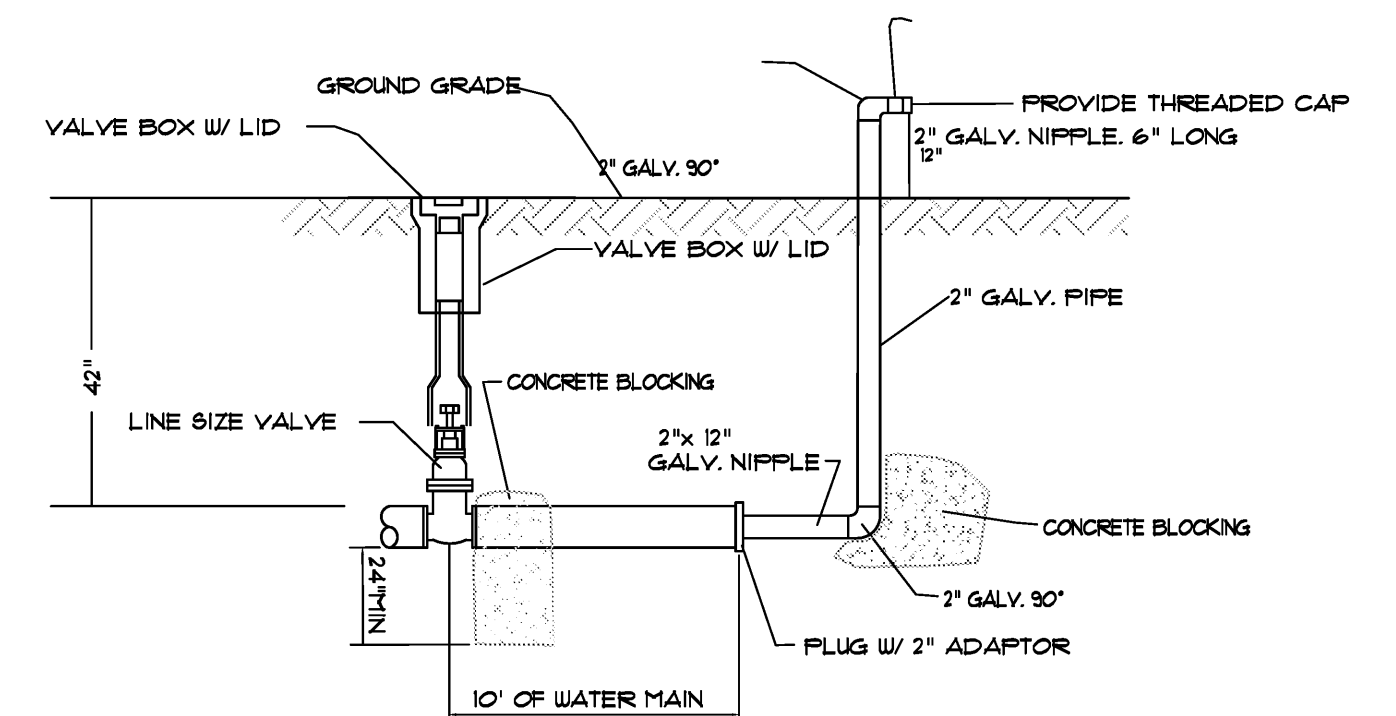


TYPICAL FIRE HYDRANT LOCATION



- NOTES:
1. ALL BLOCKING SHALL BE AGAINST UNDISTURBED HAND DUG SOIL.
  2. WHERE SOIL CONDITIONS MAKE IT NECESSARY TO POUR CONCRETE BLOCKING OVER JOINTS. THE ENDS OF THE ADJACENT PIPES MUST HAVE A BRACE BLOCK TO RESIST MOVEMENT OF THESE JOINTS.
  3. PLUGS SHALL BE COVERED WITH PAPER WHEN BLOCKING TO PREVENT BONDING OF CONCRETE.
  4. WHERE SHEAR IS HIGH PROPER REINFORCING MUST BE INSTALLED INTO THE BLOCKING AS DIRECTED BY ENGINEER.
  5. COVER SHALL BE A MINIMUM OF 3\"/>

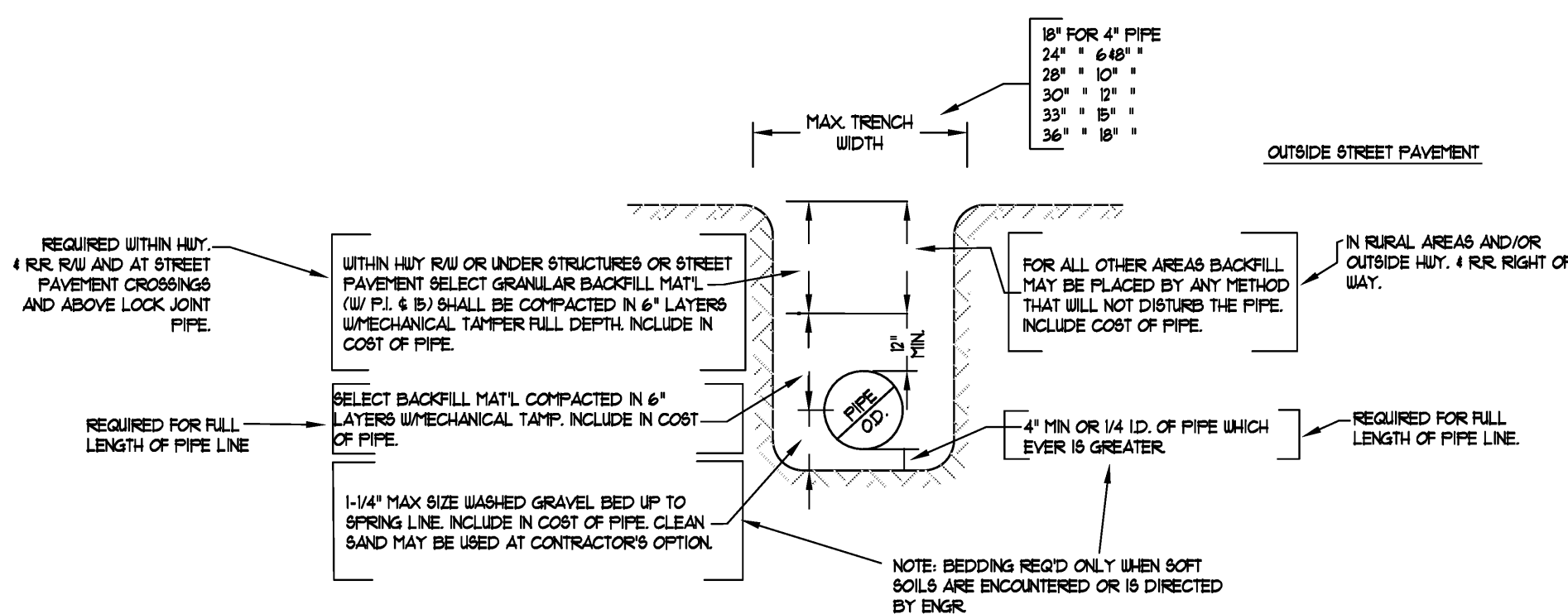
THRUST BLOCK DETAILS



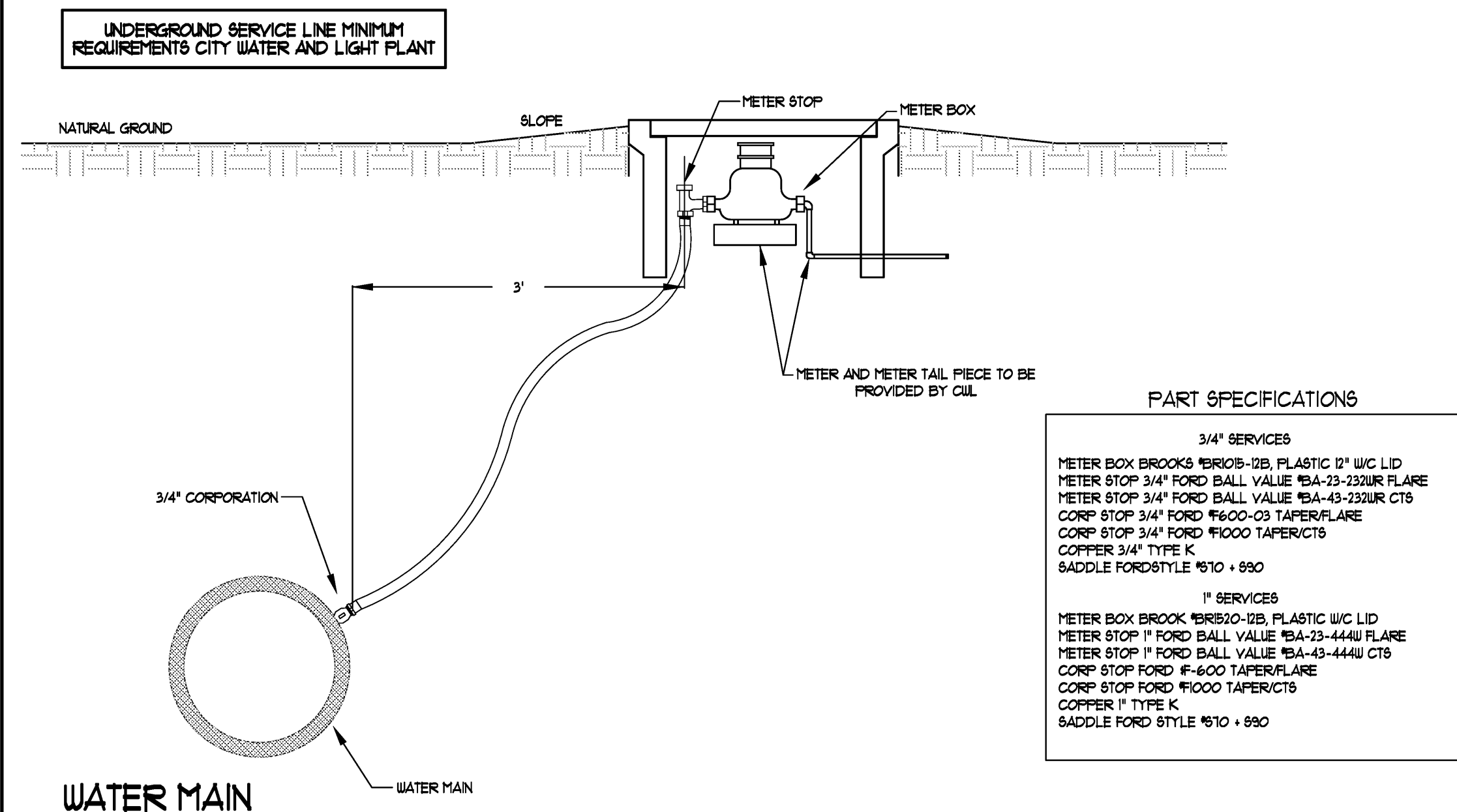
NOTE:  
OTHER BLOW-OFF ASSEMBLIES CAN  
BE USED AS APPROVED BY  
LOCAL UTILITY COMPANY.

2" B.O. ASSEMBLY  
FOR THRU 6" LINES  
WITH FUTURE EXPANSION  
(NOT REQ'D IN COVES OR DEAD END LINES)

BLOW-OFF ASSEMBLY DETAILS



TYPICAL WATER PIPE BEDDING  
AND BACKFILL DETAIL



SERVICE CONNECTION AND METER SETTING

3	01/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME			
2	04/26/16	REVISED PER MAFC COMMENTS - STREET NAMES	JME	JME			
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JME	JME			
REV	DATE	REVISIONS	DRAWN	CHK'D	SCALE: AS SHOWN	CADD FILED/00-SDP-EV	DWG#

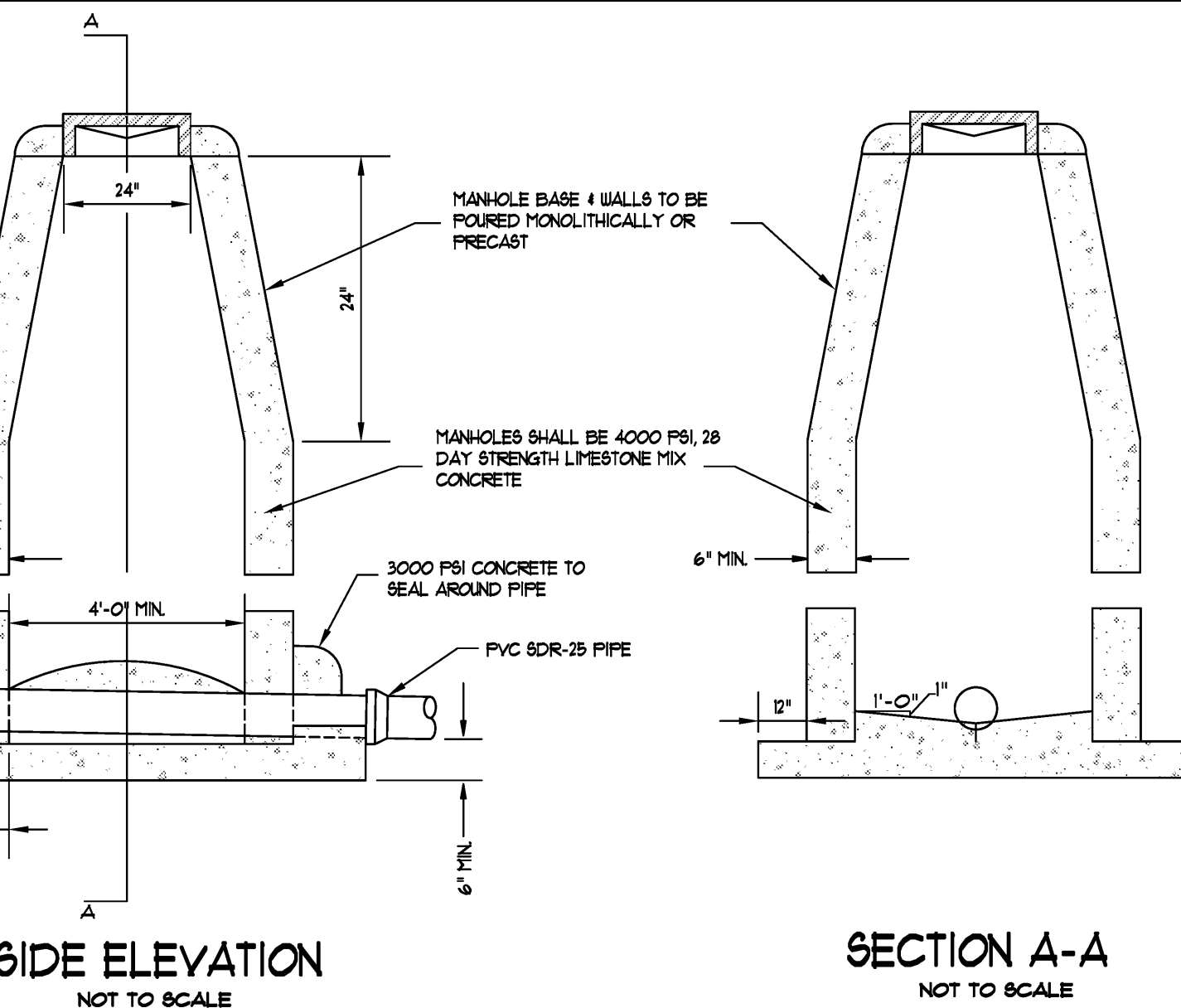
**ASSOCIATED ENGINEERING AND TESTING, LLC**  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3594 FAX: 870-935-1263

**WATER DISTRIBUTION DETAILS**  
**EMERALD VILLAGE**  
**KUL PROPERTIES, LLC**  
**JONESBORO, ARKANSAS**

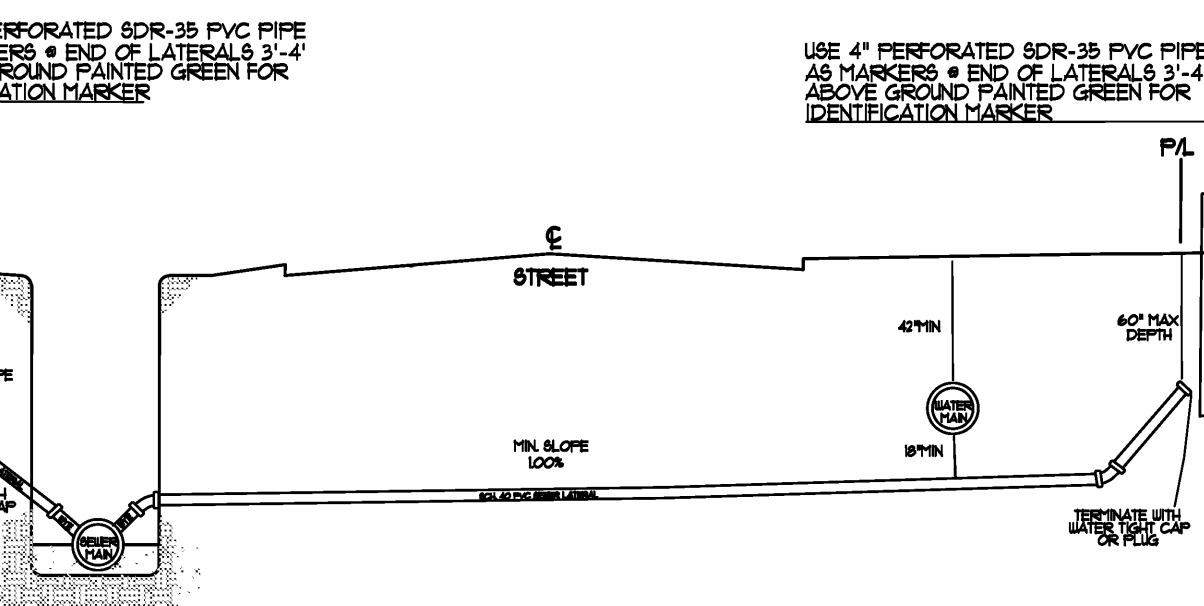
SHEET  
C05



1. MANHOLE BODIES TO BE 4000 PSI, 28 DAY STRENGTH LESTRONE MIX CONCRETE ON UNDESIGNED SUB-GRADE OR ON COMPACTED SELECT FILL MATERIAL AS AUTHORIZED.
2. MANHOLE SIDEWALL MATERIAL TO BE CONCRETE IN ACCORDANCE WITH PROPOSAL FORM REQUIREMENTS.
  - a. 4" I.D. FOR SIZER SIZES 6" THRU 24"
  - b. 5" I.D. FOR SIZER SIZES 36" THRU 30"
  - c. 6" I.D. FOR SIZER SIZES 36" THRU 42"
3. SET MANHOLE TOPS AS FOLLOWS:
  - a. IN STREETS, ROADS, HIGHWAYS, AND OTHER PAVED AREAS: FLUSH WITH FINISHED PAVING GRADE.
  - b. UNDEVELOPED AREAS, SUCH AS FIELDS, WOODS, ETC.: 6" ABOVE GROUND.
  - c. OTHER AREAS: 6" ABOVE GROUND.
4. MAN-HOLE FRAMES SHALL HAVE MIN. OPENING OF 22" DIA.



## STANDARD MANHOLE DETAILS

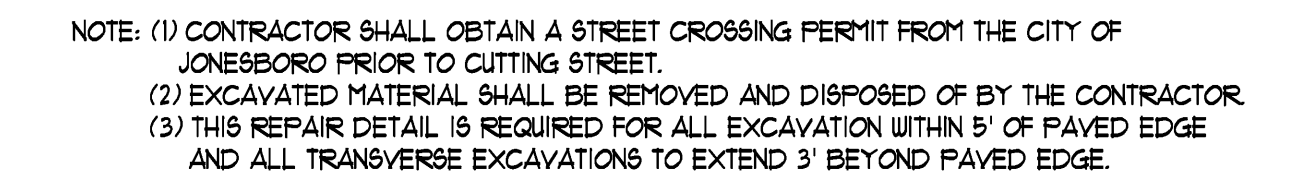
[illegible]

USE SAME CONFIGURATION FOR MANHOLE STUBOUTS

Diagram illustrating the construction of a 42" diameter manhole structure, showing the layers and materials used:

- ROUND FOR SETTLING**: Indicated for the top of the structure.
- 42" (B4" MAX)**: The overall diameter of the structure.
- COMPACT 8" MIN 5B-2 IN PARKING AREAS, TO 3B4 MODIFIED PROCTOR**: The layer immediately above the bedding.
- COMPACT BACKFILL IN PARKING AREAS AND PROPOSED STREET CROSSWALKS TO 5B4 MODIFIED PROCTOR W/ GRANULAR BASE FILL (FILL LESS THAN 15) OR 5B-2 (USE NATIVE SOIL EXCAVATED IN AREAS NOT IN PROPOSED STREET, PARKING AREAS, AND EXISTING STREETS)**: The backfill material surrounding the structure.
- COARSE AGGREGATE BEDDING (3/4" MINUS LESTONE) TO SPRINGLINE OF PIPE**: The bedding layer supporting the pipe.
- 8" DIA**: The diameter of the pipe.
- (PLACE BEDDING TO TOP OF PIPE WHEN EXCAVATION IS 14" DEEP AND/OR IF LARGE ROCK IS IN EXCAVATION)**: Instruction for bedding placement based on excavation depth and rock presence.
- 4"**: The depth of the excavation below the bedding.

NOT TO SCALE



**SANITARY SEWER DISTRIBUTION DETAILS  
EMERALD VILLAGE  
KWL PROPERTIES, LLC  
JONESBORO, ARKANSAS**

3	01/10/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JNTE	JNTE	NWE PROPERTIES, LLC JONESBORO, ARKANSAS						
2	04/26/16	REVISED PER NADPC COMMENTS - STREET NAMES	JNTE	JNTE							
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JNTE	JNTE							
REV	DATE	REVISIONS	DRAWN	CHKD	DRAWN	JNTE	CHGDD	JNTE	DATE	01/28/16	8-SHEET
					SCALE:	A5 3/4"=1'	CADD FILED: 02-20-16	DWSA			C06

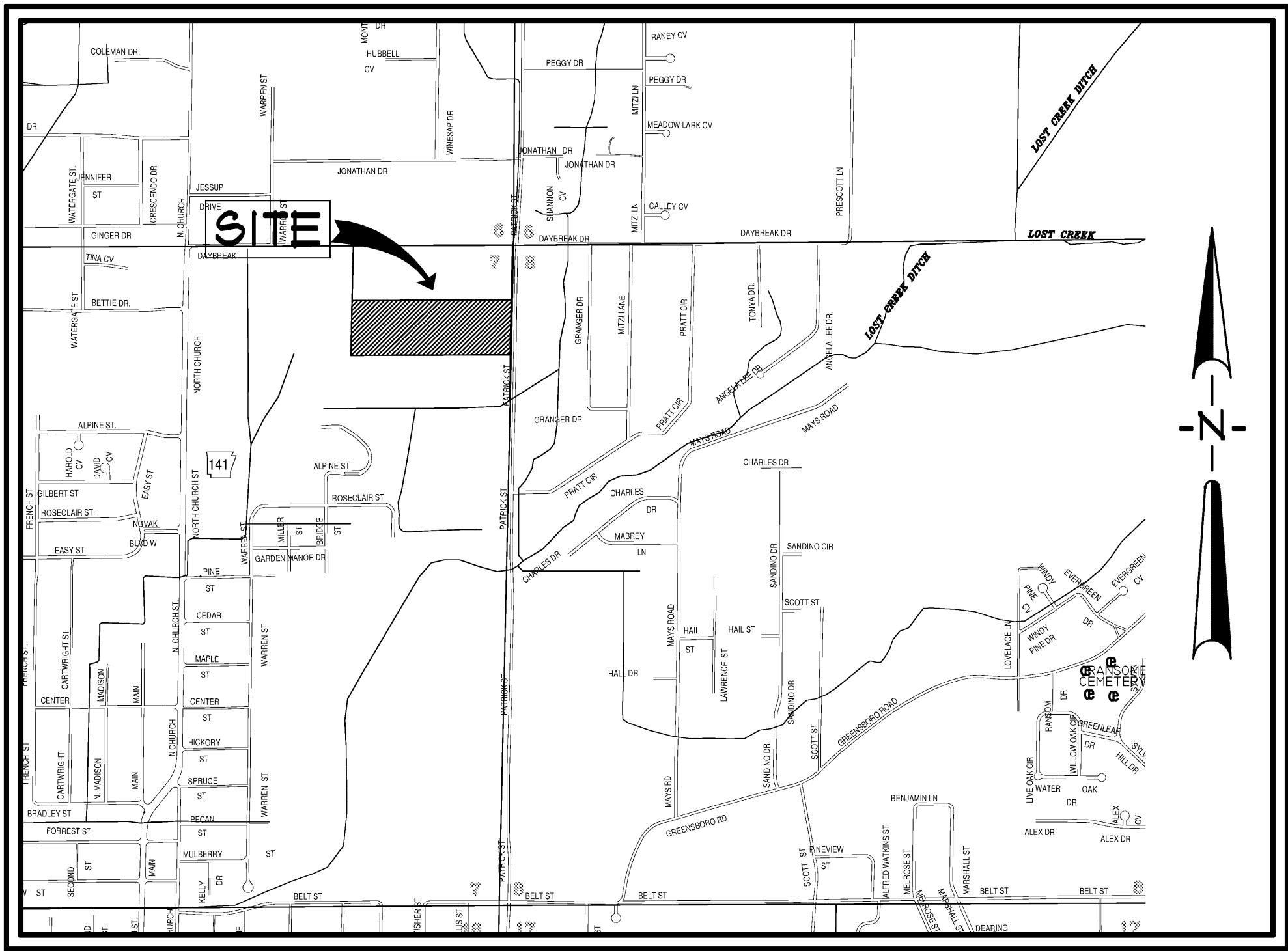
SITE DEVELOPMENT PLANS

# EMERALD VILLAGE

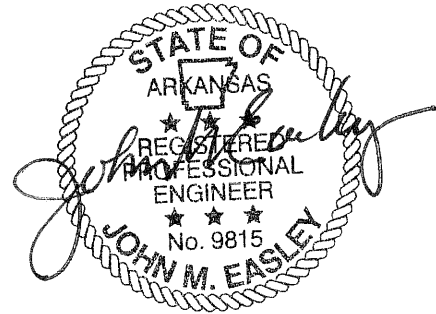
LYING IN SECTION 7, TOWNSHIP 14 NORTH,  
RANGE 4 EAST, CRAIGHEAD COUNTY,  
JONESBORO, ARKANSAS  
FEBRUARY, 2016

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- 504 RECORD PLAT
- 505 SITE PLAN
- 506 UTILITY PLAN
- 507 DRAINAGE PLAN
- 508 EROSION CONTROL PLAN
- 509 STREET PROFILES
- 510 STANDARD DETAILS
- 511 EROSION CONTROL DETAILS



VICINITY MAP  
SCALE: 1" = 1000'



ASSOCIATED ENGINEERING AND TESTING, LLC  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3594 FAX: 870-935-1263

INDEX SHEET  
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KUL PROPERTIES, LLC  
JONESBORO, ARKANSAS

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REV	DATE	REVISIONS	DRAWN	CHK'D	SCALE: 1" = 1000'	CADD FILE: 100-SDP-EV DUGA	DATE: 01/28/16	SHEET	501

## RESOURCE LIST

1. CITY OF JONESBORO - PLANNING AND ZONING  
OTIS SPRIGGS, CITY PLANNER  
301 VINE STREET  
JONESBORO, AR 72401  
870-932-2406
2. CITY OF JONESBORO - ENGINEERING  
CRAIG LIGHT, P.E.  
CITY ENGINEER  
301 VINE STREET  
JONESBORO, AR 72401  
870-932-2438
3. CODES DEPT. FIRE MARSHALL  
CRAIG DAVENPORT  
3719 E. JOHNSON AVE.  
JONESBORO, AR 72401  
870-932-2428
4. CITY WATER AND LIGHT - ENGINEERING  
RON BOWEN, P.E. - MANAGER  
400 EAST MONROE, P.O. BOX 1289  
JONESBORO, AR 72403  
870-935-5581, FAX: 870-930-3303  
SUSAN MERIDETH - ACTING ENGINEERING SERVICES DIRECTOR  
870-930-3320
5. CENTERPOINT ENERGY  
KEITH CRAIG - SERVICE TECHNICIAN  
3025 OLD FEEDHOUSE ROAD  
JONESBORO, AR 72404  
CELL: 870-891-3150
6. AT&T  
123 CHURCH, ROOM B 21  
JONESBORO, AR 72403  
PHIL FARLEY - AREA MANAGER INSTALLATION & REPAIR  
870-912-1821, FAX: 870-912-1610  
TOMMY GRAY - AREA MANAGER ENGINEERING DESIGN  
870-912-1581, FAX: 870-912-1533
7. SUDDEN LINK - CABLE TV  
1520 SOUTH CARAWAY ROAD  
JONESBORO, AR 72401  
BOB FROCK - CONSTRUCTION MANAGER  
870-933-8429 EXT. 212, FAX: 870-912-8141  
DEANNA HORNBACK - MANAGER  
JIMMY TANCY - FIELD MANAGER  
CELL: 870-219-8583

## GENERAL NOTES

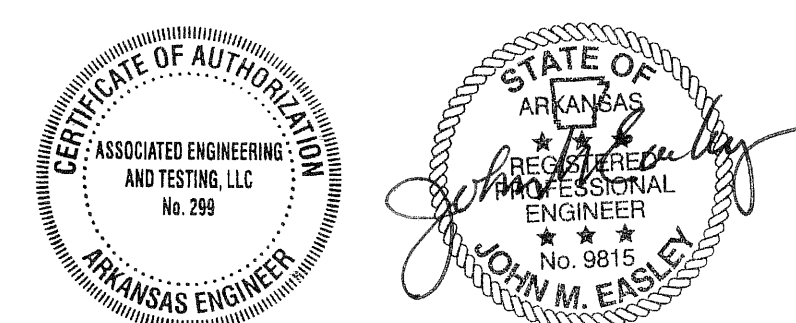
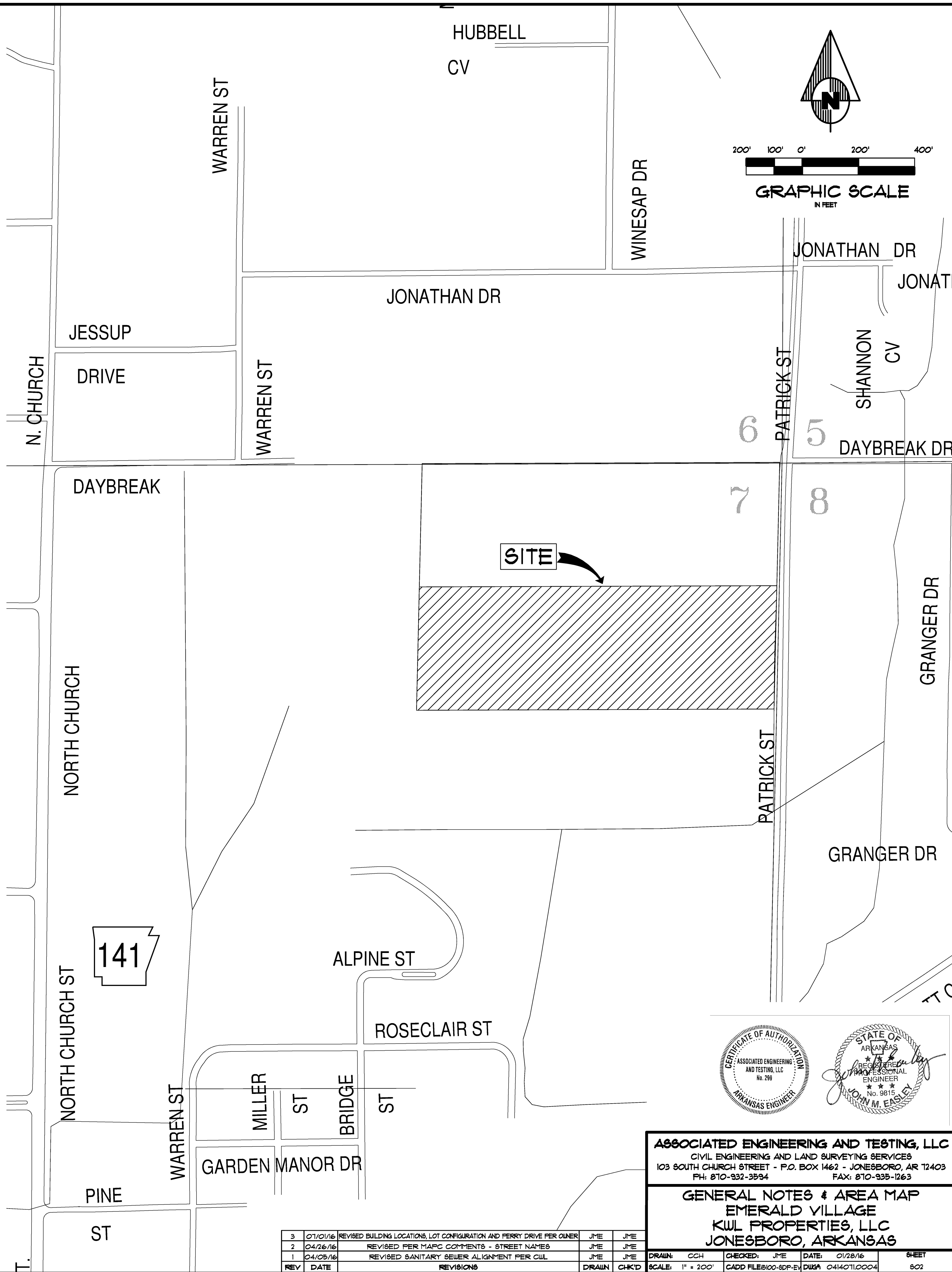
1. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
2. SUBJECT PROPERTY IS NOT LOCATED WITHIN "ZONE AE", 100 YR. FREQUENCY FLOOD ZONE, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR CITY OF JONESBORO, COMMUNITY PANEL 050310044C, EFFECTIVE DATE - SEPTEMBER 21, 1991.
3. SCREENING AND BUFFERING ARE AS SHOWN.
4. EASEMENTS ARE AS SHOWN.
5. COMMON OPEN SPACE AND AMENITIES ARE AS SHOWN.
6. NO KNOWN HISTORICAL STRUCTURES ARE LOCATED ON SUBJECT PROPERTY.
7. DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

## BENCHMARK LIST

1. ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
2. BENCHMARK #1 IS COTTON PICKER SPINDLE IN THE SOUTH SIDE OF POWER POLE LOCATED APPROXIMATELY 180 FEET EAST AND 29 FEET NORTH OF THE NORTHWEST CORNER OF SUBJECT PROPERTY. BENCHMARK #2 IS CHISELED SQUARE IN NORTH END OF 24" RCP LOCATED APPROXIMATELY 35 FEET WEST AND 31 FEET NORTH OF NORTHEAST CORNER OF SUBJECT PROPERTY. ELEV. = 281.38 (NAVD 88).

## LEGEND

	BOUNDARY LINE		FIRE HYDRANT		GRADED INLET
	LOT LINES		VALVE BOX		DOWNSPOUT
	FOUND IRON PIPE		FIRE PROTECTION		SPRINKLER CONTROL
	FOUND COTTON-PICKER SPINDLE		EXISTING OVERHEAD ELECTRICAL LINE		MAILBOX
	FOUND REBAR		EXISTING UNDERGROUND ELECTRICAL LINE		TRASH COMPACTOR
	FOUND IRON PIPE W/ PL&S 900X CAP		ELECTRIC TRANSFORMER/ELECTRIC METER		COLUMN
	CITY OF JONESBORO G.P.S. MONUMENT		POWER POLE		BOLLARD
	BENCH MARK		POWER JUNCTION, COMM. BOX		HANDICAP SIGN
	R/W MONUMENT		SIGN LIGHTS/FLOOR LIGHTS		EXISTING FENCE LINE
	SET 1 1/4" IRON PIPE W/ PL&S 9549 CAP		LIGHT POLE (SINGLE)		EXISTING GROUND CONTOUR
	EXISTING SANITARY SEWER LINE		LIGHT POLE (BACK-BACK)		FINISHED GROUND CONTOUR
	PROPOSED SANITARY SEWER LINE		LIGHT POLE (3 # 90")		EXISTING TREE/SHRUB
	EXISTING SANITARY SEWER MANHOLE		BASIN BOUNDARY		DRAINAGE FLOW
	PROPOSED SANITARY SEWER MANHOLE		TRAFFIC SIGN		GENERAL DRAINAGE FLOW
	EXISTING SANITARY SEWER CLEANOUT		TRAFFIC LIGHT CONTROL		TRAFFIC SIGNAL W/ POLE
	PROPOSED SANITARY SEWER CLEANOUT		EXISTING OVERHEAD COMMUNICATION LINE		SILT FENCE
	PROPOSED SANITARY SEWER SERVICE LINE		EXISTING UNDERGROUND COMMUNICATION LINE		ROCK CHECK DAM
	EXISTING WATER LINE		TELEPHONE PEDESTAL		RIP RAP AREA
	PROPOSED WATER LINE		EXISTING GAS LINE		INLET PROTECTION
	EXISTING WATER METER		GAS METER		ROCK CHECK DAM
	PROPOSED WATER METER		EXISTING STORM WATER MANHOLE		
	WATER VALVE				



**ASSOCIATED ENGINEERING AND TESTING, LLC**  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 870-932-3594 FAX: 870-935-1263

**GENERAL NOTES & AREA MAP**  
**EMERALD VILLAGE**  
**KUL PROPERTIES, LLC**  
**JONESBORO, ARKANSAS**

3	01/01/16	REVISED BUILDING LOCATIONS, LOT CONFIGURATION AND PERRY DRIVE PER OWNER	JME	JME					
2	04/26/16	REVISED PER MAPC COMMENTS - STREET NAMES	JME	JME					
1	04/05/16	REVISED SANITARY SEWER ALIGNMENT PER CUL	JME	JME					
REV	DATE	REVISIONS	DRAWN	CHECK'D	SCALE: 1" = 200'	CHECKED: JME	DATE: 01/28/16	SHEET	602



## SURVEYOR'S NOTES

- THIS DRAWING WAS PREPARED FOR EMERALD VILLAGE AT JONESBORO, LIMITED PARTNERSHIP, ORIGIN BANK OF MONROE, LOUISIANA, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR, GAYLE GAMBILL AND COMMONWEALTH LAND TITLE INSURANCE COMPANY.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF COMMONWEALTH LAND TITLE INSURANCE COMPANY TITLE COMMITMENT NO. MDL-160099-01, DATED JANUARY 6, 2016.
- NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS SURVEYOR FOR EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS-OF-WAY AFFECTING THIS PROPERTY.
- ALL UTILITY LOCATIONS SHOWN HEREON WERE LOCATED BY FIELD MEASUREMENTS OF VISIBLE OBSERVATIONS AND/OR EXISTING UTILITY MAPS. ASSOCIATED ENGINEERING AND TESTING, LLC MAKES NO WARRANTY OR GUARANTEE AS TO THE ACCURACY OF EXISTING UTILITY MAPS. IF PRECISE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE CLIENT/ CONTRACTOR SHALL COORDINATE WITH SAID UTILITY OWNER TO EXPOSE SAID UTILITY FOR LOCATION AND/OR DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ANY AND ALL UTILITY LOCATIONS AND/OR DEPTHS BEFORE EXCAVATION.
- SUBJECT PROPERTY IS CURRENTLY ZONED R-1, RESIDENTIAL DISTRICT. ADJACENT PROPERTIES ARE ZONED R-1. THE BUILDING SETBACKS FOR R-1 ZONING ARE: FRONT=25' SIDE=15' REAR=25'.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND REFER TO MSL DATUM.
- BENCHMARK # 1 IS COTTON PICKER SPINDLE IN THE WEST SIDE OF POWER POLE LOCATED APPROXIMATELY 54 FEET EAST AND 10 FEET SOUTH OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY. ELEV. = 281.38 (NAVD 88).
- SUBJECT PROPERTY IS LOCATED WITHIN "ZONE X", AREAS DESIGNATED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, AS DESIGNATED BY FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR THE CITY OF JONESBORO, COMMUNITY PANEL 08031C0044C (PANEL 44 OF 200). EFFECTIVE DATE - SEPTEMBER 21, 1991.
- THE BOUNDARY SHOWN ON THIS SURVEY IS BASED UPON A PREVIOUS SURVEY BY ASSOCIATED ENGINEERING AND TESTING, LLC DATED 01/15/2015 BY KENNETH L. SCRAPE.



File No. MDL-160099-01

### SCHEDULE B - SECTION 2

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed insured acquires for value of record the estate of interest or mortgage thereon covered by this Commitment. (UNABLE TO PLOT)
  - Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. (NO VISIBLE ENCROACHMENTS)  
The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
  - Rights or claims of parties in possession not shown by the public records. (UNABLE TO PLOT)
  - Easements or claims of easements not shown by the public records. (UNABLE TO PLOT)
  - Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown on the public records. (UNABLE TO PLOT)
  - Coal, oil, gas, limestone and other mineral interests in the land and all rights and easements in favor of the estate of said coal, oil, gas, limestone and other minerals. (UNABLE TO PLOT)
- SPECIAL EXCEPTIONS**
- Loss arising from Oil, Gas or Minerals, conveyed, retained, assigned or any other activity caused by the sub-surface rights of ownership, including but not limited to the right of ingress and egress for said sub-surface purposes. (UNABLE TO PLOT)
  - General Taxes for the year 2016, which are not yet due and payable and subsequent years, and future installments of the following special improvement districts: (UNABLE TO PLOT)  
None.
  - Easement - Water Lines, in favor of the City Water and Light Plant of Jonesboro, Arkansas, of record in Book 588, Page 203, records of Craighead County, Arkansas. (AS SHOWN ON SURVEY)
  - That part of subject property lying within the right of way of Patrick Street. (AS SHOWN ON SURVEY)

## DESCRIPTION - TOTAL AREA

A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS; THENCE SOUTH 00°54'53" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, 439.38 FEET TO THE POINT OF BEGINNING PROPER; THENCE CONTINUE SOUTH 00°54'53" WEST, ALONG SAID EAST LINE, 439.38 FEET; THENCE SOUTH 89°23'51" WEST, LEAVING SAID EAST LINE, 1273.28 FEET; THENCE NORTH 00°54'53" EAST, 439.38 FEET; THENCE NORTH 89°23'51" EAST, 1273.28 FEET TO THE POINT OF BEGINNING PROPER.

CONTAINING IN ALL 559,258 SQ. FT. OR 12.84 ACRES, MORE OR LESS, SUBJECT TO PATRICK STREET RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

THE ABOVE DESCRIBES THE SAME PROPERTY AS SHOWN IN COMMONWEALTH LAND TITLE INSURANCE COMPANY TITLE COMMITMENT NO. MDL-160099-01, DATED JANUARY 6, 2016.

## DESCRIPTION - TRACT 1

A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS; THENCE SOUTH 00°54'53" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, AFORESAID, A DISTANCE OF 439.38 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°23'51" WEST DEPARTING SAID EAST LINE, A DISTANCE OF 932.10 FEET; THENCE SOUTH 00°56'03" EAST A DISTANCE OF 16.61 FEET; THENCE SOUTH 89°23'51" WEST A DISTANCE OF 66.61 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET, AN ARC LENGTH OF 184.46 FEET, A CHORD BEARING OF NORTH 69°11'03" WEST AND A CHORD DISTANCE OF 93.09 FEET TO THE POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET ALONG AN ARC LENGTH OF 8.09 FEET; THENCE SOUTH 89°23'51" WEST A DISTANCE OF 138.10 FEET; THENCE SOUTH 00°54'53" WEST A DISTANCE OF 310.43 FEET; THENCE NORTH 89°23'51" EAST A DISTANCE OF 1273.28 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, AFORESAID; THENCE NORTH 00°54'53" EAST ALONG SAID EAST LINE A DISTANCE OF 439.38 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 512,330 SQ. FT. OR 11.76 ACRES, MORE OR LESS, SUBJECT TO PATRICK STREET RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

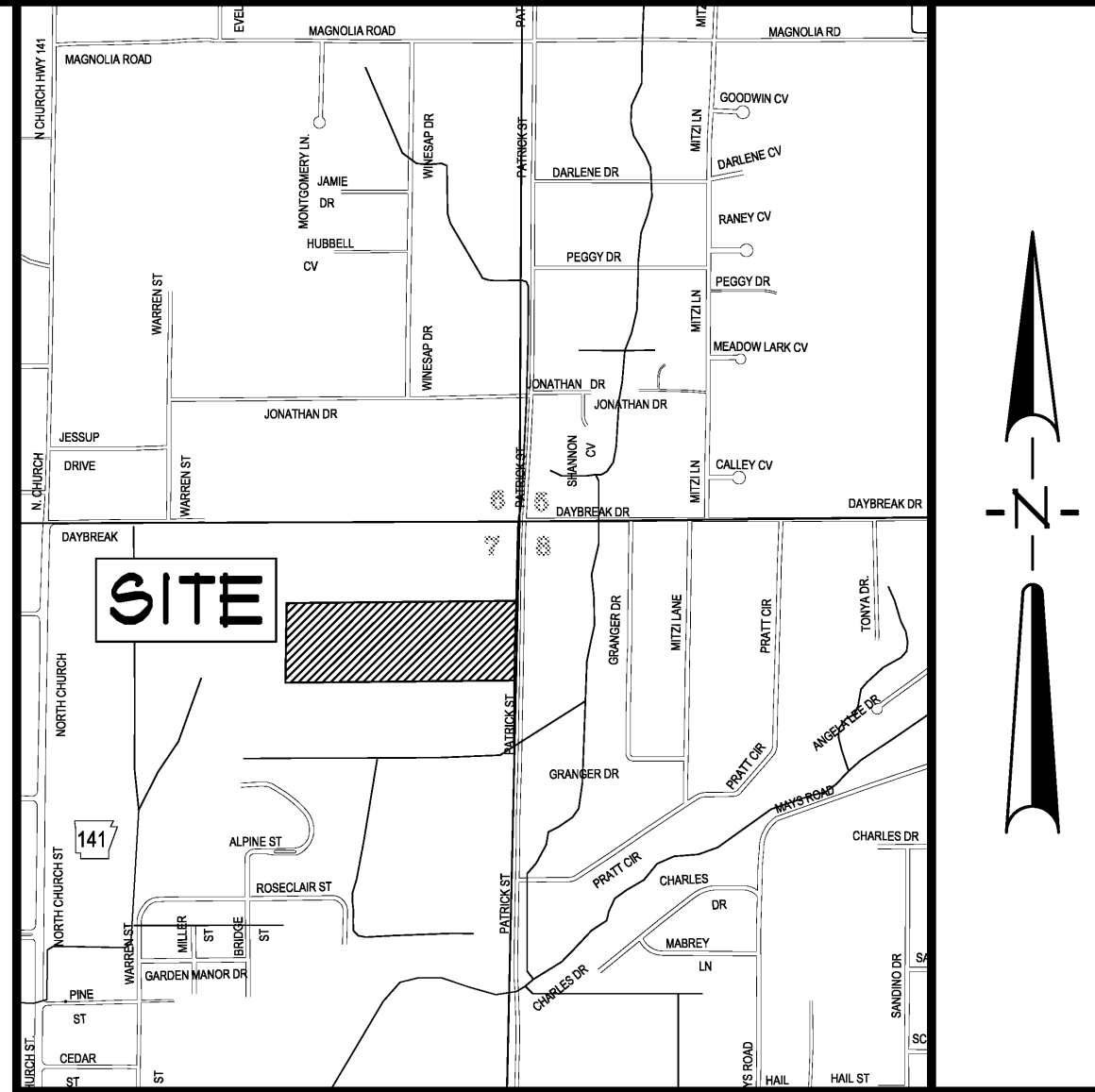
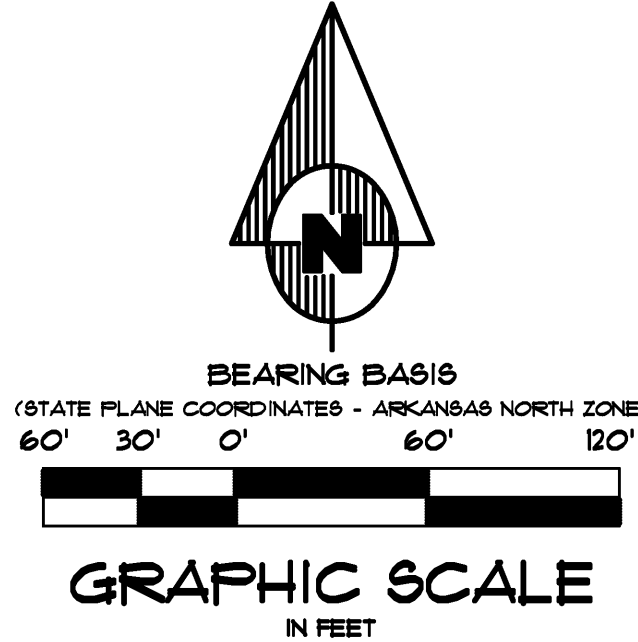
## DESCRIPTION - TRACT 2

A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS; THENCE SOUTH 00°54'53" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, AFORESAID, A DISTANCE OF 439.38 FEET; THENCE SOUTH 89°23'51" WEST DEPARTING SAID EAST LINE, A DISTANCE OF 932.10 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00°56'03" EAST A DISTANCE OF 16.61 FEET; THENCE SOUTH 89°23'51" WEST A DISTANCE OF 66.61 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 80.00 FEET, AN ARC LENGTH OF 184.46 FEET, A CHORD BEARING OF NORTH 69°11'03" WEST AND A CHORD DISTANCE OF 93.09 FEET TO THE POINT OF REVERSE CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET ALONG AN ARC LENGTH OF 8.09 FEET; THENCE SOUTH 89°23'51" WEST A DISTANCE OF 138.10 FEET; THENCE NORTH 00°54'53" EAST A DISTANCE OF 138.95 FEET; THENCE NORTH 89°23'51" EAST, A DISTANCE OF 281.8 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 46,928 SQ. FT. OR 1.08 ACRES, MORE OR LESS, SUBJECT TO PATRICK STREET RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.



VICINITY SKETCH  
NOT TO SCALE

## LEGEND

- BOUNDARY LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- FOUND REBAR W/ PS #536 CAP
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER LINE
- EXISTING WATER METER
- WATER VALVE
- FIRE HYDRANT
- EXISTING OVERHEAD ELECTRICAL LINE
- POWER POLE
- EXISTING OVERHEAD COMMUNICATION LINE
- EXISTING UNDERGROUND COMMUNICATION LINE
- TELEPHONE PEDESTAL
- EXISTING GAS LINE
- GAS METER
- EXISTING GROUND CONTOUR
- BENCH MARK
- EXISTING SPOT ELEVATION

## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY TO EMERALD VILLAGE AT JONESBORO, LIMITED PARTNERSHIP, ORIGIN BANK OF MONROE, LOUISIANA, ITS SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR, GAYLE GAMBILL AND COMMONWEALTH LAND TITLE INSURANCE COMPANY:

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 12(A), 6(B), 8 AND 11(A) OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON 12/22/2016.

AND FURTHER THAT ASSOCIATED ENGINEERING AND TESTING, LLC HAS THIS DATE MADE A BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON AND THAT SAID SURVEY IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THERE ARE NO APPARENT ABOVE GROUND ENCROACHMENTS OTHER THAN AS SHOWN OR STATED HEREON AND THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE ARKANSAS MINIMUM STANDARDS FOR PROPERTY SURVEYS AND PLATS IN EFFECT ON THIS DATE.

DATE OF ALTA LAND TITLE SURVEY: 12/22/2016

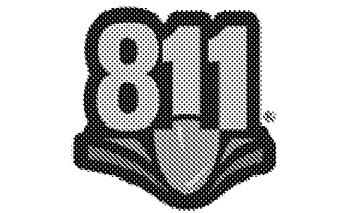
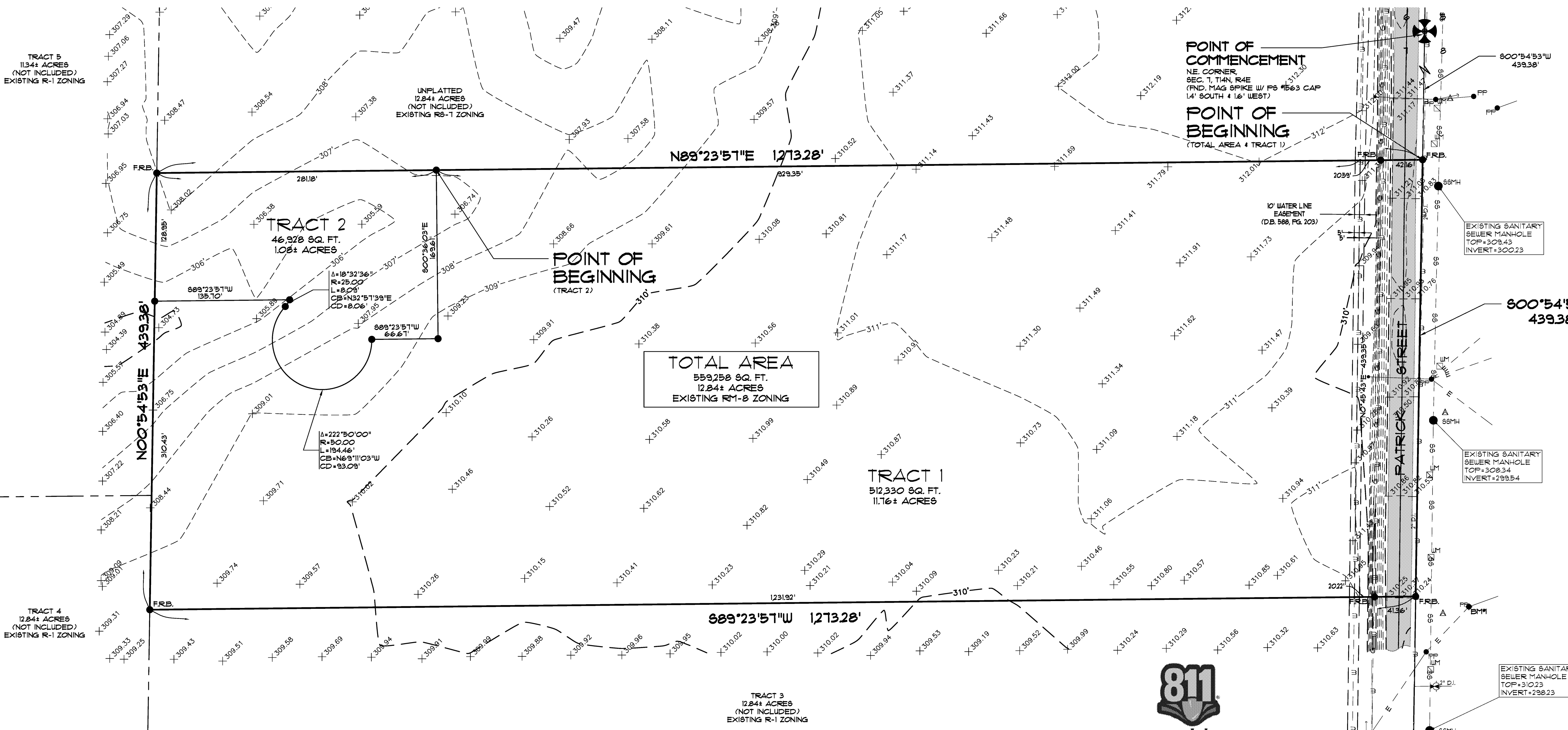


NOTE: TO BE VALID, COPIES MUST HAVE ORIGINAL SURVEYOR'S SIGNATURE AND SURVEYOR'S SEAL.

**ASSOCIATED ENGINEERING AND TESTING, LLC**  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 810-932-3594 FAX: 810-935-1263

**ALTA LAND TITLE SURVEY**  
**KWL PROPERTIES, LLC**  
PATRICK STREET  
JONESBORO, ARKANSAS

DRAWN: CCH/BPC CHECKED: FULL DATE: 03/08/2016 SHEET: 1 OF 1  
SCALE: 1" = 60' CAD FILE: 5100-004 DWG: 0410712008



REV	DATE	REVISIONS	DRAWN	CHKD

DESCRIPTION

A PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 7, TOWNSHIP 14 NORTH, RANGE 4 EAST, JONESBORO, CRAIGHEAD COUNTY, ARKANSAS; THENCE SOUTH 00°54'53" WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 7, AFORESAID, A DISTANCE OF 439.38 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°23'57" WEST DEPARTING SAID EAST LINE, A DISTANCE OF 992.10 FEET; THENCE SOUTH 00°36'03" EAST A DISTANCE OF 164.33 FEET; THENCE NORTH 78°15'40" WEST A DISTANCE OF 61.87 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 18.69 FEET, A CHORD BEARING OF NORTH 56°50'40" WEST AND A CHORD DISTANCE OF 18.26 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, AN ARC LENGTH OF 224.85 FEET, A CHORD BEARING OF NORTH 86°35'51" WEST AND A CHORD DISTANCE OF 77.90 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 8.09 FEET, A CHORD BEARING OF NORTH 32°53'39" EAST AND A CHORD DISTANCE OF 8.06 FEET; THENCE SOUTH 89°23'57" WEST A DISTANCE OF 135.70 FEET; THENCE SOUTH 00°54'53" WEST A DISTANCE OF 310.43 FEET; THENCE NORTH 89°23'57" EAST A DISTANCE OF 1273.28 FEET TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 7, AFORESAID; THENCE NORTH 00°54'53" EAST ALONG SAID EAST LINE A DISTANCE OF 439.38 FEET TO THE POINT OF BEGINNING.

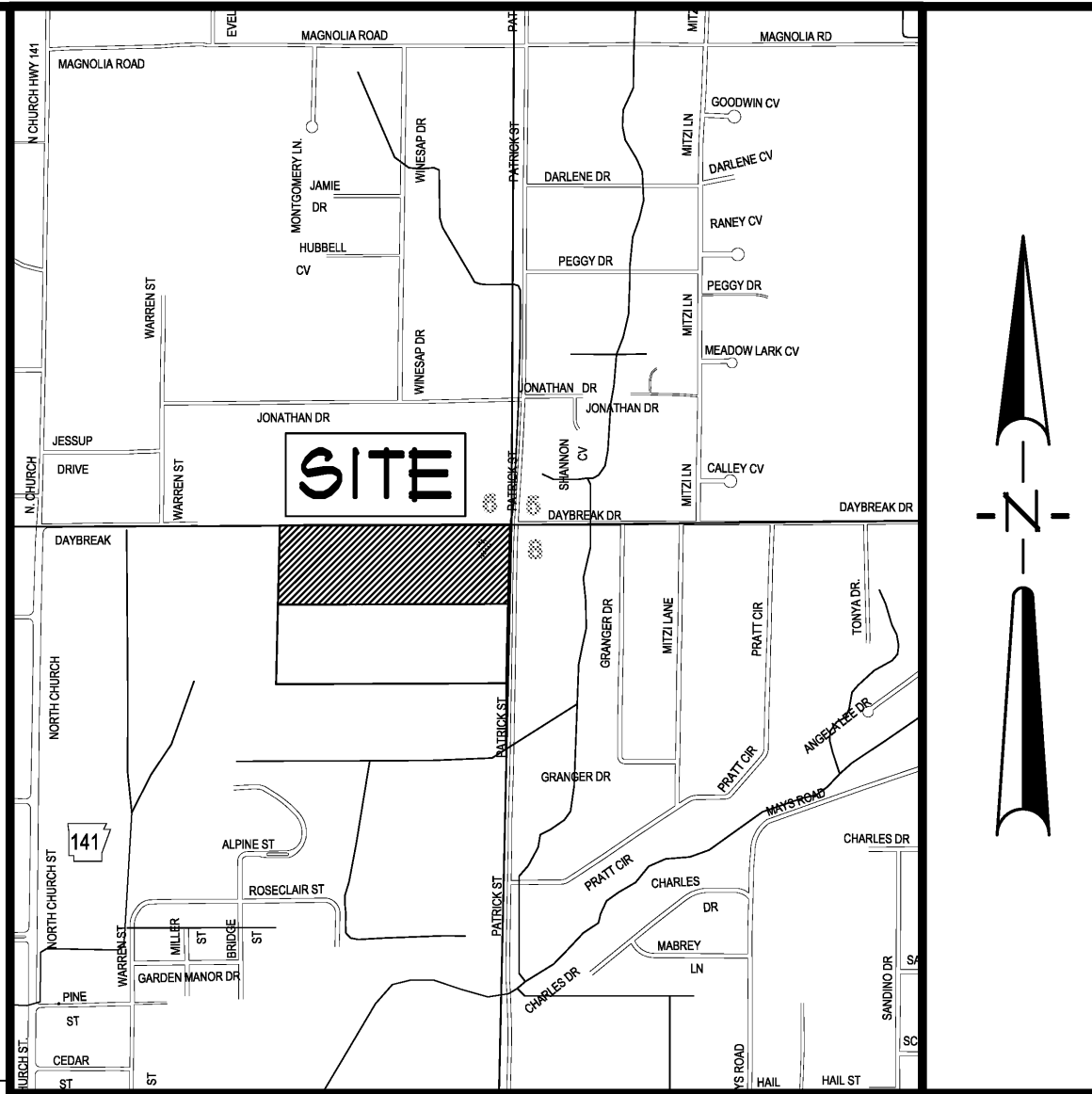
CONTAINING IN ALL 513.214 SQ. FT. OR 11.78 ACRES, MORE OR LESS, SUBJECT TO PATRICK STREET RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS-OF-WAY OF RECORD.

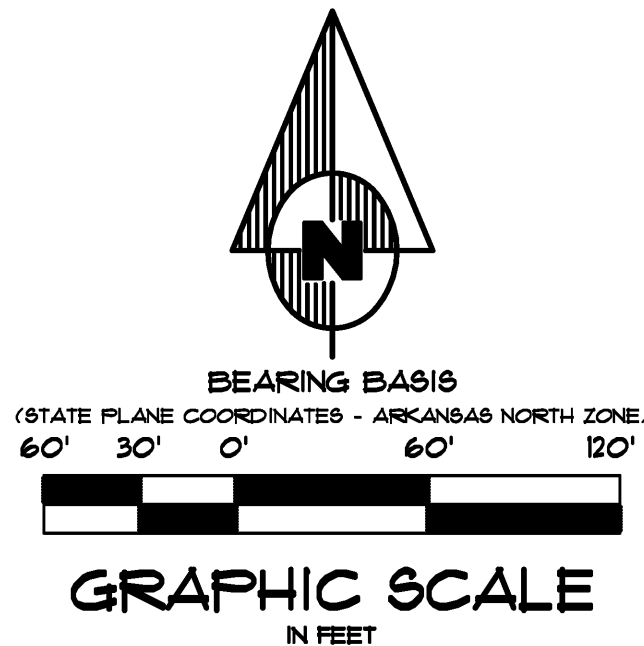
OWNER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF PROPERTY AS DESCRIBED HEREON, THAT WE ADOPT THE PLAN OF SUBDIVISION AND DEDICATE THE PERPETUAL USE OF ALL STREETS AND EASEMENTS AS NOTED.

KUL PROPERTIES, LLC  
STEVE PERRY, AGENT



VICINITY SKETCH  
NOT TO SCALE



LEGEND

- BOUNDARY LINE
- ADJACENT LOT LINE
- EASEMENT LINE
- FOUND REBAR
- SET 1-1/4" IRON PIPE W/ P6 #543 CAP

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT ASSOCIATED ENGINEERING AND TESTING, LLC HAS THIS DATE MADE A BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON AND THAT SAID SURVEY IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THERE ARE NO APPARENT ABOVE GROUND ENCROACHMENTS OTHER THAN AS SHOWN OR STATED HEREON AND THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE "ARKANSAS MINIMUM" STANDARDS FOR PROPERTY SURVEYS AND PLATS" IN EFFECT ON THIS DATE.

DATE OF TOPOGRAPHIC SURVEY: 01/23/2016



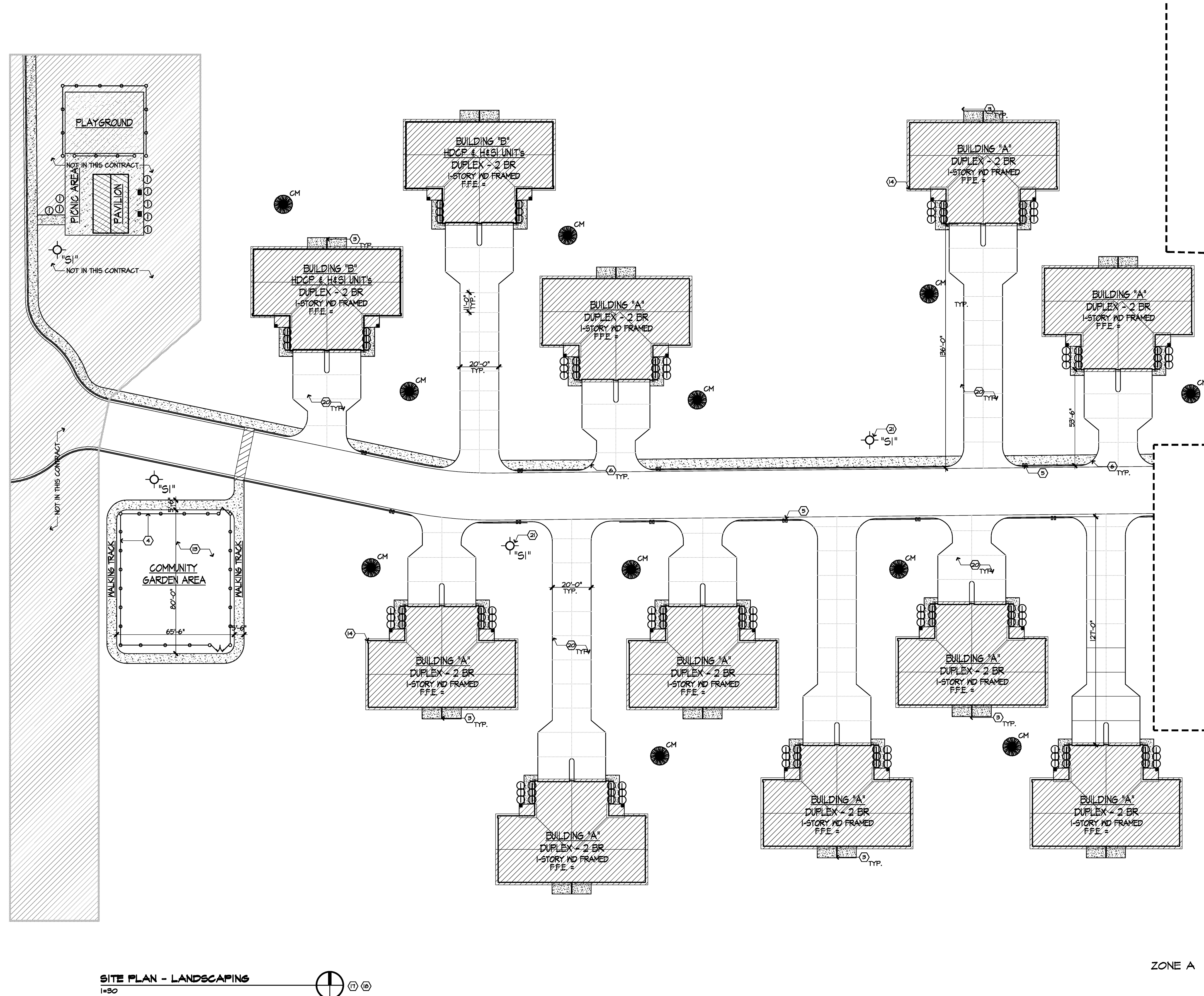
NOTE: TO BE VALID, COPIES MUST HAVE ORIGINAL SURVEYOR'S SIGNATURE AND SURVEYOR'S SEAL.

**ASSOCIATED ENGINEERING AND TESTING, LLC**  
CIVIL ENGINEERING AND LAND SURVEYING SERVICES  
103 SOUTH CHURCH STREET - P.O. BOX 1462 - JONESBORO, AR 72403  
PH: 810-332-3594 FAX: 810-335-1263

**RECORD PLAT**  
**EMERALD VILLAGE**  
**KUL PROPERTIES, LLC**  
**JONESBORO, ARKANSAS**

2	01/01/16	REVISED BOUNDARY, LOT CONFIGURATION AND PERRY DRIVE PER CLIENT	CCH	FUL		
1	04/26/16	REVISED PER MAP COMMENTS - STREET NAMES	JME	FUL		
REV	DATE	REVISIONS	DRAWN	CHK'D	SCALE: 1" = 60'	CADD FILE: 5100-006 DWG# 0410102006 1 OF 1



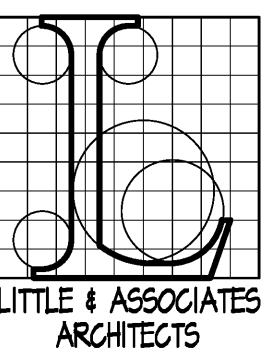


SITE PLAN - LANDSCAPING  
1"=30'

ZONE A SEE SHEET S13  
FOR ZONE B

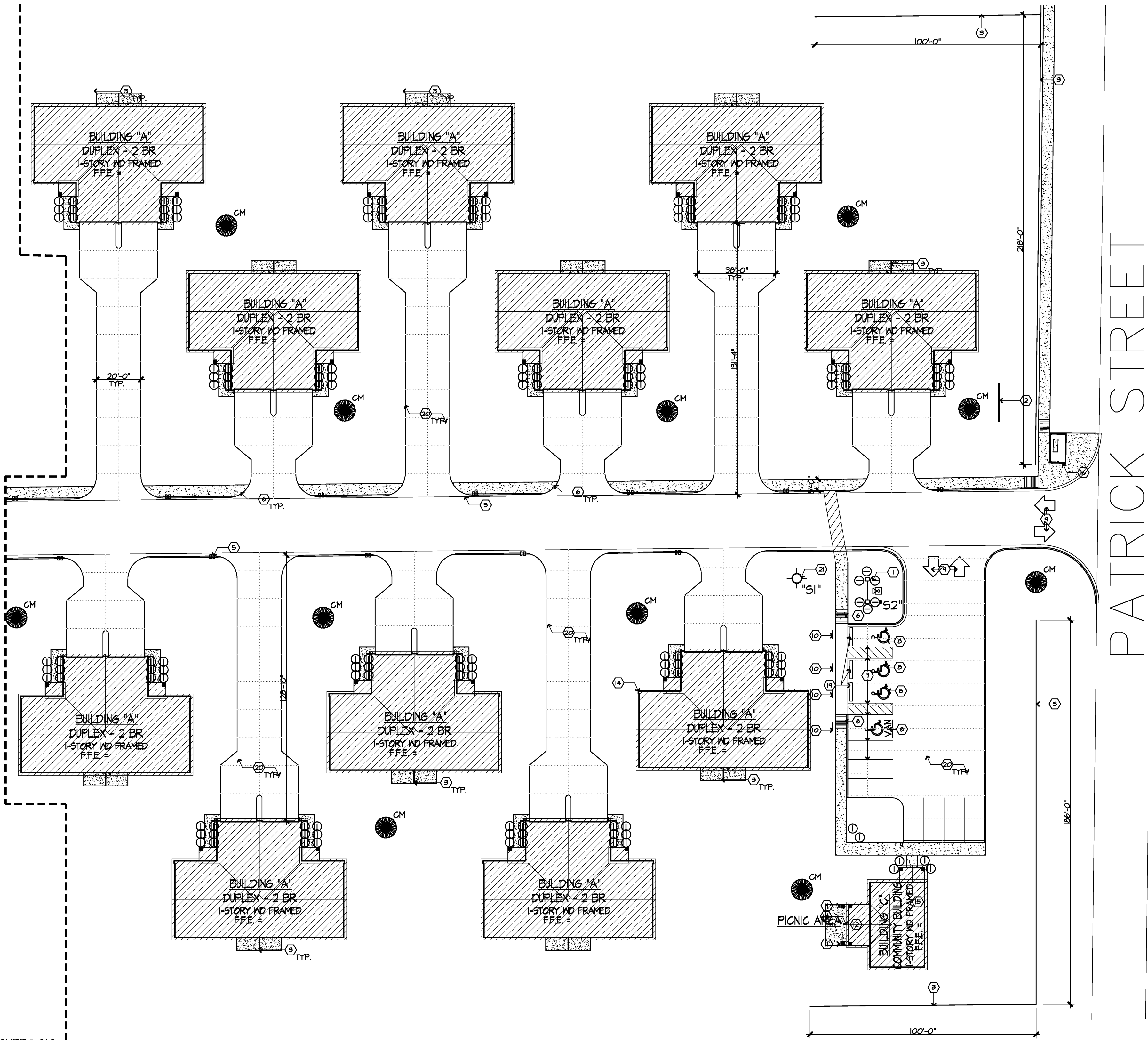
SITE PLAN - LANDSCAPING  
ZONE A

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401  
COMM. NO.: 61415  
DATE: 6/20/16  
FILE:



LITTLE & ASSOCIATES  
ARCHITECTS  
501 UNION ST  
JONESBORO, AR  
(870) 430-3813 TEL  
(870) 430-3820 FAX  
littlearch@ecglobal.net

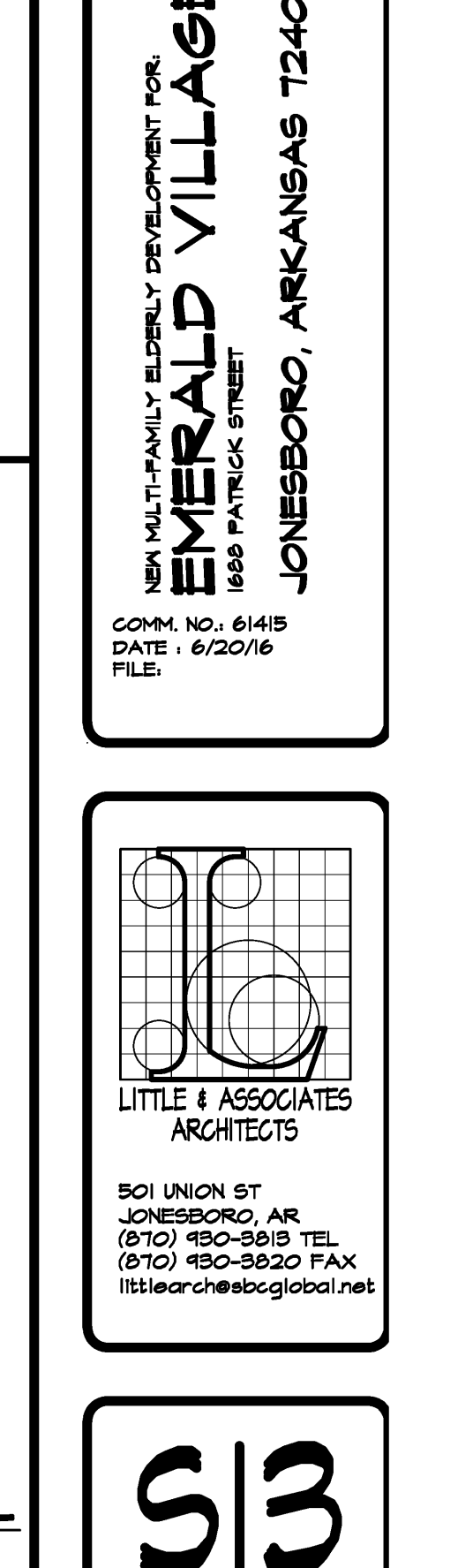
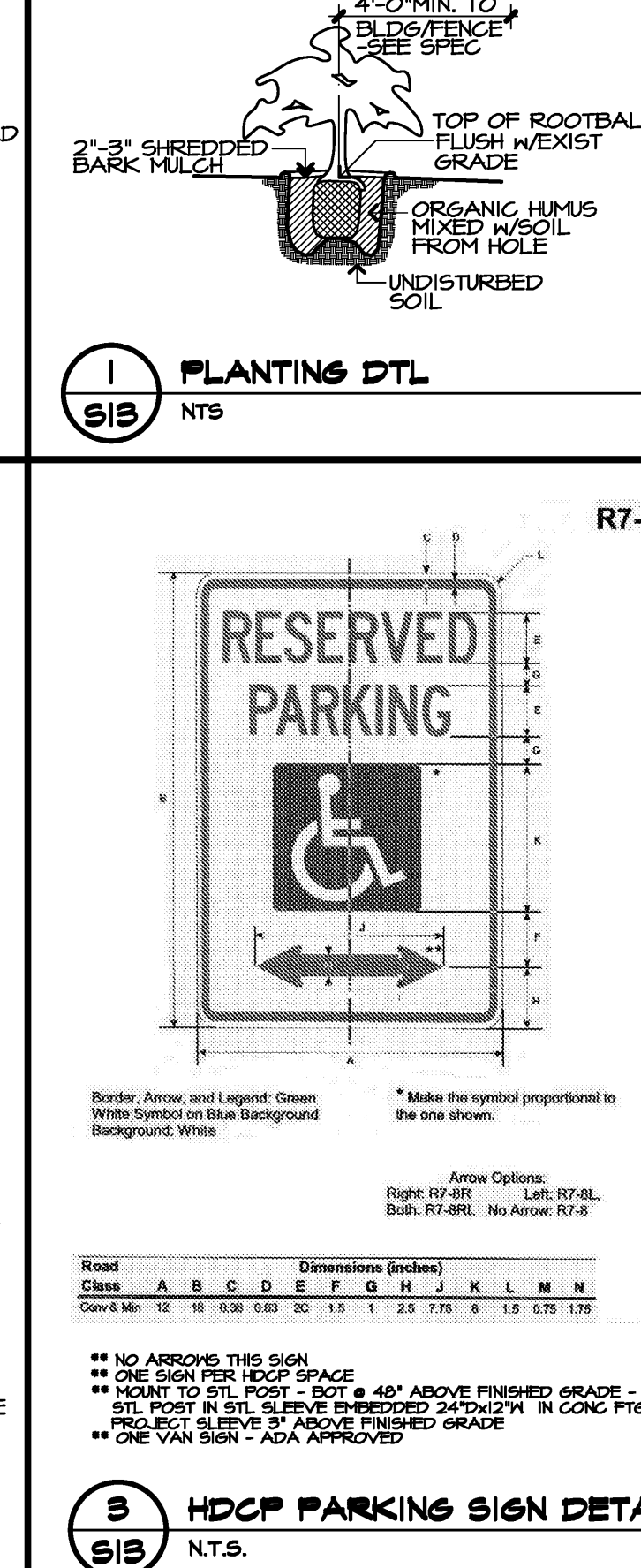
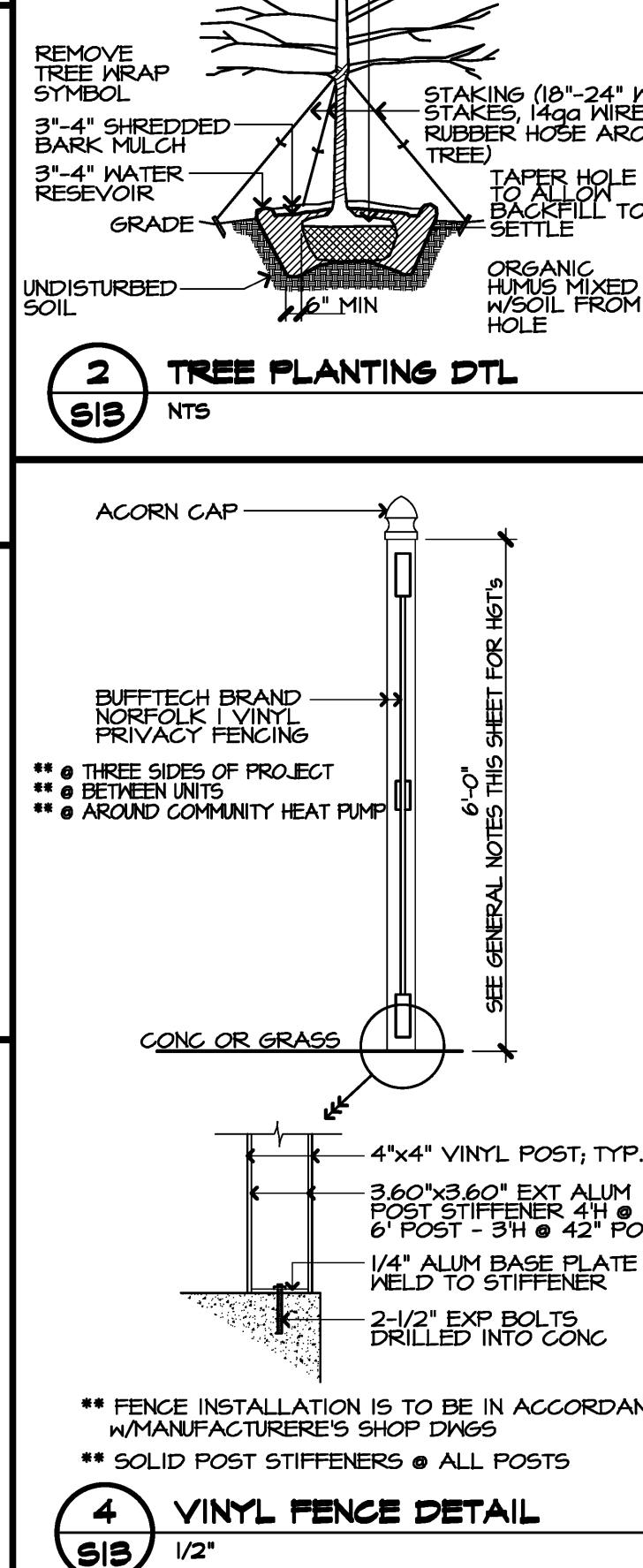
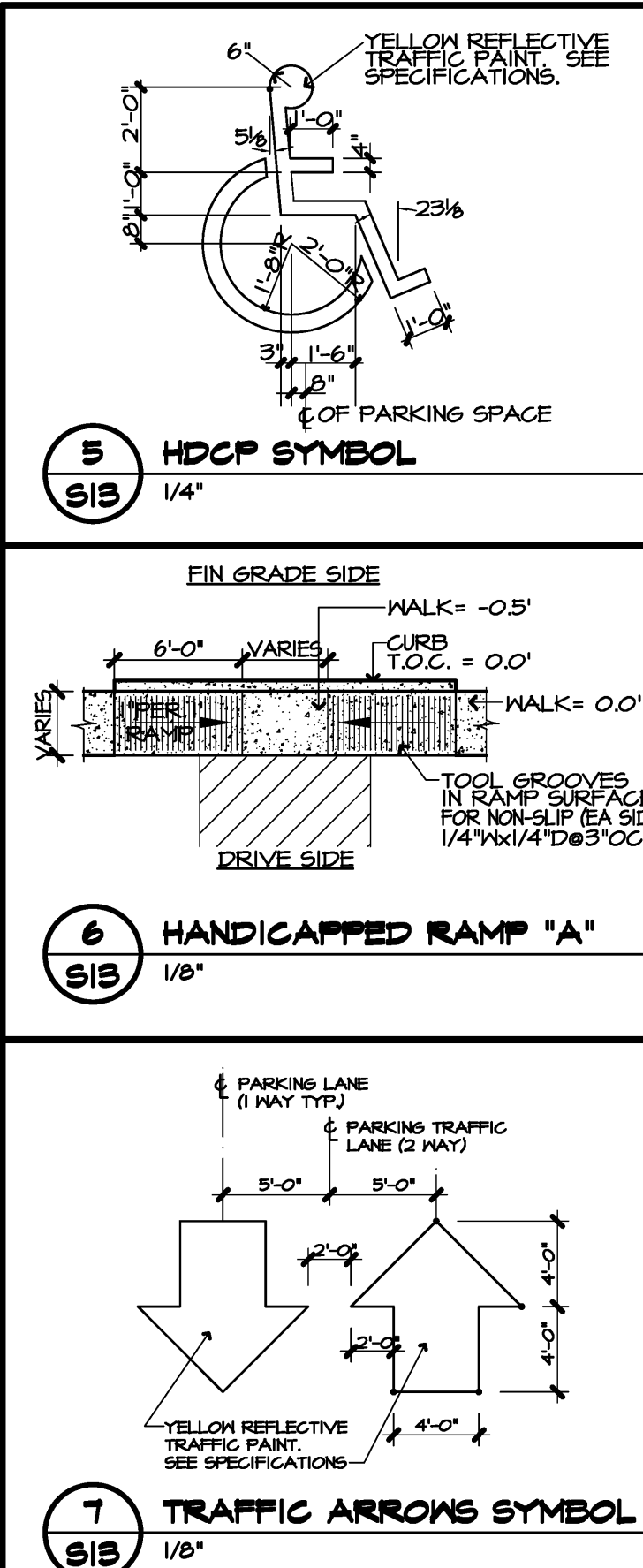
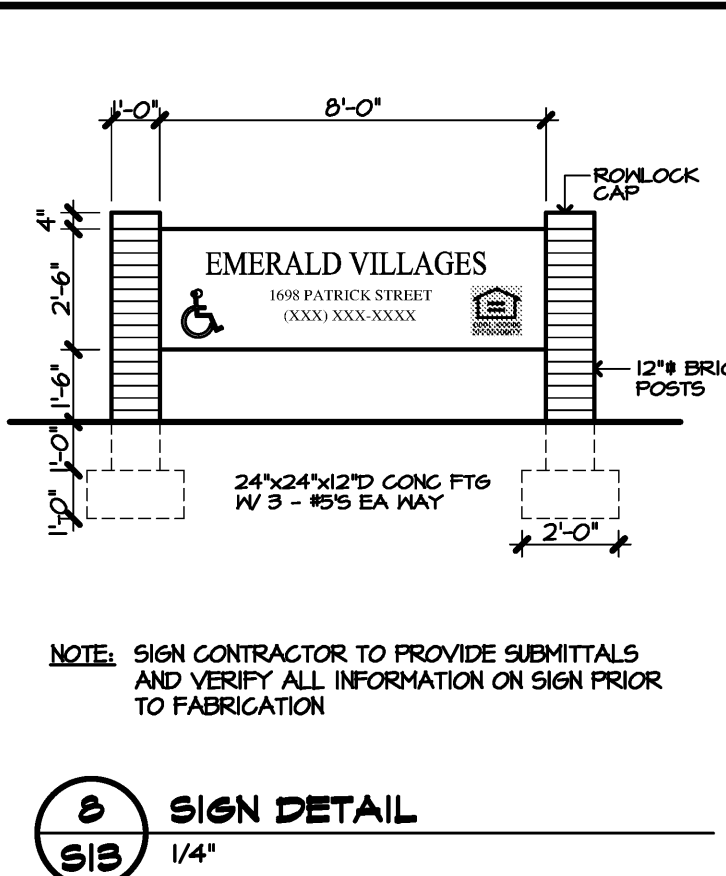
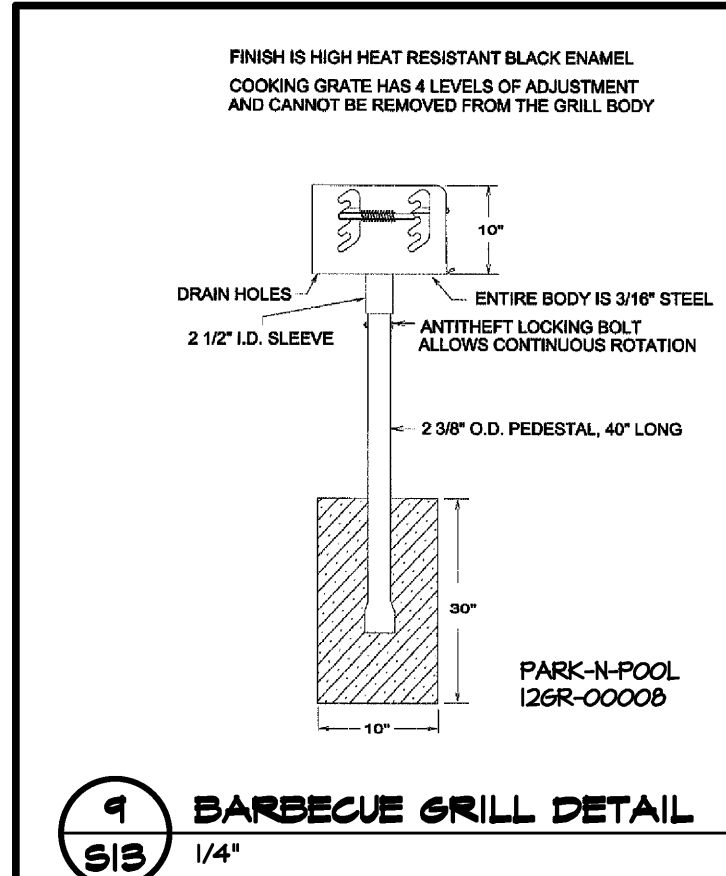




SEE SHEET S12  
FOR ZONE A

ZONE B

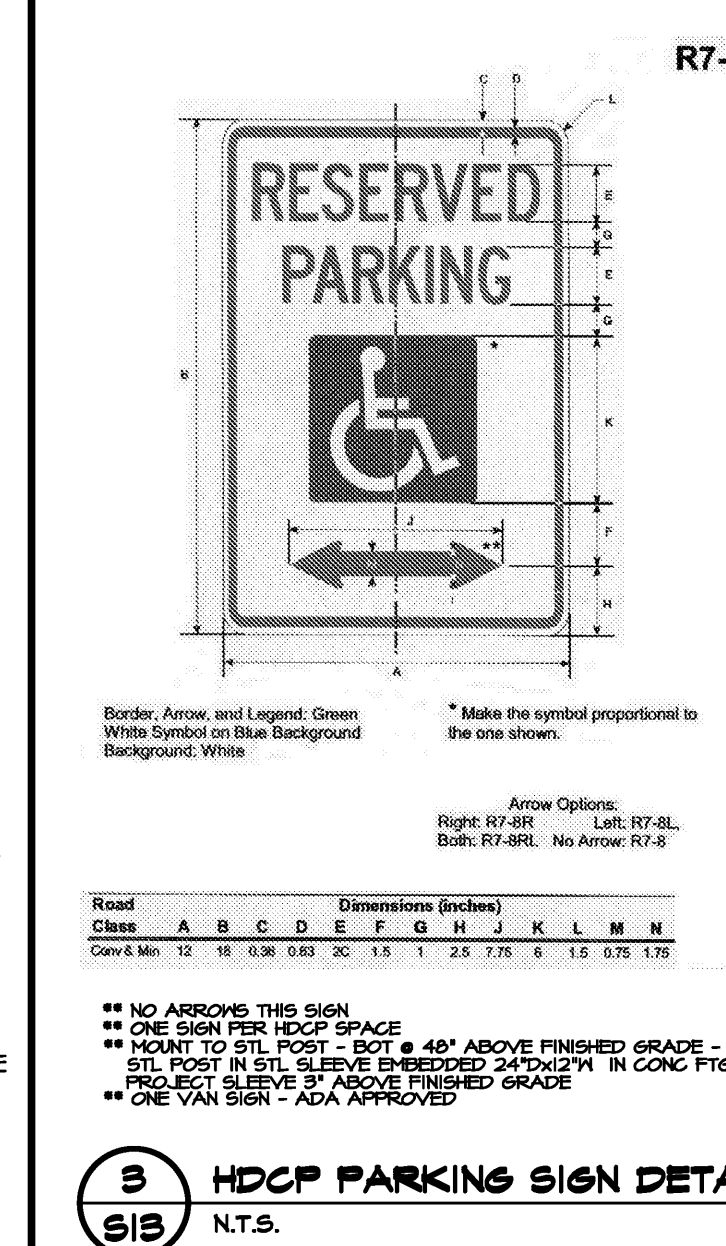
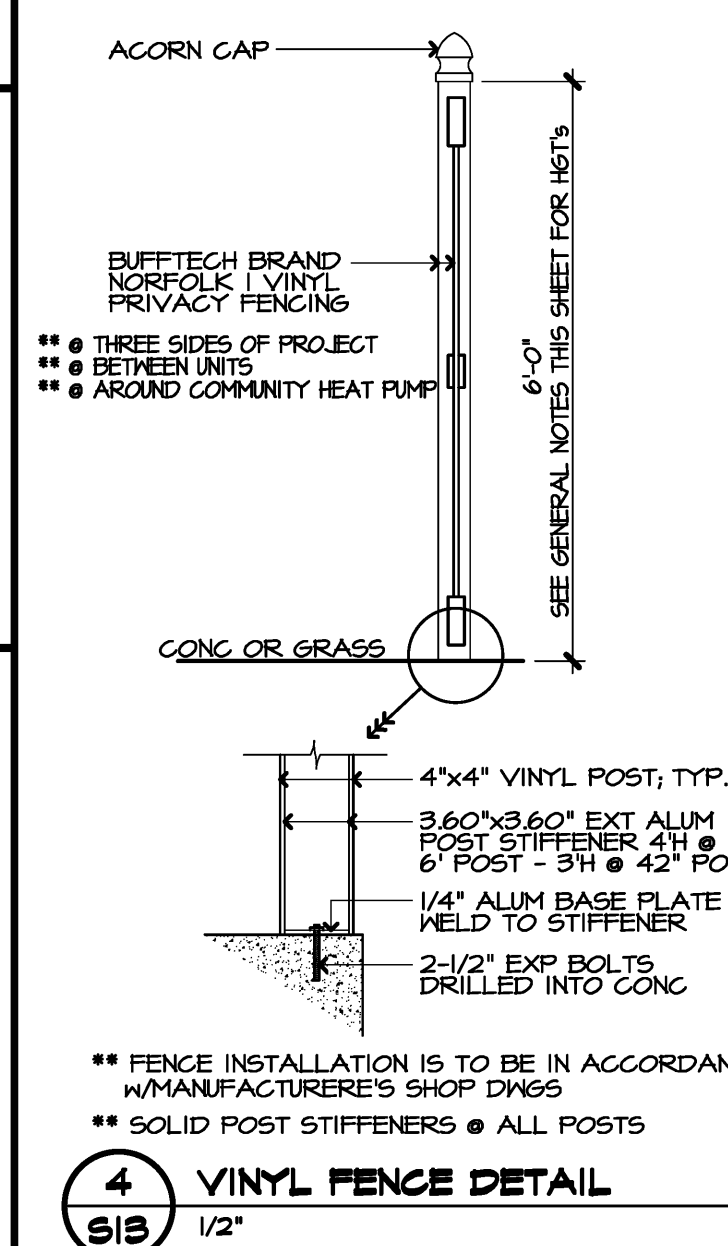
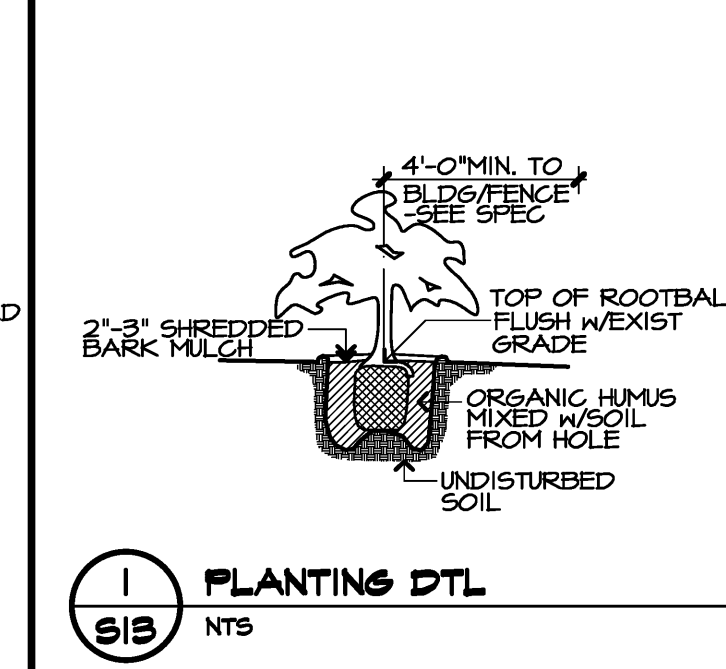
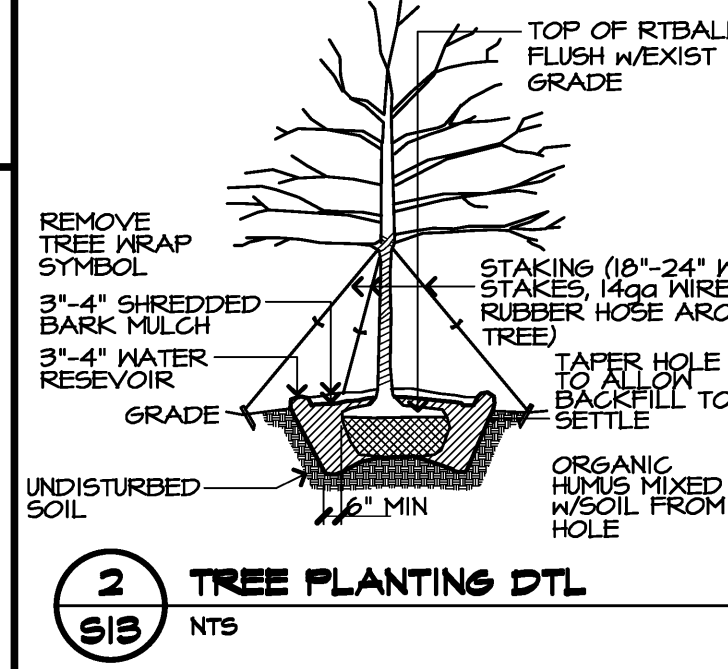
# SITE PLAN - LANDSCAPING 1=30



PLANTING SYMBOL LEGEND					
SYMBOL	DESCRIPTION	BOTANICAL NAME	SIZE	QUANTITY	REMARKS
CM	NATCHEZ GRAPE MYRTLE	LAGERSTRÖMIA 'NATCHEZ'	1 1/2" CAL	22	SEE 2/504
I	PINK MUHLY GRASS	MAHLENBERGIA CAPILLARIS	1 GAL	264	SEE 1/504
SOD	BERMUDA SOD (SOD PROJECT AREA AS SHOWN INCL. TO EDGE OF PAVEMENT - SEE GRASS HATCHED AREAS ON PLAN)				DISTURBED AREA

GENERAL NOTES		SITE PLAN - LANDSCAPING			
MARK	DESCRIPTION				
1	PERMANENT PROJECT SIGN LOCATION				
2	TEMPORARY PROJECT SIGN LOCATION				
3	6'H PRIVACY FENCE BETWEEN UNITS AND ON 3 SIDES OF PROJECT - SEE DET 4/5/3				
4	4'H DECORATIVE FENCE - SEE DET 4/5/3				
5	INDIVIDUAL MAILBOX LOCATION - USPS APPROVED NUMBER TO MATCH HOUSES				
6	HDCP RAMP LOCATION - SEE DET 6/5/3 - TYPICAL NO CURB LOCATION ADA				
7	4'-0"X20'-0" D PARKING SPACE STRIPES (TYP) - SEE SPECIFICATIONS FOR THICKNESS				
8	HDCP SYMBOL - SEE DET 5/5/3				
9	TRAFFIC ARROW SYMBOL - SEE DET 1/5/3				
10	HDCP PARKING SIGN LOCATION - SEE DETAIL 3/5/3				
11	BARBECUE GRILLE (2 TOTAL) LOCATION - SEE DETAIL 4/5/3				
12	COVERED PATIO				
13	FENCED COMMUNITY GARDEN AREA				
14	EVIZ 4 CHANNEL 1080P HD EXTERIOR SECURITY SYSTEM W/ 1TB HDD, 4 1080P CAMERAS, & 100' NIGHT VISION				
15	EVIZ 120P INDOOR CAMERA LOCATION (1 TOTAL)				
16	BUS SHELTER LOCATION - PROVIDED BY JETS BUS SERVICE				
17	SOD ENTIRE SITE - SEED ALLOWED IF CONDITIONS ALLOW FOR GERMINATION BEFORE CLOSEOUT				
18	SEE S05 - SITE PLAN FOR EXACT BUILDING LOCATIONS				
19	CONCRETE BUMPER BLOCK LOCATION				
20	4" CONC. SLAB REINF. W/ 6x6x14x14x14 OVER CLEAN COMPACTED FILL 95% PROCTOR - ALL EXT. CONC. AIR ENTRAINED - TYP. CONTROL JOINTS NOT TO EXCEED 15' APART - SEE DETAIL 5/A1				
21	"S1" - LOCATION AND FIXTURE BY CHNL				

SITE PLAN SYMBOL LEGEND			
	EXIST GRADE		WATER
	FINISH GRADE		ELECTRICITY
	EXIST ELEV.		GAS
	FINISH ELEV.		SEWER
	PROPERTY LINE		TELEPHONE
			POWER POLE
			SOIL BORING
			DRAINAGE
			T.O.W. TOP OF WALL
			F.F.E. FINISH FLOOR ELEVATION



SITE PLAN - LANDSCAPING / SCHEDULES  
ZONE B

NEW MULTI-FAMILY ELDERLY DEVELOPMENT FOR:  
**EMERALD VILLAGE**  
1666 PATRICK STREET  
JONESBORO, ARKANSAS 72401

COMM. NO. 61415  
DATE: 6/20/16  
FILE:

LITTLE & ASSOCIATES  
ARCHITECTS

501 UNION ST.  
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