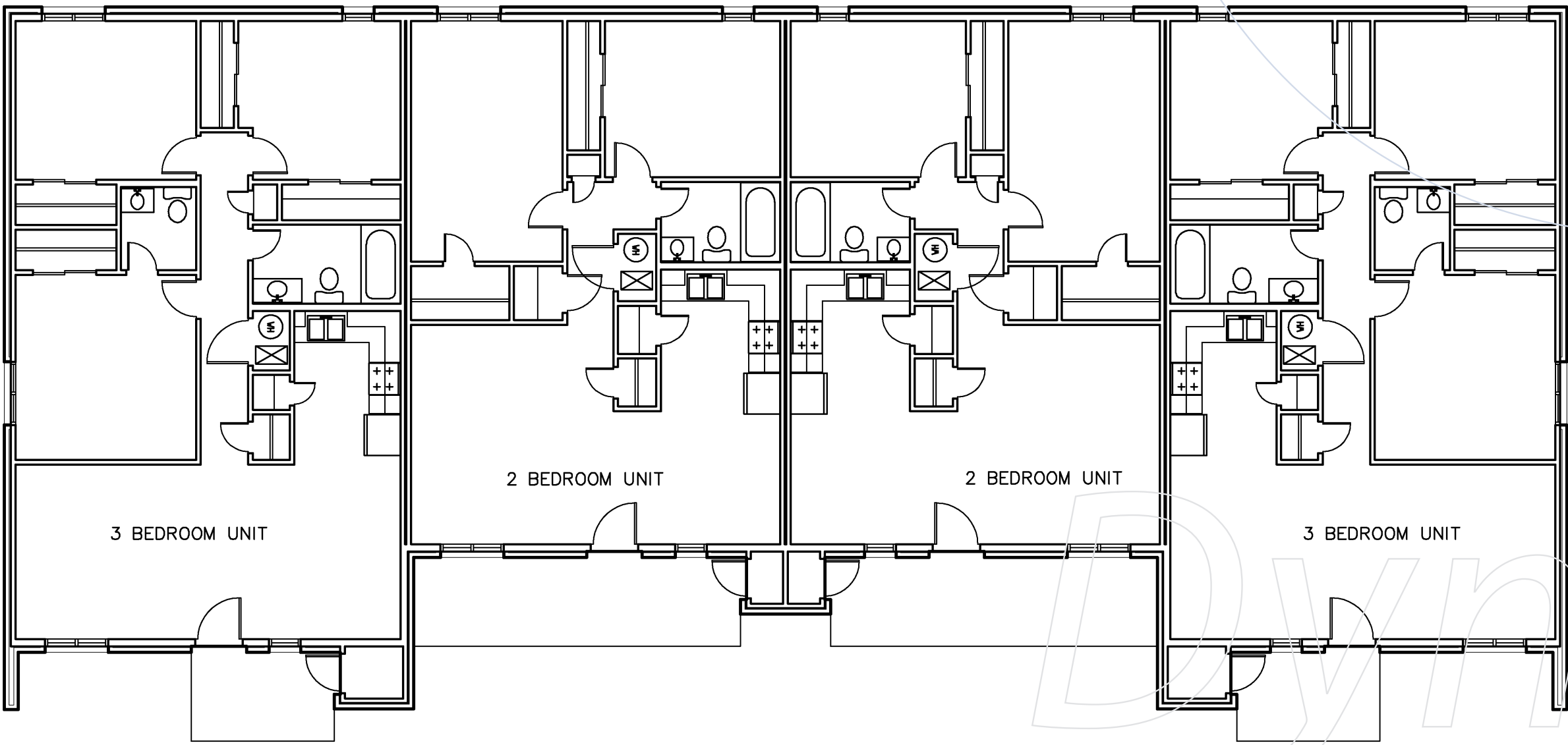
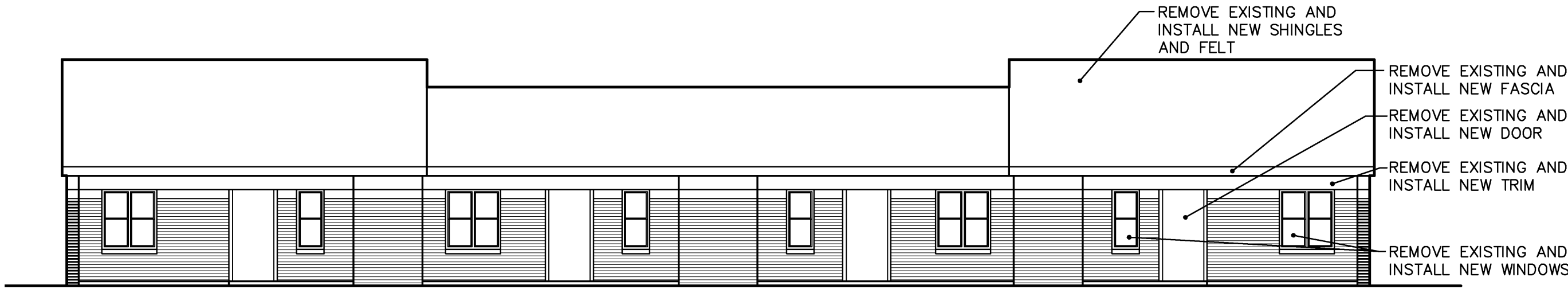


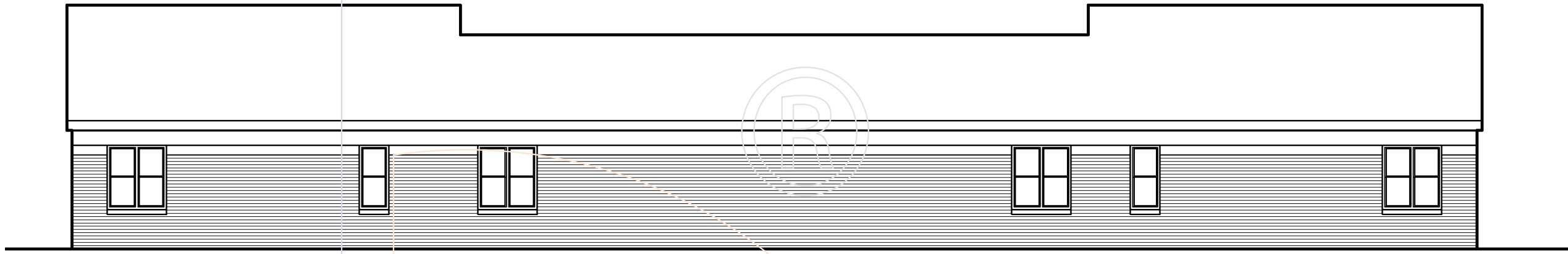
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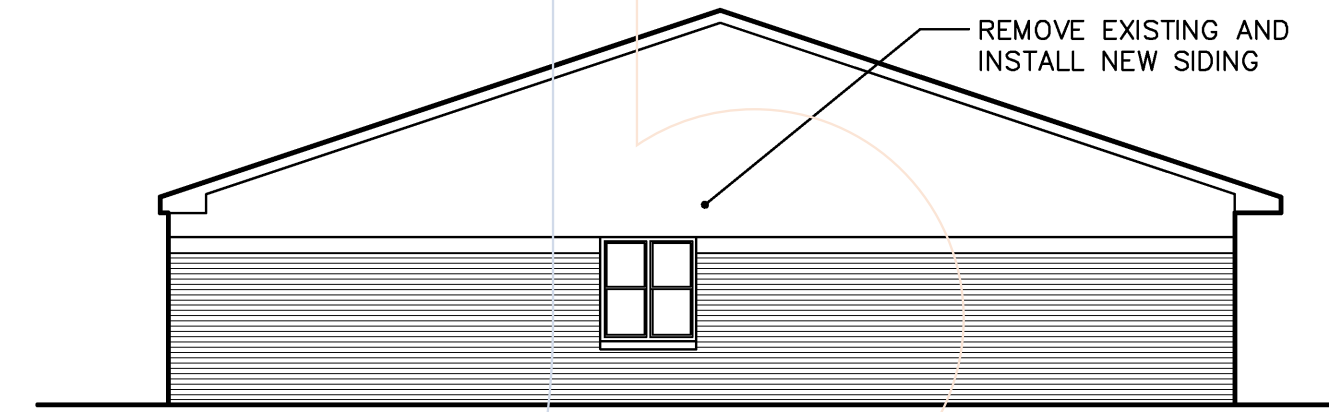
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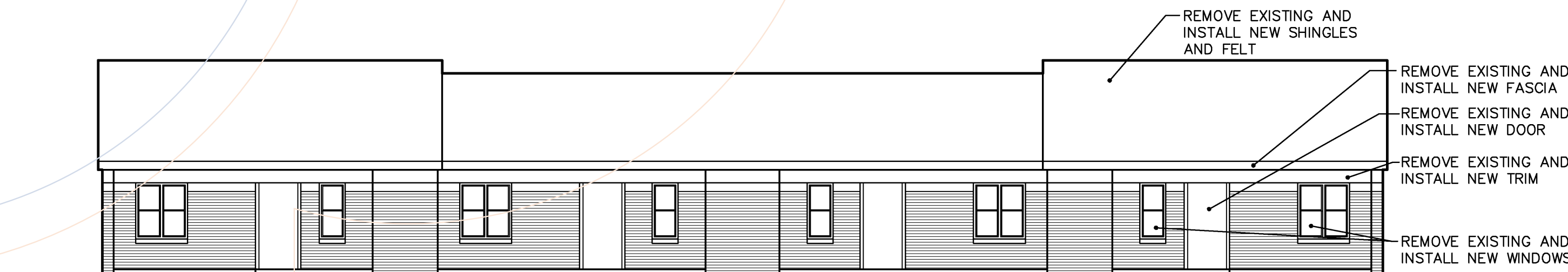
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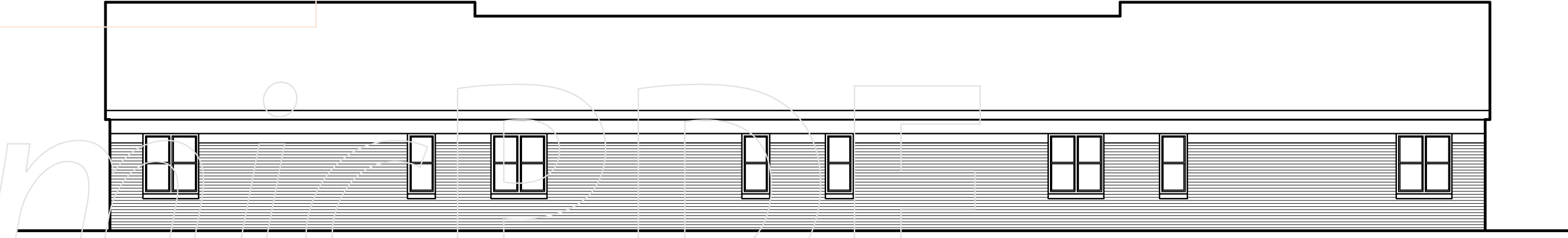
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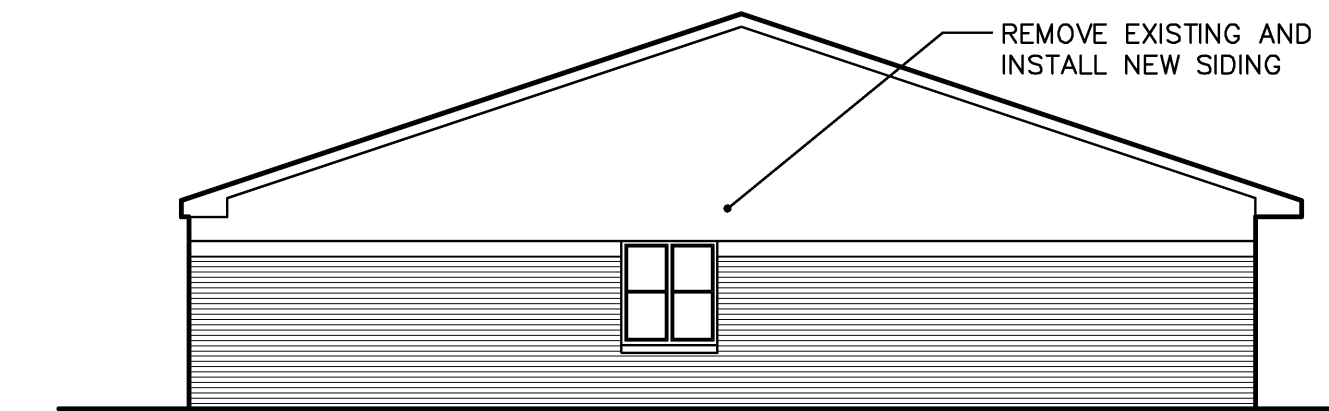
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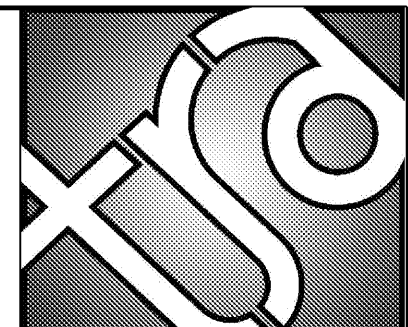
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SCALE: 1/8" = 1'-0"



7 BUILDING TYPE 2 – REAR ELEVATION
SCALE: 1/8" = 1'-0"



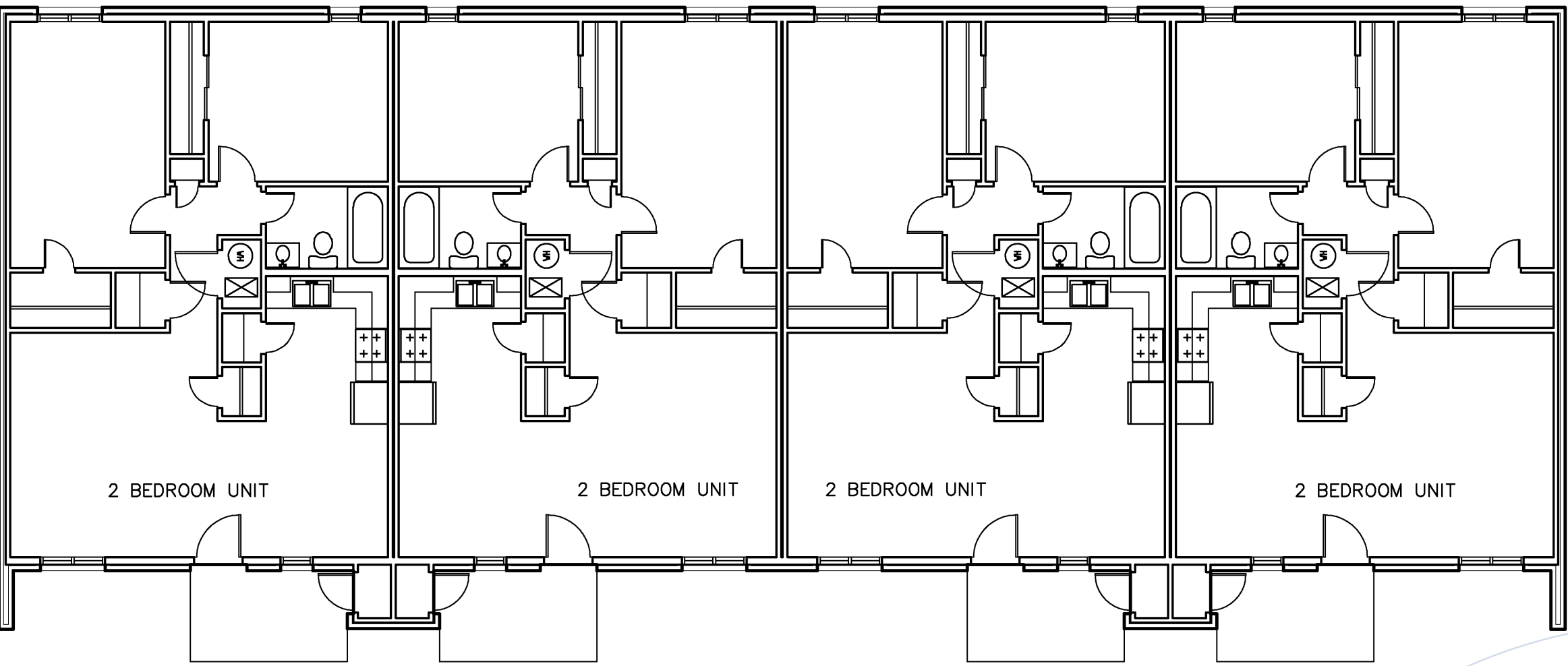
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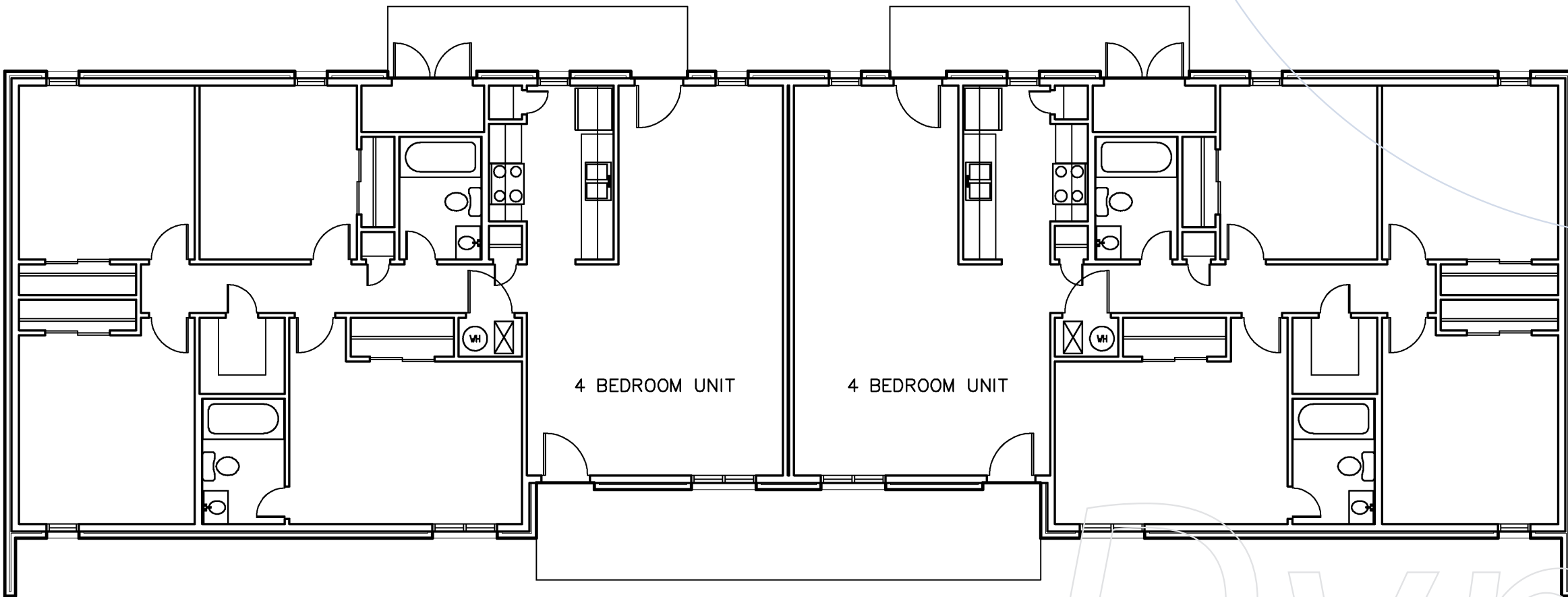
TWIN RIVERS ARCHITECTURE, P.A.
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	JTS MAO		MAY 1, 2017

SHEET NUMBER
A-1



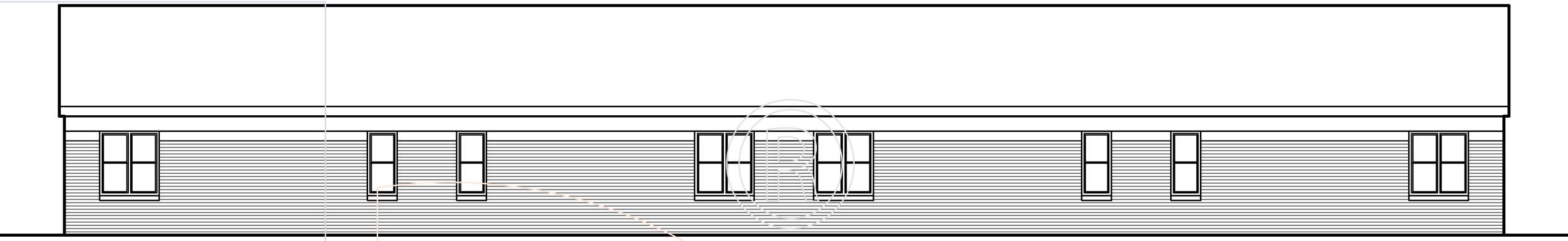
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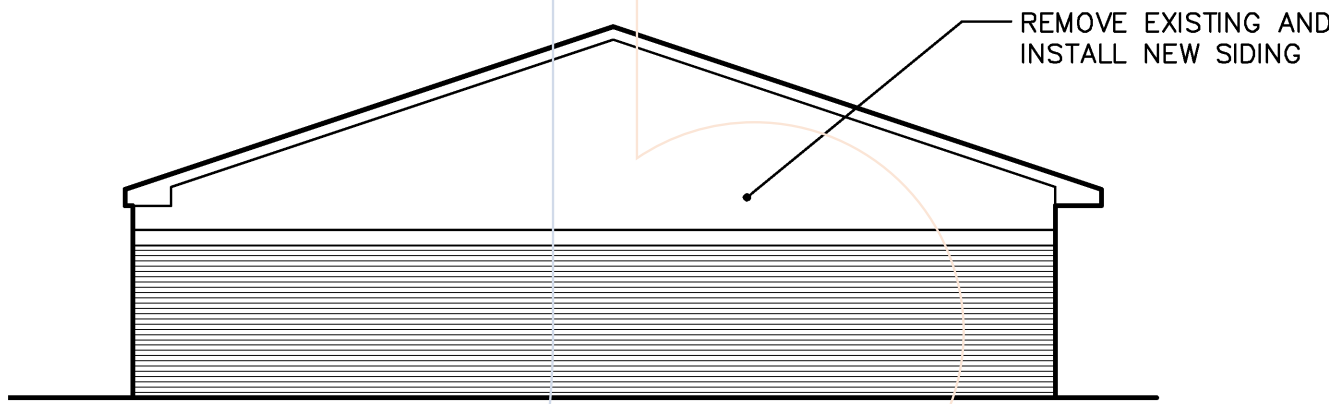
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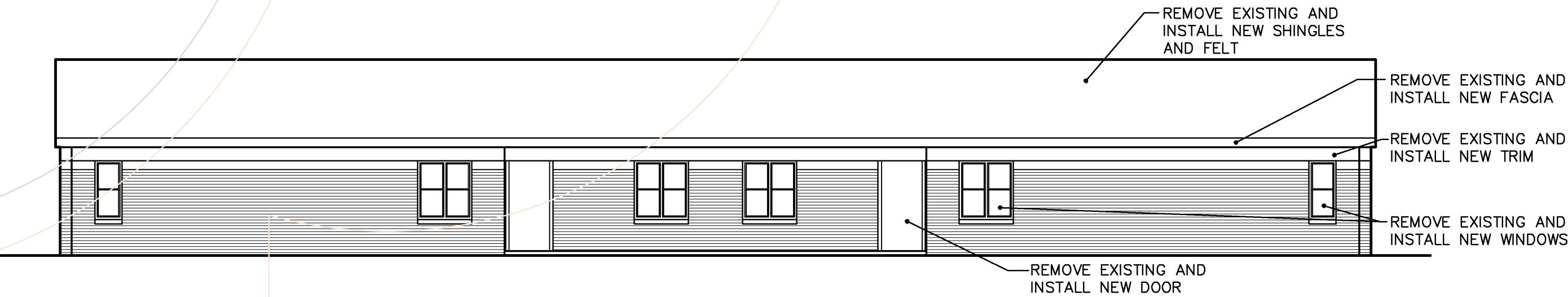
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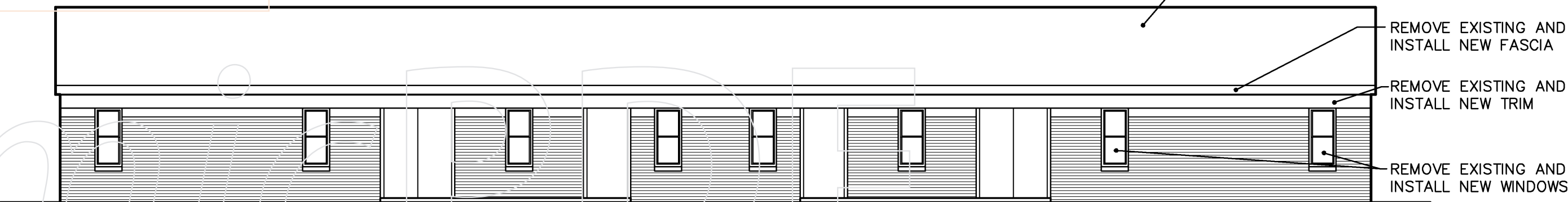
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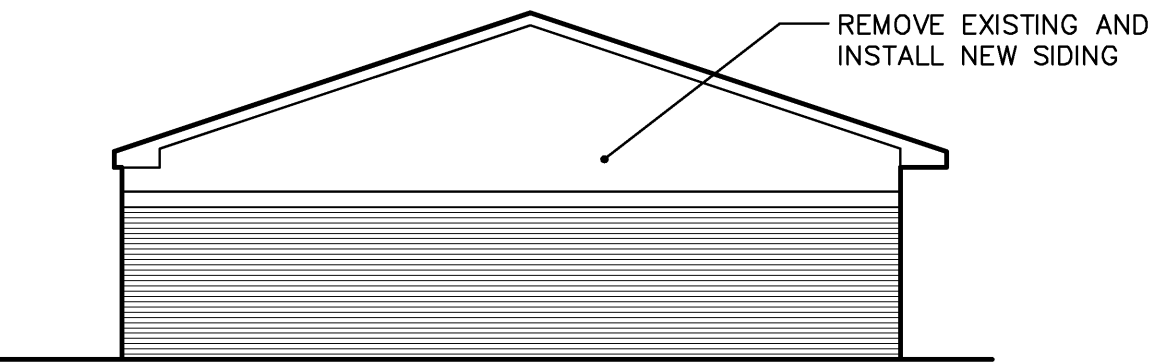
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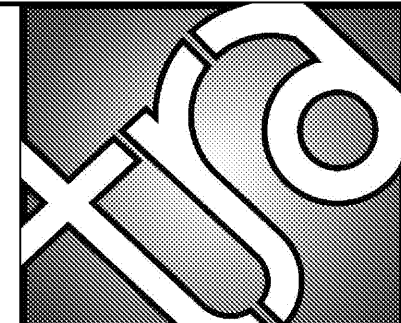
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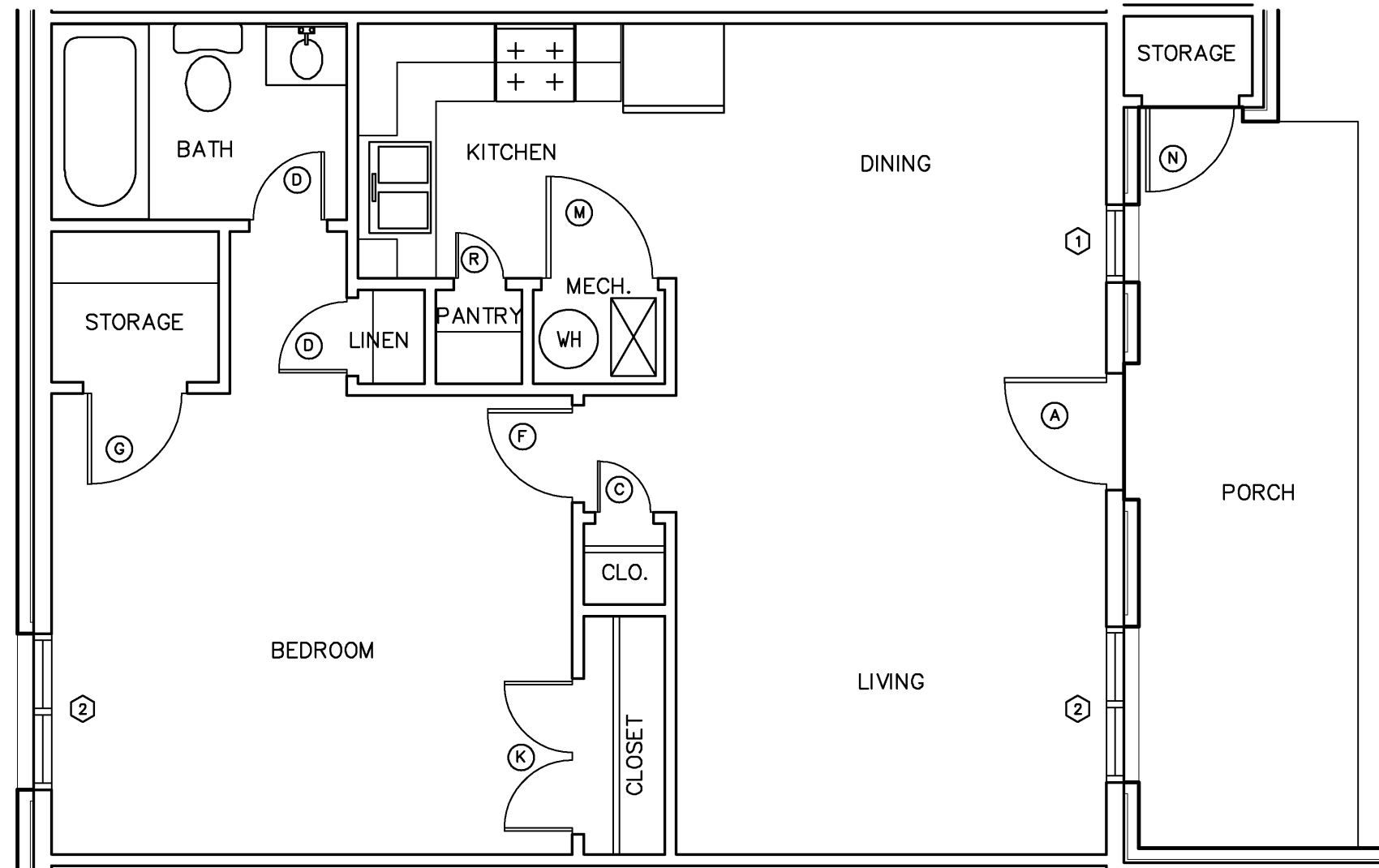


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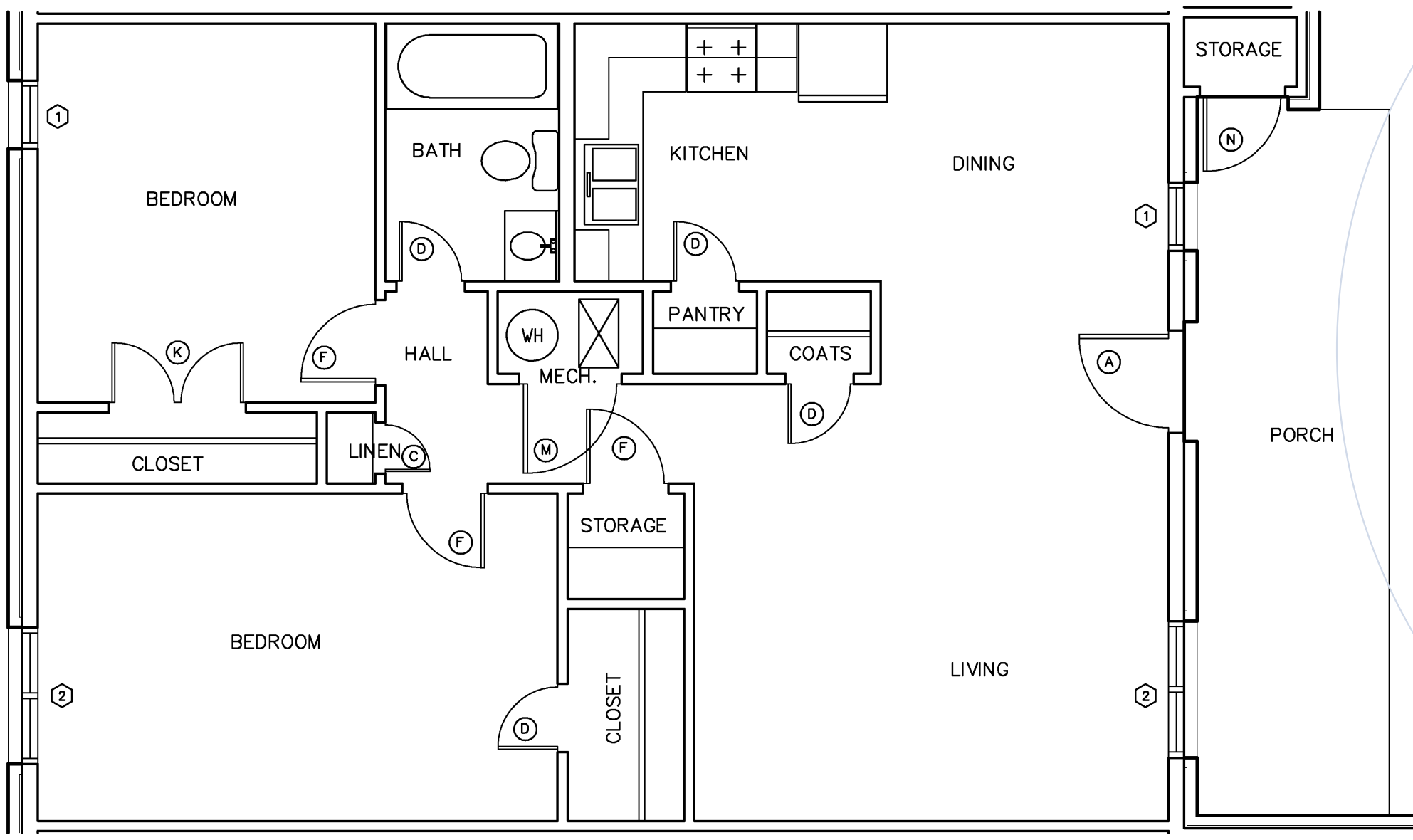


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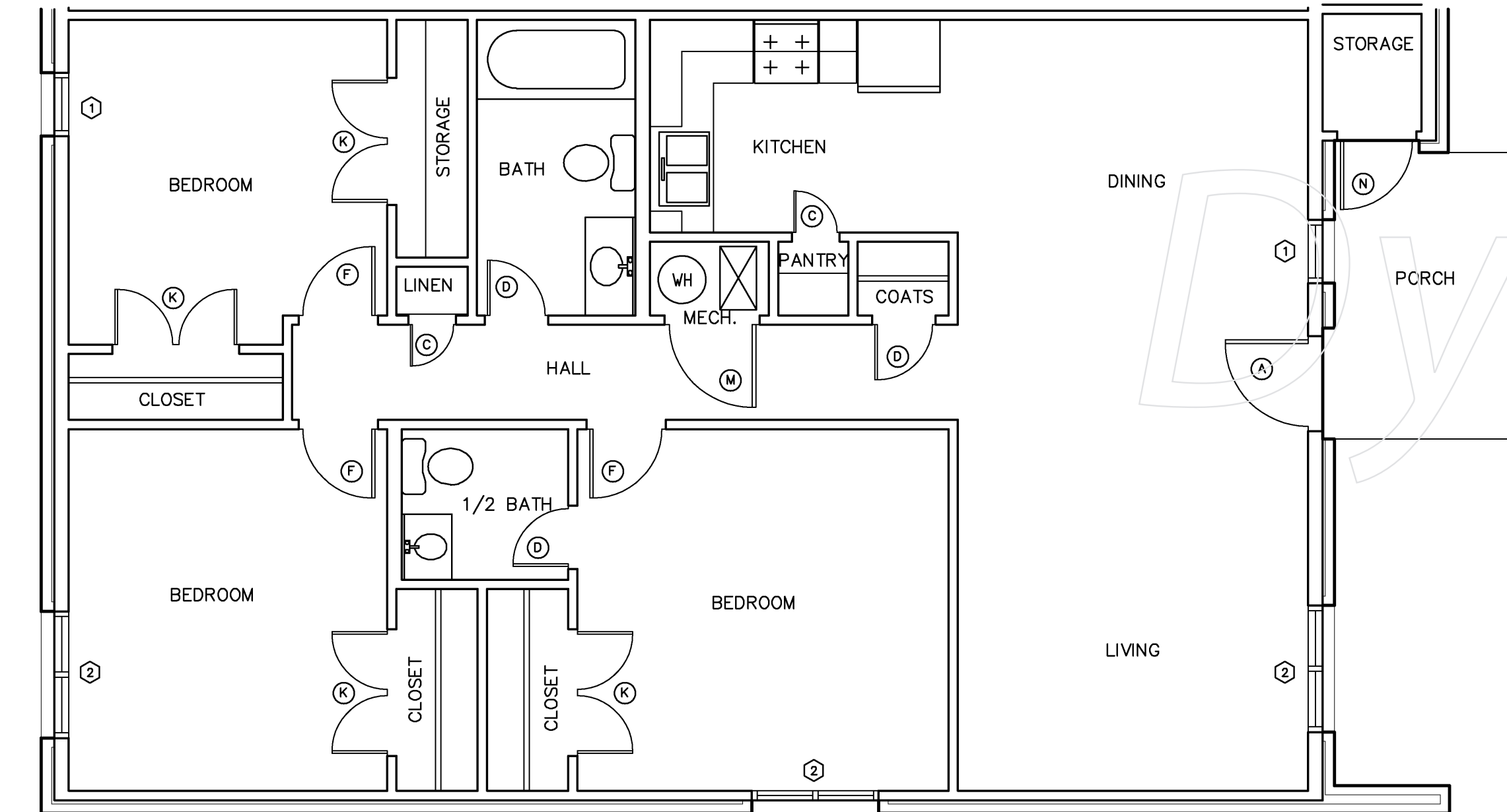
PLAINVIEW TERRACE RENOVATION A 46 UNIT REHAB PROJECT IN BONO, AR			
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	DRAWN BY	JTS	DATE
	JTS MAO		MAY 1, 2017



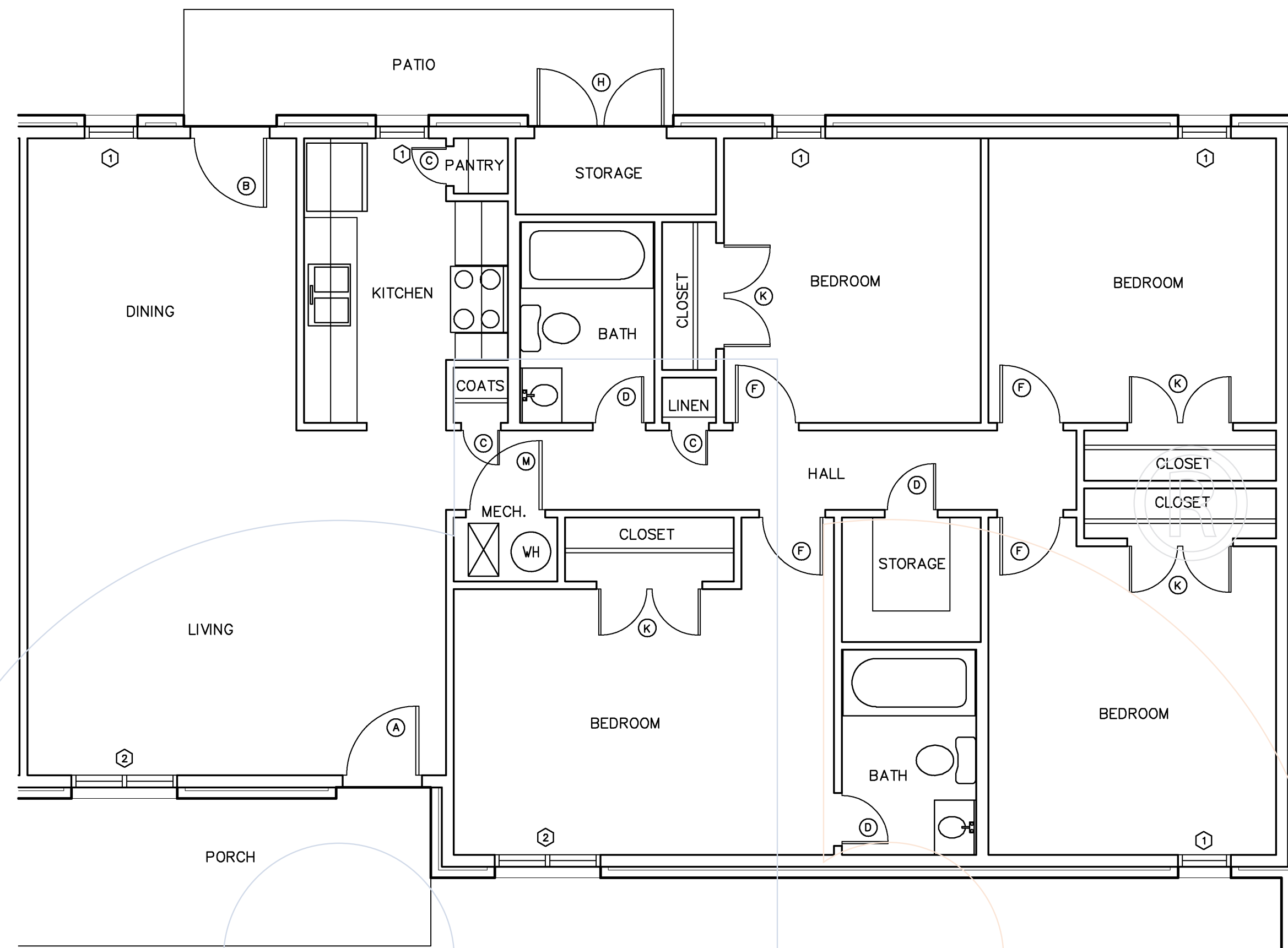
1 ONE BEDROOM UNIT FLOOR PLAN
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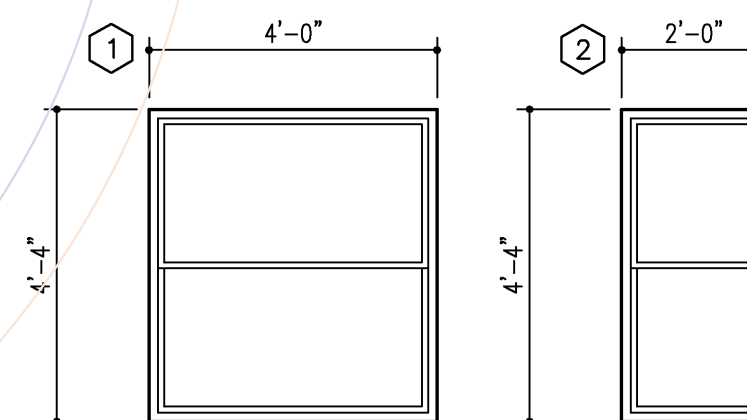
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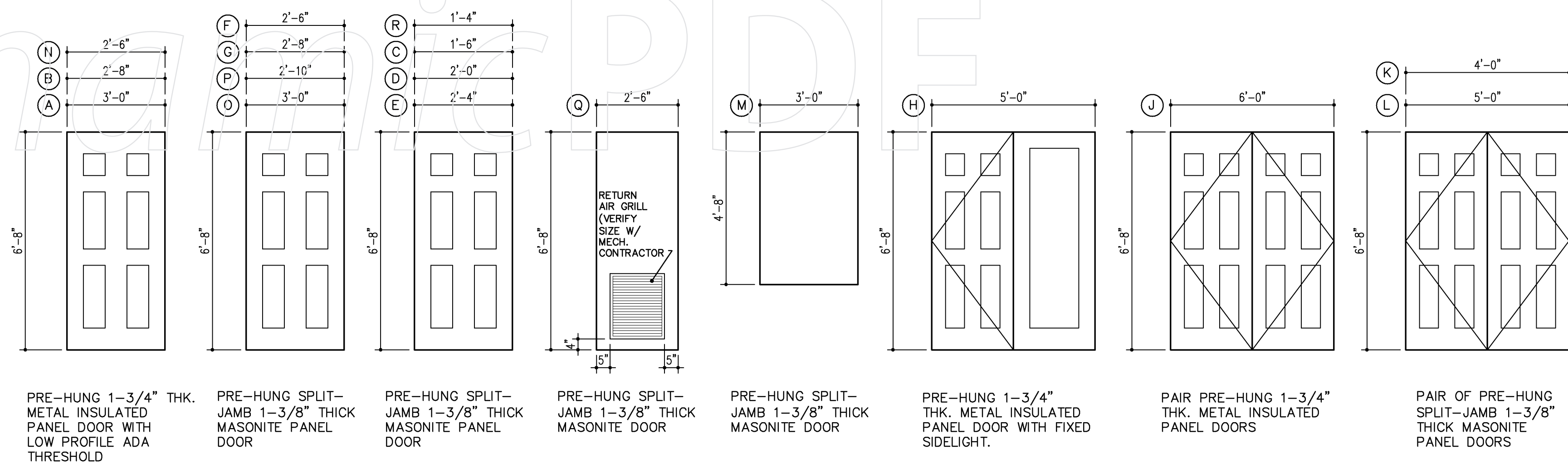
3 THREE BEDROOM UNIT FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 FOUR BEDROOM UNIT FLOOR PLAN
SCALE: 1/4" = 1'-0"



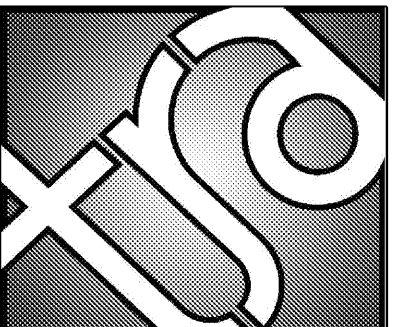
5 WINDOW SCHEDULE
SCALE: 3/8" = 1'-0"



6 DOOR SCHEDULE
SCALE: 3/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

- REMOVE EXISTING VINYL SIDING, FASCIA, SOFFIT AND TRIM AND INSTALL NEW SIDING, FASCIA, SOFFIT AND TRIM. SIDING IS TO BE EQUAL TO STYLECREST SIDING OAK HARBOR (0.042) AND COIL STOCK IS TO BE EQUAL TO STYLECREST TRV1257FAR.
- REMOVE EXISTING EXTERIOR DOORS AND REPLACE WITH A NEW METAL INSULATED, DOUBLE BORE DOOR WITH ACCESSIBLE THRESHOLD AND PEEP HOLES (ONE AT STANDARD HEIGHT AND ONE TO MEET ADA ACCESSIBILITY). INSTALL NEW DEADBOLT WITH THUMB LATCH (KWKSET 96600-496) AND LEVER PASSAGE (KWKSET 5263660). DEADBOLT TO BE KEYPED TO MASTER.
- REPLACE ALL EXISTING WINDOWS. INSTALL NEW VINYL WINDOWS WITH DOUBLE PANE, LOW-E INSULATED GLASS AND ARGON GAS.
- OVERLAY EXISTING CONCRETE PORCHES 3500 P.S.I. CONCRETE W/6x6 10/10 WWM (5'-0" WIDE MINIMUM). INSTALL NEW TOPSOIL AT EDGES OF PORCHES AND SLOPE EVENLY AWAY. INSTALL SOD.
- INSTALL ADDITIONAL INSULATION IN ATTICS. BLOWN LOOSE-FILL CELLULOSE INSULATION WHEN FINISH SHOULD BE A MINIMUM OF R-38.
- REMOVE EXISTING INTERIOR DOORS AND REPLACE. ALL NEW BEDROOM, BATH AND ACCESSIBLE CLOSET DOORS ARE TO BE REPLACED WITH 2'-10" WIDE MIN. DOORS AS REQUIRED. REMOVE ALL EXISTING DOOR HANDLES AND REPLACE WITH LEVER HANDLES (PASSAGE AND PRIVACY AS REQUIRED BY OWNER) EQUAL TO KWKSET 5263660. FINISH AS SELECTED BY OWNER.
- REMOVE ALL EXISTING AND INSTALL NEW WOOD BASE BOARD.
- REMOVE ALL EXISTING AND INSTALL NEW WOOD DOOR AND WINDOW TRIM.
- REMOVE ALL EXISTING AND INSTALL NEW BATHROOM ACCESSORIES. WORK TO INCLUDE BUT IS NOT LIMITED TO: NEW TOWEL BARS (24" BEST VALUE D8524), TOWEL RINGS (NOTRA 54952), PAPER HOLDER (ASTRA 79542), AND MEDICINE CABINET (TRI-VIEW 24" 4020954).
- REPAIR EXISTING GYPSUM BOARD IN KITCHENS AND BATHS AS REQUIRED. REMOVE EXISTING DAMAGED WINDOW CASINGS AND REPLACE. REFINISH ALL WINDOW SILLS.
- INSTALL NEW WOOD WINDOW STOOL ON ALL WINDOWS.
- REPAIR ALL DAMAGED GYPSUM BOARD (HOLES, CRACKS, SEAMS, ETC.) AND REFINISH. MUD AND TAPE AS REQUIRED, PRIME AND PREPARE FOR FINISH PAINT.
- PAINTING - PRIME ALL BARE GYPSUM BOARD AND WOOD AS REQUIRED BY THE PAINT MANUFACTURER. PAINT ALL WALLS (SW B20-W-4451-EG-SHEL), CEILINGS (SW B20-W-4451-EXTRA WHITE) AND WOOD WORK (SW B34W-4451-001 WHITE SEMI-GLOSS). WOOD WORK TO INCLUDE DOORS. REMOVE ALL OVERSPRAY FROM WINDOWS AND WINDOW FRAMING. CABINETS ARE FACTORY FINISHED AND SHALL BE PAINTED TO MATCH KITCHEN CABINETS.
- REFINISH ALL EXISTING KITCHEN CABINETS. PREP ALL CABINETS TO RECEIVE PAINT. INSTALL NEW HINGES AND PULLS. ALL PULLS ARE TO BE ADA ACCESSIBLE. REPLACE BATHROOM CABINETS WITH EXTREME USE CABINETS AND MADE OF ALL PLYWOOD MATERIAL WITH WOOD VENEER. NO PARTICLEBOARD WILL BE ALLOWED.
- ACCESSIBLE UNIT - WORK WILL INCLUDE EXISTING UNITS 504A, 504B, 507A, AND 511A (SEE ADDITIONAL DEMOLITION AND CONSTRUCTION NOTES ON PLANS). REMOVE EXISTING TUB SHOWER UNITS AND INSTALL NEW PREFAB SHOWER WITH ANTI-SCALD VALVE AND GRAB BARS (AS REQUIRED). INCLUDE SHOWER ROD. INSTALL NEW TILT MIRROR ABOVE LAVATORY RATHER THAN MEDICINE CABINET.
- CONVERT ONE UNIT FOR HEARING AND VISUALLY IMPAIRED, UNIT 502B (SEE CONSTRUCTION SCHEDULE). INSTALL DOOR BELL WITH STROBE. CONNECT SMOKE DETECTORS TO STROBE AND SIREN. PAINT DOOR TRIM CONTRASTING COLOR AND PAINT AROUND OUTLETS AND SWITCHES CONTRASTING COLOR. SEE PLANS FOR INSTRUCTIONS.
- REMOVE ALL EXISTING AND INSTALL NEW APPLIANCES. WORK TO INCLUDE BUT IS NOT LIMITED TO: INSTALLING NEW FREE STANDING RANGE (PROVIDED BY OWNER), NEW 30" SLIDE IN RANGE WITH FRONT CONTROLS FOR ACCESSIBLE UNITS (PROVIDED BY OWNER), NEW REFRIGERATOR (PROVIDED BY OWNER), AND NEW 30" VENTED VENT-A-HOOD (F403001). INSTALL CONTROLS FOR VENT-A-HOOD AT COUNTER (CABINET FRONT) IN ACCESSIBLE UNITS.
- INSTALL NEW BLINDS AND SHADES EQUAL TO ARKANSAS BLINDS AND SHADES MODEL 174862 ON ALL WINDOWS.
- PREPARE ALL EXISTING FLOORS TO RECEIVE NEW VCT. INSTALL VCT (VINYL COMPOSITION TILE) EQUAL TO ARMSTRONG 1/8" GAUGE FLOOR COVERING IN ALL BEDROOMS, LIVING ROOMS, AND HALLS, BATHS, KITCHENS AND OFFICE. ALL NEW VCT SHALL RECEIVE TWO COATS WAX.
- REMOVE EXISTING AND INSTALL NEW PLUMBING FIXTURES. WORK TO INCLUDE BUT IS NOT LIMITED TO: NEW LAVATORY FAUCETS (SINGLE LEVER OAKBROOK 4038147), KITCHEN SINK FAUCET (SINGLE LEVER WITH SPRAY OAKBROOK 48367 CHROME FINISH), NEW P-TRAPS (PVC 48280), CONTINUOUS WASTE OUTLET (BAG 48285), EXTENSION TUBE SLIP JOINT (BAG 4224036), NEW 30 GAL. WATER HEATER (LOW-BOY STATE 00098), 3/4" VALVE SOLDER STOP (OML 65220380), 24" FLEX WATER HEATER CONNECTION (FP24-65700715), WITH A NEW PAN WITH A DRAIN TO THE OUTSIDE OF THE UNITS, NEW TOILET SEATS (MAYFAIR 46357), NEW ELONGATED TOILETS FOR ACCESSIBLE UNITS AND OFFICE (MANSFIELD 905220 WITH SEATS), NEW TOILET SUPPLY LINES (FL24), SUPPLY FAUCET 3/8" STOPS (OMS 4054383), AND NEW SHOWER HEADS (LOW FLOW MODEL 1989403). REPLACE EXISTING TUB/SHOWER UNITS (SEE CONSTRUCTION SCHEDULE FOR UNIT LOCATIONS). INSULATE HOT WATER LINES FROM TANK TO WALL WITH 1" FOAM INSULATION.
- REMOVE EXISTING AND INSTALL NEW CENTRAL HEAT AND AIR UNITS. UNITS ARE EQUAL TO CARRIER 2 OR 3 TON, 14.5 SEER (MIN.), WITH 5 KW HEAT STRIPS, FAN COIL (SS1ENR024003) AND HEAT PUMP (25HBB324A003). INSTALL NEW PROGRAMMABLE THERMOSTAT WITH RAISED BUTTONS. ALL WORK REQUIRED TO MEET ALL LOCAL, STATE AND NATIONAL HVAC AND ELECTRICAL CODES. INSULATE ALL HVAC REFRIGERANT LINES WITH A MINIMUM OF 1/2" THICK PIPE INSULATION.
- REMOVE EXISTING AND INSTALL NEW LIGHT FIXTURES, OUTLETS AND SWITCHES. WORK TO INCLUDE BUT IS NOT LIMITED TO: INSTALLING NEW CEILING FANS IN BEDROOMS AND LIVING ROOMS EQUAL TO (WESTINGHOUSE 78772) AND NEW FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHS EQUAL TO (LIGHTRIGHT SB232). INSTALL NEW LIGHT FIXTURES IN ALL OTHER AREAS AS SELECTED BY THE OWNER. REPLACE ALL EXTERIOR LIGHTING AS REQUIRED.
- REMOVE EXISTING AND INSTALL NEW APARTMENT NUMBERING ON ALL UNITS. ALL SIGNAGE MUST CONFORM TO UFAS 4.30.
- INSTALL NEW DRY CHEMICAL FIRE EXTINGUISHERS AND BRACKETS IN ALL KITCHENS.
- REMOVE EXISTING AND INSTALL NEW TAMPER PROOF 110V HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP - AS REQUIRED.
- REMOVE EXISTING AND INSTALL NEW BATHROOM EXHAUST FANS - SEE CONSTRUCTION SCHEDULE FOR UNITS.
- INSTALL NEW GUTTERS AND DOWN SPOUTS. LOCATE DOWNSPOUTS AT CORNERS. INSTALL SPLASH BLOCKS AT EACH DOWN SPOUT LOCATION.
- REMOVE EXISTING SHINGLES AND FELT AND INSTALL NEW SHINGLES AND FELT ON ALL BUILDINGS. INSTALL NEW CONTINUOUS RIDGE VENTS ON ALL BUILDINGS. CUT BACK DECK TO ALLOW VENTILATION THROUGH NEW RIDGE VENT. REPLACE ALL EXHAUST NEW VENTS AND VENT PIPE FLASHING BOOTS. INSTALL A NEW METAL DRIP DECK AND SECURELY FASTEN TO THE WOOD DECK WITH NAILS.
- MECHANICAL CONTRACTOR SHALL INSTALL ALL NEW HVAC UNITS AND REFRIGERANT LINES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL MECHANICAL CODES THAT HAVE BEEN ADOPTED BY THE STATE OF ARKANSAS AND THE LOCAL CITY.



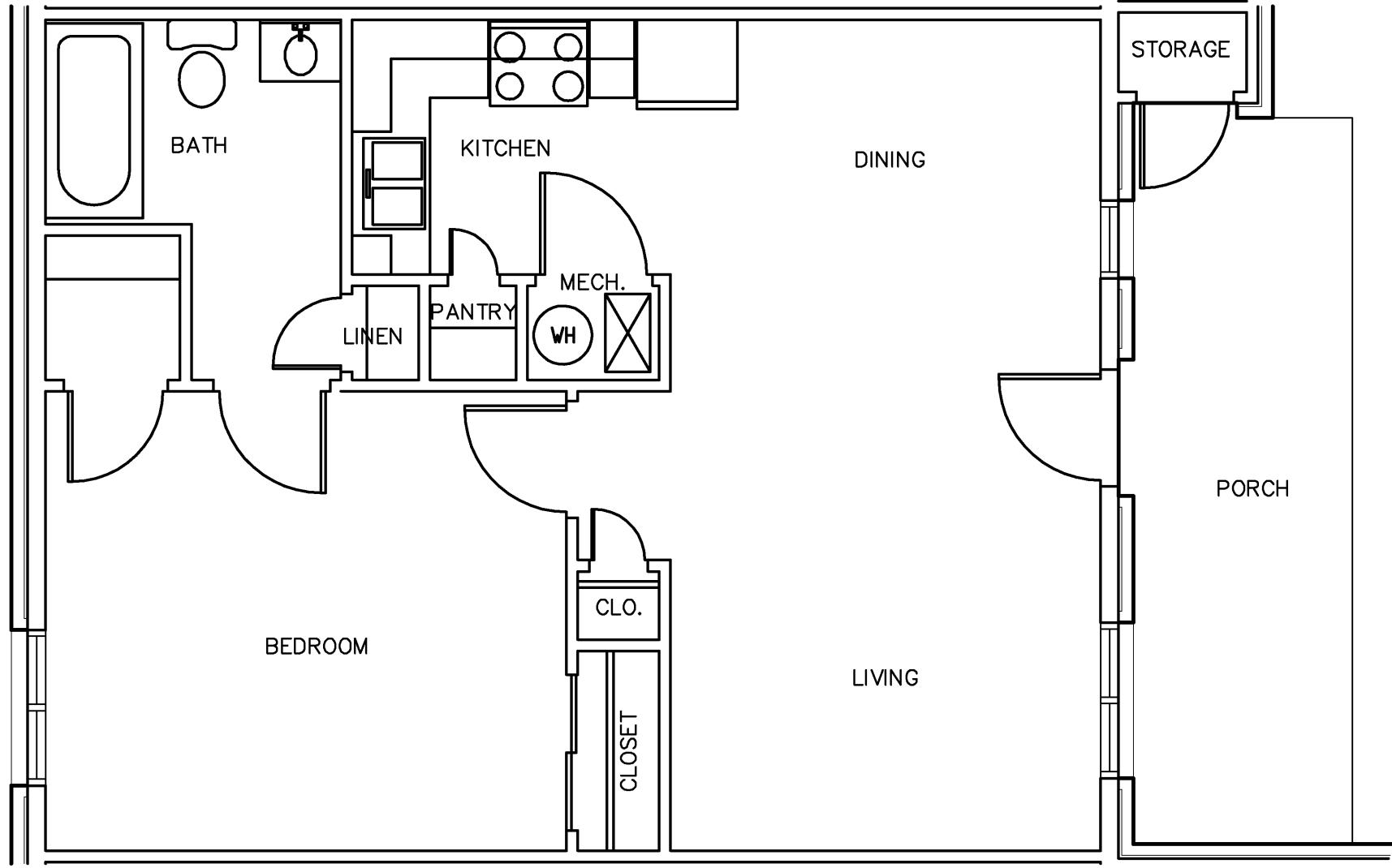
TWIN RIVERS ARCHITECTURE, P.A.
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PLAINVIEW TERRACE RENOVATION
A 46 UNIT REHAB PROJECT IN BONO, AR

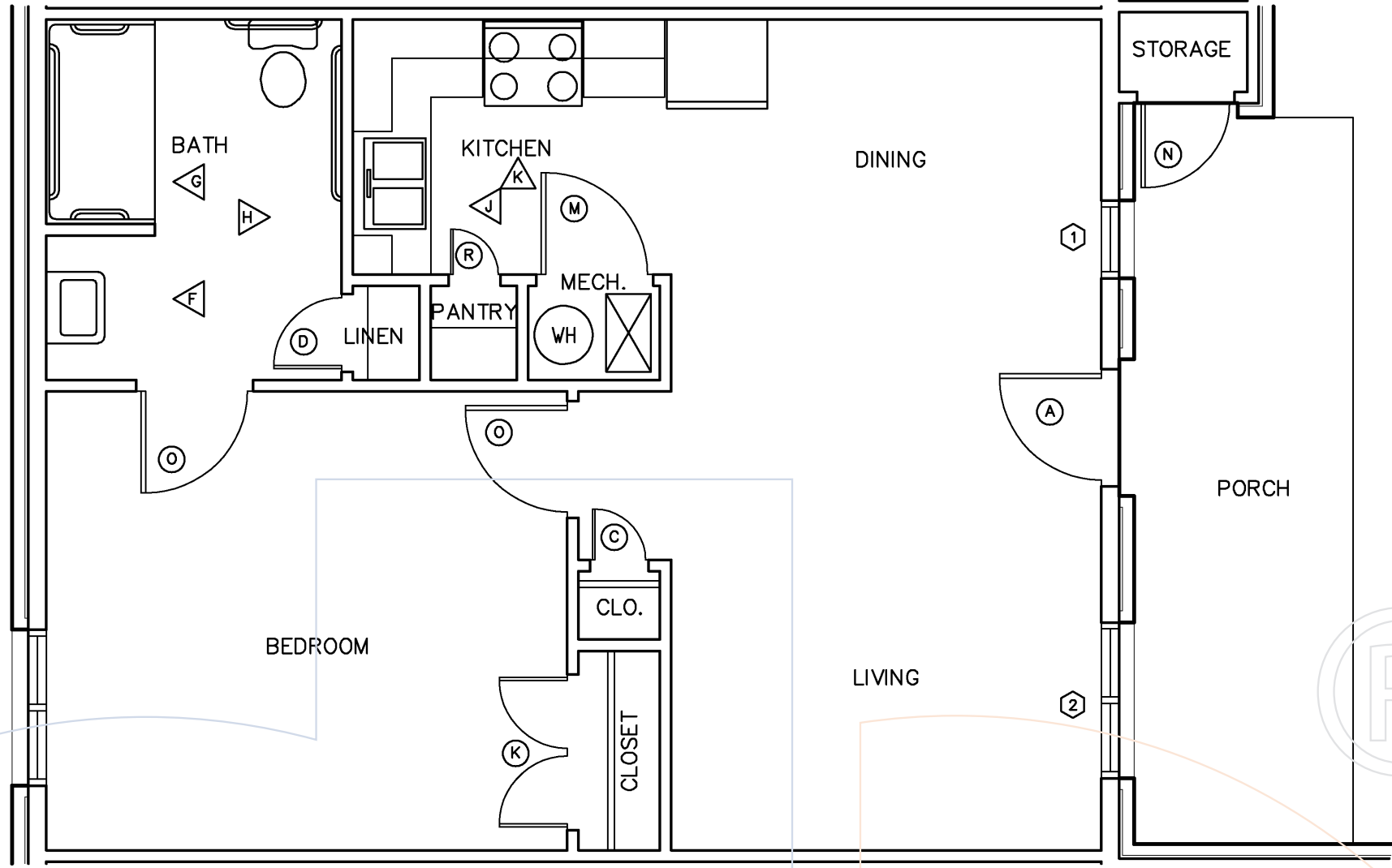
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	DRAWN BY JTS MAO		DATE MAY 1, 2017

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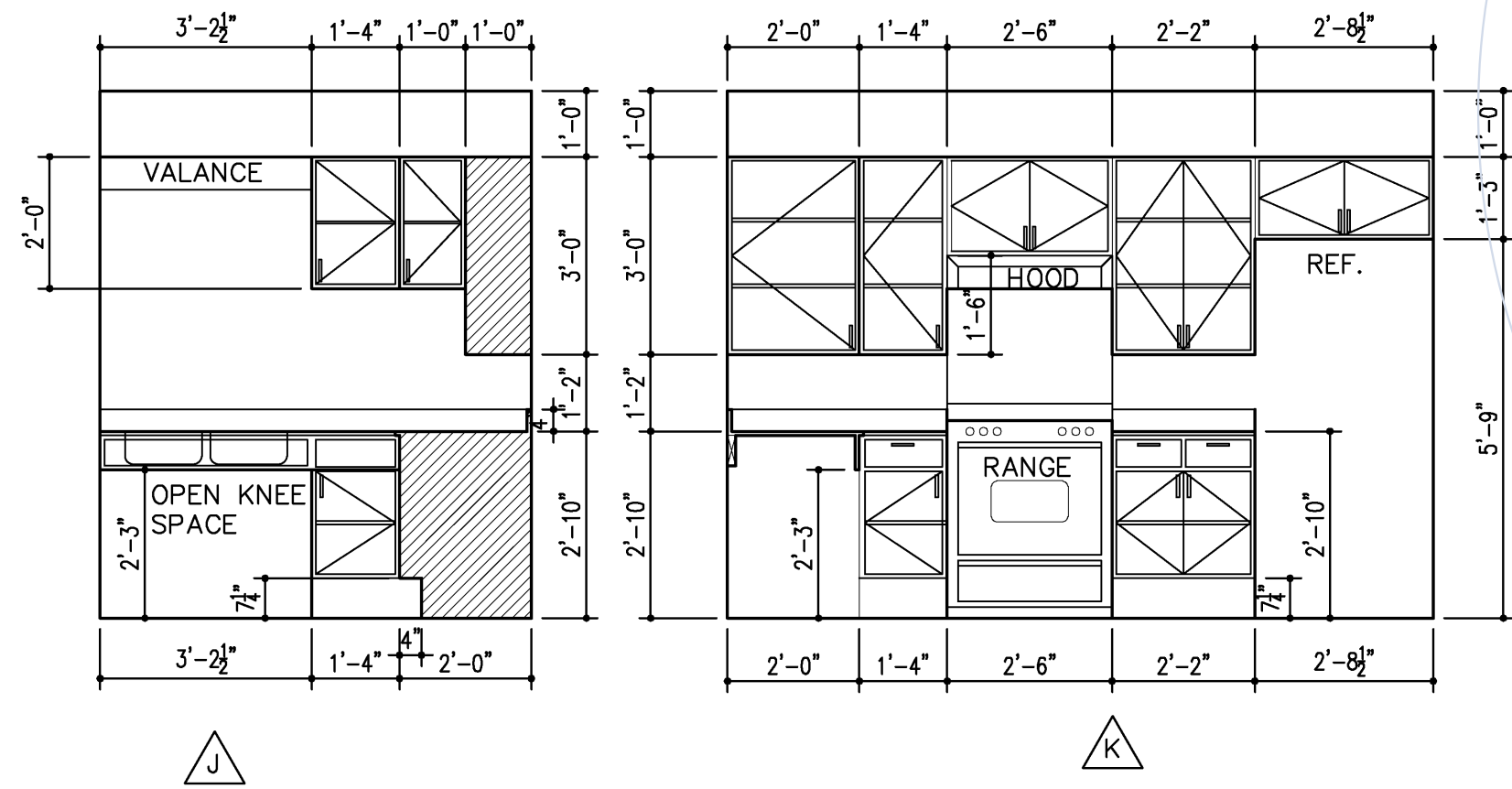
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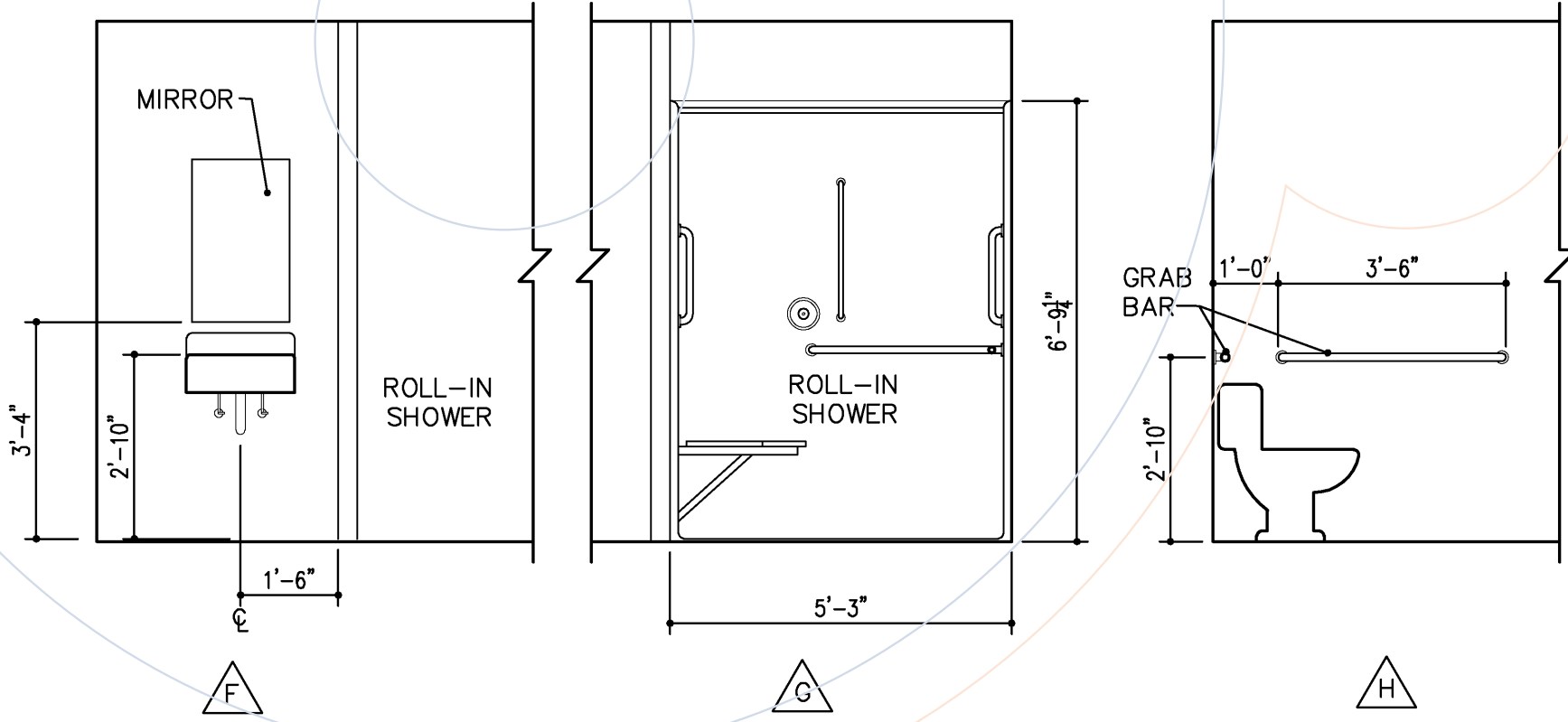
1 ONE BEDROOM ACCESSIBLE UNIT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 REVISED ONE BEDROOM ACCESSIBLE UNIT PLAN
SCALE: 1/4" = 1'-0"



3 ONE BEDROOM ACCESSIBLE UNIT INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



GENERAL CONSTRUCTION NOTES FOR WHEELCHAIR ACCESSIBLE UNITS

GENERAL CONSTRUCTION NOTES:
ADA UNIT RENOVATIONS (TOTAL 4 UNITS) UNIT NUMBERS 504B, 504C, 507A & 511A.

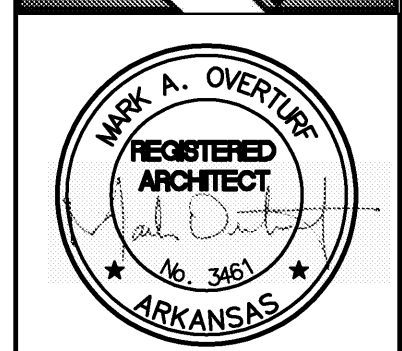
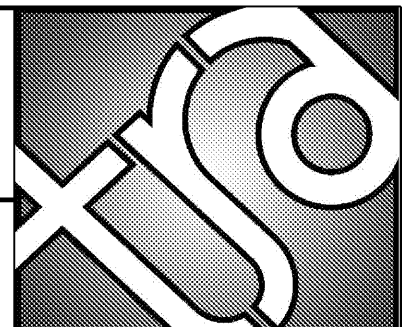
DEMO NOTES

- 1 REMOVE FLOOR COVERING DOWN TO SLAB.
- 2 REMOVE SHEETROCK FROM WALLS AS SHOWN ON THE DEMOLITION PLAN.
- 3 REMOVE HVAC UNIT AND THERMOSTAT AND REINSTALL AFTER RENOVATIONS ARE COMPLETE. INSTALL UNIT ON RETURN AIR PLENUM WITH RETURN AIR FILTER GRILL UNDER CLOSET DOOR. MECH. CLOSET DOOR SHALL HAVE AIR TIGHT SEAL.
- 4 REMOVE LIGHT FIXTURES, ELECTRICAL OUTLETS, SWITCHES AND ALL ELECTRICAL WIRING FROM PANEL TO FIXTURES, OUTLETS AND SWITCHES. RE INSTALL NEW OUTLETS AND SWITCHES AT EXISTING LOCATIONS BUT AT NEW HC HEIGHT.
- 5 REMOVE ALL PLUMBING FIXTURES, REMOVE AND CAP SUPPLY AND DRAIN LINES NOT BEING USED FOR NEW FIXTURES OR APPLIANCES
- 6 REMOVE WATER HEATER AND INSTALL NEW WATER HEATER.
- 7 DEMO FLOOR SLAB (AND REPLACE AFTER PLUMBING ROUGH IN) IN ORDER TO INSTALL NEW PLUMBING LINES, FIXTURES FOR BATH, KITCHEN, AND WATER HEATER.
- 8 DEMO STUD WALLS AS SHOWN BY DASHED LINES ON FLOOR PLAN.
- 9 REMOVE INTERIOR DOORS
- 10 REMOVE WALL BASE, WINDOW AND DOOR TRIM, WINDOW SILLS.
- 11 REMOVE FRONT AND REAR ENTRY DOORS AND STORAGE ROOM DOORS.
- 12 INSTALL NEW EMERGENCY CALL SYSTEM IN BATH AND BEDROOMS DURING RECONSTRUCTION, AS DIRECTED BY THE ARCHITECT, CONTRACTOR SHALL ENSURE PROPER OPERATION.
- 13 REPLACE AC CONDENSATE LINES. ALL LINES TO RUN CONCEALED IN WALL TO OUTSIDE.

CONSTRUCTION NOTES :

ADA UNIT RENOVATIONS (TOTAL 4 UNITS) UNIT NUMBERS 504B, 504C, 507A & 511A.

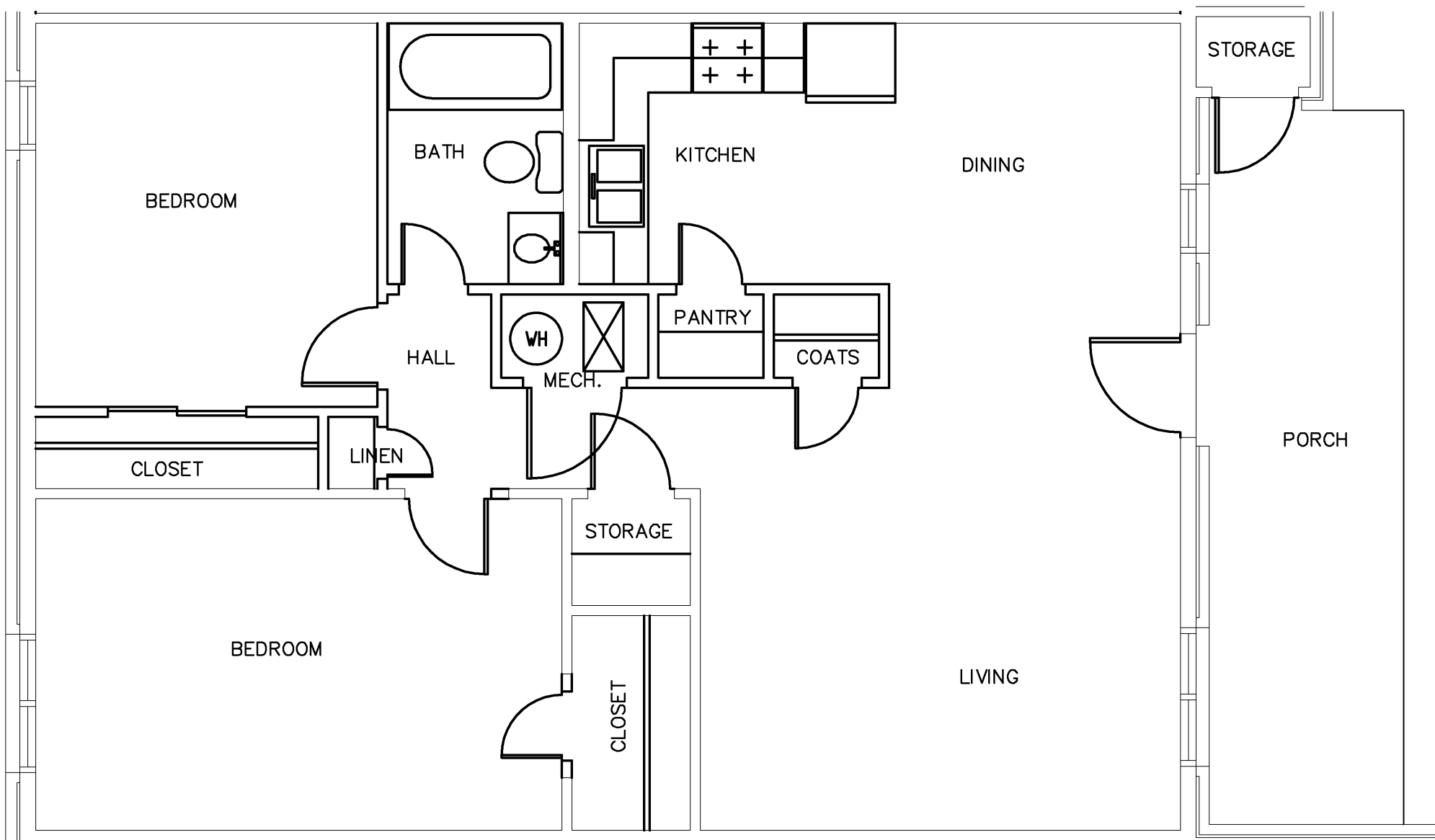
- 1 CONSTRUCT NEW WALLS AS SHOWN AS SOLID WALLS ON FLOOR PLAN. INSTALL SOLID BLOCKING FOR ALL ACCESSORIES AND GRAB BARS.
- 2 INSTALL INSULATION IN ALL EXTERIOR WALLS EXPOSED AND 3-1/2" SOUND BATT INSULATION IN ALL OPENED OR NEW INTERIOR WALLS. AFTER COMPLETION OF ALL WORK IN THE ATTIC BLOW IN FIBERGLASS INSUL. TO BRING UP TOTAL ATTIC INSUL. TO R38
- 3 AS DIRECTED BY THE ARCHITECT. INSTALL NEW LIGHT FIXTURES, OUTLETS AND SWITCHES. (INSTALL TOPS OF SWITCHES AT 48" AFF AND OUTLETS AT 19" AFF TO CENTER. INSTALL NEW SMOKE DETECTORS. INSTALL RANGE HOOD SWITCHES AT FACE OF KITCHEN CABINET NEXT TO RANGE.
- 4 INSTALL 5/8" SHEETROCK ON ALL WALLS AND CEILING, TAPE, MUD AND PAINT.
- 5 INSTALL NEW VCT TILE AND WOOD WALL BASE PAINTED TO MATCH NEW INTERIOR DOORS. TILE SHALL BE EQUAL TO ARMSTRONG VCT 1/8" 12X12
- 6 INSTALL NEW FRONT AND REAR ENTRY DOOR, AND STORAGE ROOM DOORS. CONTRACTOR SHALL SUPPLY AND INSTALL 22 GA STEEL DOOR ON STORAGE ROOM.
- 7 INSTALL NEW INTERIOR DOORS AND 3" WOOD TRIM, DOORS SHALL BE MASONITE 6 PANEL DOORS WITH 3" TRIM. INSTALL NEW ADA LEVER HARDWARE SHALL BE EQUAL TO KWIKSET 200DL-26D. INSTALL NEW WINDOW TRIM AND WOOD WINDOW SILLS.
- 8 RELOCATE OR ADD ANY HEAT AND AIR DUCT, EXHAUST FAN DUCT, RANGE HOOD DUCT AS REQUIRED. INSTALL NEW HEAT/AIR VENT REGISTERS TO MATCH EXISTING STYLE.
- 9 INSTALL NEW CABINETS (SEE INTERIOR ELEVATIONS). INSTALL PLASTIC LAMINATE ON ALL WALLS WHERE KITCHEN CABINETS ARE LOCATED (ON WALL BETWEEN UPPER AND LOWER CABINET, BEHIND REF. FROM FLOOR TO UNDER UPPER CABINET, BETWEEN CABINETS AND WINDOW TRIM, ON EXPOSED WALL UNDER KITCHEN SINK) USE METAL PANEL MOLDING AT ALL JOINTS IN PLASTIC LAM. ON WALLS
- 10 PATCH/REPAIR AND RE TEXTURE EXISTING GYP BD. CEILING, PAINT.
- 11 INSTALL NEW SUPPLY AND DRAIN LINES TO ALL PLUMBING FIXTURES AND APPLIANCES, ALL LINES SHALL BE PLATED BRASS.
- 12 KITCHEN SINK DAYTON DSE23322 W/ PLATED BRASS BASKET STRAINER AND DELTA 2402 FAUCET, PROVIDE EXTERIOR SEWER CLEAN OUT. RANGE HOOD GE JV635HWW VENT TO EXTERIOR, (NEW REFRIGERATOR AND RANGE SHALL BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR) NEW REFRIGERATOR SHALL BE GTE18ETHWW. NEW RANGE SHALL BE GE 30" JGBS10DEFWW.
- 13 VENT-LIGHT-NIGHTLIGHT IN BATH SHALL BE BROAN XB110L VENT TO OUTSIDE.
- 14 INSTALL NEW BATH ACCESSORIES
- 15 BATH: INSTALL COMPLETE ADA - HC ROLL IN SHOWER UNIT FREEDOM MODEL- APFQ6334BF75 WITH FOLDING SHOWER SEAT, U- SHAPED GRAB BARS, SHOWER ROD AND WEIGHTED CURTAIN, PRESSURE BALANCE VALVE WITH HAND HELD SHOWER AND SLIDE ROD, CAULKLESS WATER RETAINER, RECESSED SOAP DISH. REF: GOTOBUTTON BM_1_ WWW.FREEDOMSHOWERS.COM
- 16 CONTRACTOR SHALL SUPPLY WINDOW BLINDS AND INSTALL.



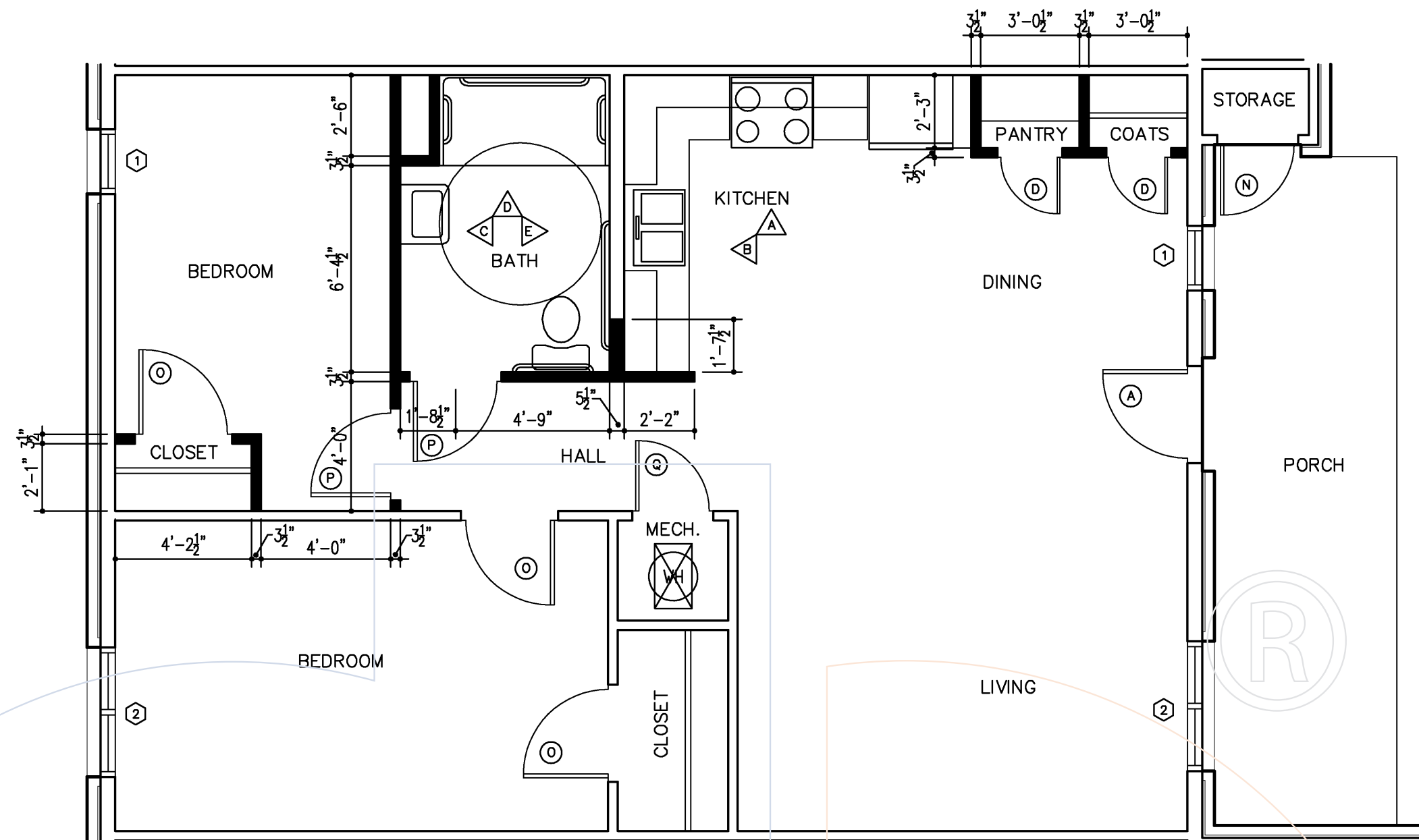
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PLAINVIEW TERRACE RENOVATION A 46 UNIT REHAB PROJECT IN BONO, AR			
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	DRAWN BY	JTS	MAY 1, 2017

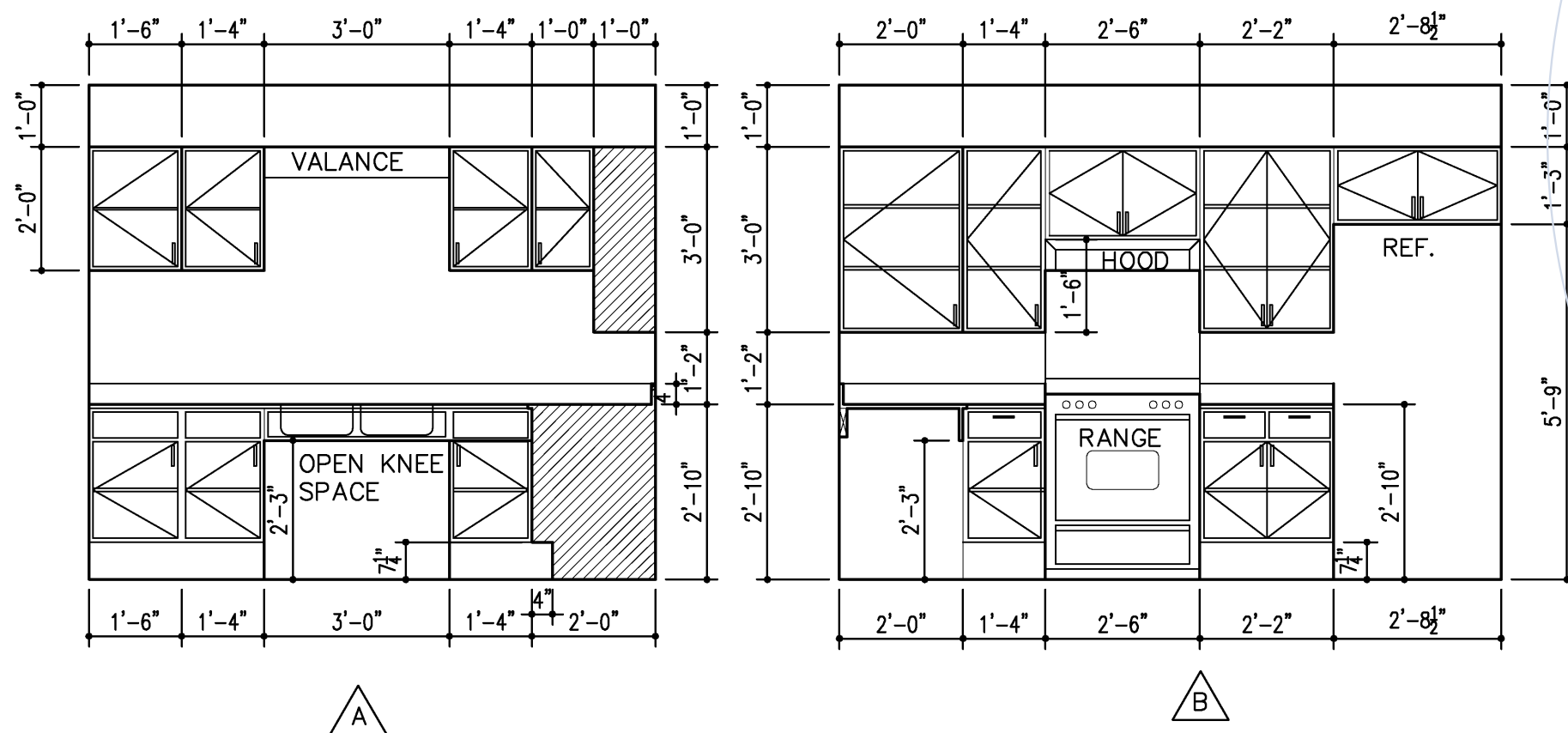
SHEET NUMBER
A-4



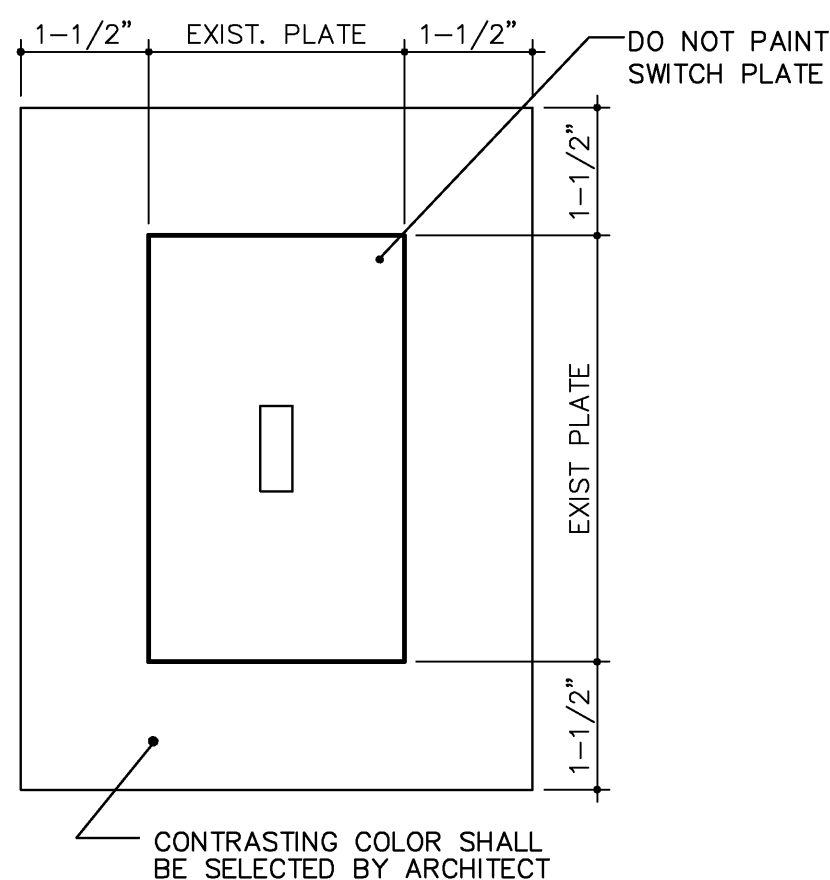
1 TWO BEDROOM ACCESSIBLE UNIT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



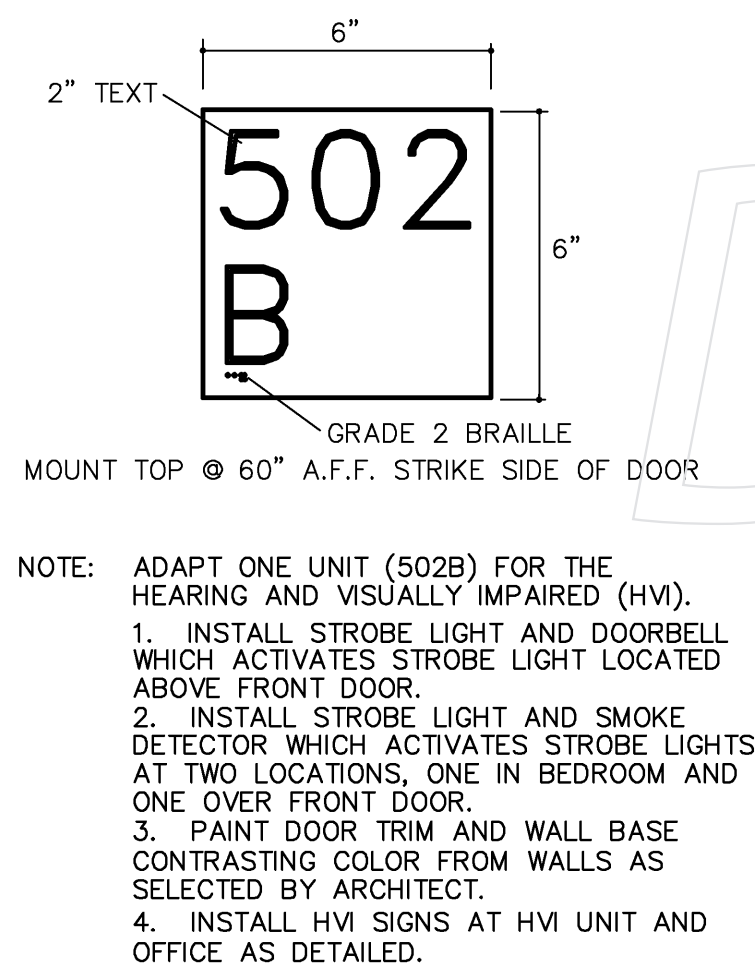
2 REVISED TWO BEDROOM ACCESSIBLE UNIT PLAN
SCALE: 1/4" = 1'-0"



3 TWO BEDROOM ACCESSIBLE UNIT INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



4 UNIT 502B - DETAILS FOR HEARING AND VISUALLY IMPAIRED UNIT
NOT TO SCALE



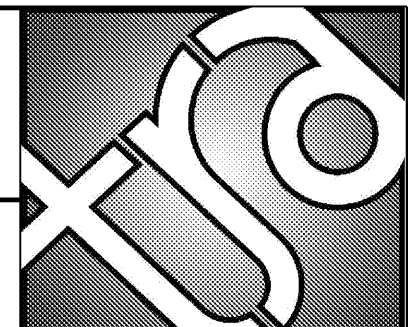
GENERAL CONSTRUCTION NOTES FOR WHEELCHAIR ACCESSIBLE UNITS

GENERAL CONSTRUCTION NOTES:
ADA UNIT RENOVATIONS (TOTAL 4 UNITS) UNIT NUMBERS 504B, 504C, 507A & 511A.

- DEMO NOTES
- 1 REMOVE FLOOR COVERING DOWN TO SLAB.
 - 2 REMOVE SHEETROCK FROM WALLS AS SHOWN ON THE DEMOLITION PLAN.
 - 3 REMOVE HVAC UNIT AND THERMOSTAT AND REINSTALL AFTER RENOVATIONS ARE COMPLETE. INSTALL UNIT ON RETURN AIR PLENUM WITH RETURN AIR FILTER GRILL UNDER CLOSET DOOR. MECH. CLOSET DOOR SHALL HAVE AIR TIGHT SEAL.
 - 4 REMOVE LIGHT FIXTURES, ELECTRICAL OUTLETS, SWITCHES AND ALL ELECTRICAL WIRING FROM PANEL TO FIXTURES, OUTLETS AND SWITCHES. RE INSTALL NEW OUTLETS AND SWITCHES AT EXISTING LOCATIONS BUT AT NEW HC HEIGHT.
 - 5 REMOVE ALL PLUMBING FIXTURES, REMOVE AND CAP SUPPLY AND DRAIN LINES NOT BEING USED FOR NEW FIXTURES OR APPLIANCES
 - 6 REMOVE WATER HEATER AND INSTALL NEW WATER HEATER.
 - 7 DEMO FLOOR SLAB (AND REPLACE AFTER PLUMBING ROUGH IN) IN ORDER TO INSTALL NEW PLUMBING LINES, FIXTURES FOR BATH, KITCHEN, AND WATER HEATER.
 - 8 DEMO STUD WALLS AS SHOWN BY DASHED LINES ON FLOOR PLAN.
 - 9 REMOVE INTERIOR DOORS
 - 10 REMOVE WALL BASE, WINDOW AND DOOR TRIM, WINDOW SILLS.
 - 11 REMOVE FRONT AND REAR ENTRY DOORS AND STORAGE ROOM DOORS.
 - 12 INSTALL NEW EMERGENCY CALL SYSTEM IN BATH AND BEDROOMS DURING RECONSTRUCTION, AS DIRECTED BY THE ARCHITECT, CONTRACTOR SHALL ENSURE PROPER OPERATION.
 - 13 REPLACE AC CONDENSATE LINES. ALL LINES TO RUN CONCEALED IN WALL TO OUTSIDE.

CONSTRUCTION NOTES :
ADA UNIT RENOVATIONS (TOTAL 4 UNITS) UNIT NUMBERS 504B, 504C, 507A & 511A.

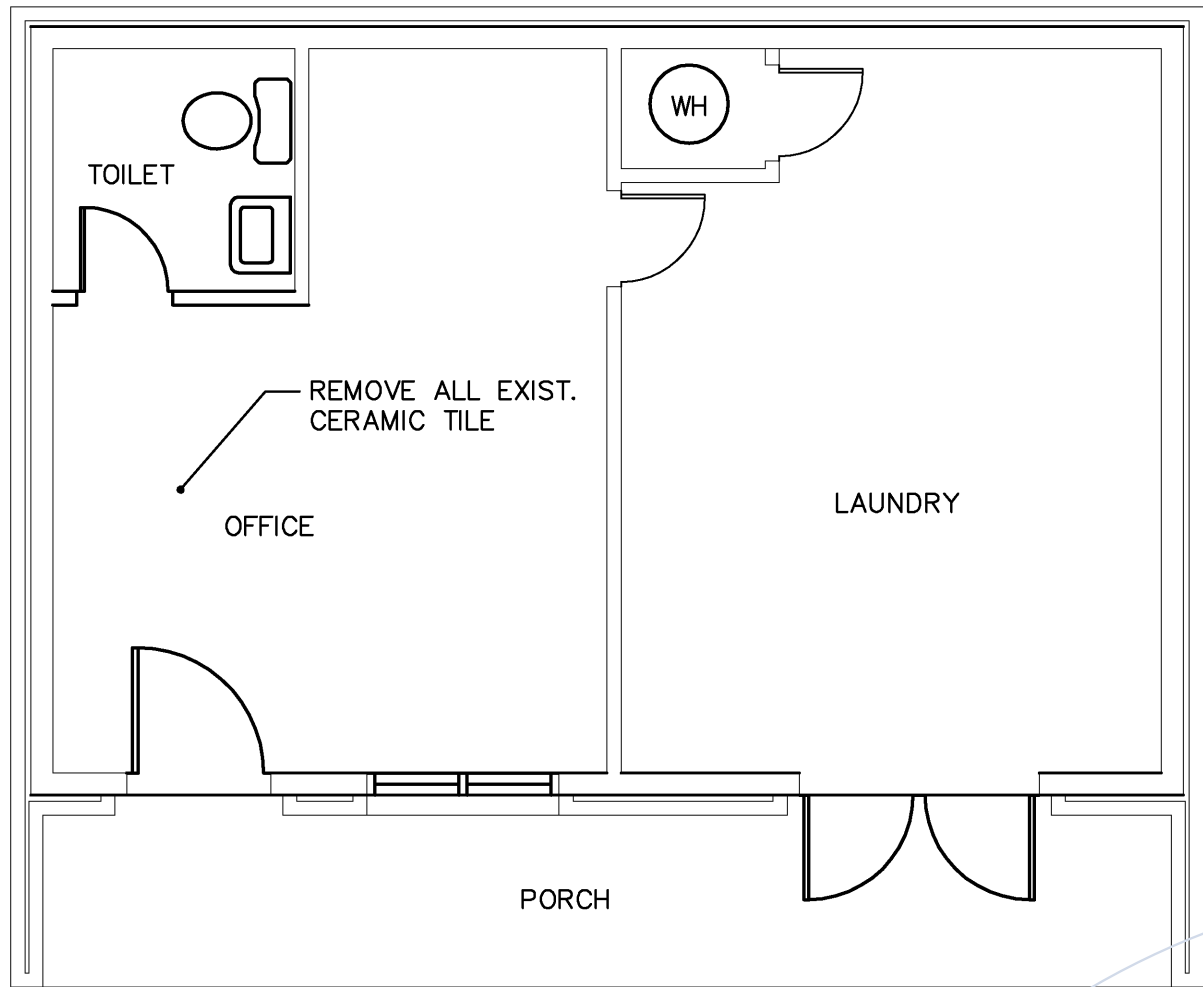
- 1 CONSTRUCT NEW WALLS AS SHOWN AS SOLID WALLS ON FLOOR PLAN. INSTALL SOLID BLOCKING FOR ALL ACCESSORIES AND GRAB BARS.
- 2 INSTALL INSULATION IN ALL EXTERIOR WALLS EXPOSED AND 3-1/2" SOUND BATT INSULATION IN ALL OPENED OR NEW INTERIOR WALLS. AFTER COMPLETION OF ALL WORK IN THE ATTIC BLOW IN FIBERGLASS INSUL. TO BRING UP TOTAL ATTIC INSUL. TO R38
- 3 AS DIRECTED BY THE ARCHITECT. INSTALL NEW LIGHT FIXTURES, OUTLETS AND SWITCHES. (INSTALL TOPS OF SWITCHES AT 48" AFF AND OUTLETS AT 19" AFF TO CENTER. INSTALL NEW SMOKE DETECTORS. INSTALL RANGE HOOD SWITCHES AT FACE OF KITCHEN CABINET NEXT TO RANGE.
- 4 INSTALL 5/8" SHEETROCK ON ALL WALLS AND CEILING, TAPE, MUD AND PAINT.
- 5 INSTALL NEW VCT TILE AND WOOD WALL BASE PAINTED TO MATCH NEW INTERIOR DOORS. TILE SHALL BE EQUAL TO ARMSTRONG VCT 1/8" 12X12
- 6 INSTALL NEW FRONT AND REAR ENTRY DOOR, AND STORAGE ROOM DOORS. CONTRACTOR SHALL SUPPLY AND INSTALL 22 GA STEEL DOOR ON STORAGE ROOM.
- 7 INSTALL NEW INTERIOR DOORS AND 3" WOOD TRIM, DOORS SHALL BE MASONITE 6 PANEL DOORS WITH 3" TRIM. INSTALL NEW ADA LEVER HARDWARE SHALL BE EQUAL TO KWIKSET 200DL-26D. INSTALL NEW WINDOW TRIM AND WOOD WINDOW SILLS.
- 8 RELOCATE OR ADD ANY HEAT AND AIR DUCT, EXHAUST FAN DUCT, RANGE HOOD DUCT AS REQUIRED. INSTALL NEW HEAT/AIR VENT REGISTERS TO MATCH EXISTING STYLE.
- 9 INSTALL NEW CABINETS (SEE INTERIOR ELEVATIONS). INSTALL PLASTIC LAMINATE ON ALL WALLS WHERE KITCHEN CABINETS ARE LOCATED (ON WALL BETWEEN UPPER AND LOWER CABINET, BEHIND REF. FROM FLOOR TO UNDER UPPER CABINET, BETWEEN CABINETS AND WINDOW TRIM, ON EXPOSED WALL UNDER KITCHEN SINK) USE METAL PANEL MOLDING AT ALL JOINTS IN PLASTIC LAM. ON WALLS
- 10 PATCH/REPAIR AND RE TEXTURE EXISTING GYP BD. CEILING, PAINT.
- 11 INSTALL NEW SUPPLY AND DRAIN LINES TO ALL PLUMBING FIXTURES AND APPLIANCES, ALL LINES SHALL BE PLATED BRASS.
- 12 KITCHEN SINK DAYTON DSE23322 W/ PLATED BRASS BASKET STRAINER AND DELTA 2402 FAUCET, PROVIDE EXTERIOR SEWER CLEAN OUT. RANGE HOOD GE JV635HWW VENT TO EXTERIOR, (NEW REFRIGERATOR AND RANGE SHALL BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR) NEW REFRIGERATOR SHALL BE GTE18ETHWW. NEW RANGE SHALL BE GE 30" JGBS10DEFWW.
- 13 VENT-LIGHT-NIGHTLIGHT IN BATH SHALL BE BROAN XB110L VENT TO OUTSIDE.
- 14 INSTALL NEW BATH ACCESSORIES
- 15 BATH: INSTALL COMPLETE ADA - HC ROLL IN SHOWER UNIT FREEDOM MODEL- APFQ6334BF75 WITH FOLDING SHOWER SEAT, U- SHAPED GRAB BARS, SHOWER ROD AND WEIGHTED CURTAIN, PRESSURE BALANCE VALVE WITH HAND HELD SHOWER AND SLIDE ROD, CAULKLESS WATER RETAINER, RECESSED SOAP DISH. REF: GOTOBUTTON BM_1_ WWW.FREEDOMSHOWERS.COM
- 16 CONTRACTOR SHALL SUPPLY WINDOW BLINDS AND INSTALL.



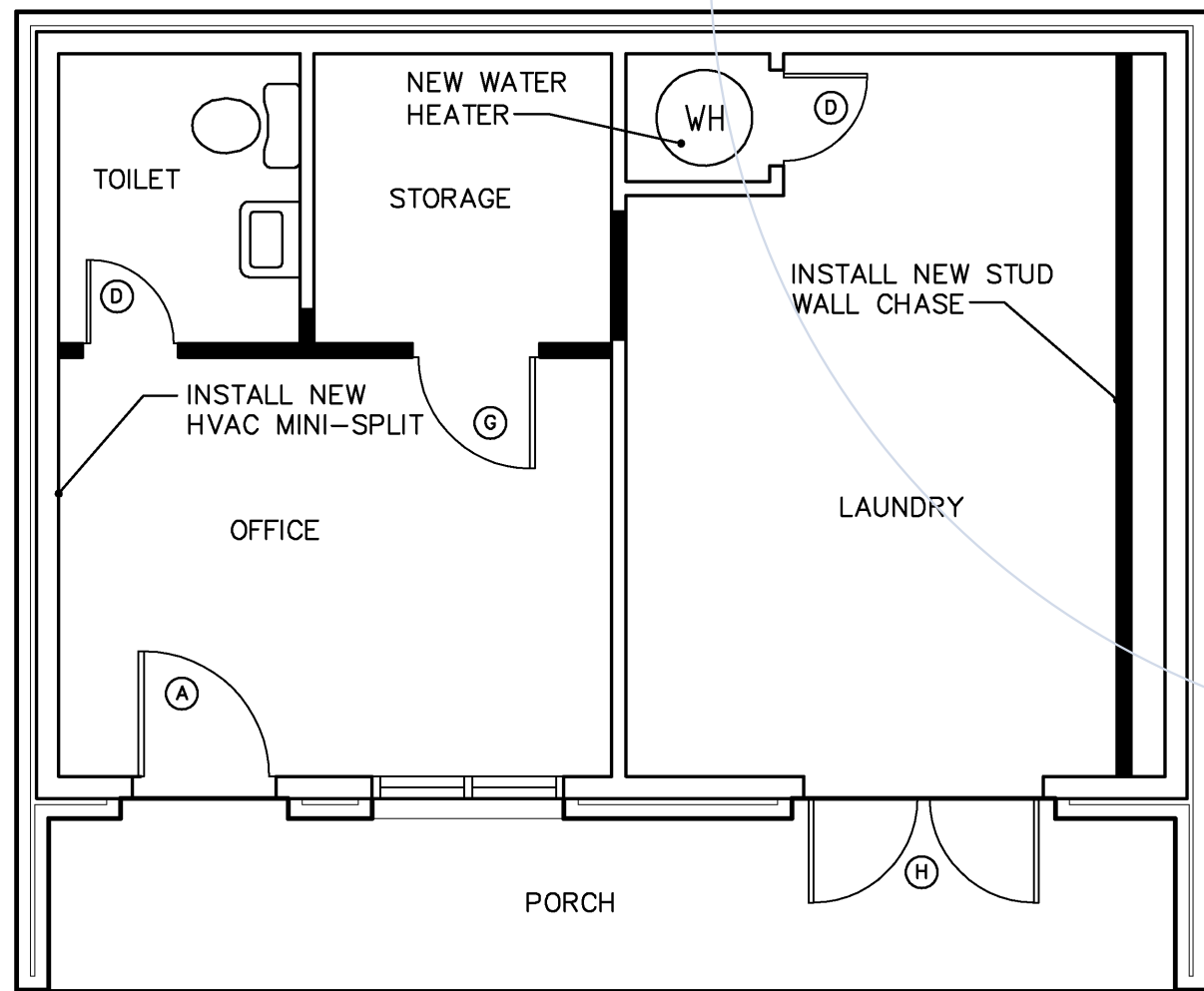
TWIN RIVERS ARCHITECTURE, P.A.
511 SOUTH SEVENTH ST. ARKADELPHIA, AR 71923
TEL. 870.246.3500 E-MAIL tra@trafirm.com WEBSITE www.twinriversarchitecture.com

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	DRAWN BY JTS MAO		MAY 1, 2017

SHEET NUMBER
A-5

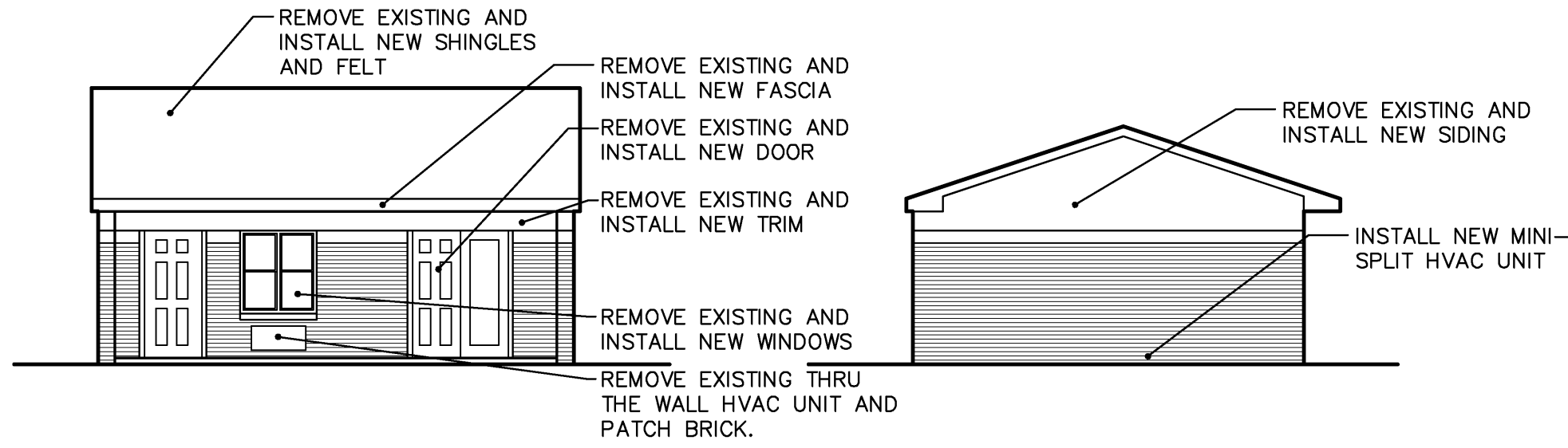


1 BUILDING TYPE 5 - DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



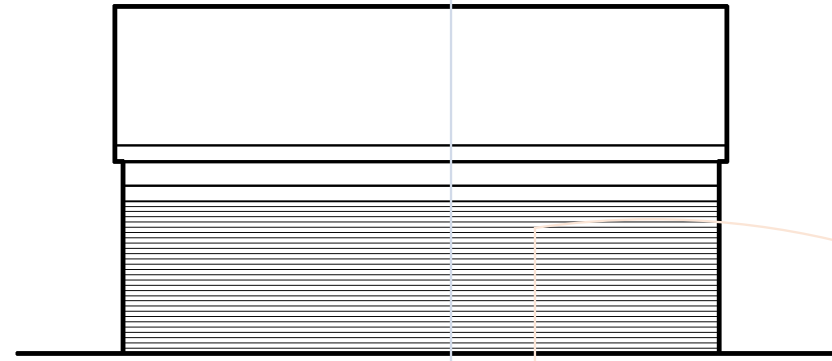
NOTE: INCLUDE ALL UTILITY SERVICE AND EXHAUST VENTS FOR COMPLETE INSTALLATION OF ALL COIN OPERATED LAUNDRY EQUIPMENT.

2 BUILDING TYPE 5 - REVISED FLOOR PLAN
SCALE: 1/4" = 1'-0"

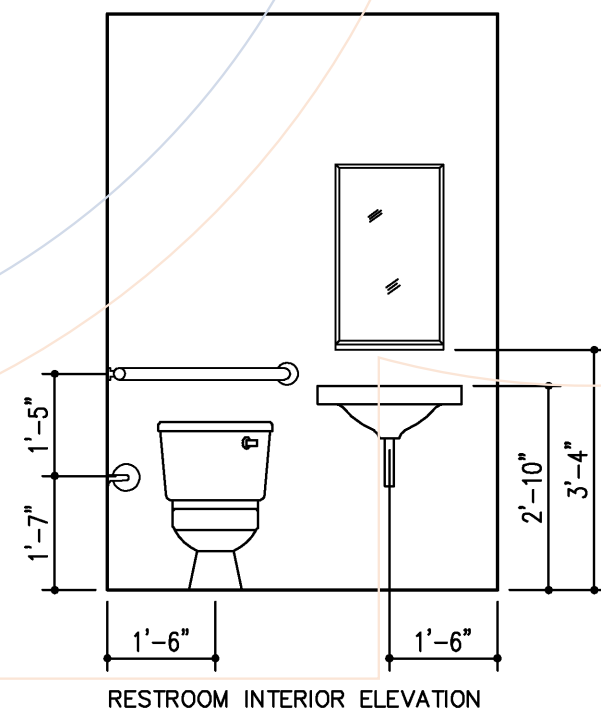


3 BUILDING TYPE 5 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

5 BUILDING TYPE 5 - SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING TYPE 5 - REAR ELEVATION
SCALE: 1/8" = 1'-0"



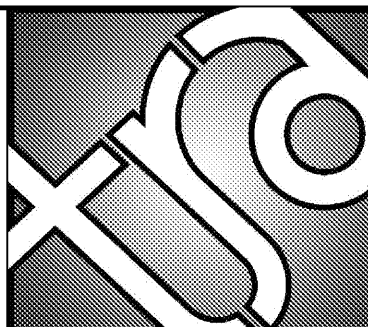
6 OFFICE INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"

PLAINVIEW TERRACE RENOVATION
A 46 UNIT REHAB PROJECT IN BONO, AR

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SHEET NUMBER

A-6



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PLAINVIEW TERRACE RENOVATION A 46 UNIT REHAB PROJECT IN BONO, AR

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		DRAWN BY JTS MAO	CHECKED BY JTS	DATE MAY 1, 2017

SHEET NUMBER

CS-1

[illegible]

PLAINVIEW TERRACE APARTMENTS

BONO, ARKANSAS

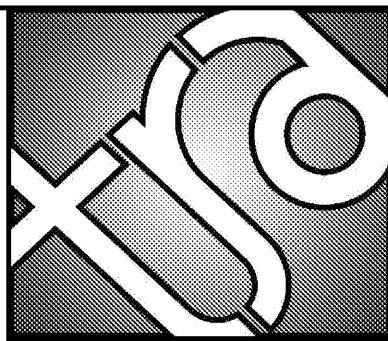
2017 – RENOVATIONS



SITE VICINITY MAP

INDEX OF DRAWINGS

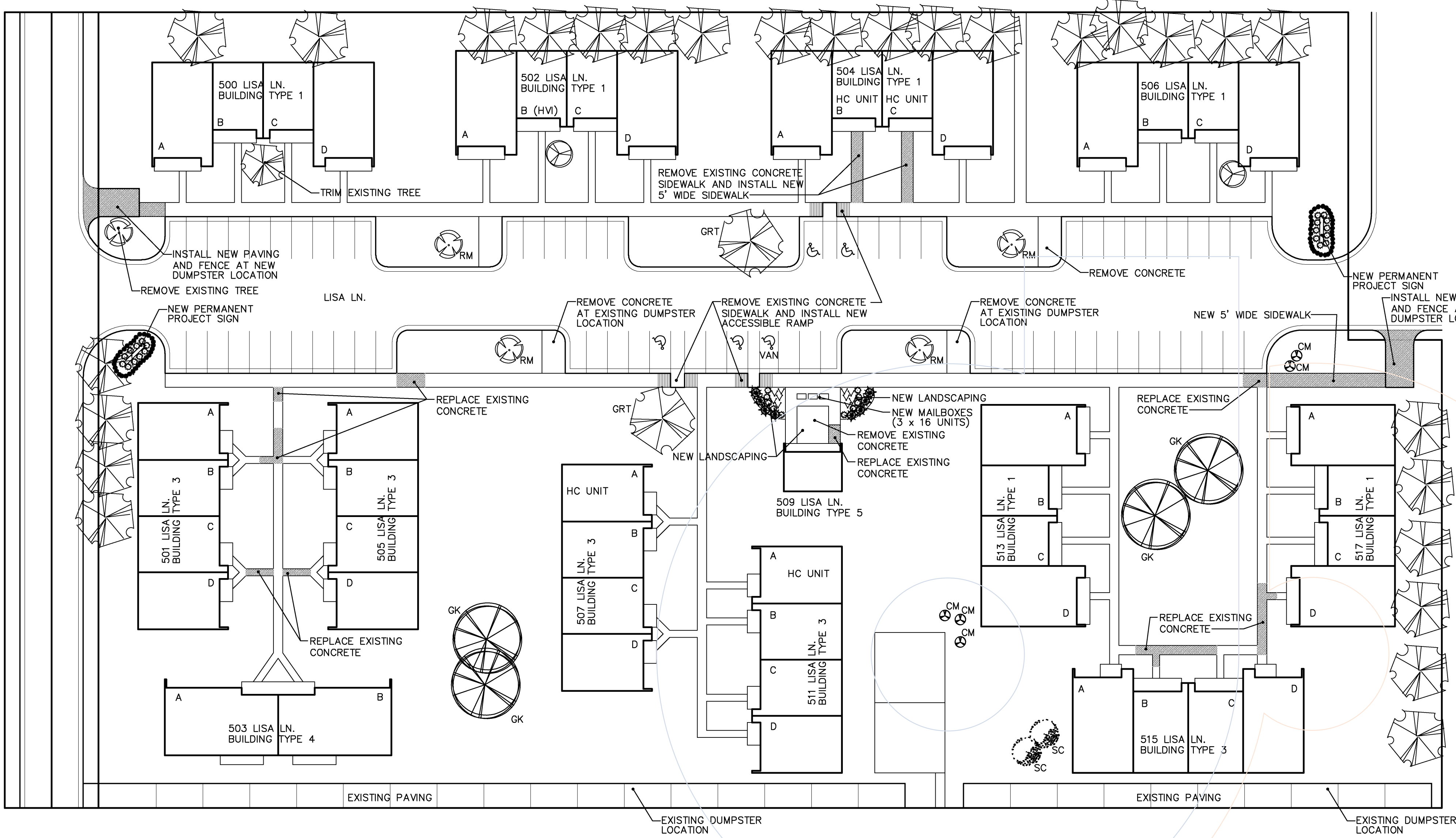
- CVR COVER SHEET WITH VICINITY MAP AND INDEX OF DRAWINGS
- CS-1 CONSTRUCTION SCHEDULE
- S-1 SITE PLAN, FENCE DETAIL, AND PROJECT SIGN, DETAILS, AND LANDSCAPE SCHEDULE
- A-1 BUILDING TYPES 1 AND 2 FLOOR PLANS AND EXTERIOR ELEVATIONS
- A-2 BUILDING TYPES 3 AND 4 FLOOR PLANS AND EXTERIOR ELEVATIONS
- A-3 UNIT FLOOR PLANS, DOOR AND WINDOW SCHEDULES AND GENERAL CONSTRUCTION NOTES
- A-4 ONE BEDROOM ACCESSIBLE FLOOR PLANS, INTERIOR ELEVATIONS AND GENERAL CONSTRUCTION NOTES
- A-5 TWO BEDROOM ACCESSIBLE FLOOR PLANS, INTERIOR ELEVATIONS AND GENERAL CONSTRUCTION NOTES
- A-6 OFFICE/LAUNDRY RENOVATION FLOOR PLANS, INTERIOR ELEVATIONS AND EXTERIOR ELEVATIONS



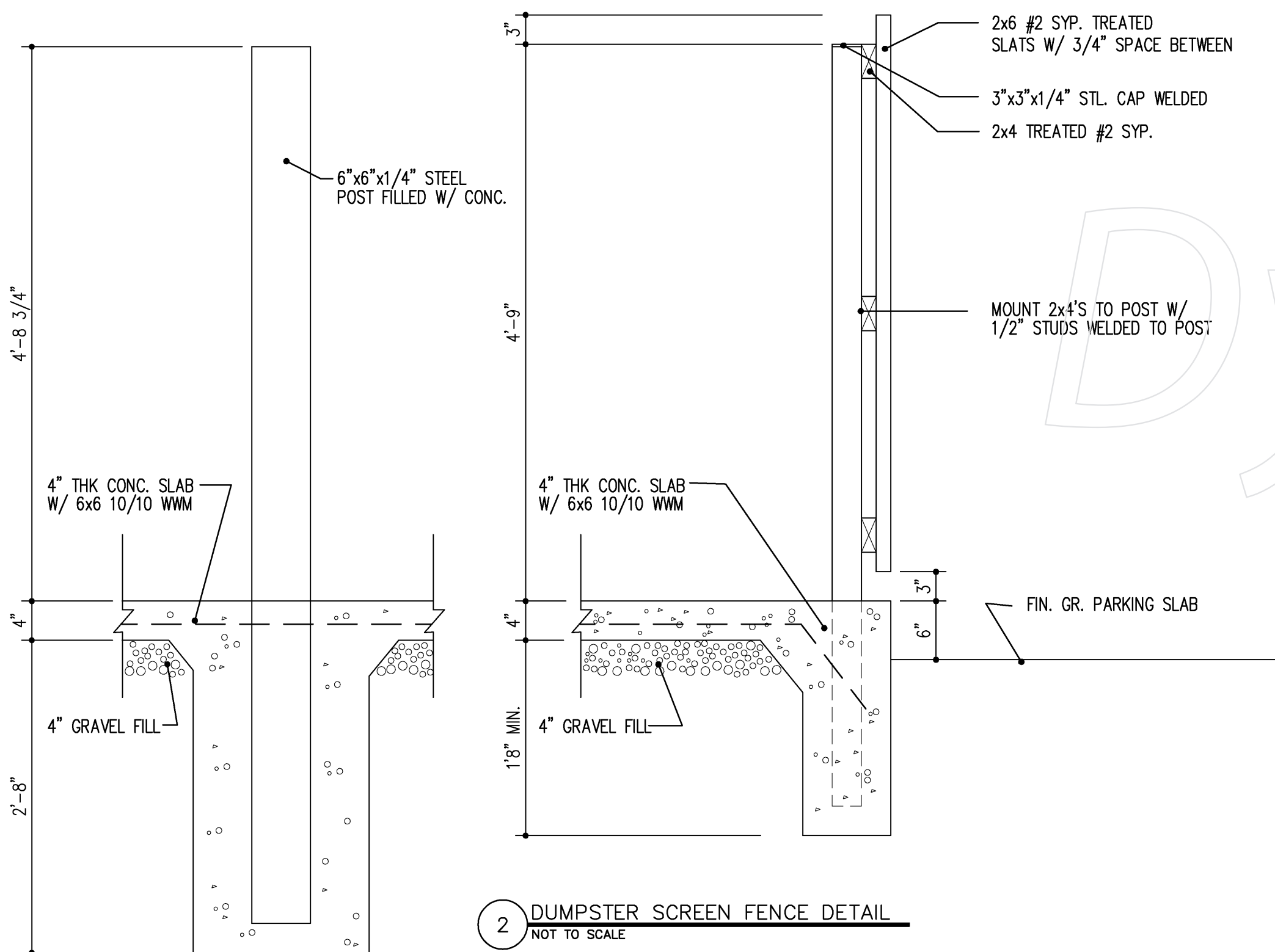
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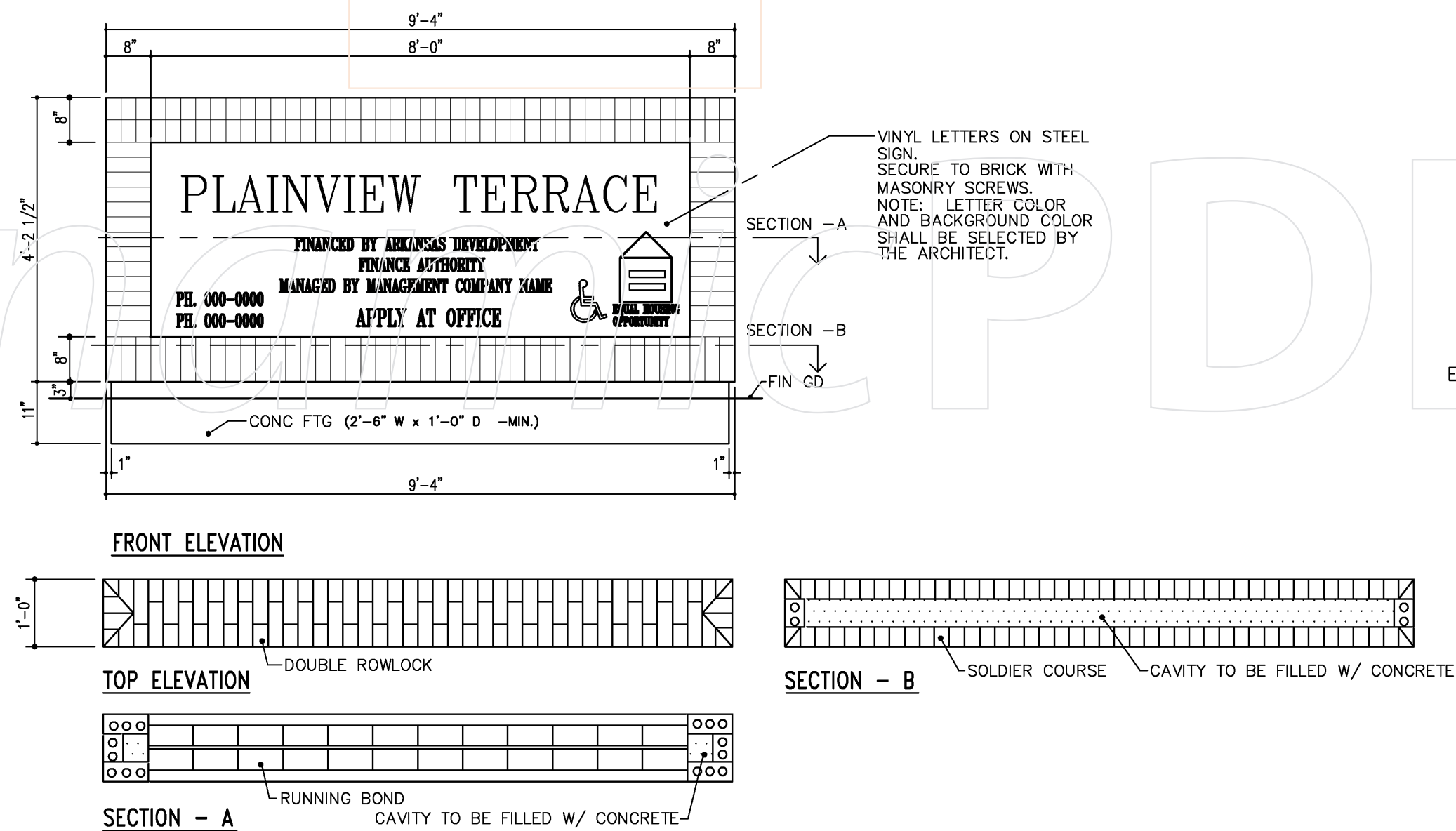
SHEET NUMBER
CVR



1 REVISED SITE PLAN
SCALE: 1"= 30'-0"



2 DUMPSTER SCREEN FENCE DETAIL
NOT TO SCALE

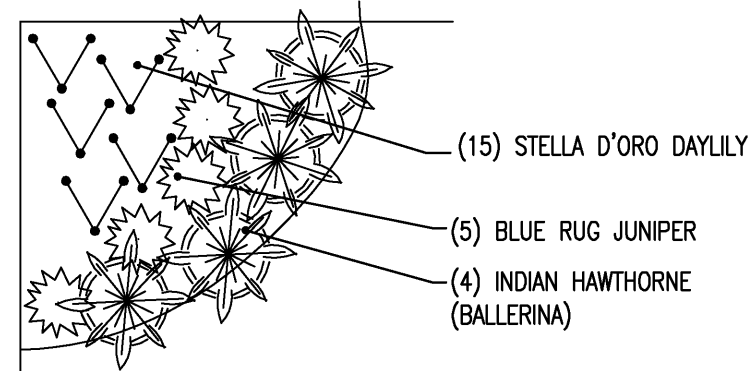
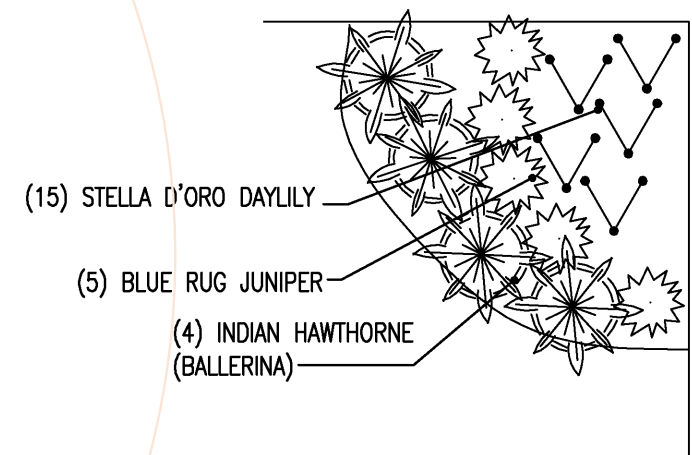
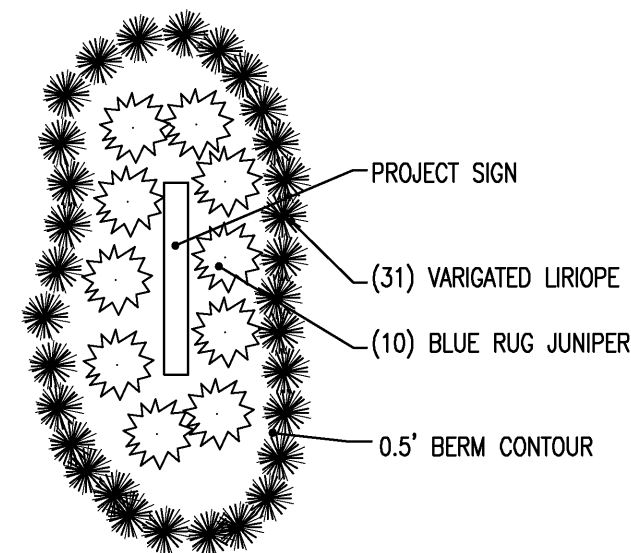


3 PERMANENT PROJECT SIGN DETAIL
NOT TO SCALE

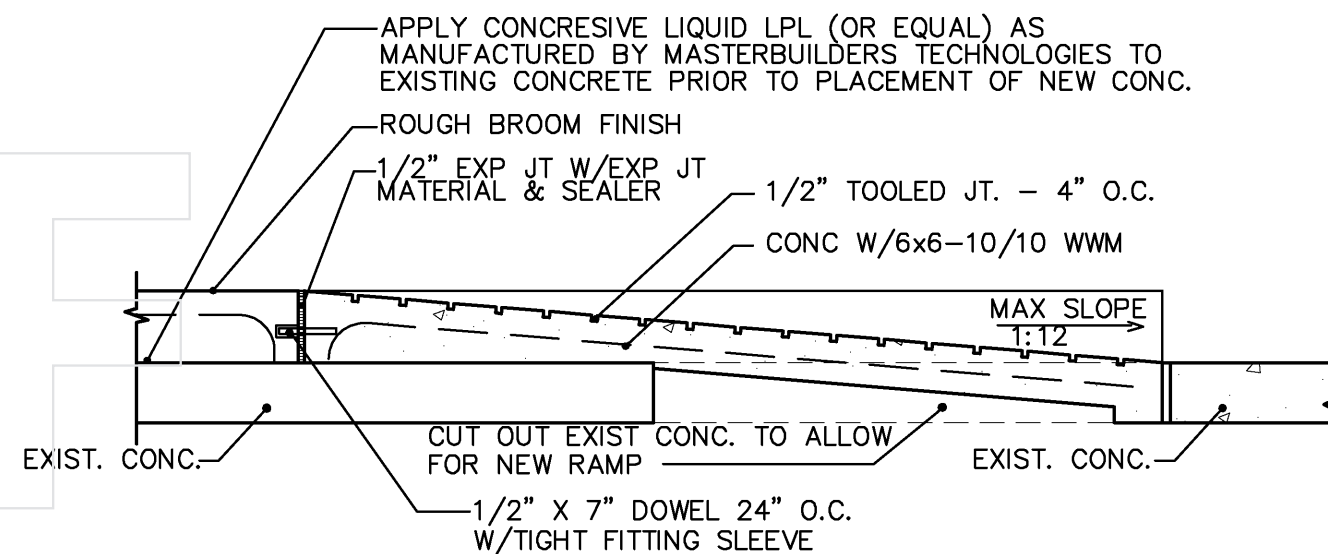
LANDSCAPE SCHEDULE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
CM	GRAPE MYRTLE (BATON ROUGE)	LAGERSTROMEA INDICA 'BATON ROUGE'	5	#5
	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONII'	20	#5
	INDIAN HAWTHORNE (BALLERINA)	RAPHIOLEPIS INDICA 'BALLERINA'	8	#5
	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'	30	#1
	VARIGATED LIRIOPE	LIRIOPE MUSCARI 'VARIEGATA'	31	#1
GK	GINKGO	GINKGO BILOBA	4	#25
RM	RED MAPLE	ACER RUBRUM	4	#15
GRT	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA	2	#25
SC	SARGENT CRABAPPLE	MALUS 'SARGENT'	2	#15

INSTALL SHREDDED HARDWOOD BARK MULCH AT ALL PLANTING BEDS.



4 LANDSCAPE PLANTING DETAILS
NOT TO SCALE



5 CONCRETE PORCH OVERLAY DETAIL
NOT TO SCALE

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