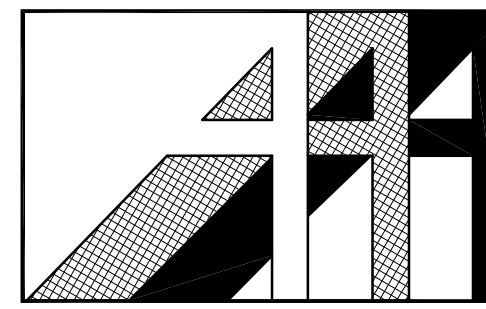


# WHITE RIVER APARTMENTS

2900 MARION DRIVE  
DIAZ, ARKANSAS



ARCHITECT  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

CONTACT: MARK D. ALLAN A.I.A.

5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912  
(865) 689-1302 FAX (865) 689-1378

CIVIL  
**WILL ROBINSON AND ASSOCIATES**

CONTACT: WILL ROBINSON

131 BRENTWOOD DRIVE  
OAK RIDGE, TENNESSEE 37830  
(865) 426-7918 FAX (877) 663-2233

STRUCTURAL  
**CARPENTER WRIGHT ENGINEERS**

CONTACT: KEN GRIFFIN

111 SHERLAKE LANE, SUITE 200  
KNOXVILLE, TENNESSEE 37922  
(865) 539-8227 FAX (865) 539-8237

MECHANICAL, PLUMBING  
**APPLIED ENGINEERING**

CONTACT: JACK HOPKINS

304 LETTERMAN ROAD  
KNOXVILLE, TENNESSEE 37919  
(865) 531-0126

ELECTRICAL  
**NORRIS & ASSOCIATES ENGINEERS, INC.**

CONTACT: DAVID DOBBS

5518 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912  
(865) 584-3063 FAX (865) 584-3065

SECURITY  
**SAFER PLACES, WC.**

CONTACT: STEPHEN BUKOSKI

25 WAREHAM STREET, SUITE 2-26  
MIDDLEBORO, MASSACHUSETTS 02346  
(508) 947-0600

PROJECT IDENTIFICATION NUMBER • 082-35473  
ARCHITECT: ALLAN ASSOCIATES ARCHITECTS, PLLC. BY \_\_\_\_\_ DATE \_\_\_\_\_  
OWNER: \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_  
BONDING CO. \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_  
MORTGAGE LENDER \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_

**APPLICABLE CODES:**

- 2012 INTERNATIONAL BUILDING CODES
- 2012 EXISTING BUILDING CODE
- 2012 ARKANSAS MECHANICAL CODES
- 2012 ARKANSAS FIRE PREVENTION CODE VOL. I: FIRE
- 2012 ARKANSAS FIRE PREVENTION CODE VOL. II: BUILDING
- 2012 ARKANSAS FIRE PREVENTION CODE VOL. III: RESIDENTIAL
- 2006 APC: ARKANSAS PLUMBING CODES
- 2010 AMC: ARKANSAS MECHANICAL CODES
- 2014 NEC: NATIONAL ELECTRIC CODES
- 2006 AFAG: ARKANSAS FUEL AND GAS CODES
- 2004 IECC: INTERNATIONAL ENERGY CONSERVATION CODES
- 2009 ICC/ANSI A117.1: AMERICAN NATIONAL STANDARDS
- UFAS: UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- ARKANSAS USABILITY STANDARDS IN HOUSING (AUSH)

BUILDING TABULATIONS		
BUILDINGS 2',3',5',8' (2 STORY)		
1 BEDROOM UNITS	2 UNITS	1,300
2 BEDROOM UNITS	2 UNITS	1,498
3 BEDROOM UNITS	2 UNITS	1,912
4 BEDROOM UNITS	2 UNITS	2,522
NET RENTABLE AREA	7,232 x 4 =	28,928
GROSS BUILDING AREA	7,746 x 4	30,984
BUILDINGS 1',4',6',7' (2 STORY)		
1 BEDROOM UNITS	2 UNITS	1,300
2 BEDROOM UNITS	4 UNITS	2,996
3 BEDROOM UNITS	2 UNITS	1,912
NET RENTABLE AREA	6,208 x 4 =	24,832
GROSS BUILDING AREA	6,666 x 4	26,664
COMMUNITY BUILDING		
GROSS BUILDING AREA		2,275

**UNIT TABULATIONS**

1 BEDROOM	
NET LEASABLE	650 SF
GROSS	691 SF
2 BEDROOM	
NET LEASABLE	749 SF
GROSS	811 SF
3 BEDROOM	
NET LEASABLE	956 SF
GROSS	1,020 SF
4 BEDROOM	
NET LEASABLE	1,261 SF
GROSS	1,351 SF

**PARKING**

PRE-CONSTRUCTION	106
ADFA REQ'D	112
POST CONSTRUCTION	
STANDARD	102
ACCESSIBLE	6
TOTAL	108 (CARE WAIVER)

UNITS	BLDG. #								TOTAL
	1	2	3	4	5	6	7	8	
1 BEDROOM	2	2	2	2	1	2	2	2	15
1 BEDROOM ACCESSIBLE					1				1
2 BEDROOM	4	2	2	4	1	3	4	2	22
2 BEDROOM ACCESSIBLE					1	1			2
3 BEDROOM	2	2	2	2	2	2	1	2	15
3 BEDROOM ACCESSIBLE							1		1
4 BEDROOM		2	2					1	7
4 BEDROOM ACCESSIBLE								1	1
TOTAL	8	8	8	8	8	8	8	8	64

ACCESSIBLE UNITS - 502, 504, 601, 703, 804  
SIGHT/HEARING - 301, 403, 701, 802

## DRAWING INDEX:

REVISED	PREPARED	ARCHITECTURAL	PLUMBING	ELECTRICAL	SECURITY
-	2-24-16	ALTA ALTA SURVEY	SP1.0 SITE PLUMBING PLAN	E0.1 SITE PLAN - ELECTRICAL	SEC1 SYMBOLS, CABLE LEGEND AND NOTES
-	6-11-16	- TOPOGRAPHIC SURVEY	P0.1 LEAD SHEET - HVAC	E0.2 SECURITY CAMERA	SEC2 VIDEO SURVEILLANCE SITE PLAN
9-20-16	6-30-16	SD-1 SITE PLAN	P1.0A ONE AND TWO BR UNITS - WASTE AND VENT	E-1.0 ONE AND TWO BR UNITS - ELECTRICAL	SEC3 VIDEO SURVEILLANCE OFFICE PLAN
8-6-16	6-30-16	SD-2 SITE DETAILS	P1.0B ONE AND TWO BR UNITS - SERVICES	E-1.1 THREE AND FOUR BR UNITS - ELECTRICAL	SEC4 VIDEO SURVEILLANCE DETAILS
9-20-16	7-19-16	C-1 OVERALL SITE PLAN	P1.1A THREE AND FOUR BR UNITS - WASTE AND VENT	E-1.2 ONE AND TWO BR ACC. UNITS - ELECTRICAL	
9-20-16	7-19-16	C-2 ENLARGED AREA A	P1.1B THREE AND FOUR BR UNITS - SERVICES	E-1.3 THREE BR ACC. UNIT - ELECTRICAL	
9-20-16	7-19-16	C-3 ENLARGED AREA B	P1.2A ONE AND TWO BR ACC UNITS - WASTE AND VENT	E-1.4 FOUR BR ACC UNIT - ELECTRICAL	
12-12-16	6-30-16	L-1 LANDSCAPE PLAN	P1.2B ONE AND TWO BR ACC UNITS - SERVICES	E-2.0 BUILDING PLANS - ELECTRICAL	
-	6-30-16	CS1 COLORS, MATERIALS AND SIGNAGE	P1.3A THREE AND FOUR BR ACC UNITS - WASTE AND VENT	E-4.0 OFFICE LIGHTING	
9-20-16	6-30-16	A-1.0 TYPICAL UNIT PLANS	P1.3B THREE AND FOUR BR ACC UNITS - SERVICES	E-4.1 OFFICE POWER	
-	6-30-16	A-1.1 TYPICAL UNIT PLANS	P2.0 BLDG'S 2,3,5,8 PLANS - PLUMBING	E-4.2 OFFICE COMMUNICATIONS	
9-20-16	6-30-16	A-1.2 ACCESSIBLE UNIT PLANS	P2.1 BLDG'S 1,4,6,7 PLANS - PLUMBING	E-5.0 LEGEND, SCHEDULES AND DETAILS	
-	6-30-16	A-1.3 ACCESSIBLE UNIT PLANS	P3.0A OFFICE FLOOR PLAN - WASTE AND VENT	E-5.1 SPECIFICATION NOTES	
8-6-16	6-30-16	A-1.4 ACCESSIBLE UNIT PLANS	P3.0B OFFICE FLOOR PLAN - SERVICES		
9-20-16	6-30-16	A-1.5 INTERIOR ELEVATIONS	P4.1 SCHEDULES - PLUMBING		
9-20-16	6-30-16	A-1.6 INTERIOR ELEVATIONS	P4.2 SCHEDULES AND DETAILS - PLUMBING		
-	6-30-16	A-1.7 CEILING PLANS AND DETAILS	P5.1 DETAILS - PLUMBING		
-	6-30-16	A-2.0 BUILDING PLANS	P5.2 DETAILS - PLUMBING		
-	6-30-16	A-2.1 ROOF PLANS			
-	6-30-16	A-3.0 EXTERIOR ELEVATIONS			
-	6-30-16	A-3.1 WALL SECTIONS			
-	6-30-16	A-4.0 LEASING CENTER PLAN			
-	6-30-16	A-4.1 ROOF PLAN AND EXTERIOR ELEVATIONS			
-	6-30-16	A-4.2 WALL SECTIONS			
7-15-16	6-30-16	S-1.0 GENERAL NOTES			
-	6-30-16	S-1.1 GENERAL NOTES			
11-21-16	6-30-16	S-2.1 OFFICE FOUNDATION PLAN			
-	6-30-16	S-2.2 OFFICE ROOF PLAN			
-	6-30-16	S-2.3 FOUNDATION/ FLOOR FRAMING STAIRS/WALKWAYS			
-	6-30-16	S-3.1 SECTIONS AND DETAILS			
-	6-30-16	S-3.2 SECTIONS AND DETAILS			
-	6-30-16	S-3.3 ROOF TRUSS PROFILES			
-	6-30-16	S-3.4 SECTIONS AND DETAILS			
-	6-30-16	H0.1 LEAD SHEET - HVAC			
-	6-30-16	H1.0 ONE AND TWO BR UNITS - HVAC			
-	6-30-16	H1.1 THREE AND FOUR BR UNITS - HVAC			
-	6-30-16	H1.2 ONE AND TWO BR ACC UNITS - HVAC			
-	6-30-16	H1.3 THREE AND FOUR BR ACC UNITS - HVAC			
-	6-30-16	H2.0 BLDG'S 2,3,5,8 PLANS - HVAC			
-	6-30-16	H2.1 BLDG'S 1,4,6,7 PLANS - HVAC			
-	6-30-16	H3.0 OFFICE FLOOR PLAN - HVAC			
-	6-30-16	H4.1 SCHEDULES - HVAC			
-	6-30-16	H4.2 SCHEDULES - HVAC			
9-20-16	6-30-16	H5.1 DETAILS			
-	6-30-16	H5.2 DETAILS			
-	6-30-16	HP0.1 FIRE PENETRATION SCHEDULE AND DETAILS			
-	6-30-16	HP0.2 FIRE PENETRATION SCHEDULE AND DETAILS			

DATE: 12-12-16

S0°31'27"W 727.14'

POINT OF BEGINNING  
NORTHEAST CORNER  
SOUTHEAST QUARTER OF THE NORTHWEST QUARTER  
36-112N-3W

N80°14'45"W 184.02'

BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (030)

**HKB**

**Haywood, Kenward, Bare  
AND ASSOCIATES, INC.**  
Civil Engineering, Surveying & Planning Services

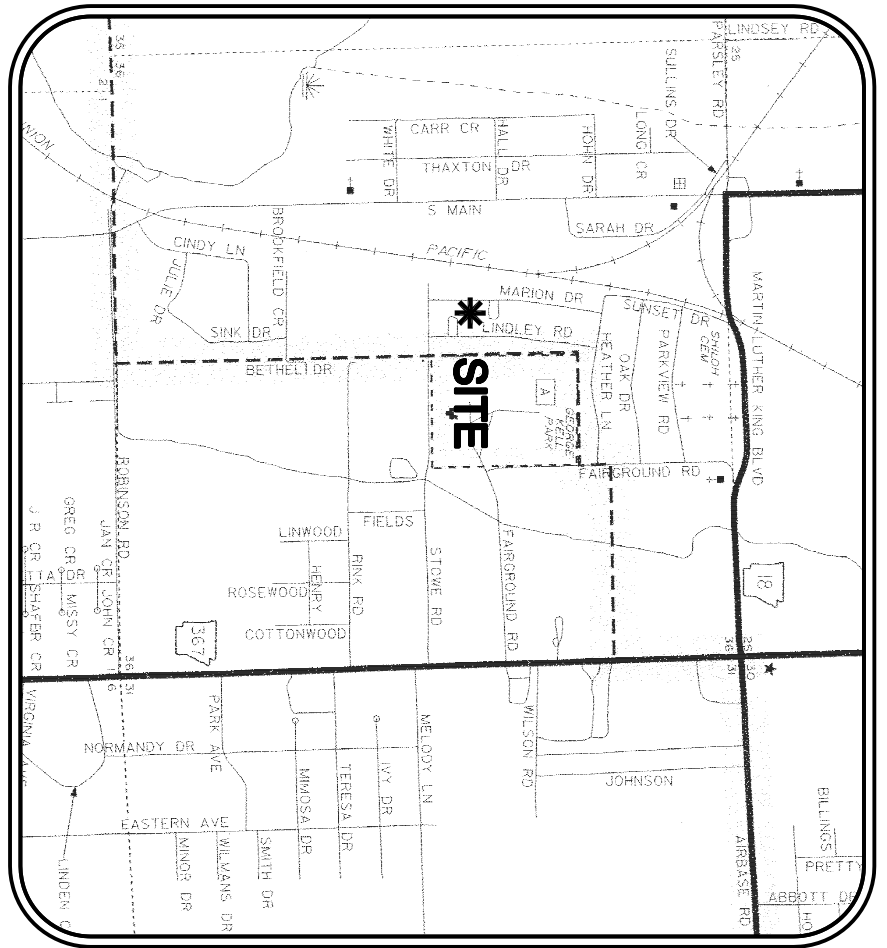
1801 Latourette Drive, Jonesboro, AR, 72404  
P: 870.932.2019 F: 870.932.1076

# ALTA/ACSM LAND TITLE SURVEY

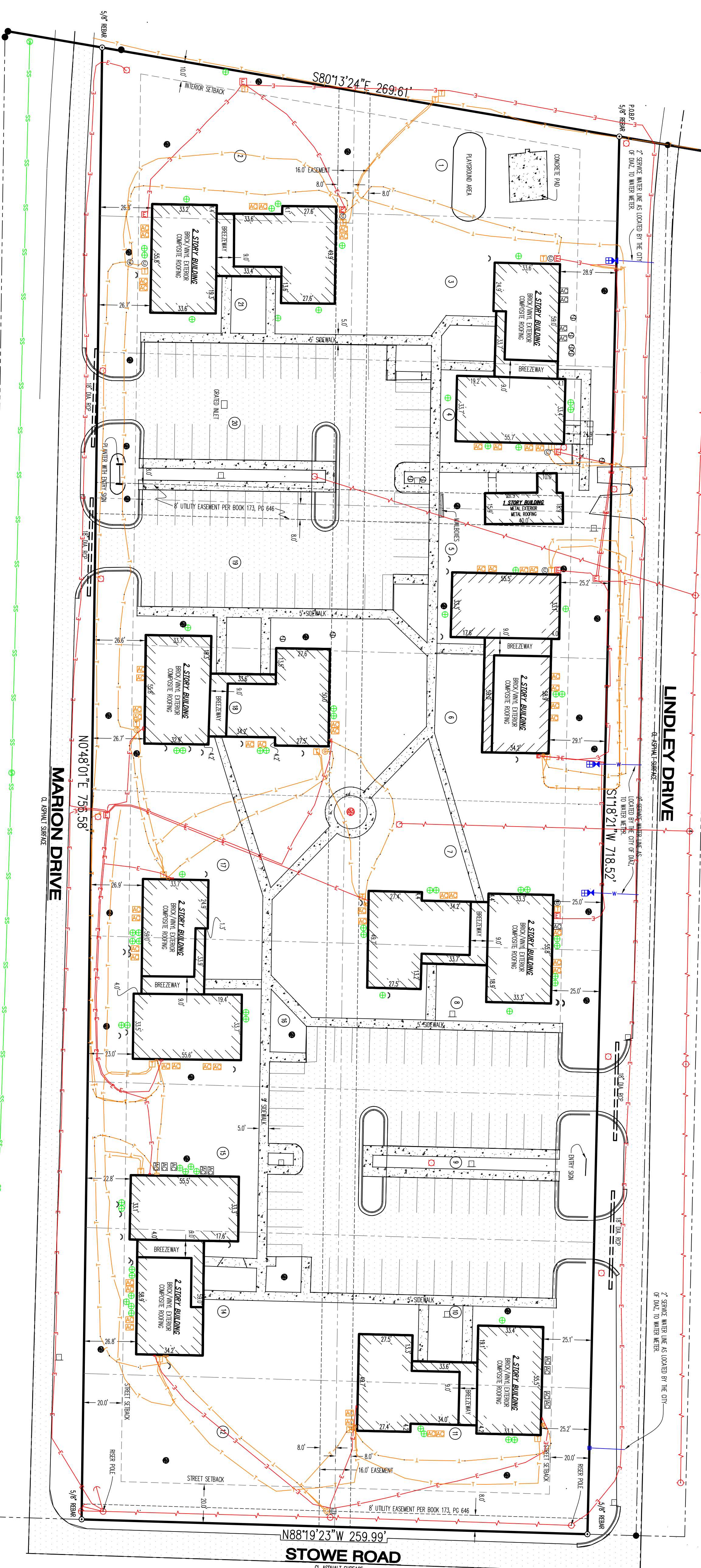
WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS 72043

REGISTERED  
STATE OF  
ARKANSAS  
PROFESSIONAL LAND SURVEYOR  
MICHAEL A. DANIELS, P.S. 1563  
No. 234

PROJECT NO. JB9683-09  
CHECKED BY JWH  
DATE 03/10/11  
DRAWING NO. 42-9



VICINITY MAP  
(NOT TO SCALE)



### CERTIFICATE OF SURVEY:

THIS IS TO CERTIFY THAT HAYWOOD, KENWARD, BARE AND ASSOCIATES, INC., PROFESSIONAL LAND SURVEYORS, HAVE SURVEYED THE FOLLOWING DESCRIBED PARCEL OF LAND:  
ALL OF LOTS 1 THROUGH 21, BLOCK ONE OF FAIR PARK ADDITION TO THE CITY OF DIAZ, JACKSON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 12 NORTH, RANGE 3 WEST, THENCE SOUTH 00°37'27" WEST, 727.14 FEET; THENCE NORTH 80°14'45" WEST, 184.02 FEET TO A SET 5/8" X 20" REBAR, SAID POINT OF BEGINNING BEING THE NORTH CORNER OF THE 16' X 20' REAR SETBACK; THENCE SOUTH 80°19'23" WEST, 234.99 FEET TO A SET 5/8" X 20" REBAR, HENCE NORTH 80°19'23" WEST, 234.99 FEET TO A SET 5/8" X 20" REBAR, THENCE NORTH 04°00'01" EAST, 726.58 FEET TO SET 5/8" X 20" REBAR, THENCE SOUTH 80°13'24" EAST, 269.61 FEET TO THE SAID POINT OF BEGINNING BEING CONTAINING 4.46 ACRES, MORE OR LESS.

### SURVEYORS NOTES:

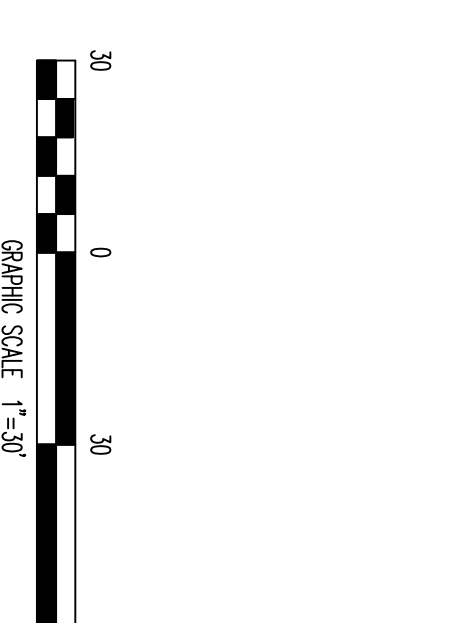
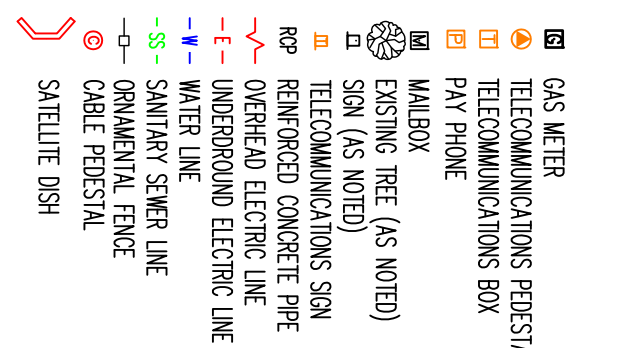
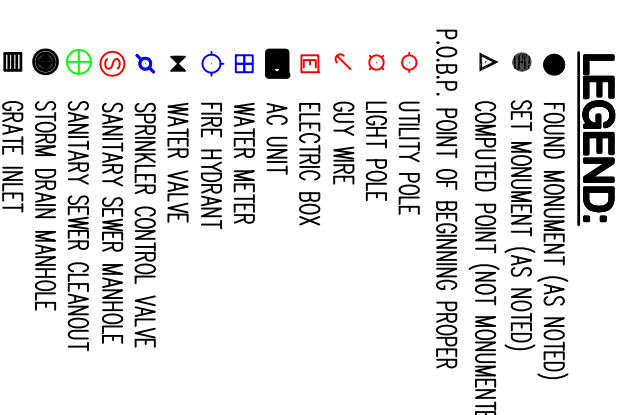
- THE FOLLOWING DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS SURVEY:
  - FAIR PARK ADDITION TO THE CITY OF DIAZ, ARKANSAS FILED FOR RECORD 09/07/1978, JACKSON COUNTY CLERK'S OFFICE IN PLAT BOOK 173, PAGE 644.
  - THE COMMITMENT NO. E-16-58565, CHICAGO TITLE INSURANCE COMPANY, DATE ISSUED: FEBRUARY 3, 2006, EFFECTIVE DATE JANUARY 13, 2006.
- THE SUBJECT PROPERTY LIES WITHIN THE UNINSURED ZONE X, WHICH IS OUTSIDE THE 100/500 YEAR SPECIAL FLOOD HAZARD ZONE, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP PANEL NO. 6501000000, MAP REVISION DATE: MARCH 19, 1980.
- SUBJECT PROPERTY IS ZONED R-3, MULTI-FAMILY; BUILDING REGULATIONS FOR R-3 ZONING: STREET SETBACK - 20' INTERIOR SITE SETBACK - 10' REAR SETBACK - 10' MINIMUM LOT COVERAGE - 40% MINIMUM HEIGHT LIMITATION - 35' MULTI-FAMILY DWELLINGS, NOT TO EXCEED 8 UNITS.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE ARE NO OBSERVED EVIDENCES OF CONFLICTS IN STREET RIGHT-OF-WAY OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOID WASTE DUMP, SWAMP OR SANITARY LANDFILL.
- UTILITIES SHOWN ARE BASED ON OBSERVED EVIDENCE.
- INDIVIDUAL STREET ADDRESSES ARE ASSIGNED ACCORDANCE WITH BUILDING NUMBERS WITH POSTAL BOXES REFLECTING APPLICANT NUMBER.
- THE TOTAL AREA OF EACH BUILDING IS BASED UPON THE EXTERIOR FOOTPRINT, MEASURED AT GROUND LEVEL.
- SETBACKS AS SHOWN ARE BASED ON PLAT OF SURVEY, RECORDED PLAT BOOK 173, PAGE 644, AND BILL OF ASSURANCE RECORDED BOOK 173, PAGE 645.

### SURVEYORS CERTIFICATION:

TO LHP DEVELOPMENT, LLC, AND STANDARD ABSTRACT & TITLE COMPANY, INC., CHICAGO TITLE INSURANCE COMPANY, DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD) AND TO THE RESPECTIVE SUCCESSORS AND/OR ASSIGNS OF EACH OF THE FOREGOING PARTIES.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES FOR ALTA/ACSM SURVEYS AND THAT THE SURVEYORS HAVE CONDUCTED THE SURVEY AND ADJUSTMENTS THEREON IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES FOR ALTA/ACSM SURVEYS AND THAT THE SURVEYORS HAVE CONDUCTED THE SURVEY AND ADJUSTMENTS THEREON IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES FOR ALTA/ACSM SURVEYS AND THAT THE SURVEYORS HAVE CONDUCTED THE SURVEY AND ADJUSTMENTS THEREON IN ACCORDANCE WITH THE STANDARD PRACTICES AND PROCEDURES FOR ALTA/ACSM SURVEYS.  
DATE OF PLAT OR MAP: 02/24/2016  
DATE: FEBRUARY 24, 2016  
MICHAEL A. DANIELS, P.S. 1563

### SCHEDULE B-1 EXCEPTIONS

- RIGHTS, EASEMENTS, ADVERSE CLAIMS OR OTHER MATTERS, (NO OBSERVED EVIDENCE)
- DEEDS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORD, (NO OBSERVED EVIDENCE)
- EMPOWERMENT OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORD, (NO OBSERVED EVIDENCE)
- EMPOWERMENT, VIOLATION, VIOLATION, VIOLATION, OR ADVERSE CIRCUMSTANCES AFFECTING THE TITLE, (NO OBSERVED EVIDENCE)
- NOT APPLICABLE.
- EXEMPTIONS CONTAINED IN BILL OF ASSURANCE, RECORDED IN BOOK 173, PAGE 646; RECORDS OF JACKSON COUNTY, ARKANSAS, (SHOWN HEREON THIS SURVEY)
- RIGHT OF WAY PERMIT RECORDED IN BOOK 96, PAGE 648; [BLANKET EASEMENT, NOT PLOTTABLE]
- WARRANTY OF OIL, GAS AND MINERAL LEASE OPTION AGREEMENT, RECORDED IN WSC, RECORDS: WM, PAGE 424; [BLANKET EASEMENT, NOT PLOTTABLE]
- WARRANTY OF OIL, GAS AND MINERAL LEASE OPTION AGREEMENT, RECORDED IN WSC, RECORDS: WM, PAGE 424; [BLANKET EASEMENT, NOT PLOTTABLE]
- RIGHT OF WAY TO ENTER-ARKANSASIAN, DOCUMENT NO. D-2013-1018, (DOES NOT EFFECT SUBJECT PROPERTY)
- NOT APPLICABLE.



## ALTA/ACSM LAND TITLE SURVEY

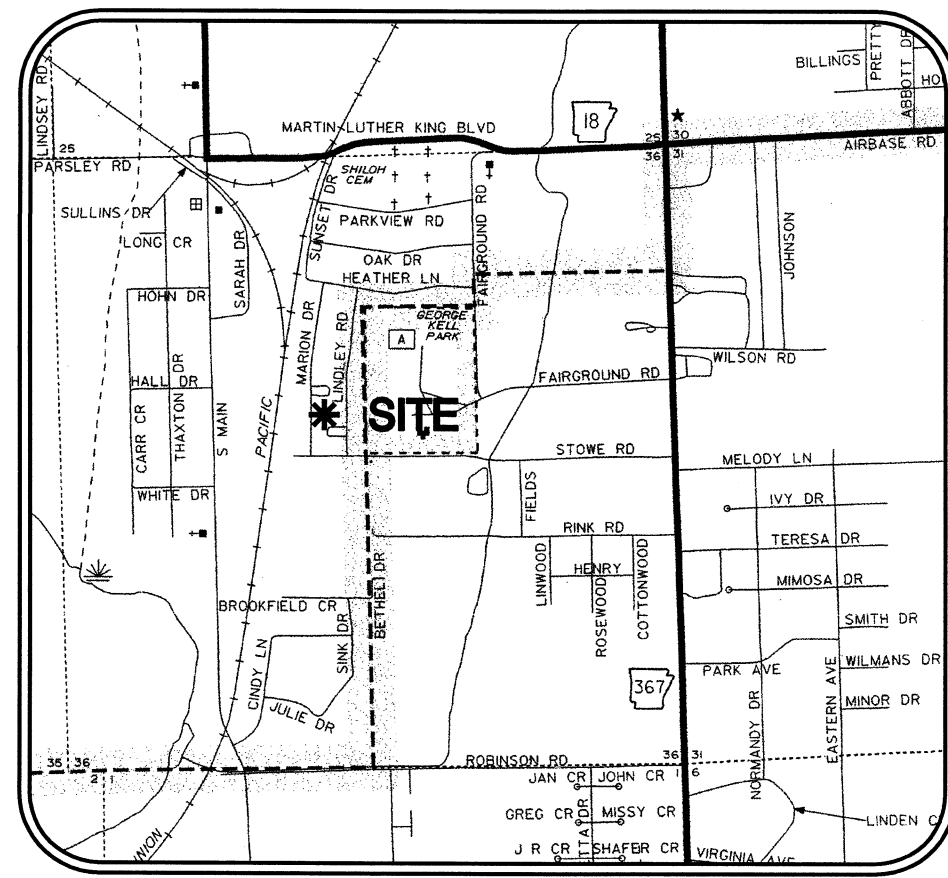
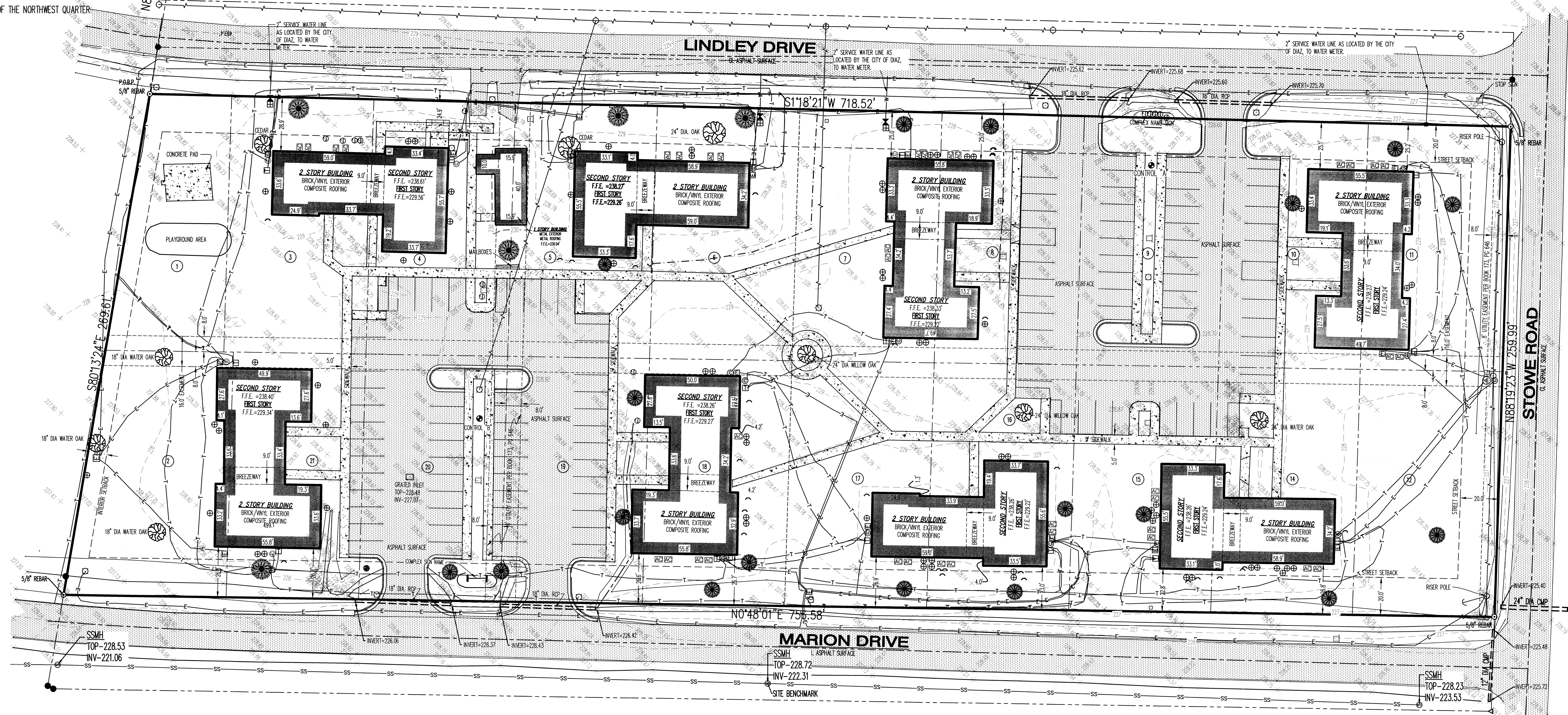
500-1-2N-03W-0-36-420-34-1563

BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (0301)



S0°31'27"W 727.14'  
N80°14'45"W 184.02'

**POINT OF BEGINNING**  
NORTHEAST CORNER  
SOUTHEAST QUARTER OF THE NORTHWEST QUARTER  
36-112N-3W



**VICINITY MAP**  
(NOT TO SCALE)

**CERTIFICATE OF SURVEY:**

THIS IS TO CERTIFY THAT HAYWOOD, KENWARD, BARE AND ASSOCIATES, INC., PROFESSIONAL LAND SURVEYORS, HAVE SURVEYED THE FOLLOWING DESCRIBED PARCEL OF LAND:

THIS IS TO CERTIFY THAT HAYWOOD, KENWARD, BARE AND ASSOCIATES, INC., PROFESSIONAL LAND SURVEYORS, HAVE SURVEYED THE FOLLOWING DESCRIBED PARCEL OF LAND:

ALL OF LOTS 1 THROUGH 21, BLOCK ONE, OF FAIR PARK ADDITION TO THE CITY OF, DIAZ, JACKSON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 12 NORTH, RANGE 3 WEST; THENCE SOUTH 00°31'27" WEST, 727.14 FEET; THENCE NORTH 80°14'45" WEST, 184.02 FEET TO A SET 5/8" X 20" REBAR, SAID POINT OF BEGINNING PROPER; THENCE SOUTH 01°18'21" WEST, 718.52 FEET TO A SET 5/8" X 20" REBAR; THENCE NORTH 88°19'23" WEST, 259.99 FEET TO A SET 5/8" X 20" REBAR; THENCE NORTH 04°01'01" EAST, 756.58 FEET TO SET 5/8" X 20" REBAR; THENCE SOUTH 80°13'24" EAST, 269.61 FEET TO THE SAID POINT OF BEGINNING PROPER;

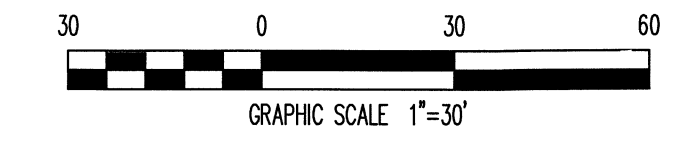
CONTAINING 4.46 ACRES, MORE OR LESS.

**SURVEYOR'S NOTES:**

- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD OR ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (0301).
- CONTROL POINTS:  
A. N-473428.5020, E-1531781.6090  
B. N-473782.6060, E-1531647.0160
- VERTICAL DATUM: NAVD 88
- SETBACKS AS SHOWN ARE BASED ON PLAT OF SURVEY, RECORDED PLAT BOOK 173, PAGE 644, AND BILL OF ASSURANCE RECORDED BOOK 173, PAGE 645.
- SITE BENCHMARK IS THE CENTER OF A SANITARY SEWER MANHOLE LID (ELEVATION = 228.72), LOCATED WEST OF MARION DRIVE AND APPROXIMATELY 400' NORTH FROM THE INTERSECTION OF MARION DRIVE AND STOWE ROAD. AS SHOWN ON THE PLAT HEREON.
- THE SUBJECT PROPERTY LIES WITHIN THE UNSHADED ZONE X, WHICH IS OUTSIDE THE 100/500 YEAR SPECIAL FLOOD HAZARD ZONE, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP PANEL NO. 0500100002D, MAP REVISION DATE: MARCH 19, 1990.
- THE FOLLOWING DOCUMENTS WERE USED IN THE CONSTRUCTION OF THIS SURVEY:
  - FAIR PARK ADDITION TO THE CITY OF DIAZ, ARKANSAS FILED FOR RECORD 09/01/1978, JACKSON COUNTY CIRCUIT CLERK'S OFFICE IN PLAT BOOK 173, PAGE 644.
  - TITLE COMMITMENT NO. E-16-58565, CHICAGO TITLE INSURANCE COMPANY, DATE ISSUED: FEBRUARY 3, 2016, EFFECTIVE DATE: JANUARY 15, 2016.
- UTILITIES SHOWN ARE BASED ON ARKANSAS ONE CALL LOCATION SERVICES NUMBER 160226-0055
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED BY FIELD MEASUREMENTS. HAYWOOD, KENWARD, BARE & ASSOCIATES, A FISHER ARNOLD COMPANY, MAKE NO WARRANTY TO THE EXACT LOCATION OF THE UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL 811 BEFORE YOU DIG!
- FIELD NOTES ARE RECORDED IN HKB FIELD BOOK 1163, PAGES 31-34
- FIELD WORK WAS COMPLETED ON JUNE 8, 2016.

**LEGEND:**

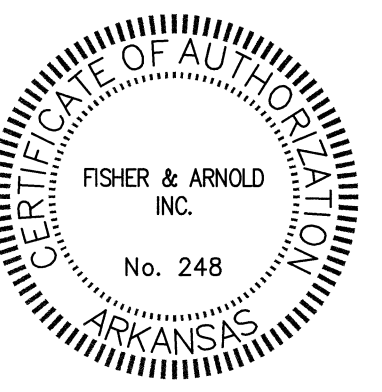
- FOUND MONUMENT (AS NOTED)
- SET MONUMENT (AS NOTED)
- △ COMPUTED POINT (NOT MONUMENTED)
- P.O.B.P. POINT OF BEGINNING PROPER
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ⊠ ELECTRIC BOX
- ⊠ AC UNIT
- ⊠ WATER METER
- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE
- ⊠ SPRINKLER CONTROL VALVE
- ⊠ SANITARY SEWER MANHOLE
- ⊠ SANITARY SEWER CLEANOUT
- ⊠ STORM DRAIN MANHOLE
- ⊠ GRATE INLET
- TELECOMMUNICATIONS PEDESTAL
- ⊠ TELECOMMUNICATIONS BOX
- ⊠ CABLE TELEVISION BOX
- ⊠ MAILBOX
- ⊠ EXISTING TREE (AS NOTED)
- ⊠ SIGN (AS NOTED)
- ⊠ REINFORCED CONCRETE PIPE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- WATER LINE
- SANITARY SEWER LINE
- ORNAMENTAL FENCE
- CABLE PEDESTAL
- SATELLITE DISH
- CREPE MYRTLE



**TOPOGRAPHIC SURVEY**



JEFF W. HARLAN - LAND SURVEYOR  
ARKANSAS - P.S. 1538



Haywood, Kenward, Bare  
A FISHER ARNOLD COMPANY  
ARKANSAS - 248

CLIENT:  
LHP DEVELOPMENT, LLC

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**REVISIONS**

DATE	BY	DESCRIPTION

PROJECT NO.  
JB9871-04

DRAWN BY  
JWH

CHECKED BY

SHEET  
1 OF 1

SCALE  
1"=30'

DATE  
06/11/16

DRAWING NO.  
42-9

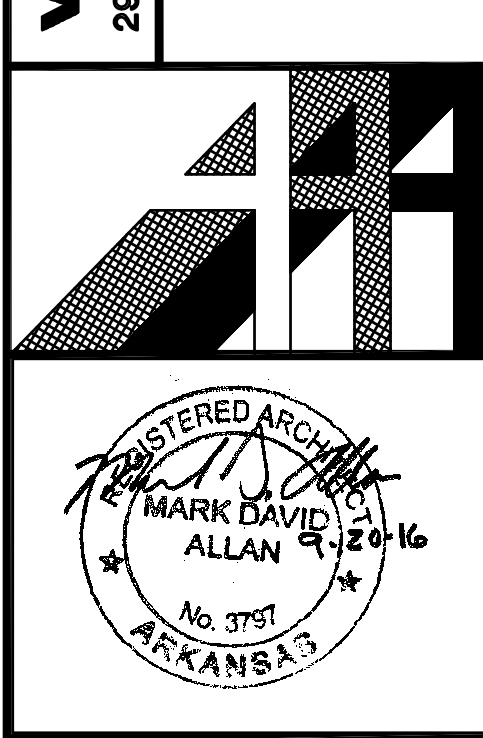
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APPR. BY: MDA	DATE: 6-30-16
REVISIONS	7-22-16
	9-20-16

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

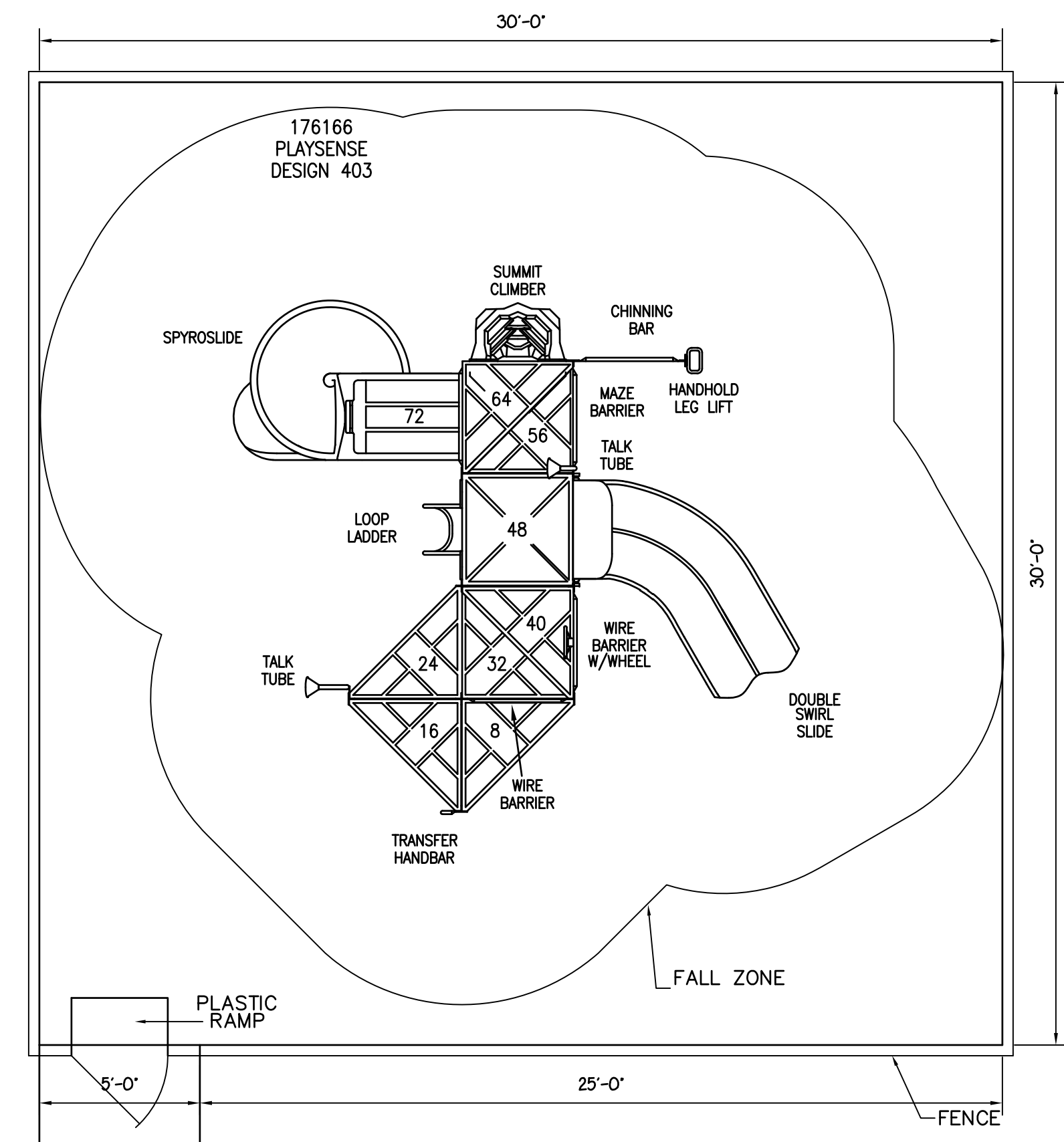
**SITE LAYOUT PLAN**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912

865 / 689-1902



- SITE PLAN NOTES:**
- PROVIDE NEW ACCESSIBLE PARKING SPACES W/ACCESS AISLES, RAMPS AND SIGNAGE. SEE DETAIL 9/SD-2.
  - EXISTING PAVEMENT TO REMAIN. AT AREAS OF PAVEMENT FAILURES (PROVIDE ALLOWANCE FOR 25% PAVEMENT AREA). REMOVE AGGREGATE BASE AND UPPER 12" OF SOIL SUBGRADE. EXCAVATE AREAS MIN. OF 12" BEYOND FOOTPRINT OF FAILED AREA IN A RECTANGULAR SHAPE. BACKFILL AREA TO TOP OF EXISTING AGGREGATE W/SOIL CEMENT BASE COMPACTED TO A MIN. 98% DRY DENSITY. PROVIDE MIN. 1.5 ASPHALT TOPPING OVER ENTIRE PAVEMENT AREA (REFER TO CIVIL DWG'S. FOR PAVEMENT THICKNESS TO PROVIDE PROPER DRAINAGE). RESTRIPE PARKING AREAS PER PLAN.
  - NEW SIDEWALK CROSS DRAINS 8/SD-2.
  - PROVIDE NEW DUMPSTER PAD, APRON & ENCLOSURE W/ ACCESSIBLE WALKWAY. SEE DETAILS SHEET 11/SD-2
  - REMOVE EXISTING SIDEWALK. PROVIDE AND INSTALL NEW 5'-0"x4" THK. 4500 PSI SIDEWALK W/6x6 WWF AND MAX. 1:20 SLOPE. BACKFILL W/ TOPSOIL AND SOD. SEE DETAIL 1/SD-2
  - NEW MONUMENT SIGN AND PLANTER. SEE CS-1
  - PROVIDE NEW DUMPSTER PAD, APRON AND ENCLOSURE. SEE DETAIL 10/SD-2
  - NEW PICNIC SHELTER. SEE 6/SD-2
  - NEW MAIL KIOSK. SEE 7/SD-2
  - NEW LED SITE LIGHTING ON FIBERGLASS POLES. SEE ELEC.
  - OPEN
  - DEMO EXISTING PLAY STRUCTURE AND BACKFILL W/TOPSOIL AND SOD.
  - PROVIDE AND INSTALL NEW 5'-0"x4" THK 4500 PSI CONCRETE SIDEWALK W/6x6 WWF AND MAX 1:20 SLOPE. BACKFILL W/TOPSOIL AND SOD. SEE DETAIL 1/SD-2
  - PROVIDE AND INSTALL NEW 6" CONCRETE CURB AND GUTTER. SEE 2/SD-2
  - NEW PLAYGROUND W/5'H ORNAMENTAL FENCE SEE 1/SD-2
  - FUTURE PARKING AREA AND DRIVE AS REQ'D BY ADA WAIVER.
  - REMOVE EXISTING CONC. SIDEWALKS AND DRIVEWAYS. BACKFILL W/TOPSOIL AND SOD.
  - REMOVE TEMPORARY MAINT. SHED COMPLETE.
  - REMOVE EXISTING MAIL BOXES.
  - REMOVE EXISTING CANOPY AND CONCRETE PORCH.



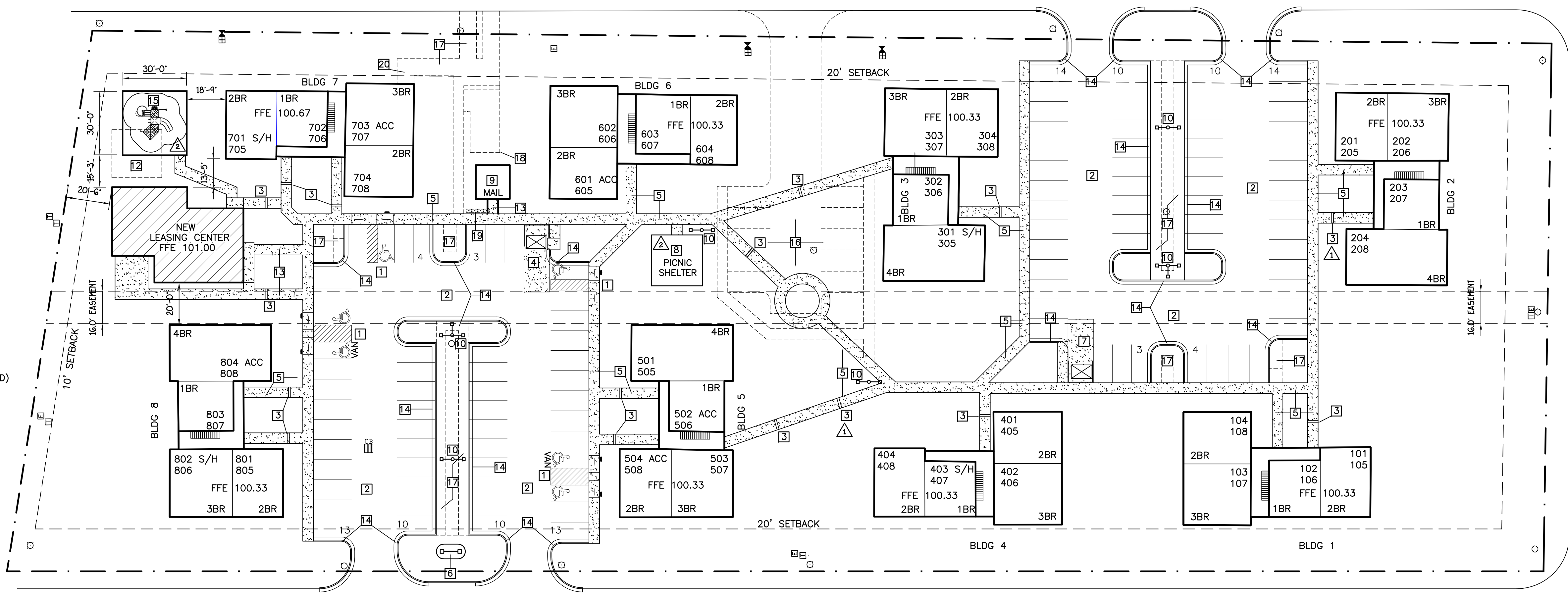
**PLAYGROUND PLAN**  
SCALE: 1/4" = 1'-0"

NEW PLAYGROUND AREA 30'x30'. SLOPE SUBGRADE TO ALLOW POSITIVE DRAINAGE. INSTALL GEOTEXTILE FABRIC (100% POLYESTER NON WOVEN) 10" COMPACTED DEPTH OF ENGINEERED WOOD FIBER FIRM AND STABLE TO MEET ASTM FIG. 51 PER ADA. INSTALL 12"Hx4"Wx4'L PLASTIC BORDER EDGING W/30"STAKES AND ACCESSIBLE RAMP. PROVIDE AND INSTALL NEW PLAYGROUND STRUCTURE "PLAYSENSE DESIGN 403". PROVIDE AND INSTALL 5'H ORNAMENTAL STL. PICKET FENCE W/3"W SWING GATE.

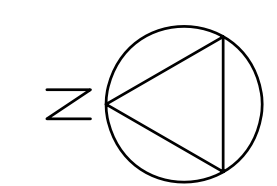
- GENERAL NOTES**
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, HAY BALES, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
  - APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HAULTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES ARE TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
  - APPLY PERMANENT SOD WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SOD TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
  - EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED. REFERENCE THE ARKANSAS EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
  - EXISTING GRADES SHALL BE MAINTAINED DURING THE REPLACEMENT OF EXTERIOR HARD SURFACES AND POST-REHAB WILL FEATURE POSITIVE DRAINAGE AWAY FROM THE BUILDING ENVELOPE. THE EXISTING GRADE FLOOR ELEVATIONS ARE NOT BEING CHANGED AND ACCESSIBLE ENTRANCES TO THE BUILDING WILL REMAIN ACCESSIBLE.
  - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE BACKFILLED W/TOPSOIL AND SOD.

- SPECIAL NOTE**
- EXISTING FIELD CONDITIONS WILL REQUIRE ADJUSTMENTS OF GRADE ELEVATIONS TO MEET ADA AND BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ADJUSTING THE ELEVATIONS TO CONFORM TO ADA REQUIREMENTS. THE ARCHITECT ACCEPTS NO LIABILITY IN CONSTRUCTION THAT DOES NOT CONFORM TO ADA.
- REGARDLESS OF THE EXISTING FIELD CONDITIONS THE FOLLOWING CONDITIONS SHALL BE MET:
- GRADE ELEVATION ALONG THE PERIMETER OF THE BUILDINGS SHALL BE A MIN. OF 4" BELOW FINISHED FLOOR ELEVATION WITH THE GRADIENT SLOPE POSITIVE AWAY FROM THE BUILDINGS.
- THE FIRST 5 FEET OUTSIDE A DOOR SHALL SLOPE AWAY FROM THE DOOR AT A SLOPE NO GREATER THAN 2%.
- SIDEWALKS SHALL HAVE NO GREATER THAN 5% SLOPE IN THE DIRECTION OF TRAVEL.
- SIDEWALKS SHALL HAVE NO GREATER THAN 2% SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- SIDEWALKS WITH HANDRAILS (RAMPS) SHALL HAVE NO GREATER THAN 12 HORIZONTAL: 1 VERTICAL SLOPE.
- HANDICAP PARKING SPACES SHALL HAVE NO SLOPE GREATER THAN 2% IN ANY DIRECTION WITHIN THE HANDICAP PARKING SPACE AND THE ACCESSIBLE AISLE.
- ACCESSIBLE RAMPS WITH 6" OR LESS OF RISE SHALL HAVE NO GREATER THAN 12 HORIZONTAL: 1 VERTICAL SLOPE AND WILL NOT REQUIRE HANDRAILS.
- THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO ENSURE THAT THE CONSTRUCTED PROJECT CONFORMS TO ADA, REGARDLESS OF THE EXISTING FIELD CONDITIONS.
- ALL OTHER SIDEWALK, STEPS AND TRAVEL PATHS SHALL CONFORM TO THE PRIOR NOTED STANDARDS WHERE POSSIBLE. NON-ADA ROUTES WITH SLOPES EXCEEDING 5% WILL NOT REQUIRE HANDRAILS. 5' LANDINGS WITH MAXIMUM 2% SLOPE SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STEPS WHEREEVER POSSIBLE.

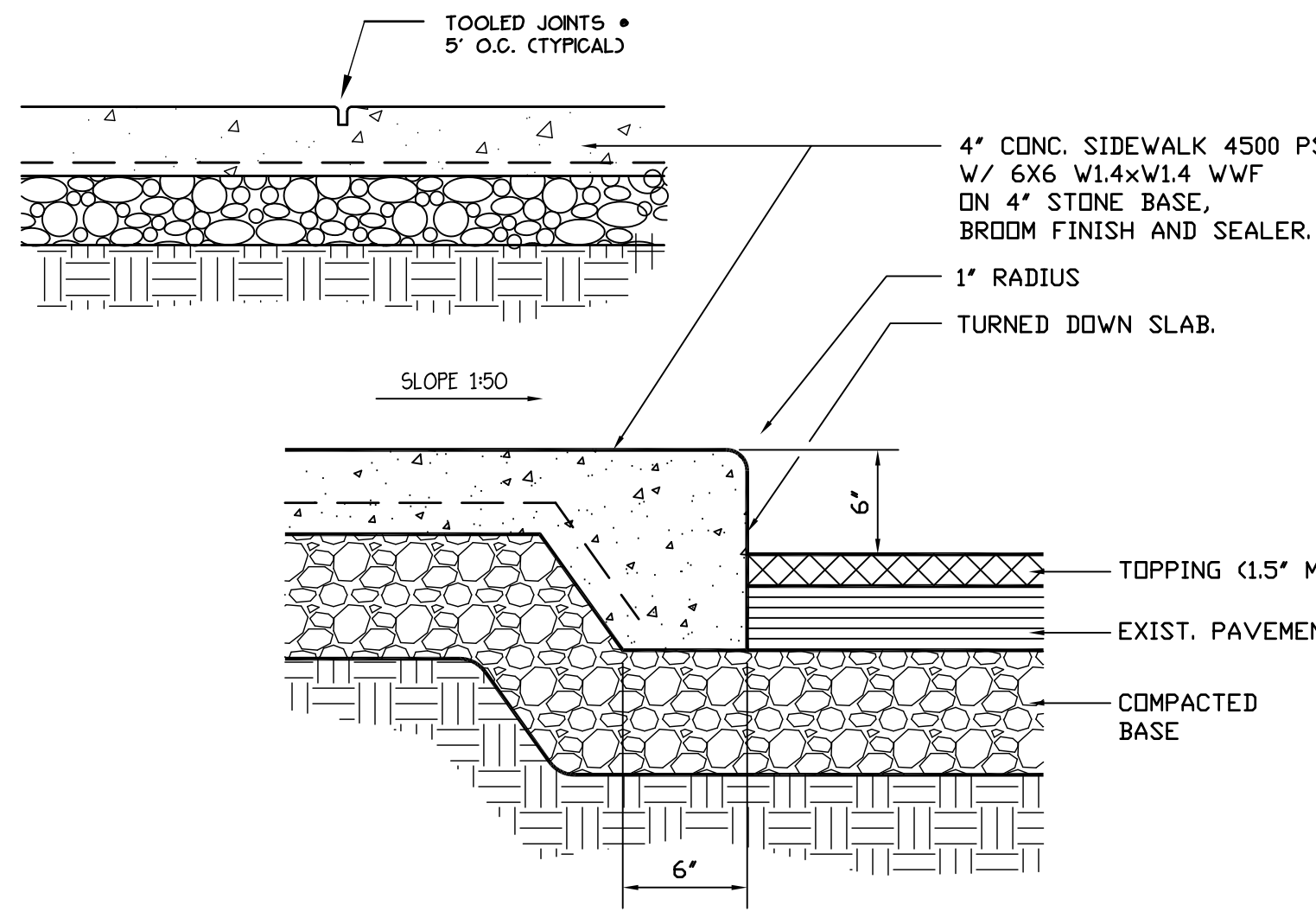
- UNIT IDENTIFICATION**
- X X X (X/X) SPECIALTY UNITS  
ACC - HANDICAPPED ACCESSIBLE  
S/H - SENSORY IMPAIRED
- ZONING**  
R3 RESIDENTIAL USE DISTRICT
- EXISTING PARKING**  
106 TOTAL
- PROVIDED PARKING**  
102 STANDARD STALLS  
6 ACCESSIBLE STALLS  
108 TOTAL
- WAIVER PARKING FUTURE**  
10 STANDARD STALLS
- ADFA REQUIRED - 112
- SITE SYMBOLS**
- SS - SANITARY SEWER
  - W - WATER LINE
  - E - ELEC. TRANSFORMER
  - G - GAS METERS (TO BE REMOVED)



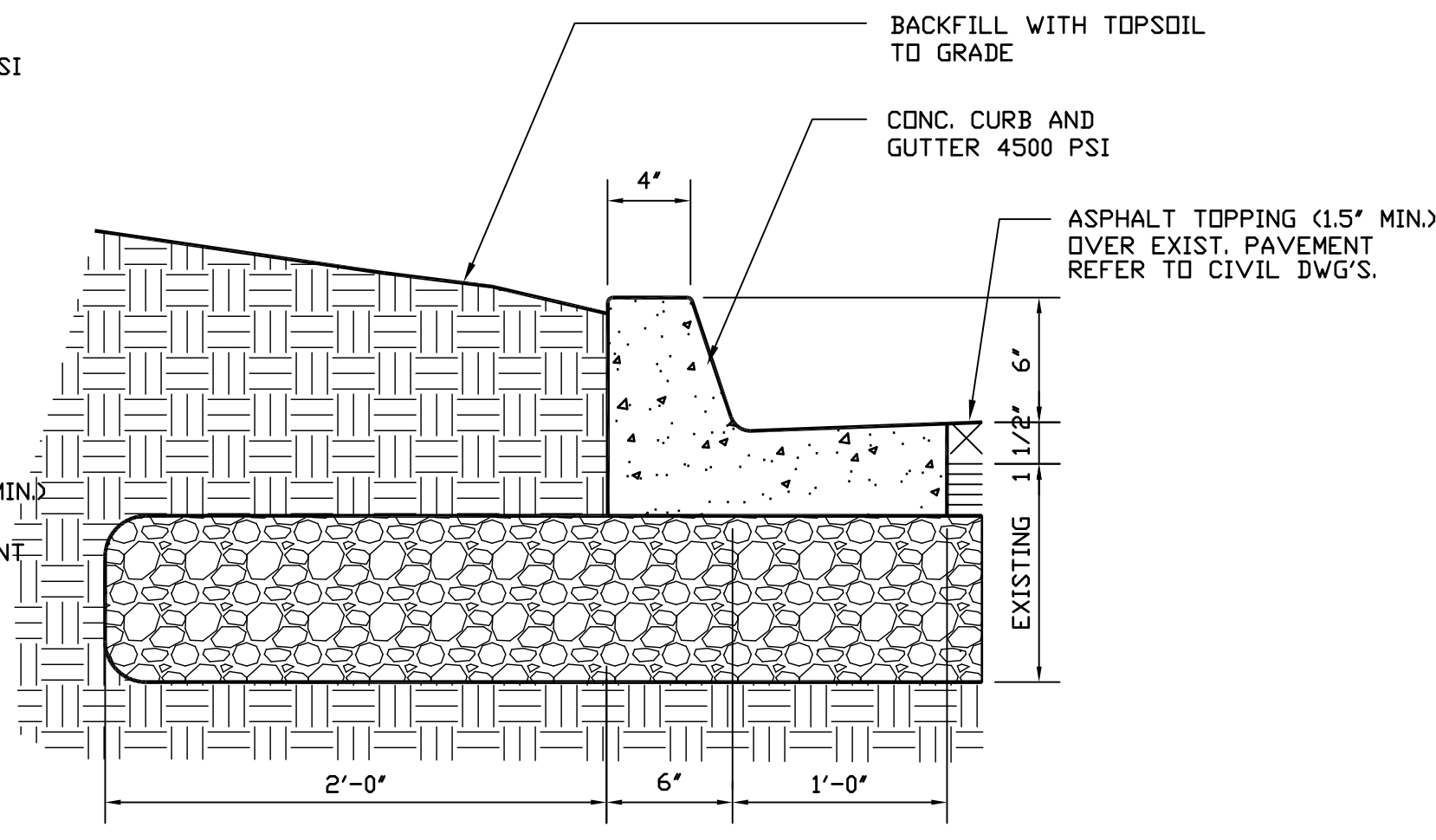
**SITE LAYOUT PLAN**  
SCALE: 1"=30'-0"



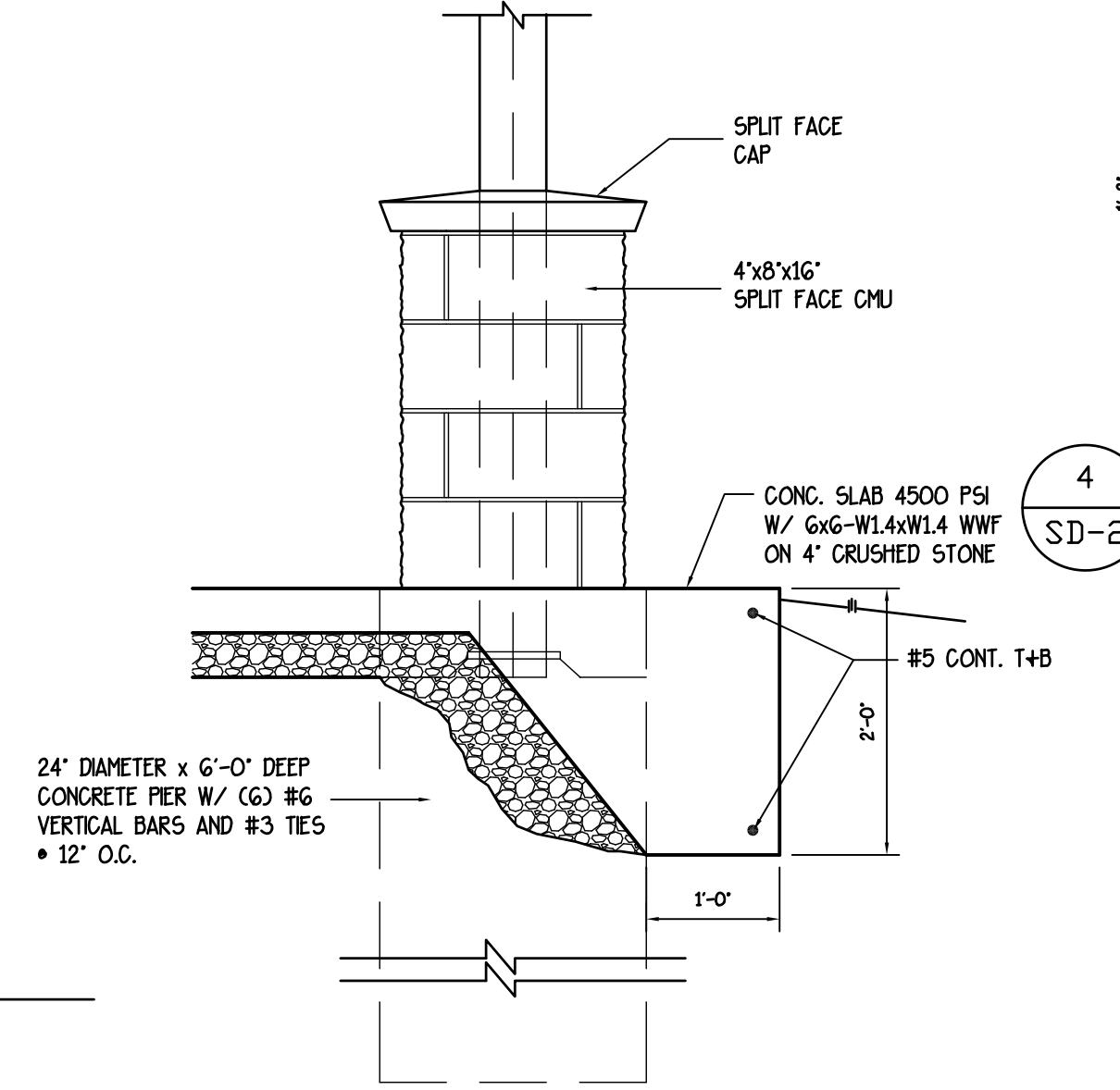
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REVISIONS	
7-22-18	
8-8-18	



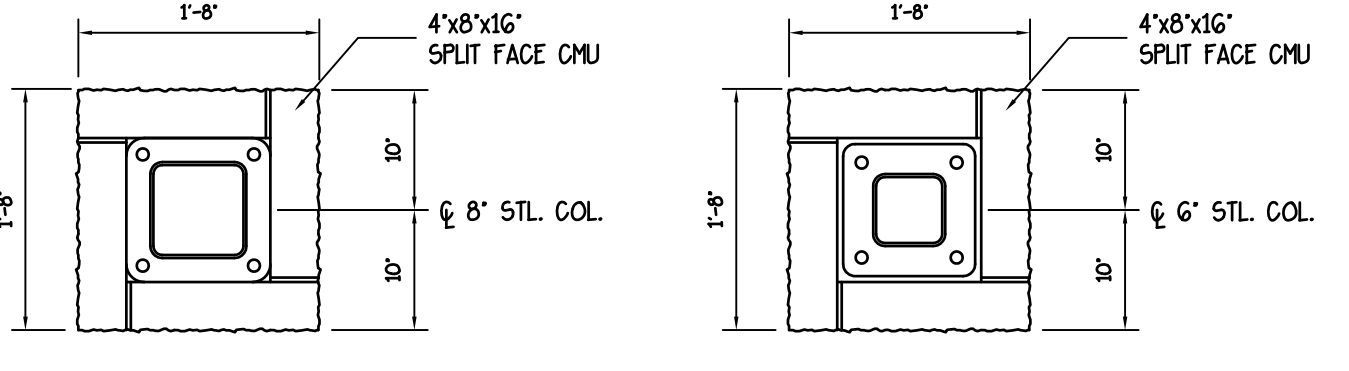
**1** **SIDEWALK DETAIL AT NEW PAVEMENT**  
SD-2 SCALE: 1 1/2" = 1'-0"



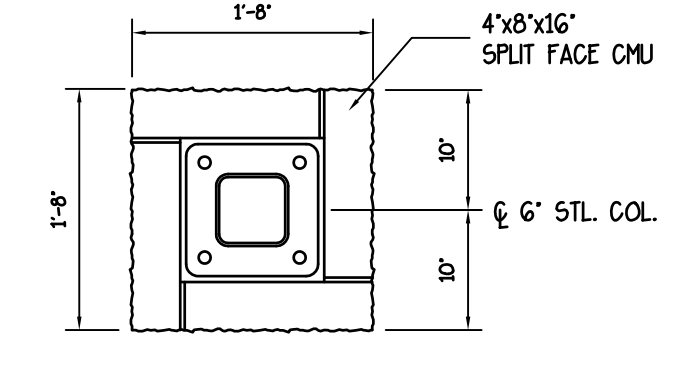
**2** **CONCRETE CURB AND GUTTER DETAIL**  
SD-2 SCALE: 1 1/2" = 1'-0"



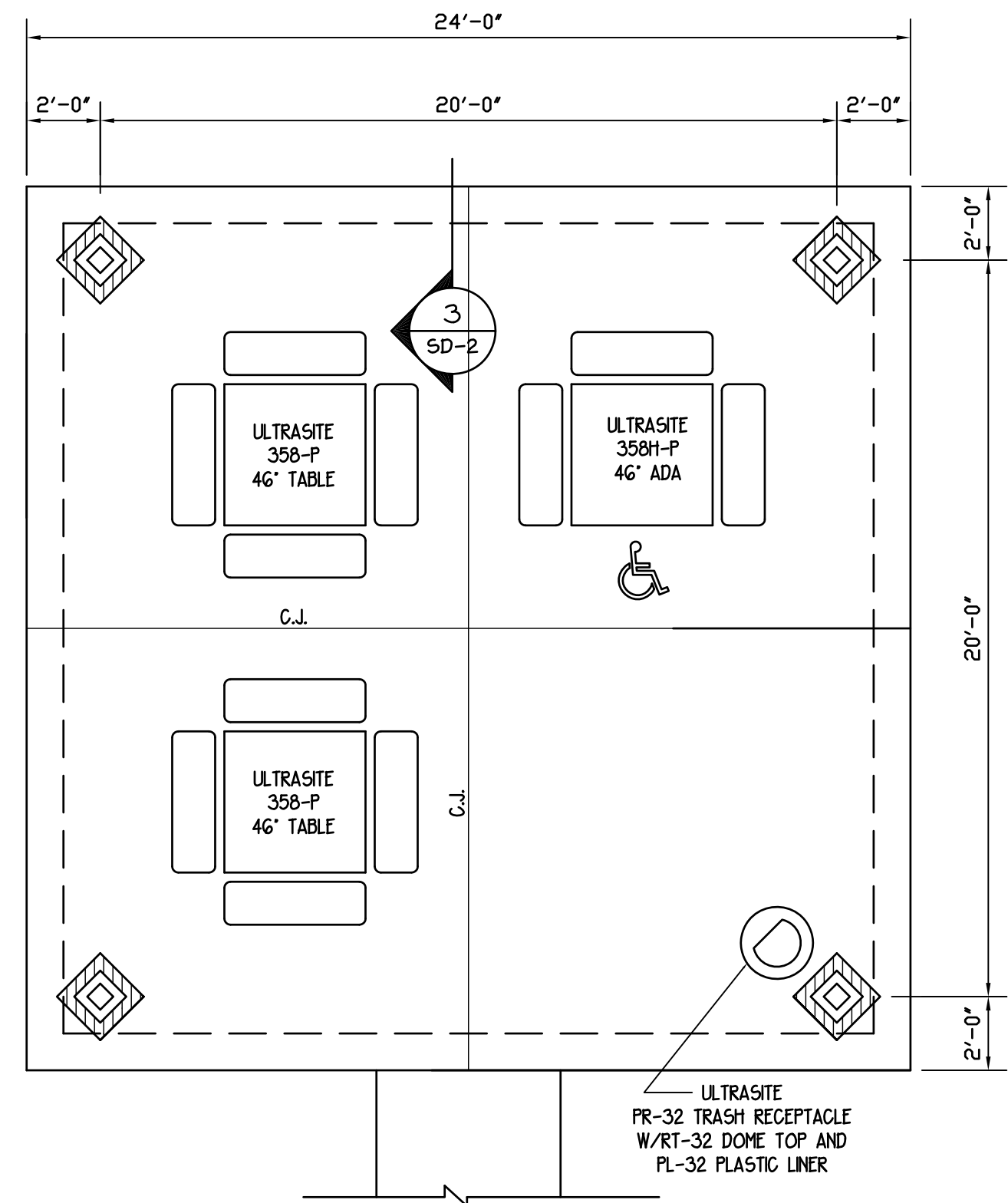
**3** **COL. DETAIL**  
SD-2 SCALE: 3/4" = 1'-0"



**4** **COL. PLAN**  
SD-2 SCALE: 3/4" = 1'-0"

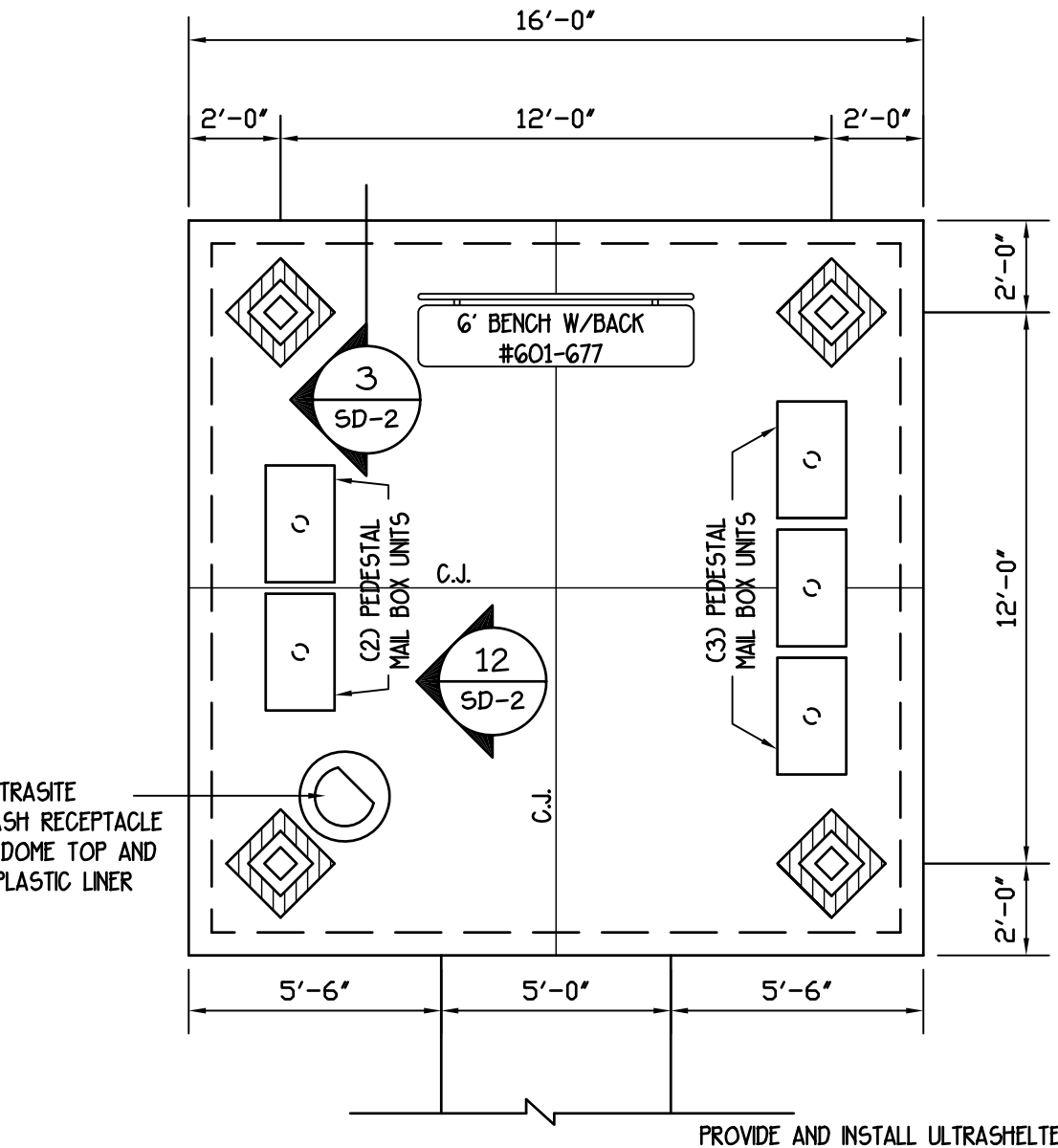


**5** **COL. PLAN**  
SD-2 SCALE: 3/4" = 1'-0"



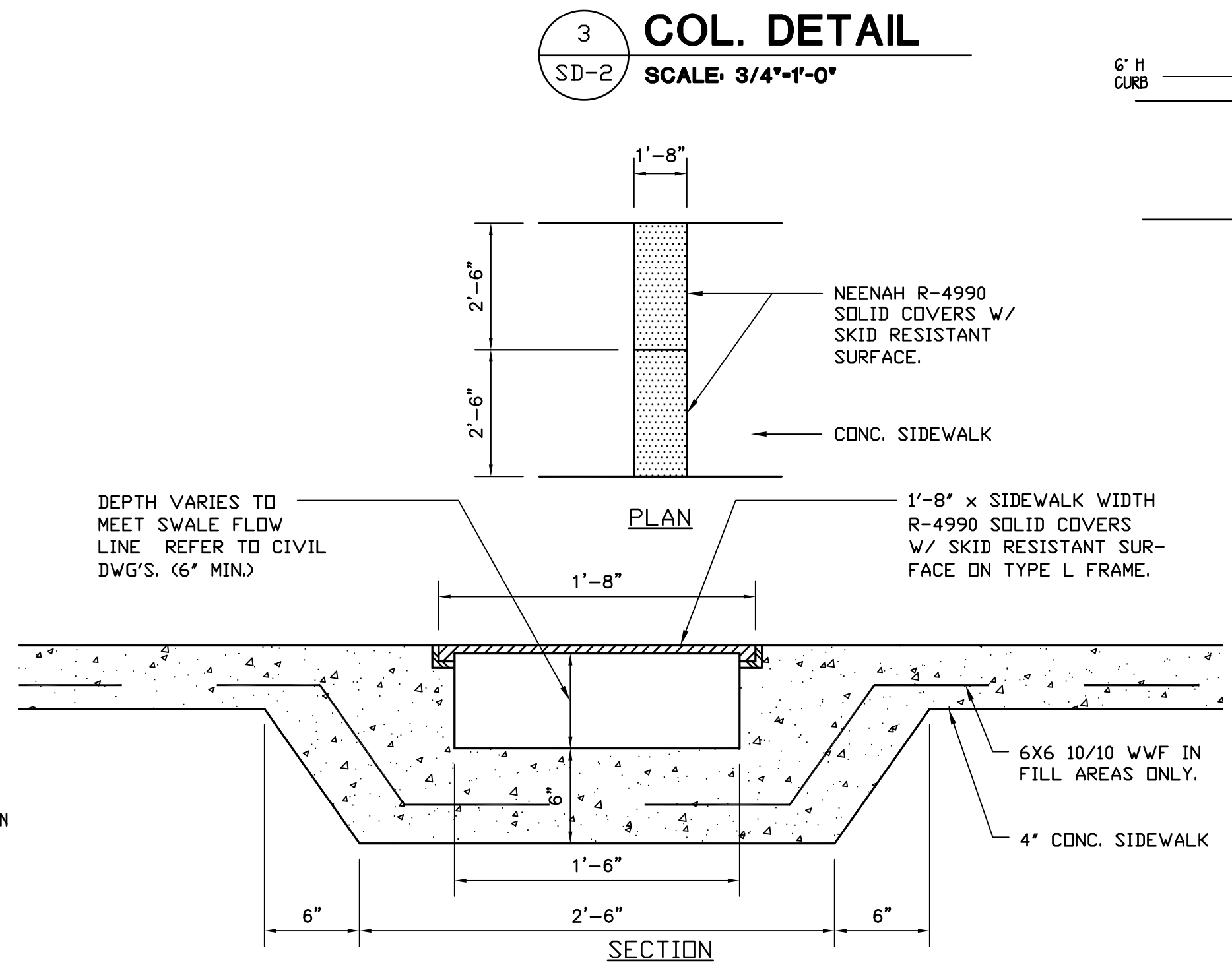
**6** **PICNIC KIOSK**  
SD-2 SCALE: 1/4" = 1'-0"

PROVIDE AND INSTALL ULTRASHELTER 24' SQUARE SHELTER W/JET BLACK SQ. COLUMNS AND HARTFORD GREEN MAX. RB ROOF. SUBDECK TO BE TONGUE + GROOVE WOOD AND COLUMN BASES WRAPPED W/SPLIT FACE CMU (BUFF) SUBMIT ENG. SEALED SHOP DWG'S. FOR REVIEW.

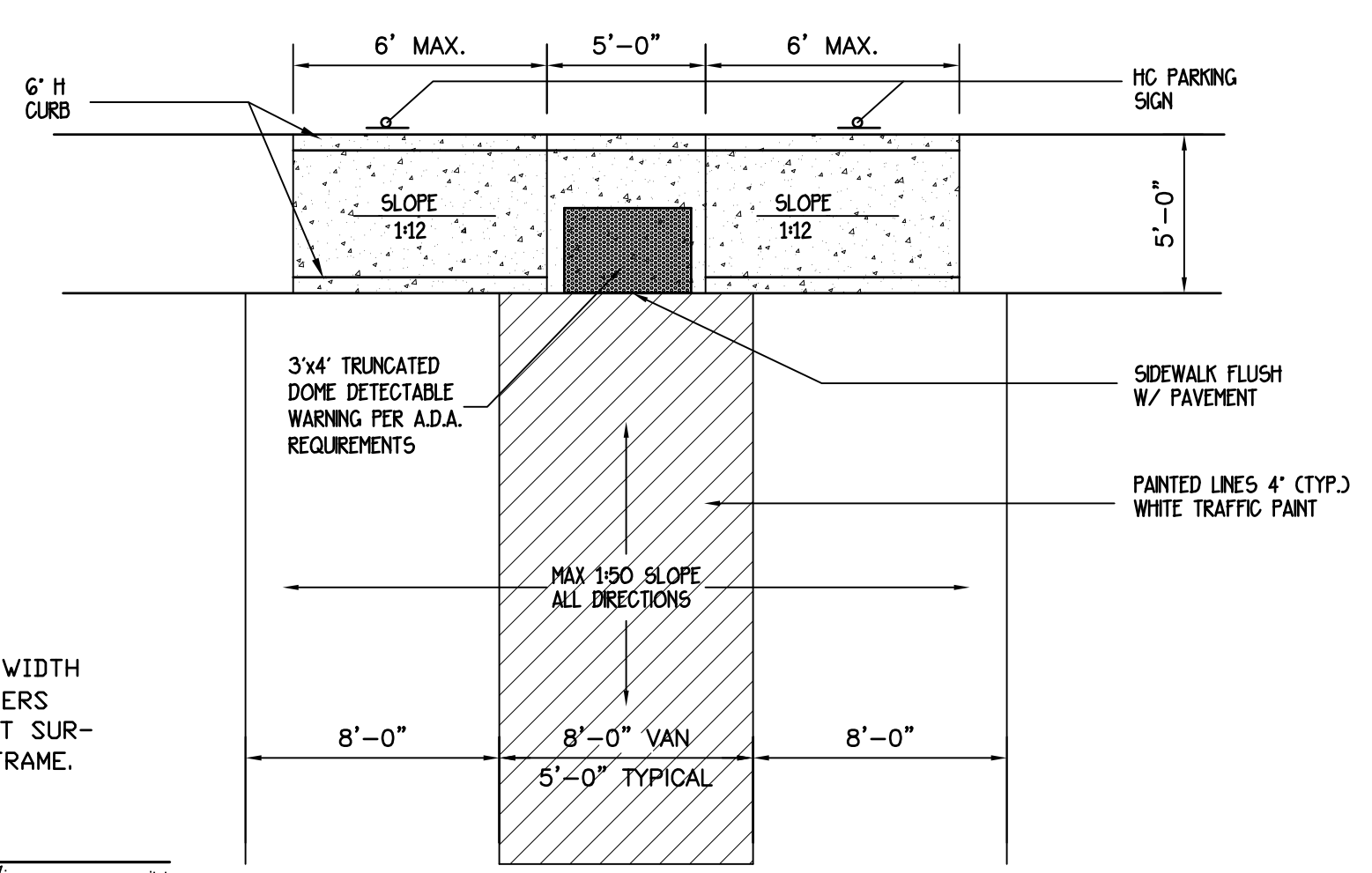


**7** **MAIL KIOSK**  
SD-2 SCALE: 1/4" = 1'-0"

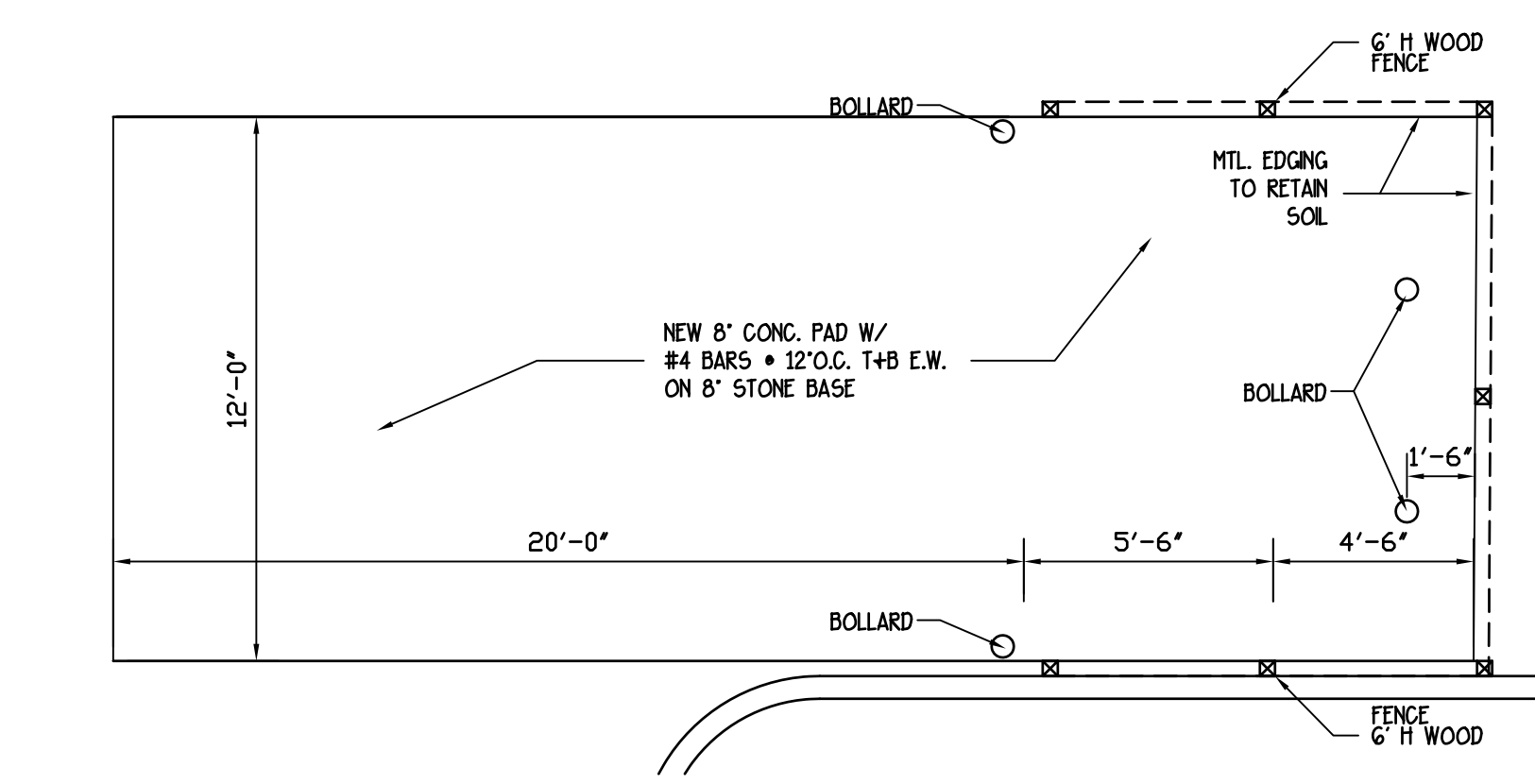
PROVIDE AND INSTALL ULTRASHELTER 16' SQUARE SHELTER W/JET BLACK SQ. COLUMNS AND HARTFORD GREEN MAX. RB ROOF. SUBDECK TO BE TONGUE + GROOVE WOOD AND COLUMN BASES WRAPPED W/SPLIT FACE CMU (BUFF) SUBMIT ENG. SEALED SHOP DWG'S. FOR REVIEW.



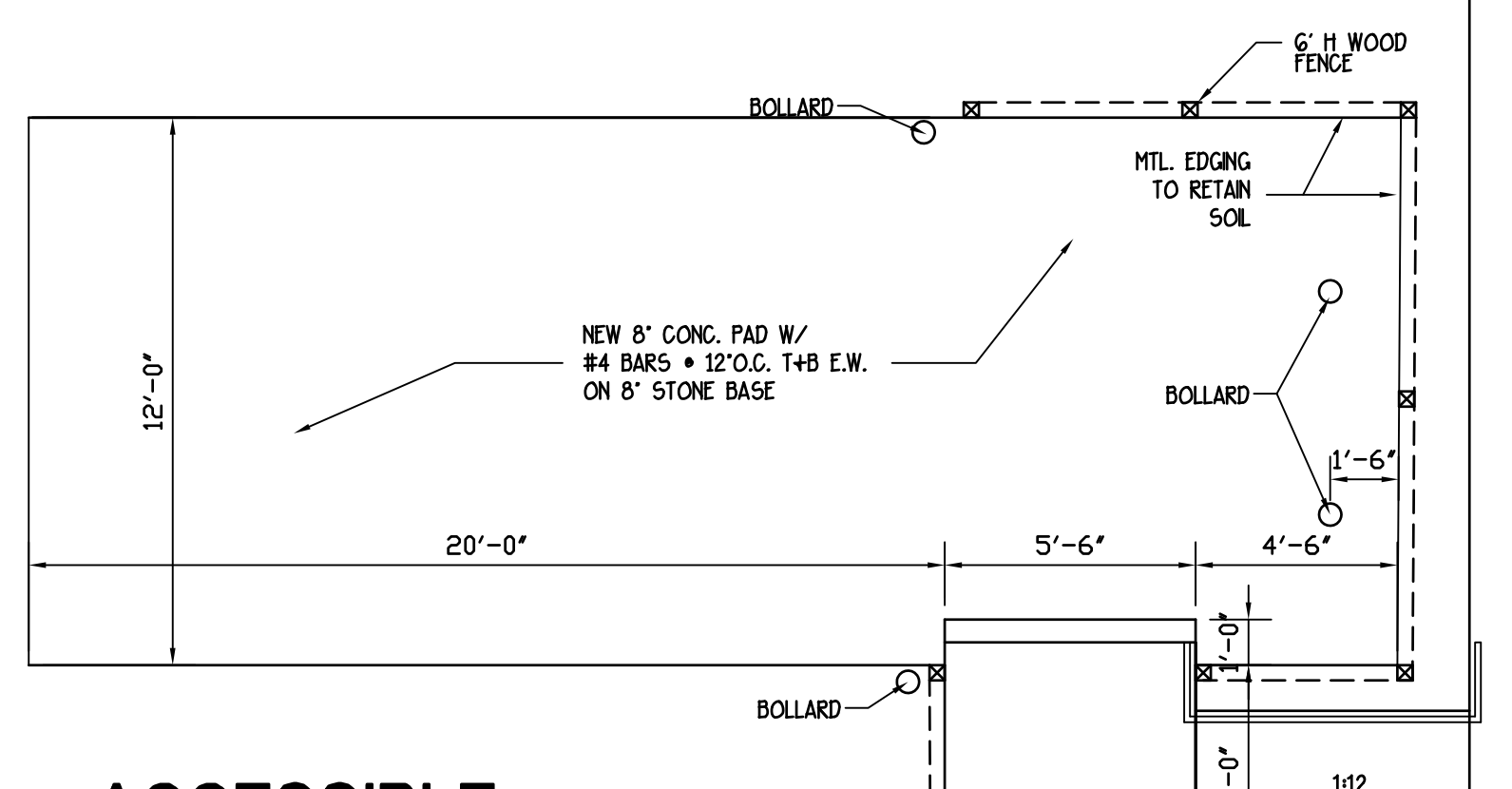
**8** **SIDEWALK CROSS DRAIN**  
SD-2 SCALE: 1 1/2" = 1'-0"



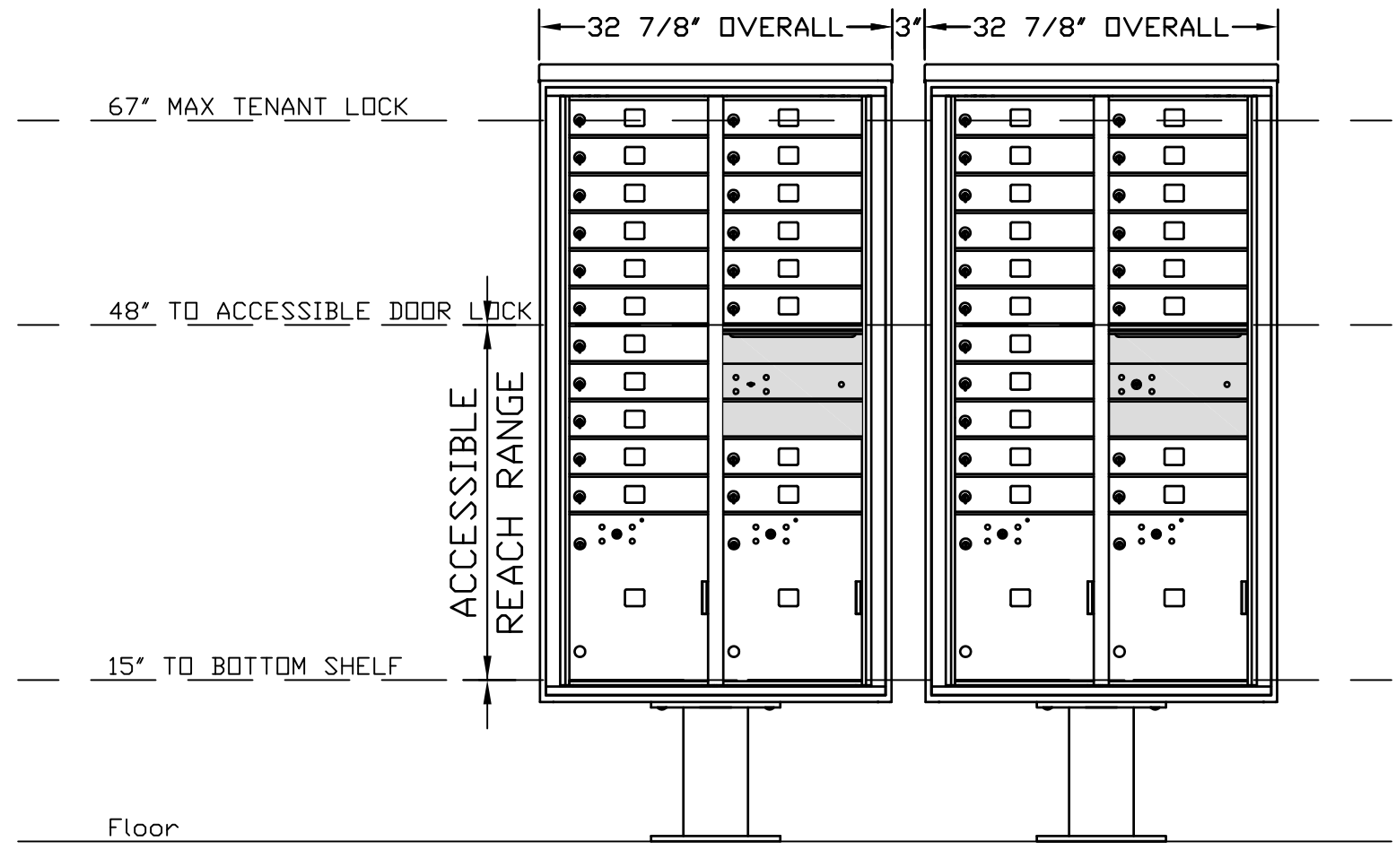
**9** **ACCESSIBLE PARKING**  
SD-2 SCALE: 1/4" = 1'-0"



**10** **DUMPSTER DETAIL**  
SD-2 SCALE: 1/4" = 1'-0"

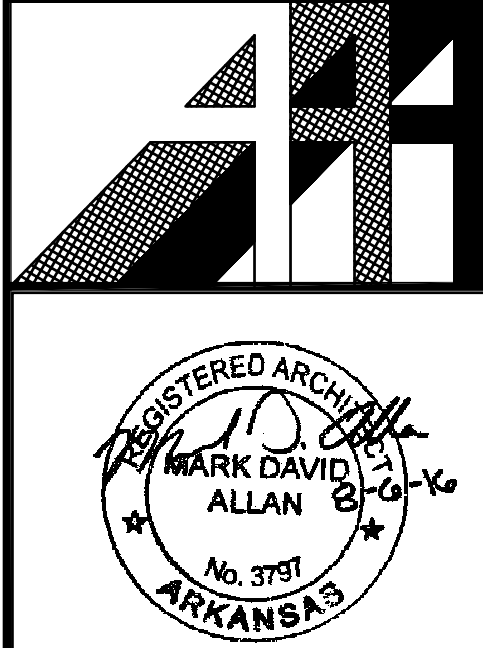


**11** **ACCESSIBLE DUMPSTER DETAIL**  
SD-2 SCALE: 1/4" = 1'-0"

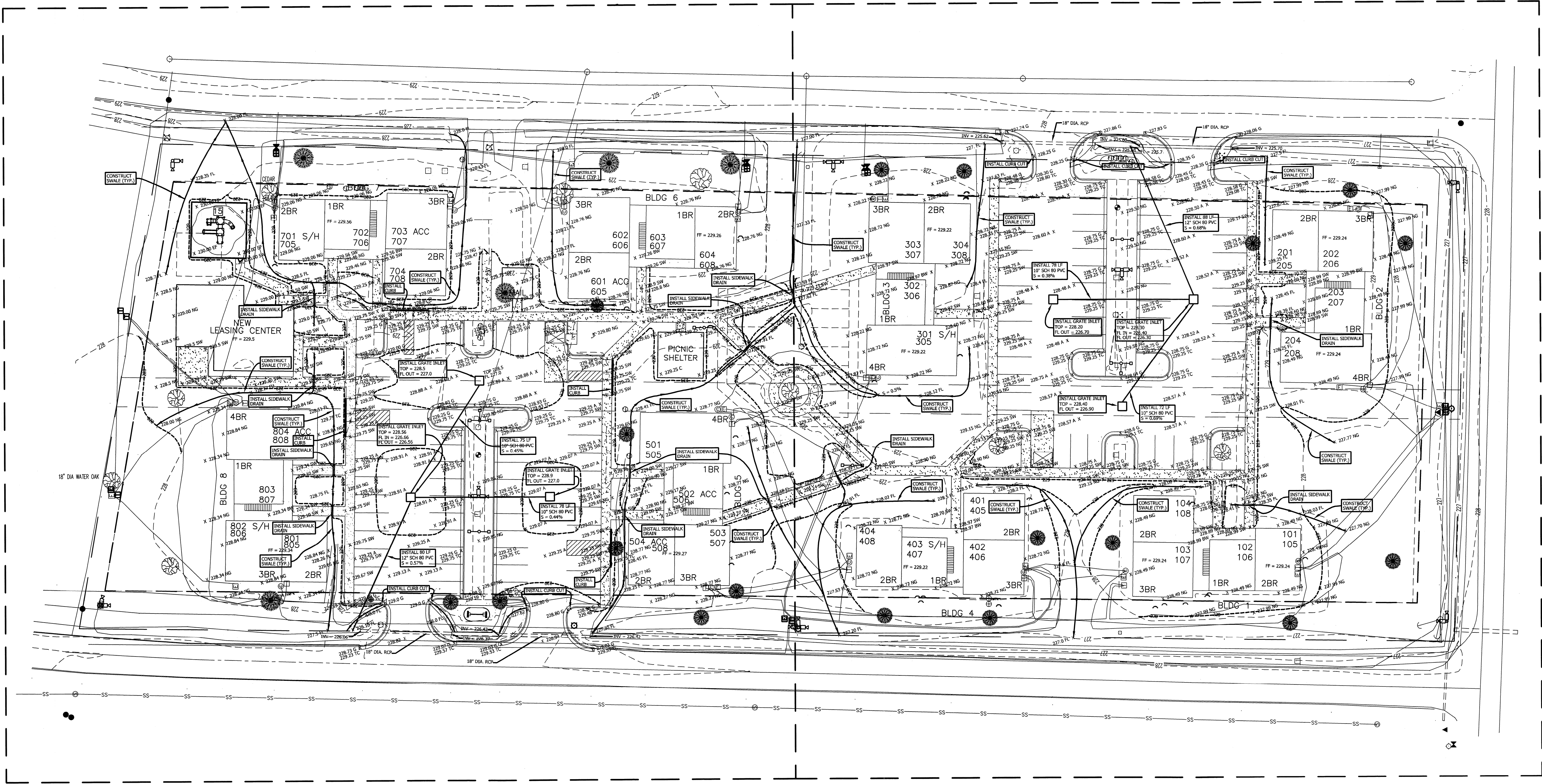
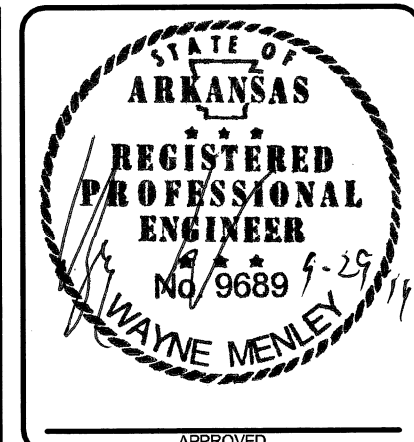
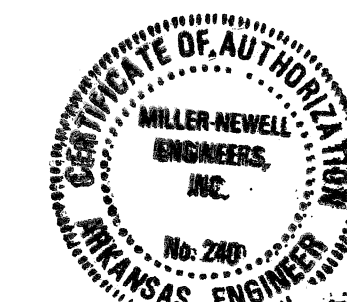


**12** **TYPICAL MAIL BOX ELEVATION**  
SD-2 SCALE: 3/4" = 1'-0"

**WHITE RIVER APARTMENTS**  
 2800 MARION DRIVE  
 DIAZ, ARKANSAS  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 5616 WALLWOOD ROAD  
 KNOXVILLE, TENNESSEE 37912  
 865 / 689-1902



SHEET NUMBER  
**SD-2**



AREA "A"

AREA "B"

NOTES:

- CONTRACTOR SHALL INSTALL A MINIMUM OF 1 1/2" OF ASPHALT OVER EXISTING ASPHALT PAVED AREAS. ADDITIONAL THICKNESS IN EXCESS OF 1 1/2" WILL BE REQUIRED OVER A MAJORITY OF THE PAVED AREAS TO ACHIEVE THE PROPOSED FINISHED ASPHALT GRADE FOR PROPER DRAINAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ASPHALT AS REQUIRED TO ACHIEVE THE PROPOSED FINISHED ASPHALT GRADE.
- ALL SITE DESIGN WAS ON AN EXISTING SITE TOPOGRAPHICAL DRAWING PROVIDED TO MILLER-NEWELL ENGINEERS BY OWNER. MILLER-NEWELL ENGINEERS DID NOT VERIFY THE ACCURACY OF THE TOPO DRAWING.

GRADING LEGEND

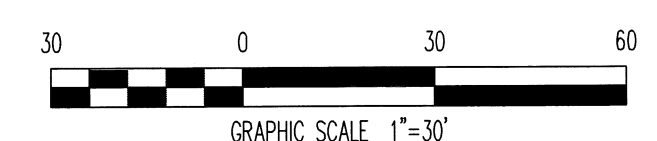
- 222.00 C = PROPOSED CONCRETE ELEVATION
- 222.00 SW = PROPOSED SIDEWALK ELEVATION
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- 222.00 EF = PROPOSED ENGINEERED FIBER ELEVATION
- 222.00 NG = PROPOSED NATURAL GROUND ELEVATION
- 222.00 BW = PROPOSED BREEZEWAY ELEVATION
- 222--- = EXISTING CONTOUR
- 222--- = PROPOSED CONTOUR

BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (0301)



LEGEND:

- FOUND MONUMENT (AS NOTED)
- SET MONUMENT (AS NOTED)
- ▲ COMPUTED POINT (NOT MONUMENTED)
- P.O.B.P. POINT OF BEGINNING PROPER
- UTILITY POLE
- LIGHT POLE
- ✓ GUY WIRE
- ⊠ ELECTRIC BOX
- AC UNIT
- ⊠ WATER METER
- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE
- ⊠ SPRINKLER CONTROL VALVE
- ⊠ SANITARY SEWER MANHOLE
- ⊠ SANITARY SEWER CLEANOUT
- ⊠ STORM DRAIN MANHOLE
- ⊠ GRATE INLET
- ⊠ TELECOMMUNICATIONS PEDESTAL
- ⊠ TELECOMMUNICATIONS BOX
- ⊠ CABLE TELEVISION BOX
- ⊠ MAIL BOX
- ⊠ EXISTING TREE (AS NOTED)
- ⊠ SIGN (AS NOTED)
- ROP REINFORCED CONCRETE PIPE
- O— OVERHEAD ELECTRIC LINE
- E- UNDERGROUND ELECTRIC LINE
- W- WATER LINE
- SS- SANITARY SEWER LINE
- O- ORNAMENTAL FENCE
- CABLE PEDESTAL
- SATELLITE DISH
- CREPE MYRTLE

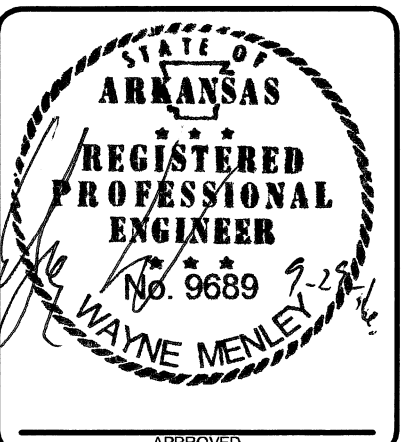


**Miller Newell Engineers Inc.**  
 510 THIRD STREET  
 NEWPORT, AR 72112  
 PHONE: (870) 523-6631 FAX: (870) 523-6533  
 EMAIL: MILNEWENGR@AOL.COM

**OVERALL SITE PLAN**  
**WHITE RIVER APARTMENTS**  
**DIAZ, AR**

PROJECT NUMBER: 16038  
 DRAWN BY: DHD  
 CHECKED BY: WJM  
 DATE: JULY 2016  
 REVISIONS:  
 1. REVISED PER ARCH. REQUEST 9/20/16  
 2.  
 3.

SHEET NUMBER:  
**C-1**  
 DRAWER NUMBER:

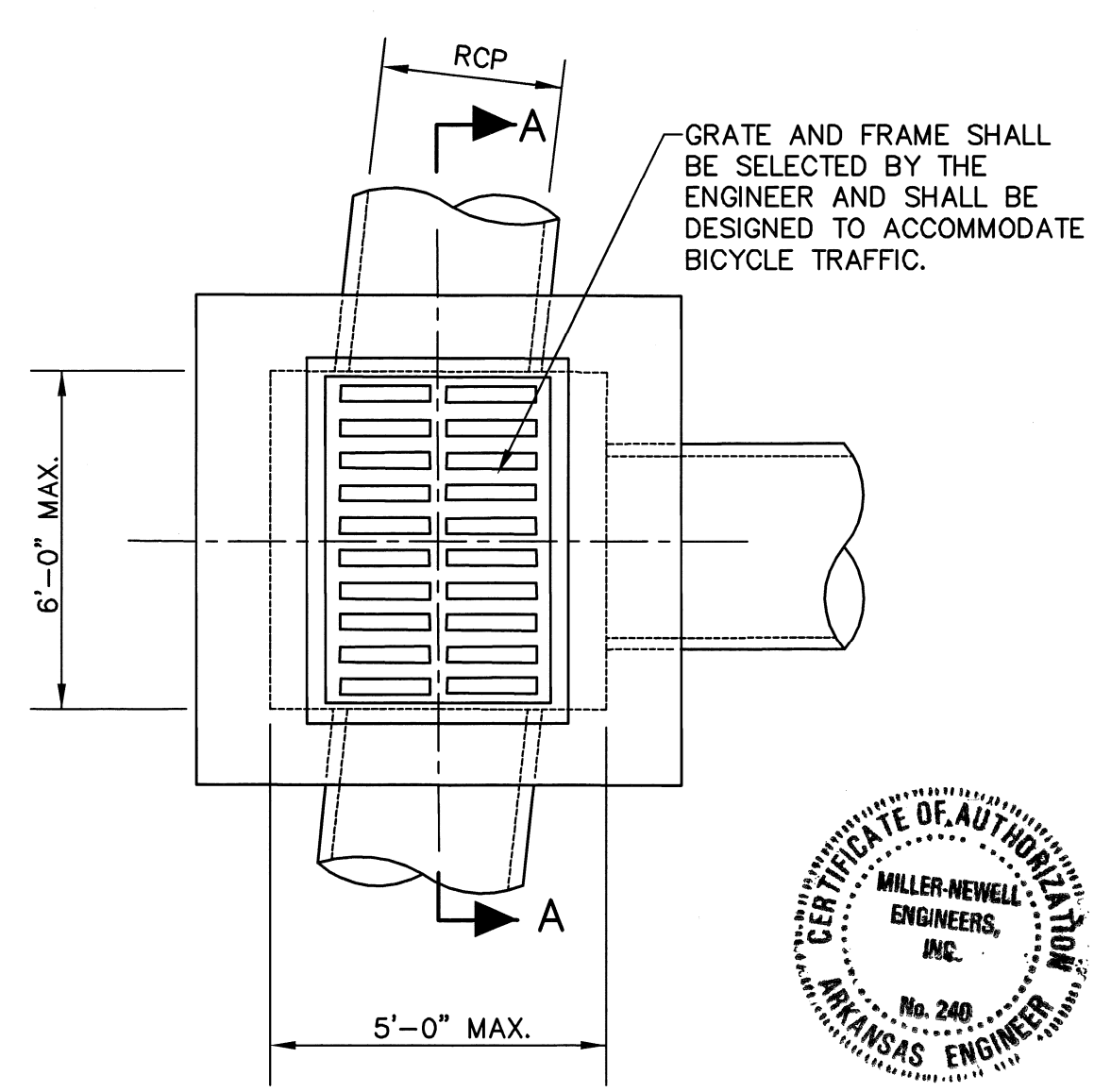
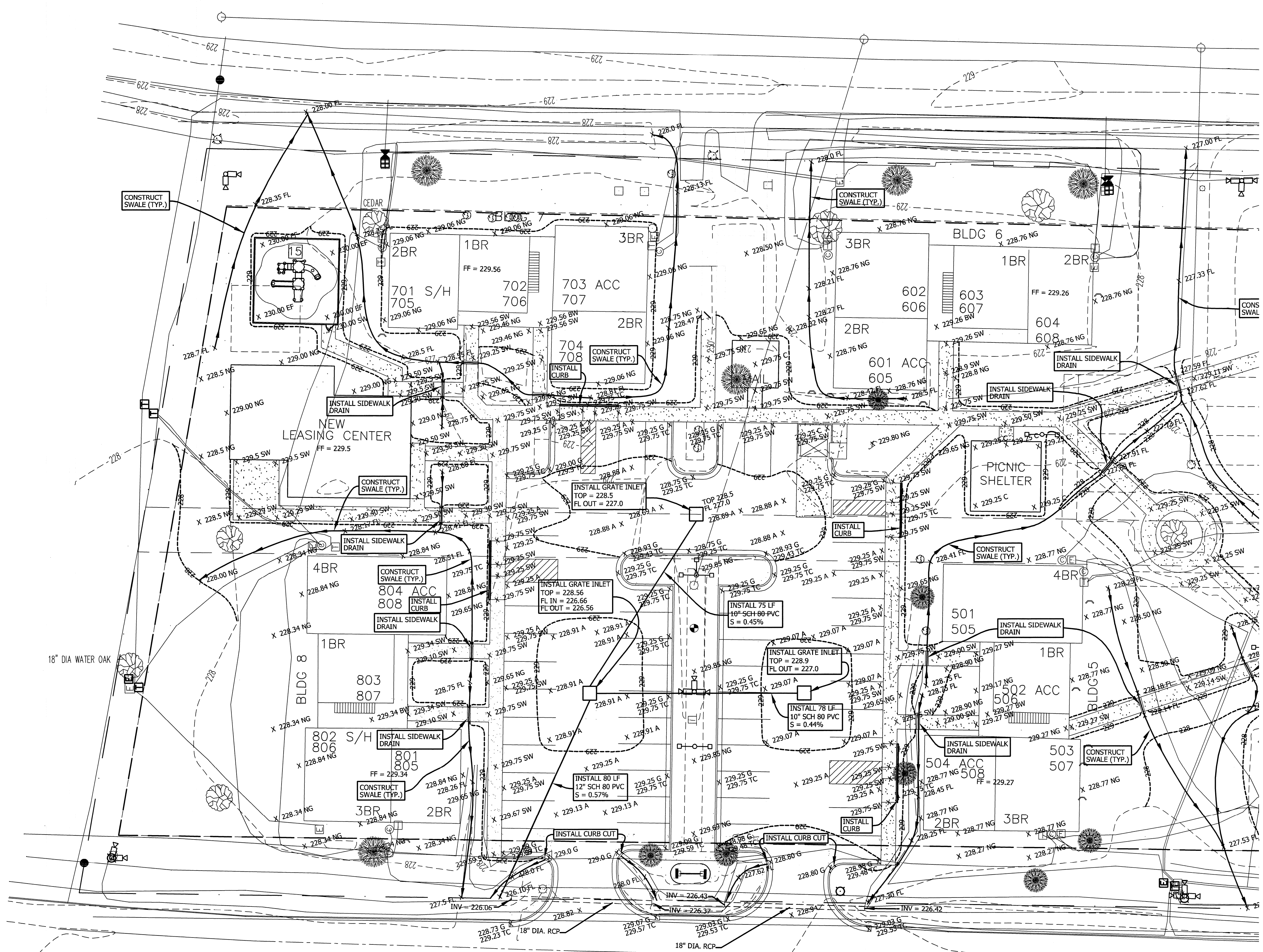


**Miller Newell Engineers Inc.**  
 510 THIRD STREET NEWPORT, AR 72112  
 PHONE: (870) 523-6531 FAX: (870) 523-6533  
 MILLER-NEWELL ENGINEERS, INC.  
 No. 248 ARKANSAS ENGINEER  
 MILLER-NEWELL ENGINEERS, INC.  
 MILLER-NEWELL ENGINEERS, INC.  
 MILLER-NEWELL ENGINEERS, INC.

**ENLARGED AREA "A"**  
**WHITE RIVER APARTMENTS**  
**DIAZ, AR**

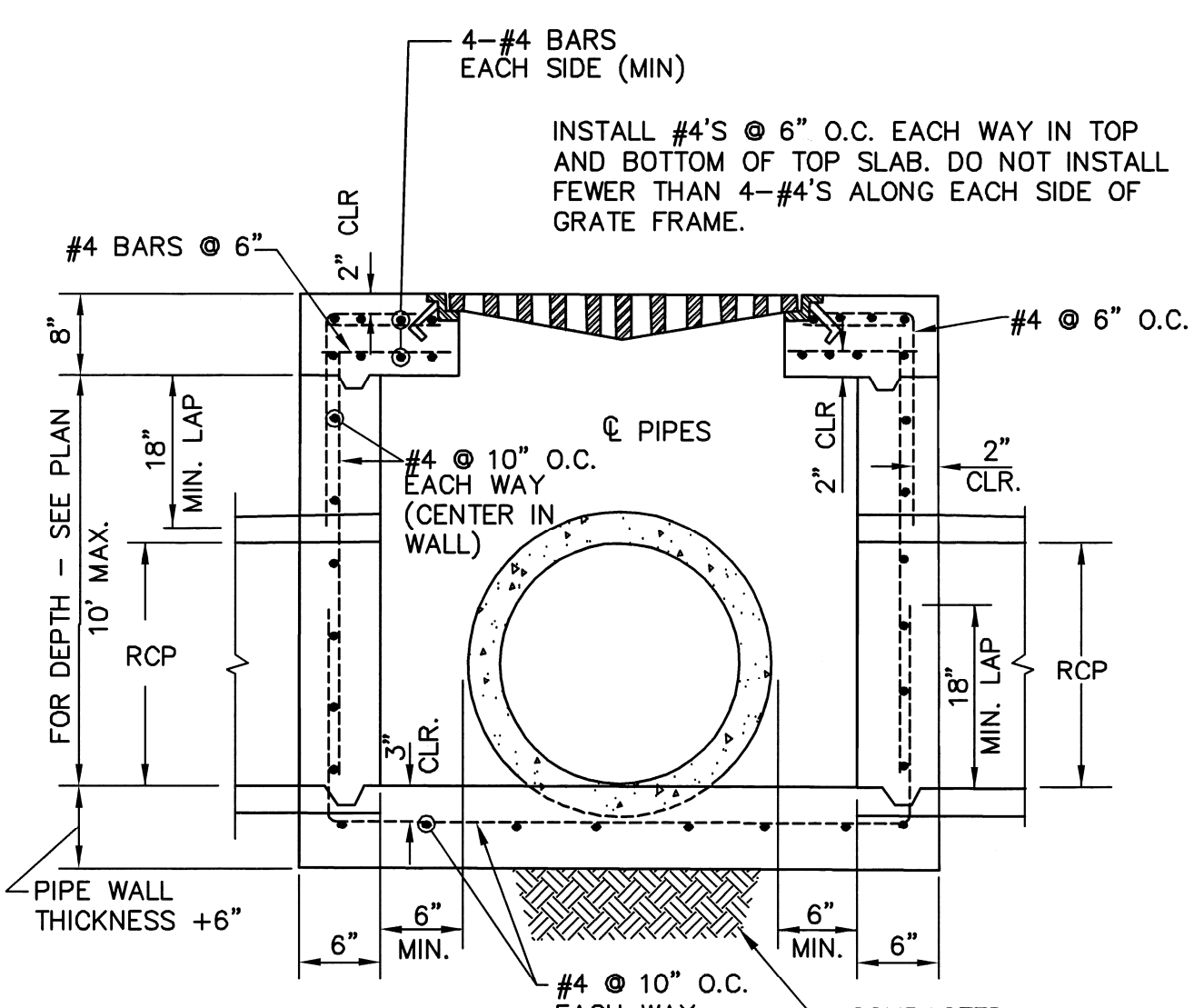
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 DRAWN BY: DHD  
 CHECKED BY: WM  
 DATE: JULY 2016  
 REVISIONS:  
 1. REVISED PER ARCH. REQUEST 9/20/16  
 2.  
 3.

SHEET NUMBER:  
**C-2**  
 DRAWER NUMBER:



**PLAN - GRATE INLET - LIGHT**  
 N.T.S.

NOTE:  
 DO NOT USE UNDER VEHICULAR TRAFFIC.



**SECTION 'A-A' - GRATE INLET - LIGHT**  
 N.T.S.

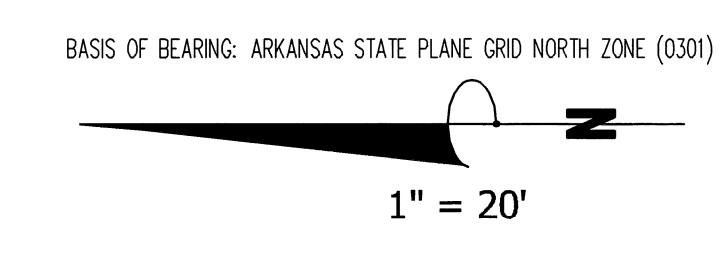
NOTES:  
 1. GRATE INLETS MORE THAN 3 FEET DEEP SHALL HAVE STANDARD MANHOLE STEPS PLACED @ 15" O.C.  
 2. SEE REINFORCING DETAIL FOR OPENING IN WALL OR SLAB.

NOTES:  
 1. CONTRACTOR SHALL INSTALL A MINIMUM OF 1 1/2" OF ASPHALT OVER EXISTING ASPHALT PAVED AREAS. ADDITIONAL THICKNESS IN EXCESS OF 1 1/2" WILL BE REQUIRED OVER A MAJORITY OF THE PAVED AREAS TO ACHIEVE THE PROPOSED FINISHED ASPHALT GRADE FOR PROPER DRAINAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ASPHALT AS REQUIRED TO ACHIEVE THE PROPOSED FINISHED ASPHALT GRADE.  
 2. ALL SITE DESIGN WAS ON AN EXISTING SITE TOPOGRAPHICAL DRAWING PROVIDED TO MILLER-NEWELL ENGINEERS BY OWNER. MILLER-NEWELL ENGINEERS DID NOT VERIFY THE ACCURACY OF THE TOPO DRAWING.

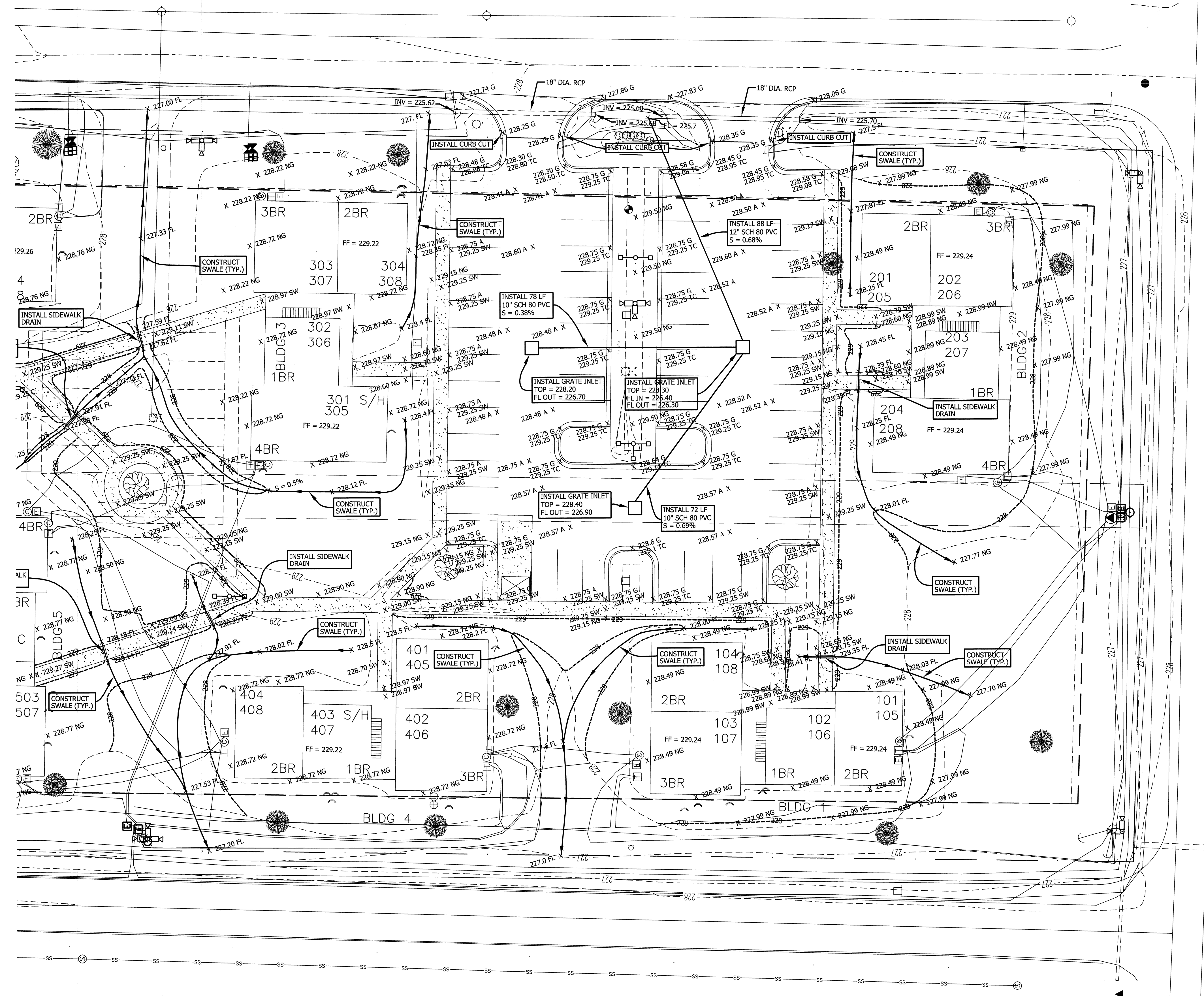
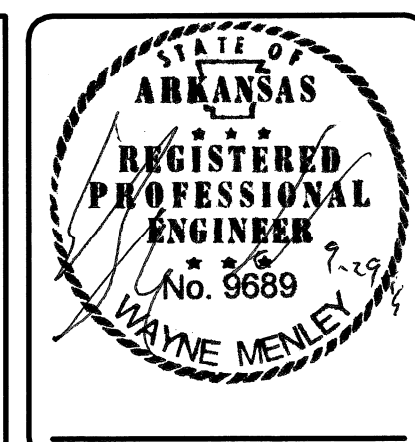
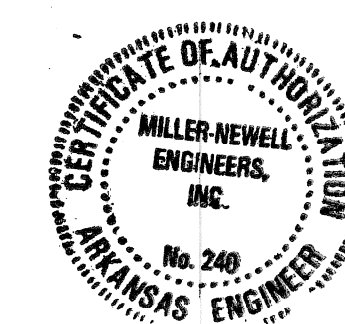
**GRADING LEGEND**

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- 222.00 BW = PROPOSED BREEZEWAY ELEVATION
- 222--- = EXISTING CONTOUR
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- LEGEND:**
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  - SET MONUMENT (AS NOTED)
  - ▲ COMPUTED POINT (NOT MONUMENTED)
  - P.O.B.P. POINT OF BEGINNING PROPER
  - UTILITY POLE
  - LIGHT POLE
  - CUY WIRE
  - ELECTRIC BOX
  - AC UNIT
  - ⊕ WATER METER
  - ⊕ FIRE HYDRANT
  - ⊕ WATER VALVE
  - ⊕ SPRINKLER CONTROL VALVE
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ SANITARY SEWER CLEANOUT
  - ⊕ STORM DRAIN MANHOLE
  - ⊕ GRATE INLET
  - ⊕ TELECOMMUNICATIONS PEDESTAL
  - ⊕ TELECOMMUNICATIONS BOX
  - ⊕ CABLE TELEVISION BOX
  - ⊕ MAILBOX
  - ⊕ EXISTING TREE (AS NOTED)
  - ⊕ SIGN (AS NOTED)
  - ⊕ RCP REINFORCED CONCRETE PIPE
  - ⊕ OVERHEAD ELECTRIC LINE
  - ⊕ UNDERGROUND ELECTRIC LINE
  - ⊕ WATER LINE
  - ⊕ SANITARY SEWER LINE
  - ⊕ ORNAMENTAL FENCE
  - ⊕ CABLE PEDESTAL
  - ⊕ SATELLITE DISH
  - ⊕ CREPE MYRTLE



C:\DWG\2016\16038 (White River Apartments)\NEW SITE PLAN.dwg, 9/28/2016 9:03:12 AM, 6279 Master



### GRADING LEGEND

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  - ⊕ WATER VALVE
  - ⊕ SPRINKLER CONTROL VALVE
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ SANITARY SEWER CLEANOUT
  - ⊕ STORM DRAIN MANHOLE
  - ⊕ GRATE INLET
  - TELECOMMUNICATIONS PEDESTAL
  - TELECOMMUNICATIONS BOX
  - ⊕ CABLE TELEVISION BOX
  - ⊕ MAILBOX
  - ⊕ EXISTING TREE (AS NOTED)
  - ⊕ SIGN (AS NOTED)
  - ⊕ REINFORCED CONCRETE PIPE
  - ⊕ OVERHEAD ELECTRIC LINE
  - ⊕ UNDERGROUND ELECTRIC LINE
  - ⊕ WATER LINE
  - ⊕ SANITARY SEWER LINE
  - ⊕ ORNAMENTAL FENCE
  - ⊕ CABLE PEDESTAL
  - ⊕ SATELLITE DISH
  - CREPE MYRTLE

BASIS OF BEARING: ARKANSAS STATE PLANE GRID NORTH ZONE (0301)



1" = 20'

#### NOTES:

1. CONTRACTOR SHALL INSTALL A MINIMUM OF 1 1/2" OF ASPHALT OVER EXISTING ASPHALT PAVED AREAS. ADDITIONAL THICKNESS IN EXCESS OF 1 1/2" WILL BE REQUIRED OVER A MAJORITY OF THE PAVED AREAS TO ACHIEVE THE PROPOSED FINISHED ASPHALT GRADE FOR PROPER DRAINAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ASPHALT AS REQUIRED TO ACHIEVE THE PROPOSED FINISHED ASPHALT GRADE.
2. ALL SITE DESIGN WAS ON AN EXISTING SITE TOPOGRAPHICAL DRAWING PROVIDED TO MILLER-NEWELL ENGINEERS BY OWNER. MILLER-NEWELL ENGINEERS DID NOT VERIFY THE ACCURACY OF THE TOPO DRAWING.

**Miller Newell Engineers Inc.**  
 510 THIRD STREET NEWPORT, AR 72112  
 PHONE: (870) 523-6631 FAX: (870) 523-6633  
 Miller - Newell EMAIL: MILNEWENGR@AOL.COM

# ENLARGED AREA "B"

## WHITE RIVER APARTMENTS

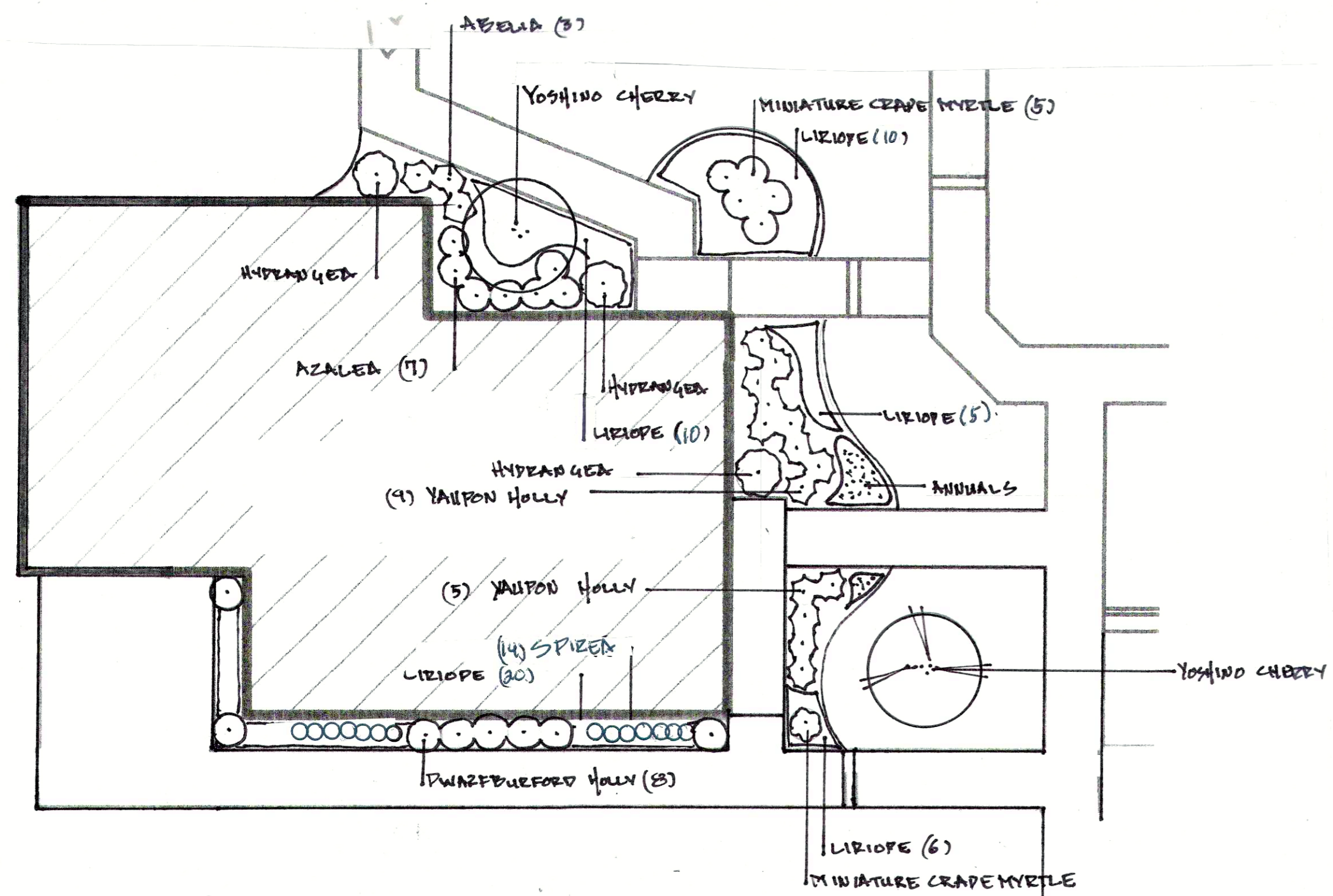
### DIAZ, AR

PROJECT NUMBER: 16038  
 DRAWN BY: DHD  
 CHECKED BY: WJM  
 DATE: JULY 2016  
 REVISIONS:  
 1. REVISED PER ARCH. REQUEST 9/20/16  
 2.  
 3.

SHEET NUMBER:  
**C-3**  
 DRAWER NUMBER:

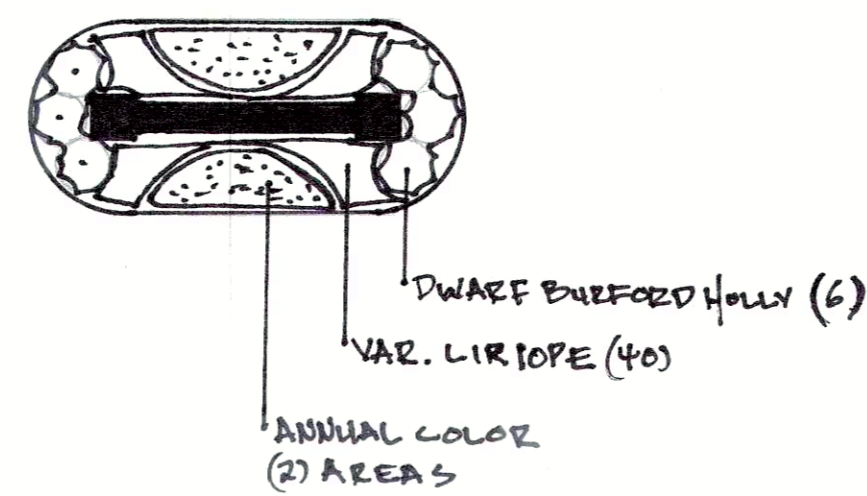


DRWN. BY:	CHKD. BY:
APPR. BY:	DATE:
REVISIONS	

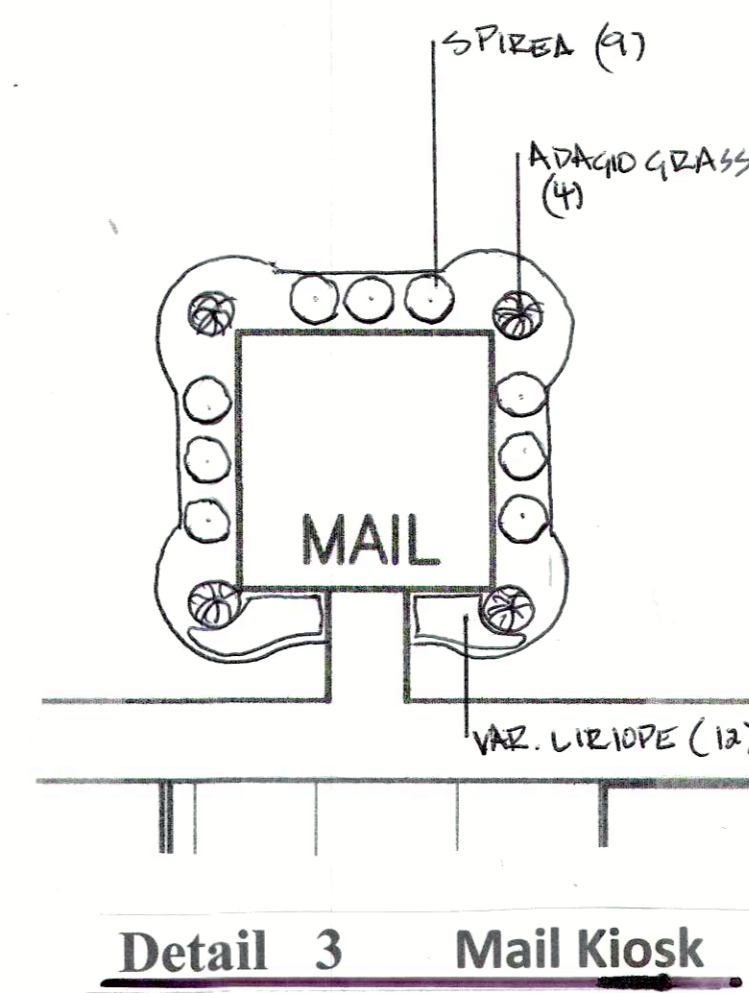


**Detail 1 Leasing Office**

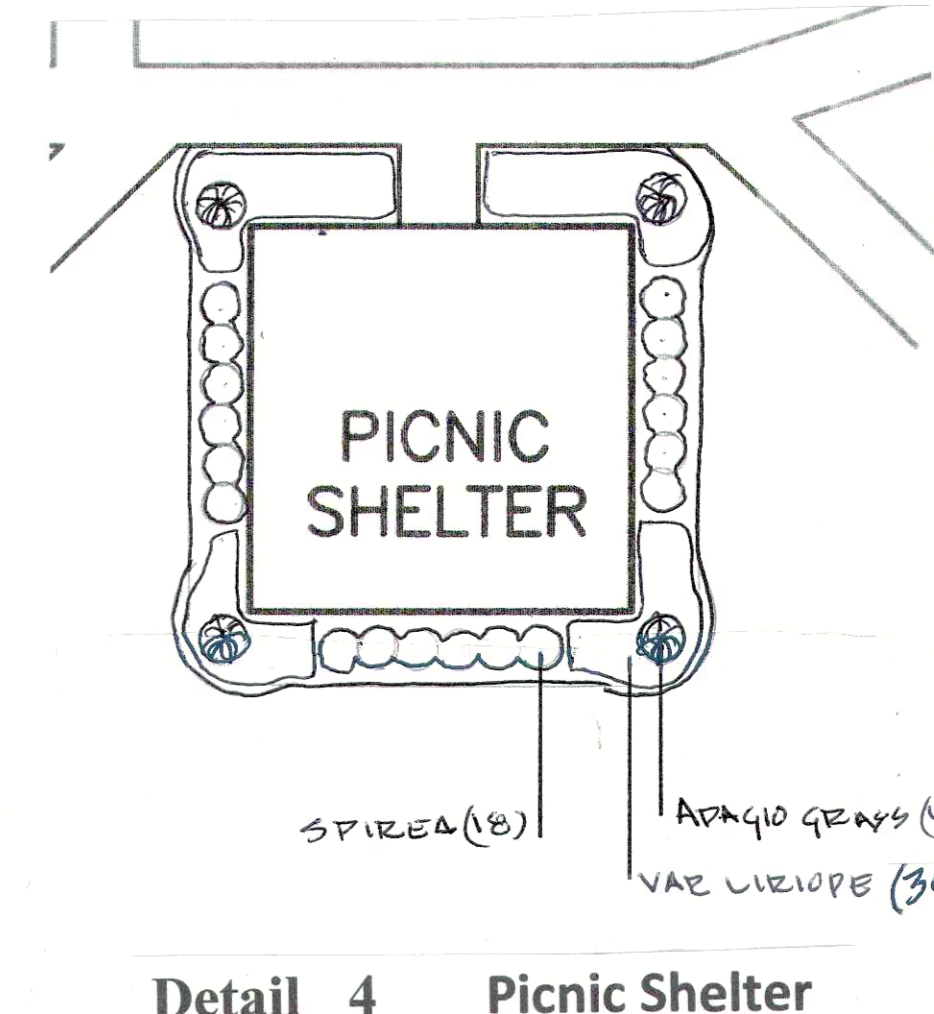
1" = 10' SCALE



**Detail 2 Entrance Sign**



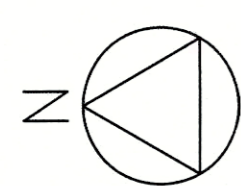
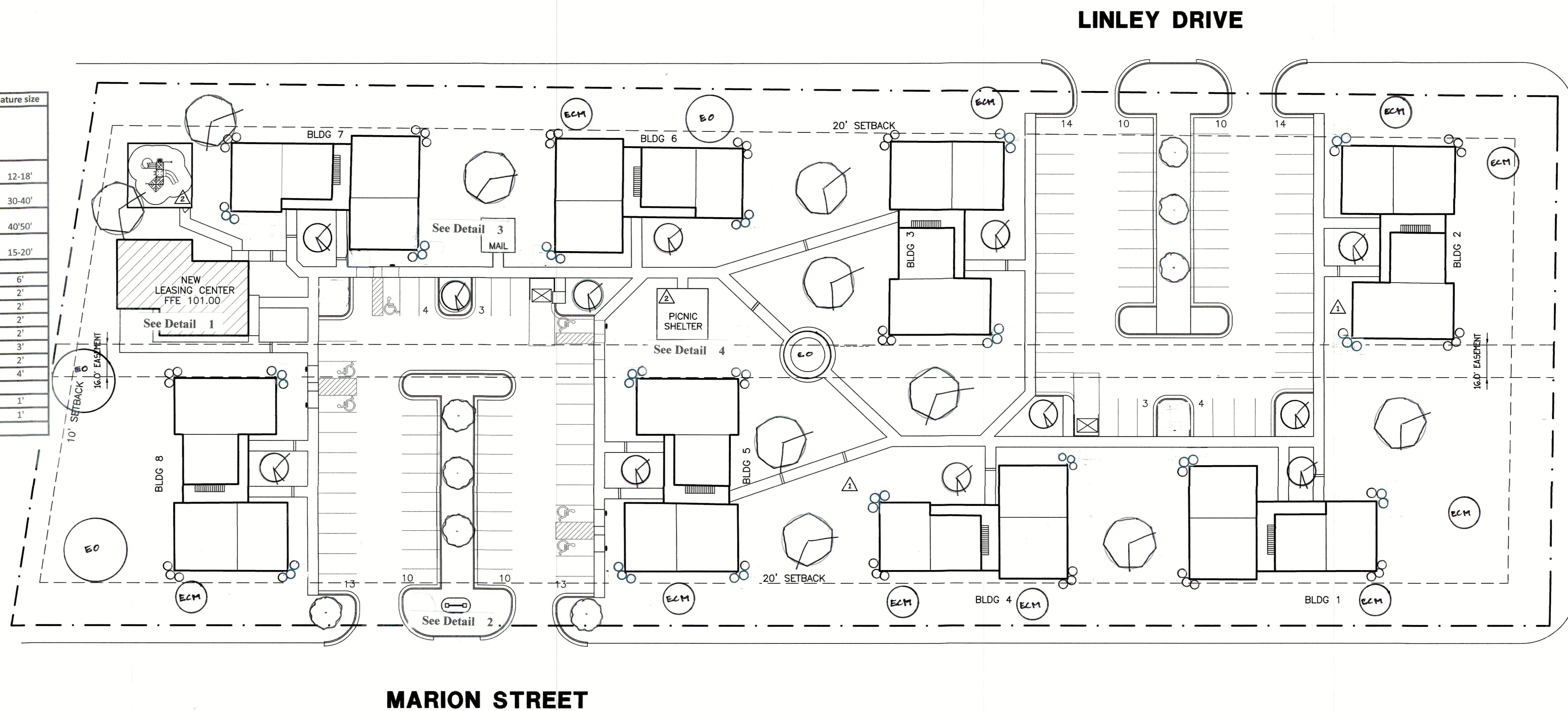
**Detail 3 Mail Kiosk**



**Detail 4 Picnic Shelter**

**PLANT LEGEND**

QUANTITY	SYMBOL	COMMON NAME	initial size	mature size
<b>Existing Trees</b>				
10	ECM	EXISTING CRAPE MYRTLE		
4	EO	EXISTING OAK		
<b>Trees</b>				
12	(Symbol)	crape myrtle 'muskogee' multi trunk	1.5" cal.	12-18'
8	(Symbol)	sweetbay magnolia multi trunk	1.5" cal.	30-40'
10	(Symbol)	sugar maple 'legacy'	1.5" cal.	40-50'
2	(Symbol)	yoshino cherry	1.5" cal.	15-20'
<b>Shrubs</b>				
110	(Symbol)	dwarf burford holly	3 gal.	6'
41	(Symbol)	spirea 'little princess'	3 gal.	2'
8	(Symbol)	adagio grass	3 gal.	2'
6	(Symbol)	miniature crape myrtle 'pocomoke'	3 gal.	2'
14	(Symbol)	yaupon holly	3 gal.	2'
7	(Symbol)	azalea encore pink	3 gal.	3'
3	(Symbol)	abelia dwarf	3 gal.	2'
3	(Symbol)	hydrangea 'little lime'	3 gal.	4'
<b>Groundcover, perennials, annuals</b>				
42	(Symbol)	variegated liriope	1 gal.	1'
51	(Symbol)	big blue liriope	1 gal.	1'
60	(Symbol)	annual color in season	4" pots	



**SITE LANDSCAPE PLAN**  
SCALE: 1"=30'-0"

**SITE LANDSCAPE PLAN**

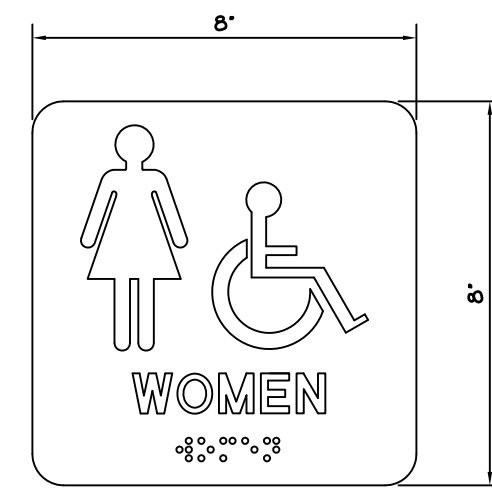
**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**STUART ROW LANDSCAPES INC.**

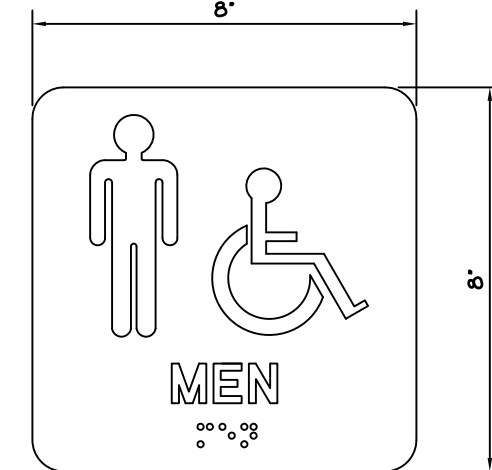
11802 CEDAR BARK COURT KNOXVILLE, TENNESSEE 37934  
(865) 671-3670



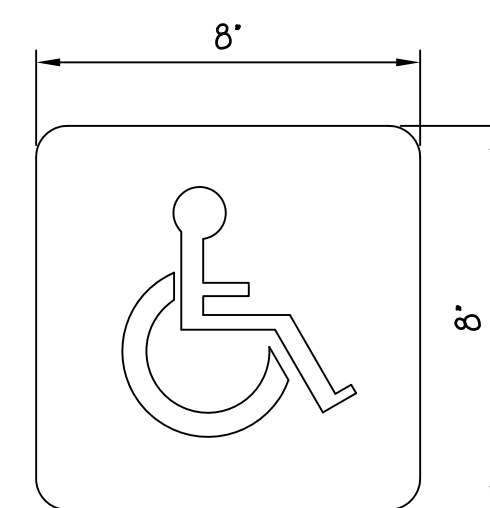
(C1) - 21x24. SINGLE-SIDED SIGNFOAM. HDU SANDBLASTED WOOD GRAIN BACKGROUND.



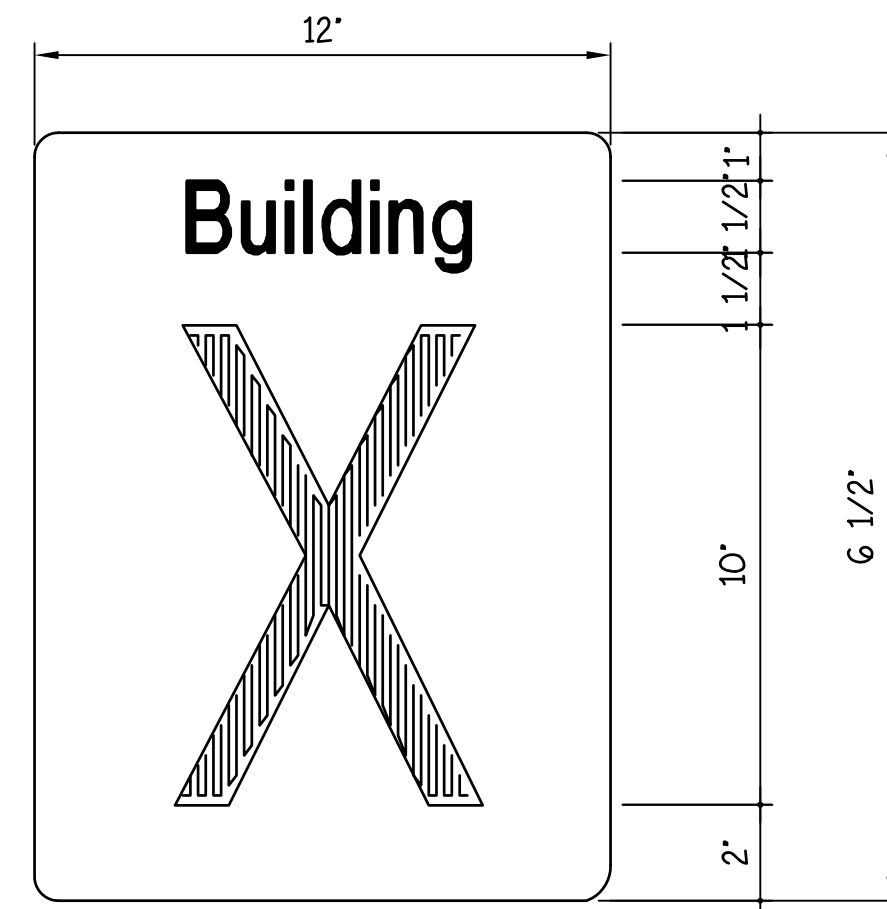
(C1) - 8 X 8, INTERIOR SIGN COLORS, BRAIL



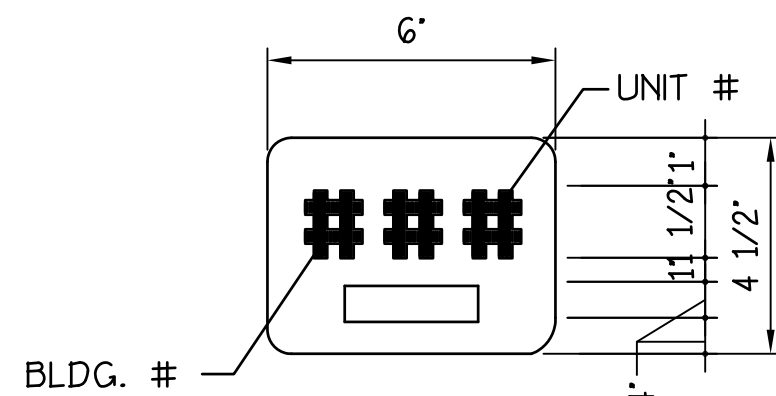
(C1) - 8 X 8, INTERIOR SIGN COLORS, BRAIL



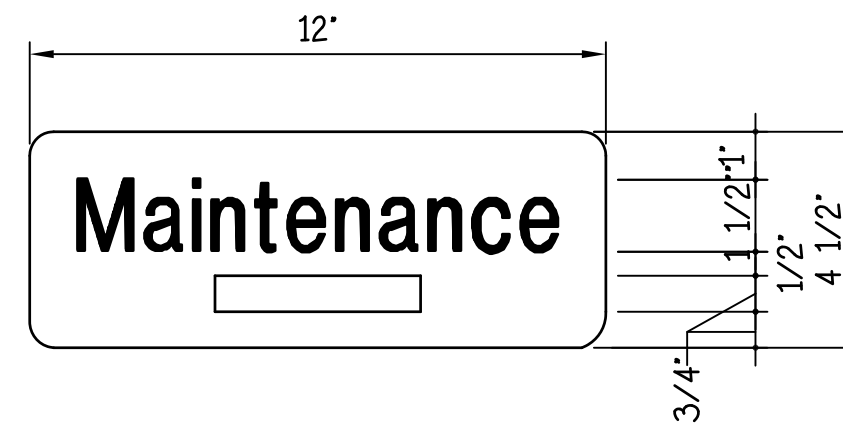
(C2) - 8x8. SYMBOL AT OFFICE BLDG. ENTRIES



(C8) - 16x12. COLORS TO MATCH BLDG. SIGNS:

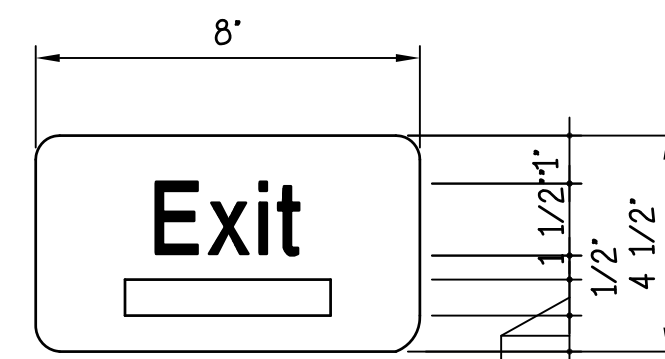


(C64) - 9x4 1/2. 1.5" TALL HELVETICA REGULAR TEXT. RAISED LETTERS. BRAILLE. UNIT SIGN COLORS.

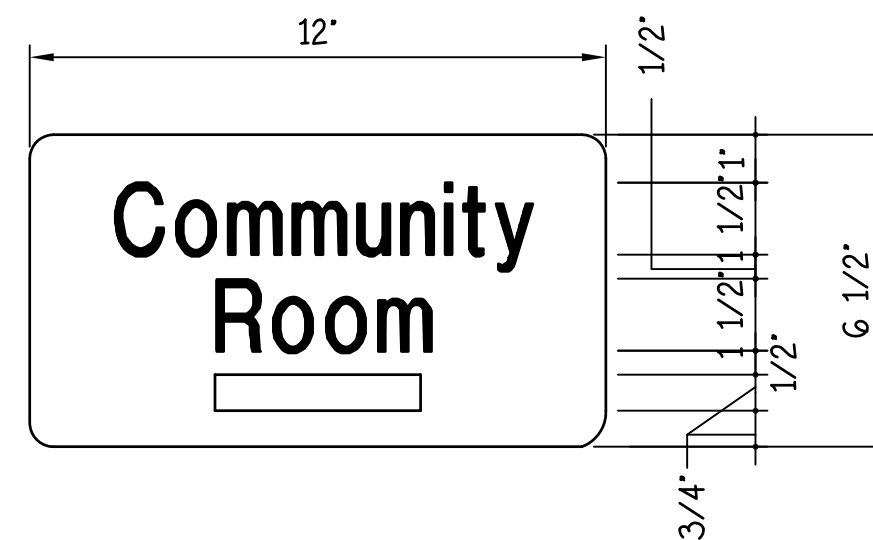


(C3) - 4 1/2x12. COLORS TO MATCH BLDG. SIGNS. BRAILLE:

- (1) Maintenance
- (1) Laundry
- (1) Manager



(C2) - 4 1/2x8. COLORS TO MATCH BLDG. SIGNS. BRAILLE.



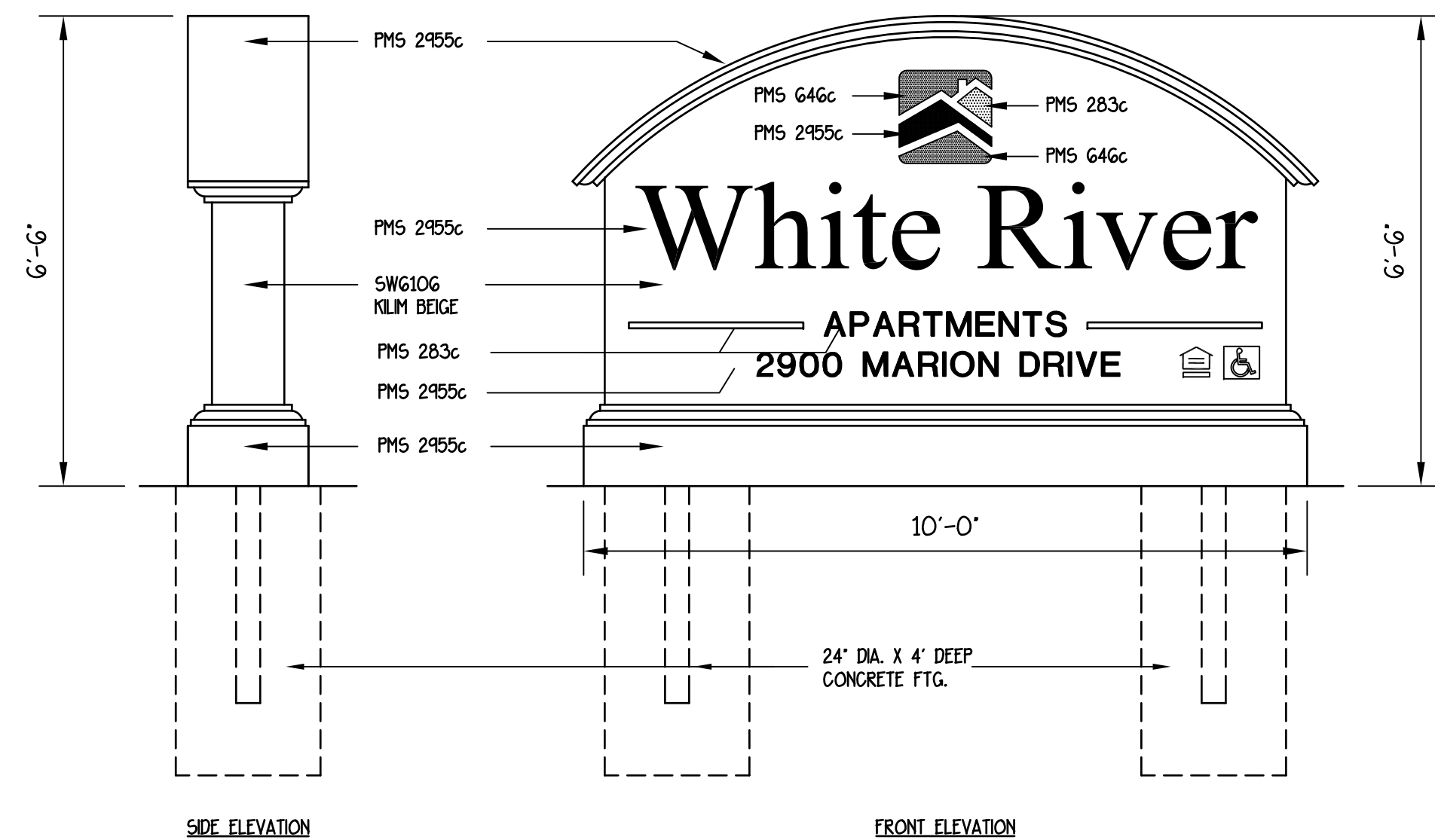
(C1) - 6 1/2x12. COLORS TO MATCH BLDG. SIGNS. BRAILLE:

White River Apartments - Material Selection and Finish Guide		
Product	Color	Manufacturer
Mailboxes	Tan	Author Florance
Building Exterior		
Hardi Siding, Soffit and Trim	Kilm Beige	Sherwin Williams
Storefront Entries	Mill	TBD
Flashings, Gutters and Downspouts	Kilm Beige (Color Match)	Pac-clad
Exterior Doors and Frames	PMS 2955c (Dark Blue)	Sherwin Williams
Door Hardware	Satin Nickel	TBD - per spec.
Metal Stair Railings and Pans	SW7041 Van Dyke Brown	Sherwin Williams
Garage Door	Tan	Overhead Door Co.
Apartment Unit Interiors		
Vinyl Plank Flooring	Leon	Konecto
Vinyl Wall Base	194 Burnt Umber	Roppe
Wall Paint	SW2822 - Downing Sand	Sherwin Williams
Ceiling Paint	SW6077 - Everyday White	Sherwin Williams
Door and Frame Paint (includes entry door int.)	520-6 - Oswego Tea	Pittsburgh Paint
Door Hardware (lever and hinges)	Satin Nickel	TBD - per spec.
Window Blinds (2" wide)	White	TBD - per spec.
Closet Shelves	White	TBD - per spec.
Kitchen Cabinets	TBD	TBD - per spec.
Kitchen Countertops - Laminate	3517 Sand Crystall - Matte	Wilsonart
Kitchen Cabinet Hardware	Satin Nickel	TBD - per spec.
Appliances	White	TBD - per spec.
Vanity Top - Cultured Marble	Pure White	TBD - per spec.
Porcelain Tile Flooring	Nubi Bianchi	Salerno
Bath Vanity Cabinets	TBD	TBD - per spec.
Bath Accessories	Satin Nickel	ASI or Bobrick
Electrical devices and cover plates	White	TBD - per spec.
Light Fixtures	White	TBD - per spec.
HVAC diffusers and grilles	White	TBD - per spec.

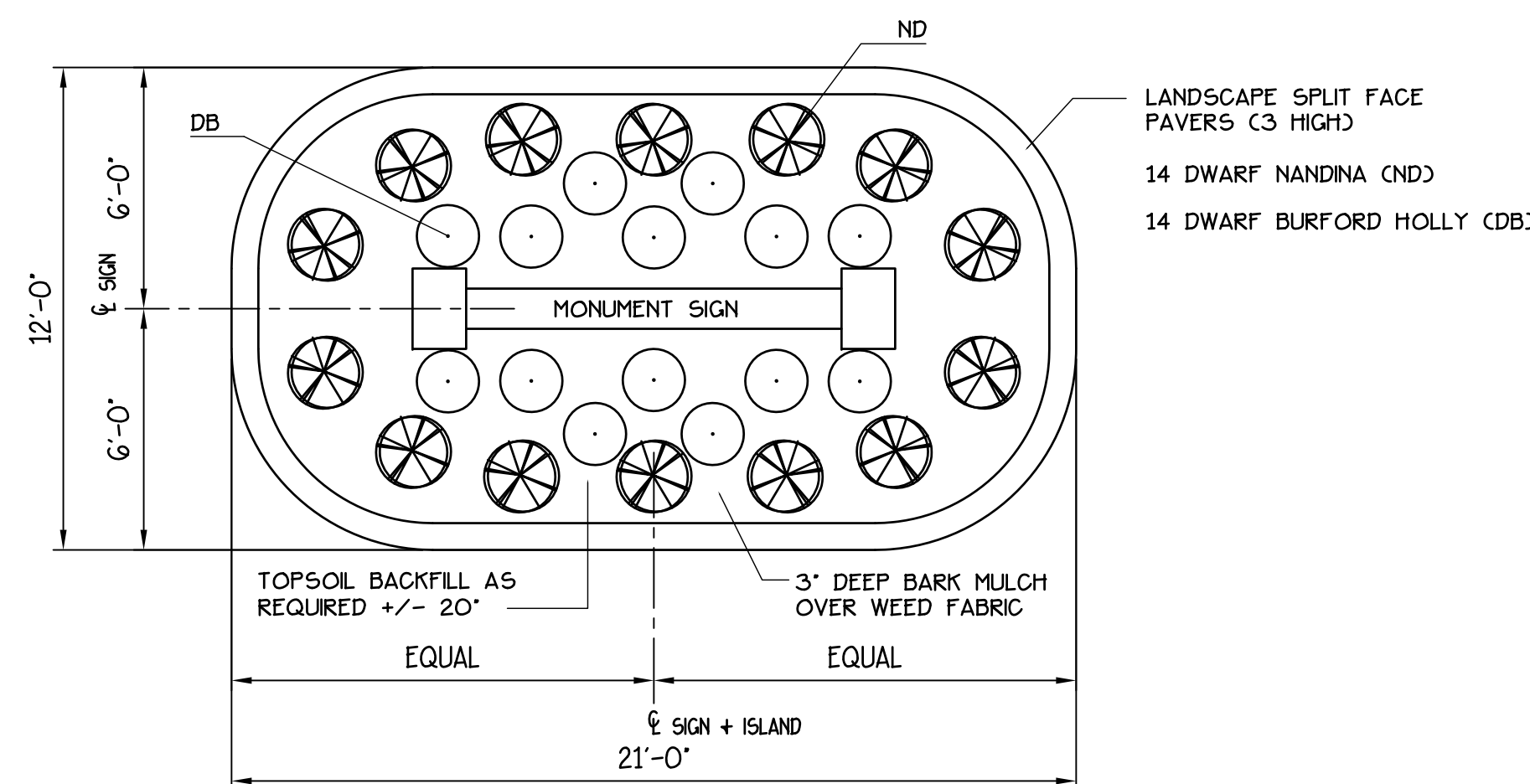
Leasing Office and Common Areas Interiors		
Porcelain Tile Flooring	Nubi Bianchi	Salerno
Vinyl Plank Flooring (field)	80017 - Walnut	Konecto VP - Prestige
Vinyl Plank Flooring (inlay)	80010 - Sunrise	Konecto VP - Prestige
Transition Strips	194 Burnt Umber	Roppe
Vinyl Base	194 Burnt Umber	Roppe
Wall Paint	SW2822 - Downing Sand	Sherwin Williams
Ceiling Paint	SW6077 - Everyday White	Sherwin Williams
Door and Frame Paint	520-6 - Oswego Tea	Pittsburgh Paint
Door Hardware (lever and hinges)	Satin Nickel	TBD - per spec.
Office Interior Storefront	Mill	TBD - per spec.
Window Blinds (2" wide)	White	TBD - per spec.
Cabinets	TBD	TBD - per spec.
Cabinet Hardware	Satin Nickel	TBD - per spec.
Kitchen Countertops - Laminate	3517 Sand Crystall - Matte	Wilsonart
Appliances	Stainless Steel	TBD - per spec.
Workroom Countertops - Plastic Laminate	3517 Sand Crystall - Matte	Wilsonart
Bath Vanity Frame	TBD	TBD - per spec.
Bath Vanity Cabinet Hardware	Satin Nickel	TBD - per spec.
Bath Vanity Top - Cultured Marble	Pure White	TBD - per spec.
Bath Accessories	Satin Nickel	ASI or Bobrick
Electrical devices and cover plates	White	TBD - per spec.
Light Fixtures	White	TBD - per spec.
HVAC diffusers and grilles	White	TBD - per spec.

Signage		
Plastic Apt Unit Signage at Doors - Background	PMS 2955c	Pittsburgh Paint
Plastic Apt Unit Signage at Doors - #'s	SW6106 Kilim Beige	Sherwin Williams
Foam Leasing Office Signage - Background	SW6106 Kilim Beige	Sherwin Williams
Foam Leasing Office Signage - Txt	PMS 2955c	Sherwin Williams
Foam Leasing Office Signage - Border	PMS 2955c	Sherwin Williams
Plastic Interior Signage - Background	PMS 2955c	Pittsburgh Paint
Plastic Interior Signage - Txt and Symbols	SW6106 Kilim Beige	Sherwin Williams
Foam Monument Sign - Background	SW6106 Kilim Beige	Sherwin Williams
Foam Monument Sign - Txt	PMS 2955c	Sherwin Williams
Foam Monument Sign - Logo	PMS 2955c, PMS 6646c	Sherwin Williams
Foam Monument Sign - Base and Cap	PMS 283c	Sherwin Williams

NOTE: SIGNAGE MANUF. TO VERIFY MONUMENT SIGN MEETS ALL LOCAL SIGN REQUIREMENTS AND SUBMIT FOR ANY REQUIRED LOCAL REVIEW AND/OR PERMITTING.



MONUMENT SIGN  
SCALE: 1/2" = 1'-0"



1  
CS-1  
PLANTER BED LANDSCAPING  
SCALE: 1/2" = 1'-0"

CAD FILE:

DRWN BY: MGA  
CHKD BY: MDA  
APPR BY: MDA  
DATE: 6-30-16  
REVISIONS

WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

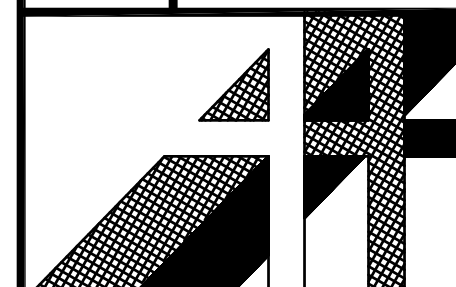
COLORS, MATERIALS AND SIGNAGE

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1902

6516 WALLWOOD ROAD



SHEET NUMBER

CS1

### FINISH SCHEDULE

RK. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	CEILING	REMARKS/NOTES
ONE BEDROOM UNIT							
001	ENTRY	V.P.	V	PNT	PNT	8'-0"	
002	CLOSET	V.P.	V	PNT	PNT	8'-0"	
003	KITCHEN	V.P.	V	PNT	PNT	8'-0"	
004	PANTRY	V.P.	V	PNT	PNT	8'-0"	
005	LAUNDRY	V.P.	V	PNT	PNT	8'-0"	
006	DINING	V.P.	V	PNT	PNT	8'-0"	
007	HVAC/W/H	S.V.	V	PNT	PNT	8'-0"	
008	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"	
009	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
010	CLOSET	V.P.	V	PNT	PNT	8'-0"	
011	BATH	P.T.	V	PNT	PNT	8'-0"	
TWO BEDROOM UNIT							
001	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"	
002	CLOSET	V.P.	V	PNT	PNT	8'-0"	
003	DINING	V.P.	V	PNT	PNT	8'-0"	
004	HVAC/W/H	S.V.	V	PNT	PNT	8'-0"	
005	KITCHEN	V.P.	V	PNT	PNT	8'-0"	
006	LAUNDRY	V.P.	V	PNT	PNT	8'-0"	
007	CLOSET	V.P.	V	PNT	PNT	8'-0"	
008	HALL	V.P.	V	PNT	PNT	8'-0"	
009	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
010	CLOSET	V.P.	V	PNT	PNT	8'-0"	
011	BATH	P.T.	V	PNT	PNT	8'-0"	
012	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
013	CLOSET	V.P.	V	PNT	PNT	8'-0"	
014	CLOSET	V.P.	V	PNT	PNT	8'-0"	

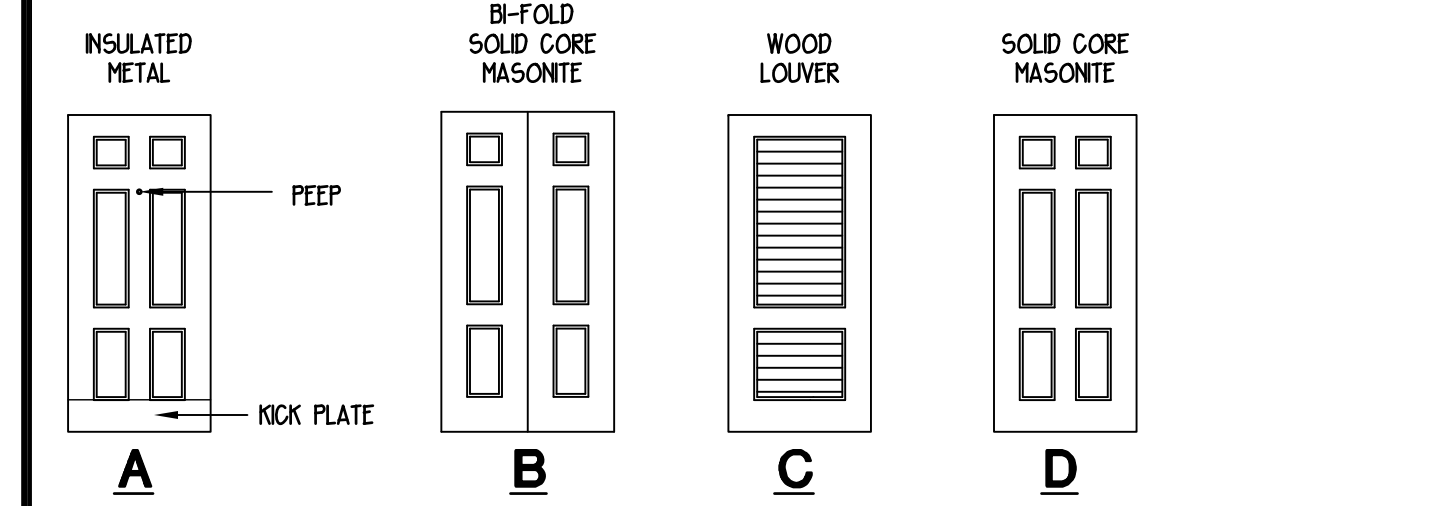
**ABBREVIATIONS**

V.P.	VINYL PLANK	V	4 1/2" HIGH VINYL BASE
EX	EXISTING	PNT	PANT
SV	SHEET VINYL	PT	PORCELAIN TILE

### DOOR SCHEDULE

#	SIZE	TYPE	FRAME	T. HOLD	HDWE	REMARKS
UNIT DOORS						
1	3'-0"x6'-8"x1 3/4"	A	MTL	ADA	PASS/D.B.	RATED 60 MIN. SPRING LOADED HINGES AND 180 DEGREE PEEP. KICK PLATE
2	2'-0"x6'-8"x1 3/8"	D	WD	-	PASS	
3	2'-4"x6'-8"x1 3/8"	C	WD	-	D.B.	LOUVER
4	2'-6"x6'-8"x1 3/8"	D	WD	-	PASS	
5	2'-6"x6'-8"x1 3/8"	D	WD	-	PRIV	
6	1'-6"x6'-8"x1 3/8"	D	WD	-	PASS	
7	2'-6"x6'-8"x1 3/8"	D	WD	-	PRIV	
8	(2) 2'-0"x6'-8"x1 3/8"	B	WD	-	PULL	
9	2'-6"x6'-8"x1 3/8"	C	WD	-	PASS	LOUVER

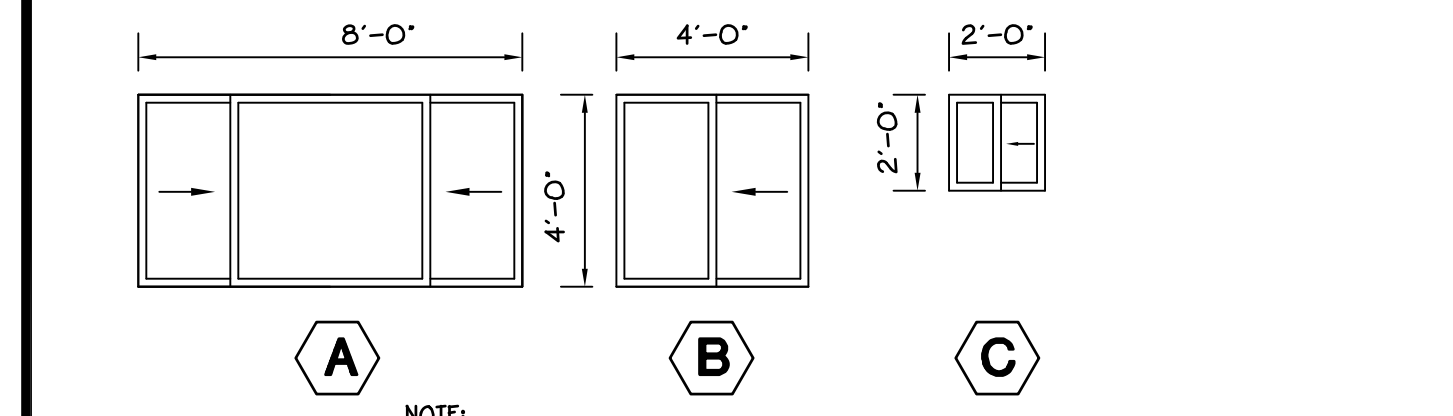
NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.



**DOOR TYPES**  
SCALE: 1/4" = 1'-0"

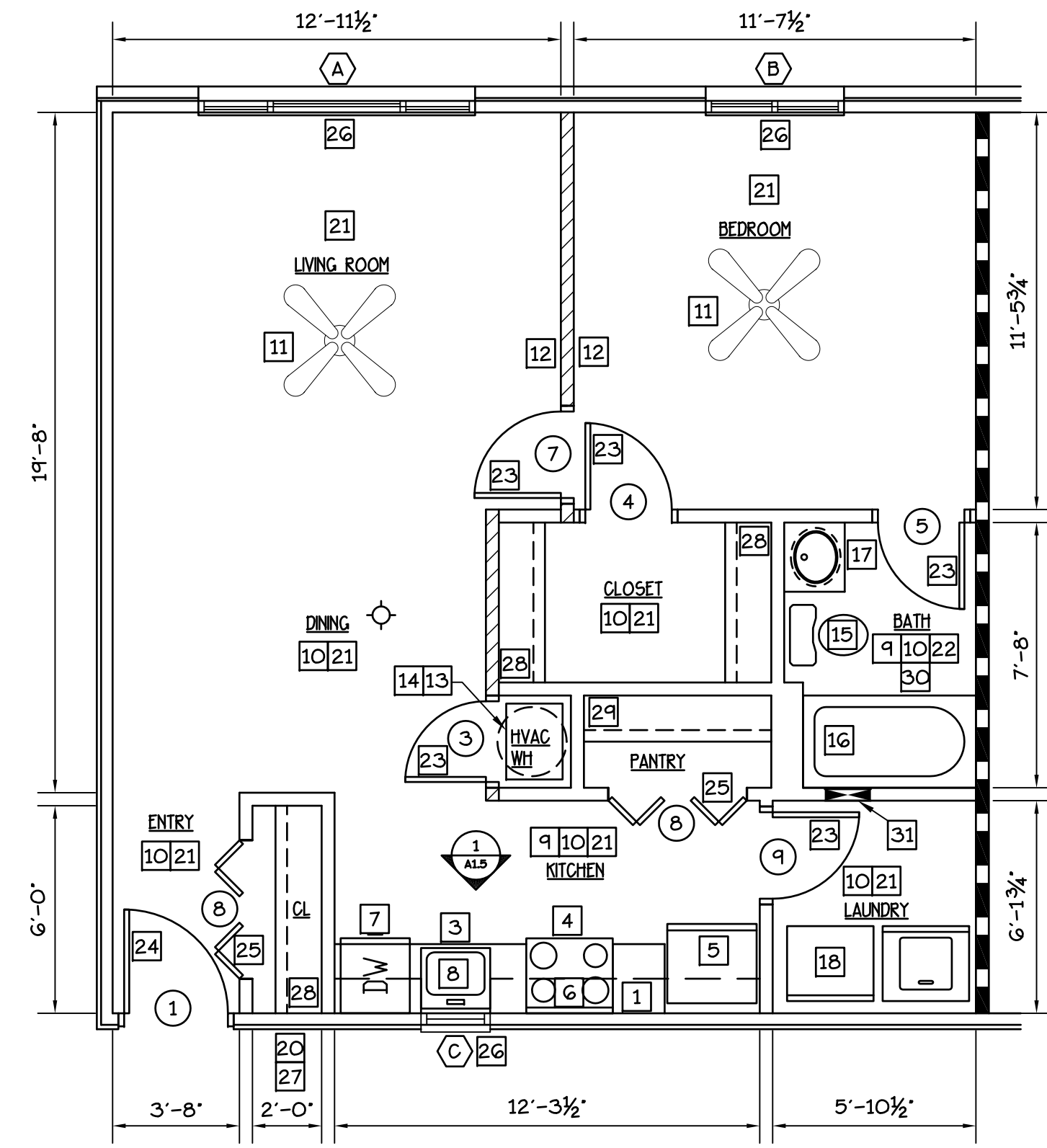
### WINDOW SCHEDULE

#	SIZE	TYPE
A	4'-0"x8'-0"	VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING
B	4'-0"x4'-0"	VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING
C	2'-0"x2'-0"	VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING

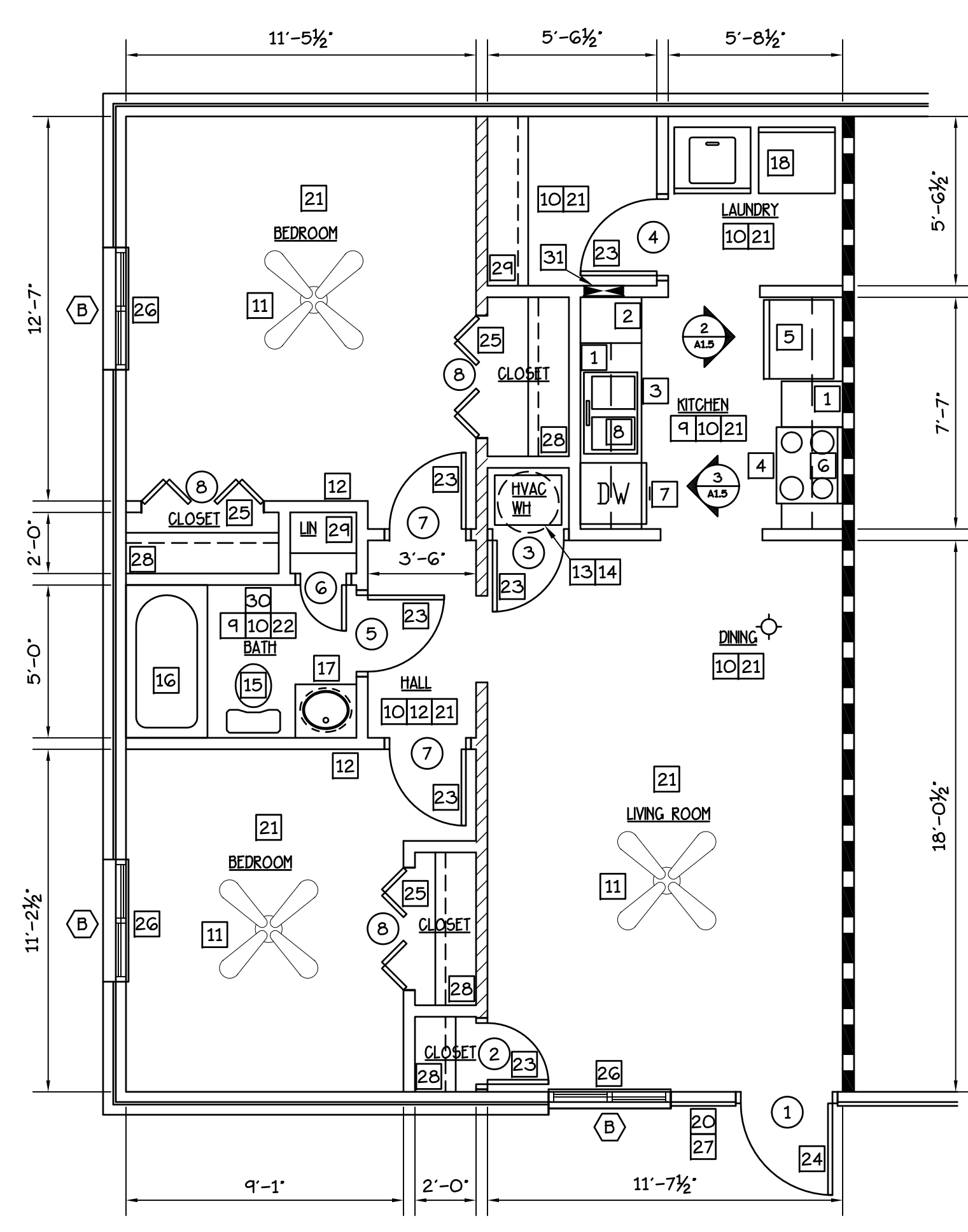


**NOTE:**

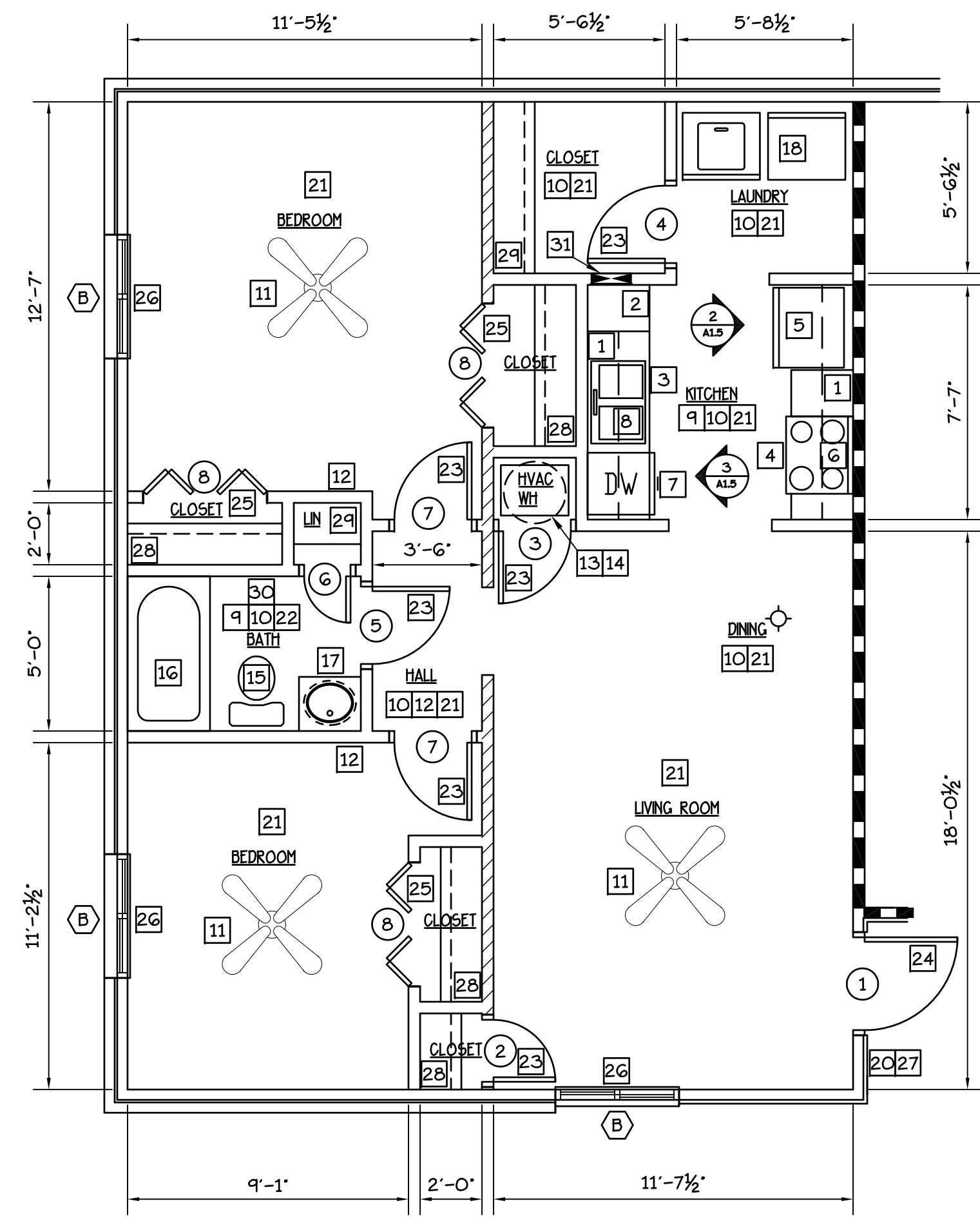
- AT LEAST ONE REPLACEMENT WINDOW WITHIN EACH BEDROOM SHALL MEET EMERGENCY EGRESS SIZE REQUIREMENTS. PROVIDE AND INSTALL CASEMENT WINDOW TO INCLUDE OPENING INFL EACH SIDE. SHEETROCK REPAIR AND VINYL TRIM AT EXTERIOR.
- ALL WINDOWS SHALL BE EQUIPPED W/ AN OPENING CONTROL DEVICE THAT LIMITS NORMAL OPERATION TO LESS THAN 4".
- ALL WINDOWS WITHIN ARC OF DOOR SWINGS AND/OR WITHIN 18" OF FINISHED FLOOR SHALL HAVE TEMP. GLASS.



**ONE BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS



**TWO BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS



**TWO BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

- TYPICAL UNIT NOTES**
- REMOVE EXISTING KITCHEN CABINETS AND COUNTERTOPS. PROVIDE NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. REPAIR DRYWALL FROM CABINET REMOVAL AS NECESSARY. CAULK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-15
  - PANTRY CABINET 18" W/ 5 SHELVES.
  - NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK OR AS DIRECTED BY LOCAL FIRE INSPECTOR.
  - REMOVE EXISTING RANGE. PROVIDE AND INSTALL NEW RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
  - REMOVE EXISTING REFRIGERATOR. PROVIDE AND INSTALL NEW 'ENERGY STAR' FROST FREE REFRIGERATOR.
  - REMOVE EXISTING VENT HOOD. PROVIDE AND INSTALL NEW MICROWAVE/VENT COMBO UNIT. PROVIDE AND INSTALL FIRESTOP MICROHOOD SUPPRESSORS BY WILLIAMS-PYRO.
  - PROVIDE AND INSTALL NEW 'ENERGY STAR' DISHWASHER. SEE PLUMB. DWG'S.
  - PROVIDE AND INSTALL NEW 22 GA. S.S. SINK. SINGLE HANDLE WATER SENSE FAUCET. TRAPS, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER. SEE PLUMB. DWG'S.
  - KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
  - REMOVE EXISTING LIGHT FIXTURE. PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE SWITCH. SEE ELEC. DWG'S.
  - REMOVE EXISTING LIGHT FIXTURE. PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE SWITCH. SEE ELEC. DWG'S.
  - PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
  - REMOVE EXISTING HVAC EQUIPMENT. PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING 8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DIFFUSERS. SEE MECH. DWG'S.
  - REMOVE EXISTING WATER HEATER. PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (EFO.93) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
  - EXISTING TOILET TO BE REMOVED. PROVIDE AND INSTALL NEW WATER SENSE TOILET. SEE PLUMB. DWG'S.
  - REMOVE EXISTING TUB. SURROUND AND GYP. BD. FROM FLR. TO CEILING. PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D. NEW STEEL TUB (30X60). SURROUND. NEW SHOWER HEAD W/FLOW RATE 2.0 GPM OR LESS AND CONTROL VALVES. SEE PLUMB. DWG'S.
  - REMOVE EXISTING VANITY + TOP. PROVIDE AND INSTALL NEW VANITY CABINET. CULTURED MARBLE TOPS W/INTRAGRAL SINKS. SINGLE HANDLE WATER SENSE FAUCET. TRAP AND SUPPLIES. SEE PLUMB. DWG'S. PROVIDED W/ WIRE PULLS AND DUAL SIDETRACK DRAWERS. PROVIDE NEW MIRROR. PATCH AND PAINT WALLS.
  - PROVIDE AND INSTALL NEW 'ENERGY STAR' WASHER AND DRYER. REPLACE EXISTING WASHER BOX W/IN WALL. SEE PLUMB. DWG'S.
  - OPEN
  - PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
  - REMOVE EXISTING FLOORING LAYER(S) AND BASE. PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
  - REMOVE EXISTING FLOORING LAYER(S) AND BASE. PREP SUBFLOOR AND INSTALL NEW PORCELAIN TILE FLOORING AND VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT W/LOW OR NO VOC PAINT.
  - REMOVE EXISTING DOORS AND FRAMES. PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
  - NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/PEEPOLE. NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH'. SINGLE HANDLE PASSAGE DOOR LEVER AND (3) SPRING LOADED HINGES.
  - PROVIDE AND INSTALL NEW SOLID CORE BI-FOLDS. HEAVY DUTY TRACK AND D PULLS.
  - REMOVE EXISTING WINDOW UNITS. PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS. LOW-E COATING AND U-FACTOR 0.32 + SHGC 0.29. PROVIDE NEW MIN BLINDS.
  - PROVIDE AND INSTALL NEW UNIT SIGNAGE.
  - REMOVE EXISTING CLOSET SHELVES. REPAIR WALLS. PROVIDE AND INSTALL VINYL COATED WIRE SHELF AND HANGING ROD.
  - REMOVE EXISTING SHELVES. REPAIR WALLS. PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
  - REMOVE EXISTING BATH EXHAUST FAN. PROVIDE AND INSTALL NEW 'ENERGY STAR' FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH. AND ELEC. DWG'S
  - EXISTING ELEC. PNL. SEE ELEC. DWG'S.
- BATH ACCESSORIES**  
WITHIN EACH BATHROOM REMOVE EXISTING AND INSTALL NEW
- SHOWER CURTAIN RON
  - TOILET PAPER DISPENSER
  - 24" TOWEL BAR
  - MEDICINE CABINET
  - 24x36 MIRROR
- WALL LEGEND**
- EXISTING 1 HR RATED
  - EXISTING INT. PARTITION TO REMAIN
  - PARTITION TO BE DEMO'D
  - ASSUMED EXISTING LOAD BEARING WALL
- GENERAL NOTE:**  
LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.

**CAD FILE:**

DRWN BY: MGA	CHKD BY: MDA	DATE: 6-30-16
APPR BY: MDA	REVISIONS:	

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**ONE AND TWO BEDROOM UNIT PLANS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

6516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912  
865 / 689-1902

**REGISTERED ARCHITECT**  
MARK DAVID ALLAN  
No. 37317  
ARKANSAS

**SHEET NUMBER**  
**A-1.0**

**FINISH SCHEDULE**

RM. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	CEILING	REMARKS/NOTES
<b>THREE BEDROOM UNIT</b>							
001	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"	
002	DINING	V.P.	V	PNT	PNT	8'-0"	
003	HVAC	S.V.	V	PNT	PNT	8'-0"	
004	KITCHEN	V.P.	V	PNT	PNT	8'-0"	
005	PANTRY	V.P.	V	PNT	PNT	8'-0"	
006	WH	V.P.	V	PNT	PNT	8'-0"	
007	LAUNDRY	V.P.	V	PNT	PNT	8'-0"	
008	CLOSET	V.P.	V	PNT	PNT	8'-0"	
009	HALL	V.P.	V	PNT	PNT	8'-0"	
010	BATH	P.T.	V	PNT	PNT	8'-0"	
011	LINEN	V.P.	V	PNT	PNT	8'-0"	
012	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
013	CLOSET	V.P.	V	PNT	PNT	8'-0"	
014	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
015	CLOSET	V.P.	V	PNT	PNT	8'-0"	
016	CLOSET	V.P.	V	PNT	PNT	8'-0"	
017	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
018	CLOSET	V.P.	V	PNT	PNT	8'-0"	
019	TOILET	P.T.	V	PNT	PNT	8'-0"	
<b>FOUR BEDROOM UNIT</b>							
001	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"	
002	CLOSET	V.P.	V	PNT	PNT	8'-0"	
003	HVAC	S.V.	V	PNT	PNT	8'-0"	
004	DINING	V.P.	V	PNT	PNT	8'-0"	
005	KITCHEN	V.P.	V	PNT	PNT	8'-0"	
006	HALL	V.P.	V	PNT	PNT	8'-0"	
007	CLOSET/WH	V.P.	V	PNT	PNT	8'-0"	
008	BATH	P.T.	V	PNT	PNT	8'-0"	
009	LINEN	P.T.	V	PNT	PNT	8'-0"	
010	LAUNDRY	V.P.	V	PNT	PNT	8'-0"	
011	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
012	CLOSET	V.P.	V	PNT	PNT	8'-0"	
013	BATH	P.T.	V	PNT	PNT	8'-0"	
014	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
015	CLOSET	V.P.	V	PNT	PNT	8'-0"	
016	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
017	CLOSET	V.P.	V	PNT	PNT	8'-0"	
018	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
019	CLOSET	V.P.	V	PNT	PNT	8'-0"	

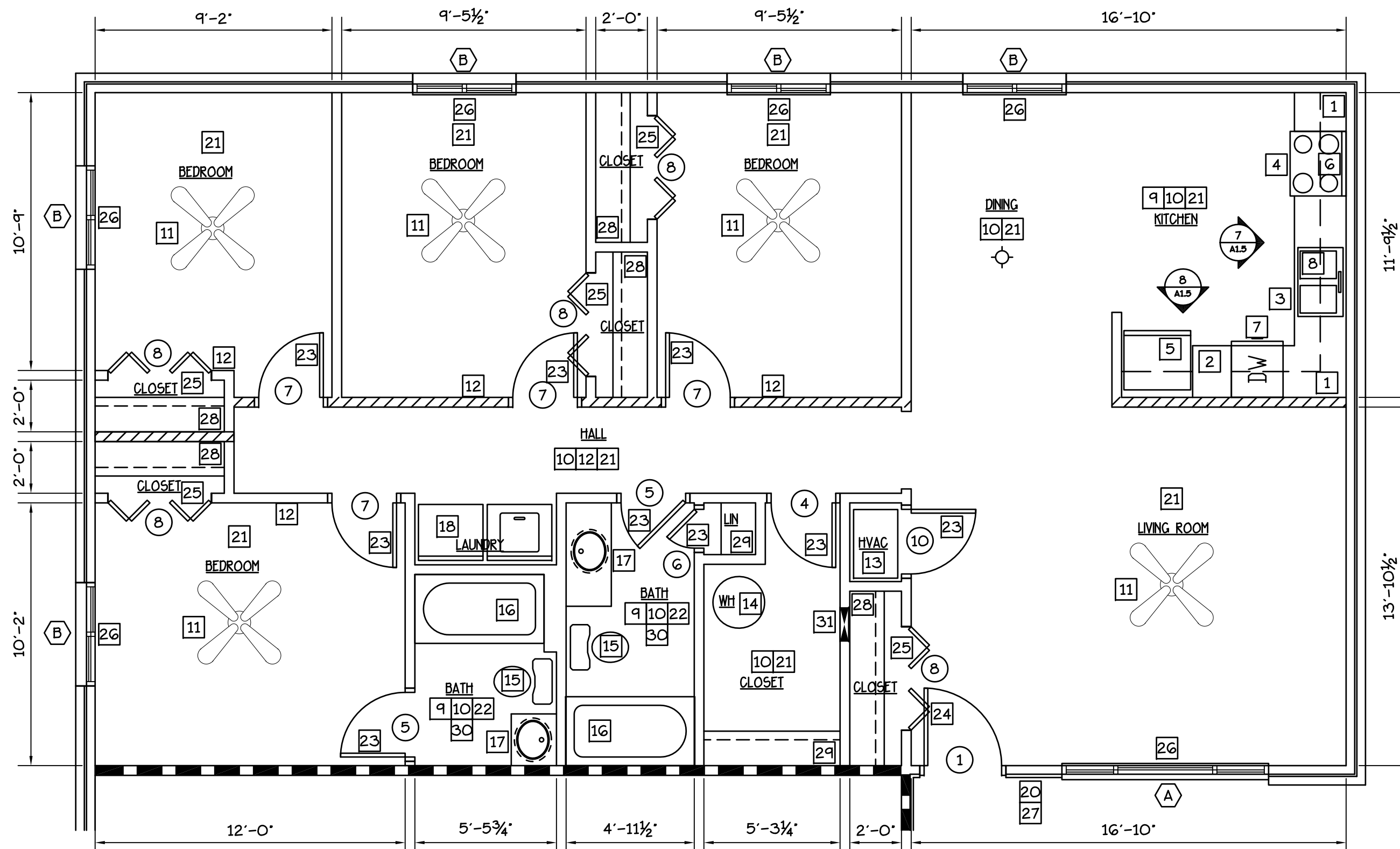
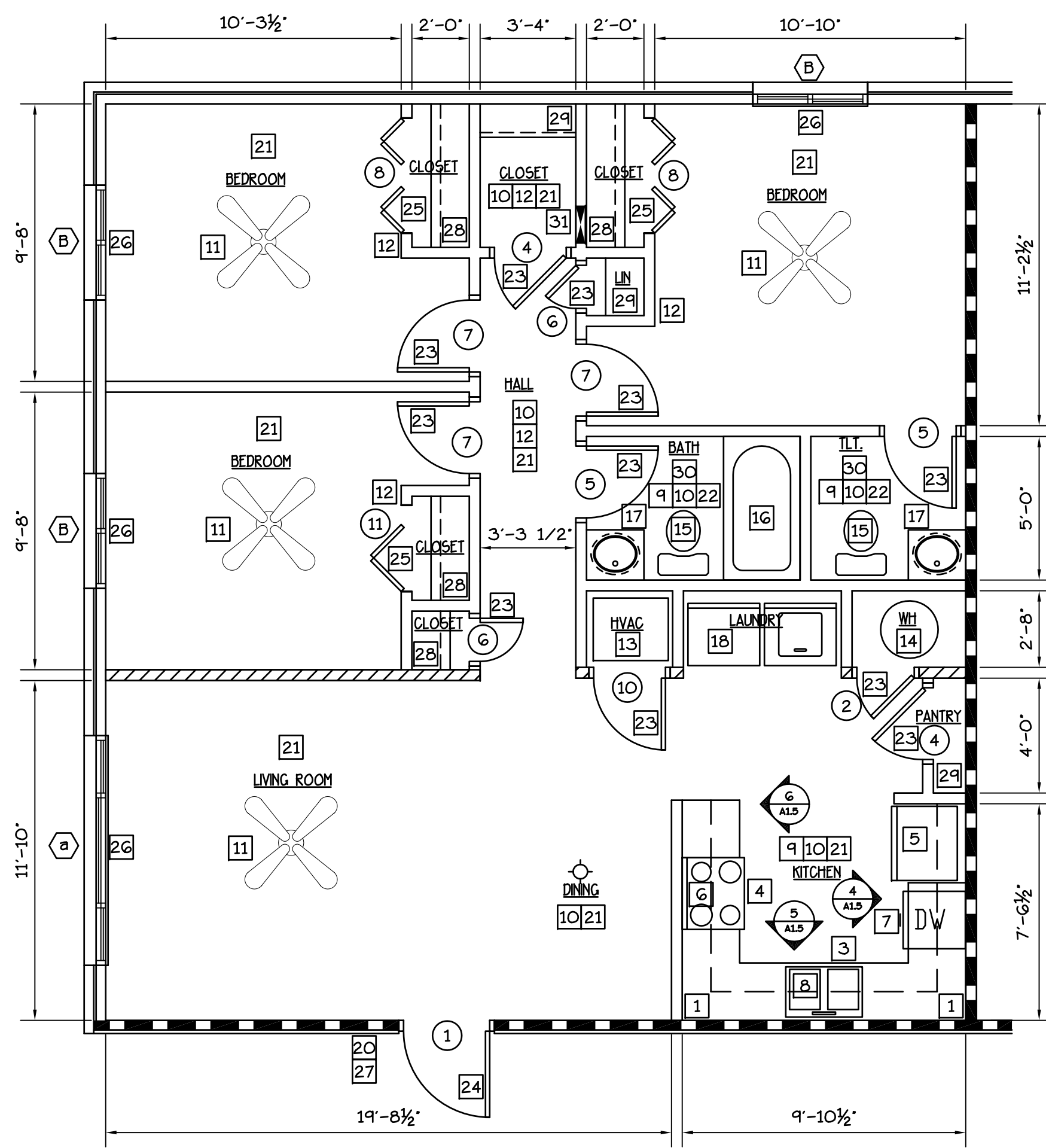
**ABBREVIATIONS**

V.P.	VINYL PLANK	V	4 1/2" HIGH VINYL BASE
EX	EXISTING	PNT	PAINT
SV	SHEET VINYL	PT	PORCELAIN TILE

**DOOR SCHEDULE**

#	SIZE	TYPE	FRAME	T. HOLD	HDWE	REMARKS
<b>UNIT DOORS</b>						
1	3'-0"x6'-8"x1 3/4"	A	MTL	ADA	PASS/D.B.	RATED 60 MIN. SPRING LOADED HINGES 180 DEGREE PEEP KICK PLATE
2	2'-0"x6'-8"x1 3/8"	D	WD	-	PASS	
3	-	-	-	-	-	
4	2'-6"x6'-8"x1 3/8"	D	WD	-	PASS	
5	2'-6"x6'-8"x1 3/8"	D	WD	-	PRIV	
6	1'-6"x6'-8"x1 3/8"	D	WD	-	PASS	
7	2'-6"x6'-8"x1 3/8"	D	WD	-	PRIV	
8	(2) 2'-0"x6'-8"x1 3/8"	B	WD	-	FULL	
9	-	-	-	-	-	
10	2'-6"x6'-8"x1 3/8"	C	WD	-	D.B.	LOUVER
11	3'-0"x6'-8"x1 3/8"	B	WD	-	FULL	

NOTE: • FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.  
• SEE A-1.0 FOR DOOR TYPE ELEVATIONS



**TYPICAL UNIT NOTES**

- REMOVE EXISTING KITCHEN CABINETS AND COUNTERTOPS. PROVIDE NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. REPAIR DRYWALL FROM CABINET REMOVAL AS NECESSARY. CAULK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-1.5
- PANTRY CABINET 18" W/ 5 SHELVES.
- NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK OR AS DIRECTED BY LOCAL FIRE INSPECTOR.
- REMOVE EXISTING RANGE. PROVIDE AND INSTALL NEW RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
- REMOVE EXISTING REFRIGERATOR. PROVIDE AND INSTALL NEW 'ENERGY STAR' FROST FREE REFRIGERATOR.
- REMOVE EXISTING VENT HOOD. PROVIDE AND INSTALL NEW MICROWAVE/VENT COMBO UNIT. PROVIDE AND INSTALL FIRESTOP MICROHOOD SUPPRESSORS BY WILLIAMS-PYRO.
- PROVIDE AND INSTALL NEW 'ENERGY STAR' DISHWASHER. SEE PLUMB. DWG'S.
- PROVIDE AND INSTALL NEW 22 GA. S.S. SINK. SINGLE HANDLE WATER SENSE FAUCET. TRAPS, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER. SEE PLUMB. DWG'S.
- KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
- REMOVE EXISTING LIGHT FIXTURE. PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE SWITCH. SEE ELEC. DWG'S.
- REMOVE EXISTING LIGHT FIXTURE. PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE SWITCH. SEE ELEC. DWG'S.
- PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
- REMOVE EXISTING HVAC EQUIPMENT. PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING 8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DIFFUSERS. SEE MECH. DWG'S.
- REMOVE EXISTING WATER HEATER. PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (40X63) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
- EXISTING TOILET TO BE REMOVED. PROVIDE AND INSTALL NEW WATER SENSE TOILET. SEE PLUMB. DWG'S.
- REMOVE EXISTING TUB. SURROUND AND GYP. BD. FROM FLR. TO CEILING. PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D) NEW STEEL TUB (30X60). SURROUND, NEW SHOWER HEAD W/FLOW RATE 2.0 GPM OR LESS AND CONTROL VALVES. SEE PLUMB. DWG'S.
- REMOVE EXISTING VANITY + TOP. PROVIDE AND INSTALL NEW VANITY CABINET. CULTURED MARBLE TOPS W/INTRAGRAL SINKS. SINGLE HANDLE WATER SENSE FAUCET. TRAP AND SUPPLIES. SEE PLUMB. DWG'S. PROVIDED W/ WIRE PULLS AND DUAL SIDETRACK DRAWERS. PROVIDE NEW MIRROR. PATCH AND PAINT WALLS.
- PROVIDE AND INSTALL NEW 'ENERGY STAR' WASHER AND DRYER. REPLACE EXISTING WASHER BOX W/IN WALL. SEE PLUMB. DWG'S.
- OPEN
- PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
- REMOVE EXISTING FLOORING LAYER(S) AND BASE. PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
- REMOVE EXISTING FLOORING LAYER(S) AND BASE. PREP SUBFLOOR AND INSTALL NEW PORCELAIN TILE FLOORING AND VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT W/LOW OR NO VOC PAINT.
- REMOVE EXISTING DOORS AND FRAMES. PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
- NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/PEEPHOLE. NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH'. SINGLE HANDLE PASSAGE DOOR LEVER AND (3) SPRING LOADED HINGES.
- PROVIDE AND INSTALL NEW SOLID CORE BI-FOLDS, HEAVY DUTY TRACK AND D PULLS.
- REMOVE EXISTING WINDOW UNITS. PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR 0.32 + SHGC 0.29. PROVIDE NEW MINI BLINDS.
- PROVIDE AND INSTALL NEW UNIT SIGNAGE.
- REMOVE EXISTING CLOSET SHELVES. REPAIR WALLS. PROVIDE AND INSTALL VINYL COATED WIRE SHELF AND HANGING ROD.
- REMOVE EXISTING SHELVES. REPAIR WALLS. PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
- REMOVE EXISTING BATH EXHAUST FAN. PROVIDE AND INSTALL NEW 'ENERGY STAR' FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH. AND ELEC. DWG'S
- EXISTING ELEC. PNL. SEE ELEC. DWG'S.

**BATH ACCESSORIES**  
WITHIN EACH BATHROOM REMOVE EXISTING AND INSTALL NEW  
• SHOWER CURTAIN RON  
• TOILET PAPER DISPENSER  
• 24" TOWEL BAR  
• MEDICINE CABINET  
• 24x36 MIRROR

**WALL LEGEND**

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL

**GENERAL NOTE:**

LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.

**CAD FILE:**

DRWN BY: MGA	CHKD. BY: MDA	DATE: 6-30-16
APPR. BY: MDA	REVISIONS	

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

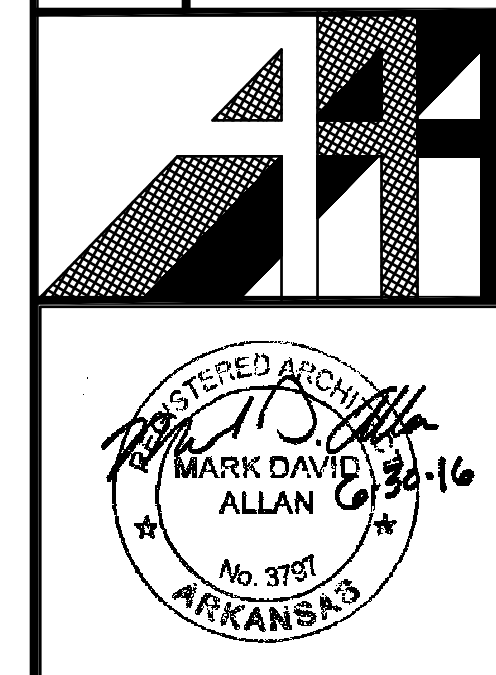
**THREE AND FOUR BEDROOM UNIT PLANS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

865 / 689-1902

6516 WALLWOOD ROAD



**SHEET NUMBER**

**A-1.1**

### FINISH SCHEDULE

RM. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	CEILING	REMARKS/NOTES
ONE BEDROOM UNIT							
001	ENTRY	V.P.	V	PNT	PNT	8'-0"	
002	HVAC/WH	V.P.	V	PNT	PNT	8'-0"	
003	KITCHEN	V.P.	V	PNT	PNT	8'-0"	
004	LAUNDRY	V.P.	V	PNT	PNT	7'-0"	
005	DINING	V.P.	V	PNT	PNT	8'-0"	
006	CLOSET	V.P.	V	PNT	PNT	8'-0"	
007	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"	
008	BEDROOM	V.P.	V	PNT	PNT	8'-0"	
009	CLOSET	V.P.	V	PNT	PNT	8'-0"	
010	BATH	P.T.	V	PNT	PNT	7'-0"	
TWO BEDROOM UNIT							
001	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"	
002	CLOSET	V.P.	V	PNT	PNT	8'-0"	
003	DINING	V.P.	V	PNT	PNT	8'-0"	
004	HVAC/WH	V.P.	V	PNT	PNT	8'-0"	
005	KITCHEN	V.P.	V	PNT	PNT	8'-0"	
006	LAUNDRY	V.P.	V	PNT	PNT	8'-0"	
007	LIN	V.P.	V	PNT	PNT	8'-0"	
008	HALL	V.P.	V	PNT	PNT	7'-0"	
009	BEDROOM 1	V.P.	V	PNT	PNT	8'-0"	
010	CLOSET	V.P.	V	PNT	PNT	7'-0"	
011	BATH	P.T.	V	PNT	PNT	7'-0"	
012	BEDROOM 2	V.P.	V	PNT	PNT	8'-0"	
013	CLOSET	V.P.	V	PNT	PNT	8'-0"	
014	CLOSET	V.P.	V	PNT	PNT	8'-0"	

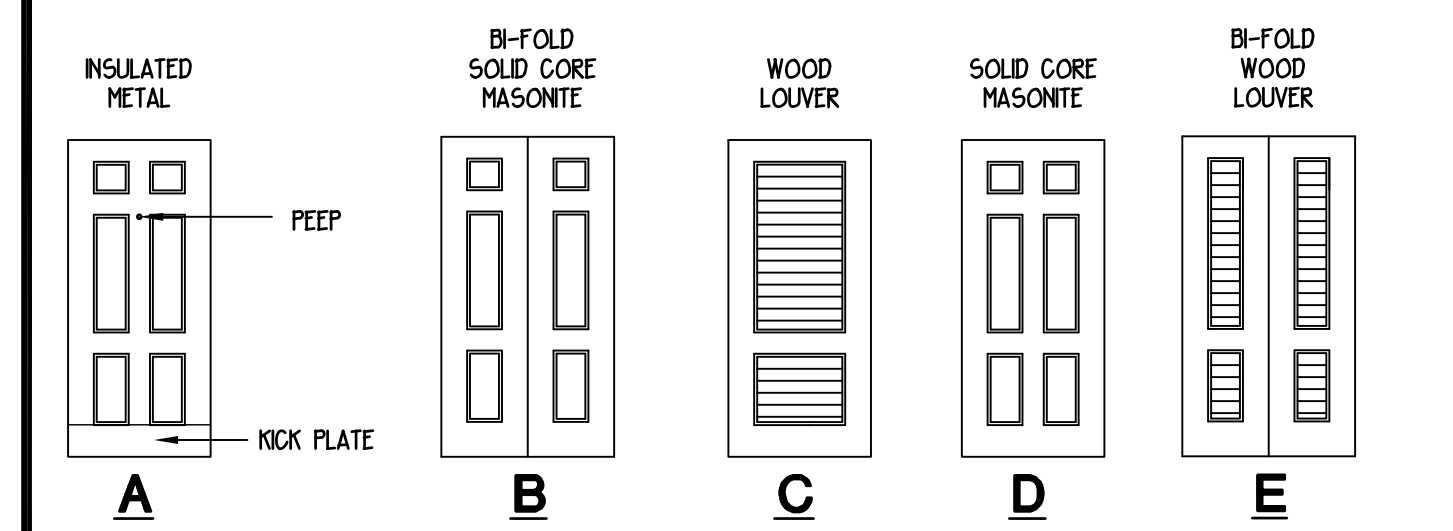
**ABBREVIATIONS**

V.P.	VINYL PLANK	V	4 1/2" HIGH VINYL BASE
EX	EXISTING	PNT	PAINT
		PT	PORCELAIN TILE

### DOOR SCHEDULE

#	SIZE	TYPE	FRAME	T. HOLD	HDWE	REMARKS
<b>UNIT DOORS</b>						
1	3'-0"x6'-8"x1 3/4"	A	MTL	ADA	LOCK/D.B.	RATED 60 MIN. SPRING LOADED HINGES 180 DEGREE PEEP, KICK PLATE
2	2'-0"x6'-8"x1 3/8"	D	WD	-	PASS	
3	3'-0"x6'-8"x1 3/8"	C	WD	-	D.B.	LOUVER
4	3'-0"x6'-8"x1 3/8"	D	WD	-	PASS	
5	3'-0"x6'-8"x1 3/8"	D	WD	-	PRV	
6	1'-6"x6'-8"x1 3/8"	D	WD	-	PASS	
7	3'-0"x6'-8"x1 3/8"	D	WD	-	PRV	
8	(2) 2'-0"x6'-8"x1 3/8"	B	WD	-	PULL	
9	(2) 2'-6"x6'-8"x1 3/8"	E	WD	-	PULL	LOUVER
10	3'-0"x6'-8"x1 3/8"	B	WD	-	PULL	

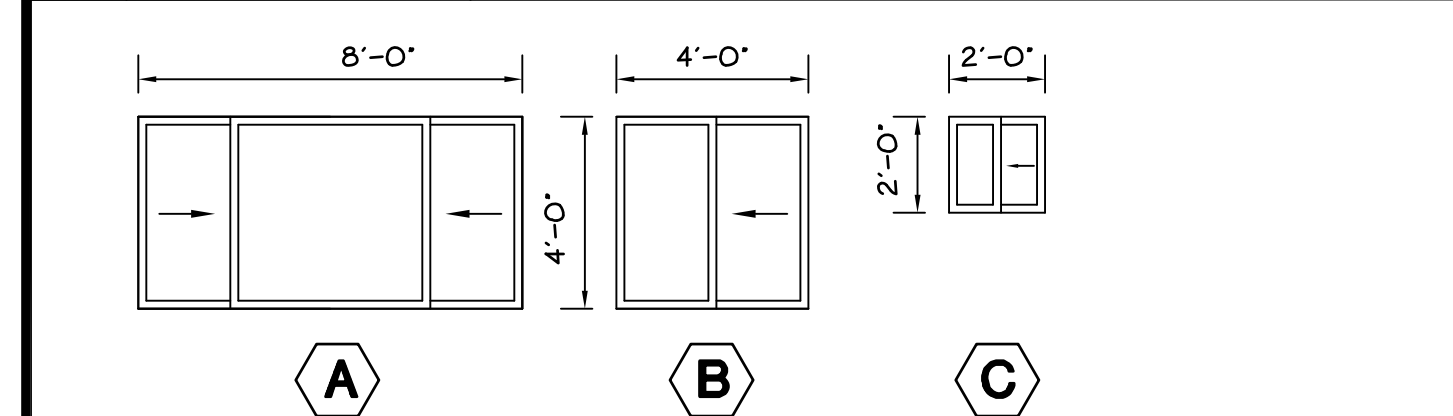
NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.



**DOOR TYPES**  
SCALE: 1/4" = 1'-0"

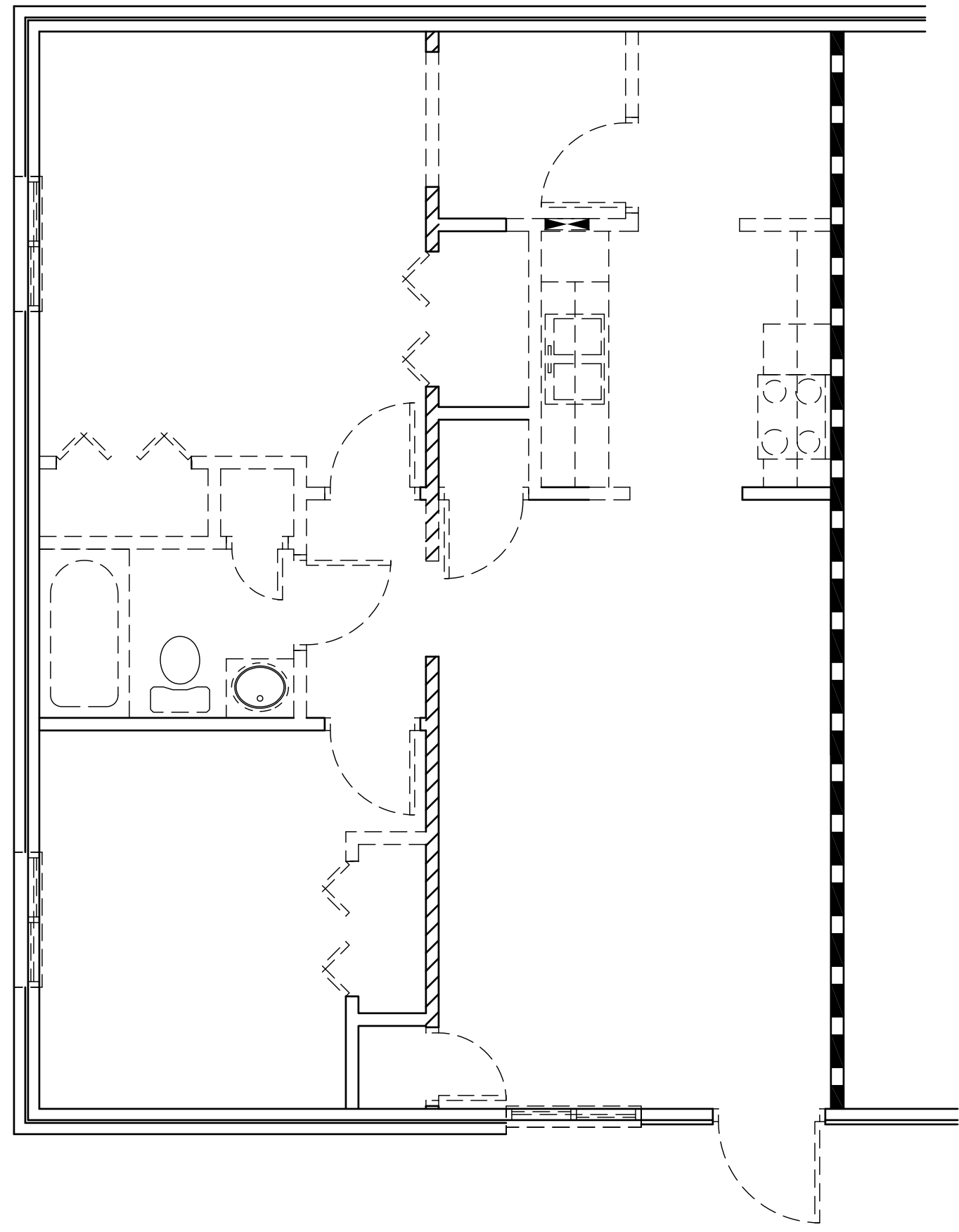
### WINDOW SCHEDULE

#	SIZE	TYPE
A	4'-0"x8'-0"	VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING
B	4'-0"x4'-0"	VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING
C	2'-0"x2'-0"	VINYL HORIZ. SLIDER INSULATED GLASS W/ARGON GAS AND LOW-E COATING



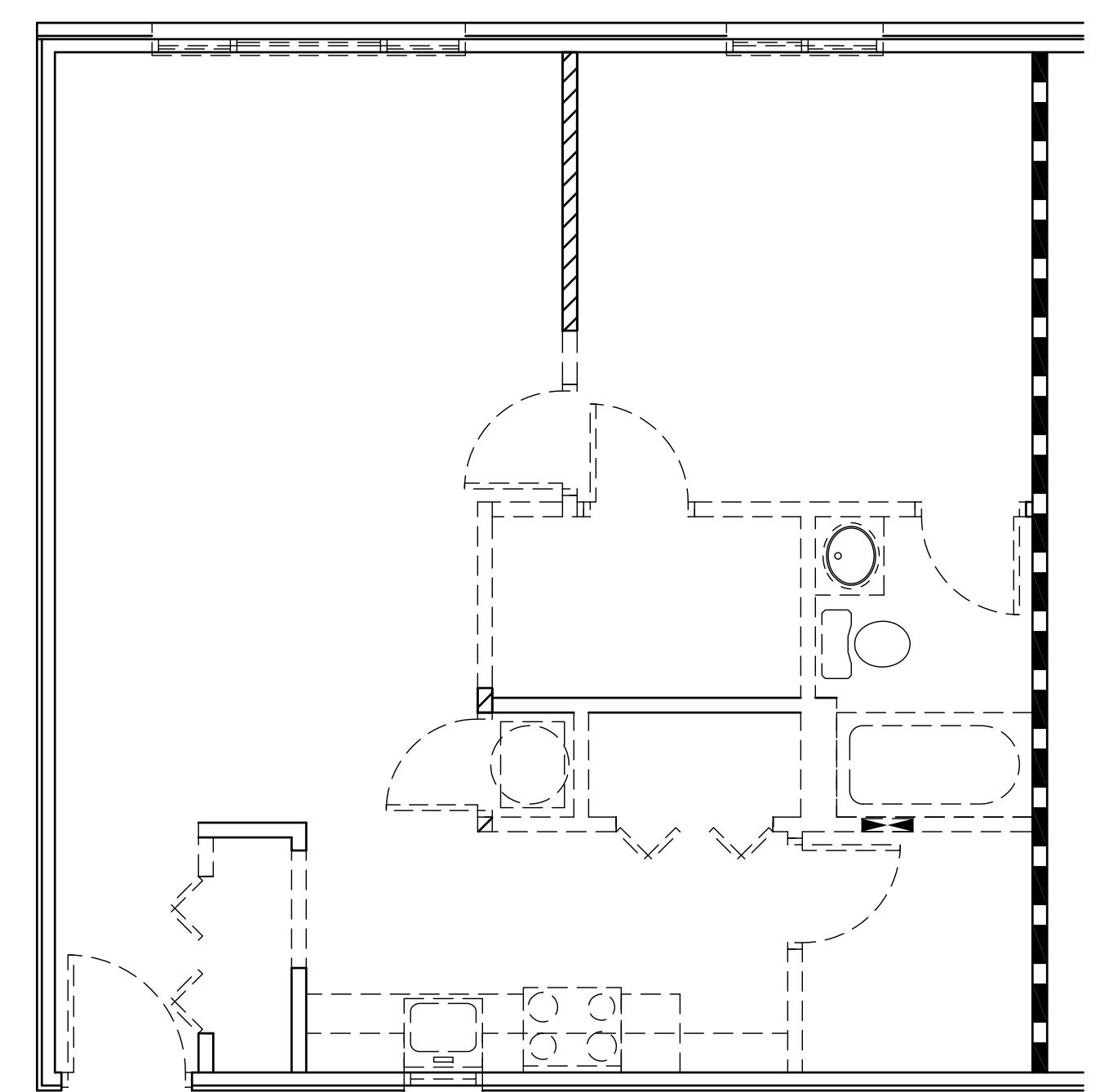
**NOTE:**

- AT LEAST ONE REPLACEMENT WINDOW WITHIN EACH BEDROOM SHALL MEET EMERGENCY EGRESS SIZE REQUIREMENTS. PROVIDE AND INSTALL CASEMENT WINDOW TO INCLUDE OPENING INFL EACH SIDE. SHEETROCK REPAIR AND VINYL TRIM AT EXTERIOR.
- ALL WINDOWS SHALL BE EQUIPPED W/ AN OPENING CONTROL DEVICE THAT LIMITS NORMAL OPERATION TO LESS THAN 4".
- ALL WINDOWS WITHIN ARC OF DOOR SWINGS AND/OR WITHIN 18' OF FINISHED FLOOR SHALL HAVE TEMP. GLASS.

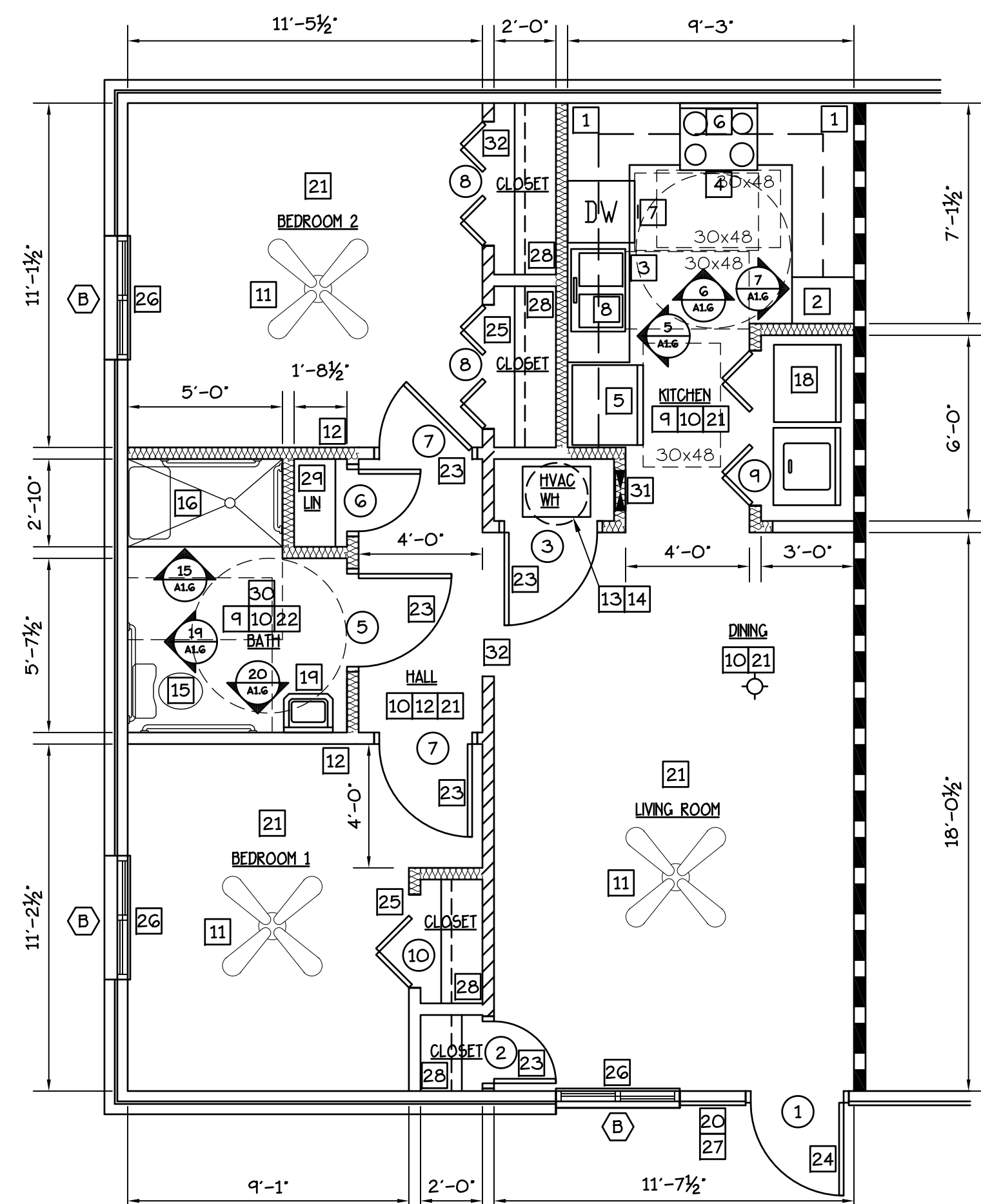


**TWO BEDROOM DEMO UNIT**  
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

**DEMOLITION GENERAL NOTE:**  
ACCESSIBLE UNIT DEMO SHALL BE A 'GUT'. REMOVE ALL FLOORING, INSULATION, SHEETROCK (WALLS), DOORS, FRAMES, SHELVES, CABINETS, APPLIANCES, PLUMBING FIXTURES, WATER HEATER, WATER AND WASTE LINES, GAS LINES, HVAC EQUIPMENT, ELECTRICAL DEVICES, LIGHT FIXTURES. ONLY WOOD STUD WALLS AS SHOWN SHALL REMAIN.

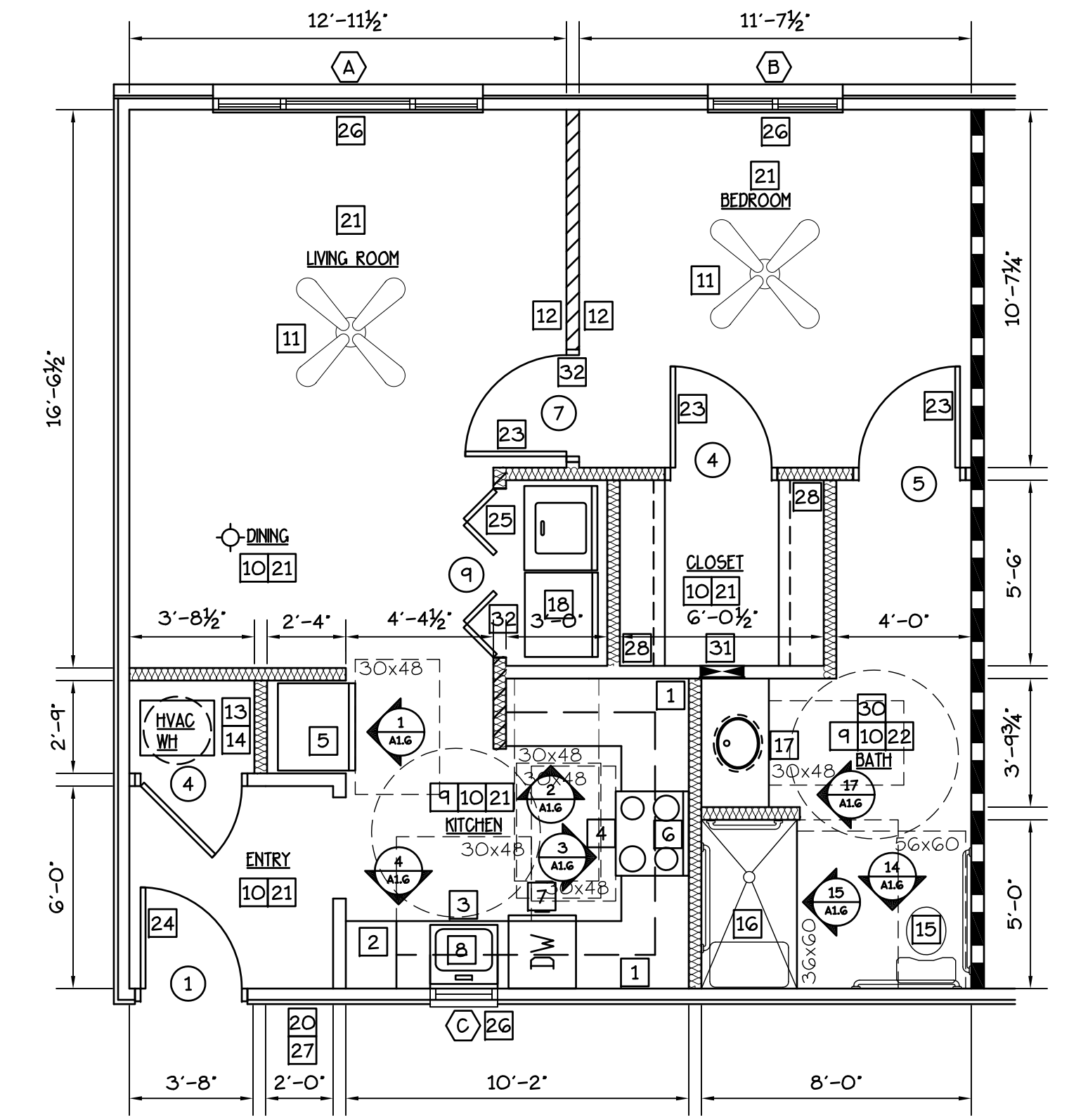


**ONE BEDROOM DEMO PLAN**  
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS



**TWO BEDROOM ACC. UNIT**  
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

**GENERAL NOTE:**  
LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.



**ONE BEDROOM ACC. UNIT**  
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS

- TYPICAL UNIT NOTES**
- NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. CAULK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-1.6
  - PANTRY CABINET 18" W/ 5 SHELVES.
  - NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK.
  - PROVIDE AND INSTALL NEW ADA FRONT CONTROL RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
  - PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA FROST FREE REFRIGERATOR.
  - PROVIDE AND INSTALL NEW RANGE VENT W/ ACCESSIBLE WALL SWITCH. PROVIDE AND INSTALL FIRESTOP SUPPRESSORS BY WILLIAMS-PYRO. PROVIDE COUNTERTOP MICROWAVE.
  - PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA DISHWASHER. SEE PLUMB. DWG'S.
  - PROVIDE AND INSTALL NEW 22 GA. S.S. SINK. SINGLE HANDLE WATER SENSE FAUCET, TRAP, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER W/ ACCESSIBLE WALL SWITCH. SEE PLUMB. AND ELEC. DWG'S.
  - KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
  - PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
  - PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
  - PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
  - PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING <8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DUCTWORK AND DIFFUSERS. SEE MECH. DWG'S.
  - PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (EFO.93) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
  - PROVIDE AND INSTALL NEW LOW FLOW TOILET. SEE PLUMB. DWG'S. PROVIDE AND INSTALL GRAB BARS AND WALL BLOCKING. SEE A-1.6
  - PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D) NEW ADA (34x60) SHOWER PAN, SURROUND, NEW WATER SENSE SHOWER HEAD 2.0 G.P.M., HAND HELD WAND, GRAB BARS, CONTROLS VALVES AND FOLD DOWN SEAT. SEE A-1.6 AND PLUMB. DWG'S.
  - PROVIDE AND INSTALL NEW CULTURED MARBLE TOPS W/INTRAGRAL SINKS. SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
  - PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA COMPLIANT FRONT LOADING WASHER AND DRYER. EXTEND WASTE, WATER AND ELECTRIC AS REQ'D FOR NEW SERVICE. SEE PLUMB. DWG'S.
  - PROVIDE AND INSTALL WALL HUNG SINK, SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
  - PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
  - PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
  - PREP SUBFLOOR AND INSTALL NEW PORCELAIN TILE FLOORING AND VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT W/LOW OR NO VOC PAINT.
  - PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
  - NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/ (2) PEEPHOLE, NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH'. SINGLE HANDLE PASSAGE DOOR LEVER AND (3) SPRING LOADED HINGES.
  - PROVIDE AND INSTALL NEW BI-FOLDS, HEAVY DUTY TRACK AND D PULLS.
  - PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR ≤ 0.32 + SHGC ≤ 0.29. PROVIDE NEW MINI BLINDS.
  - PROVIDE AND INSTALL NEW UNIT SIGNAGE.
  - PROVIDE AND INSTALL VINYL COATED WIRE SHELF W/HANGING ROD.
  - PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
  - PROVIDE AND INSTALL NEW ENERGY STAR FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH AND ELEC. DWG'S.
  - NEW ELEC. FNL. SEE ELEC. DWG'S.
  - PROVIDE AND INSTALL NEW OPENING LINTEL AND JACK STUDS. SEE 10/A-1.7

### ACCESSIBLE UNIT NOTES

- PROVIDE WALL SWITCHES AND THEROSTATS AT 48" A.F.F.
- PROVIDE SCALD AND ABRASION INSULATION KIT AT ALL SINKS AND LAVATORIES.
- PROVIDE GRAB BARS AT WATER CLOSET AND SHOWER PER UFAS WITH WALL BLOCKING.
- PROVIDE FOLD DOWN TRANSFER BENCH IN SHOWER WITH WALL BLOCKING.
- KITCHEN COUNTER WORKSPACE TOP AT 34" MAX. ABOVE FLOOR W/30" WIDE CLEAR KNEE SPACE.

**WALL LEGEND**

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL
	NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

**CAD FILE:**

DRWN. BY: MGA	CHKD. BY: MDA	DATE: 6-30-16
APPR. BY: MDA	REVISIONS:	

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**ONE AND TWO BR ACCESSIBLE UNIT PLANS**

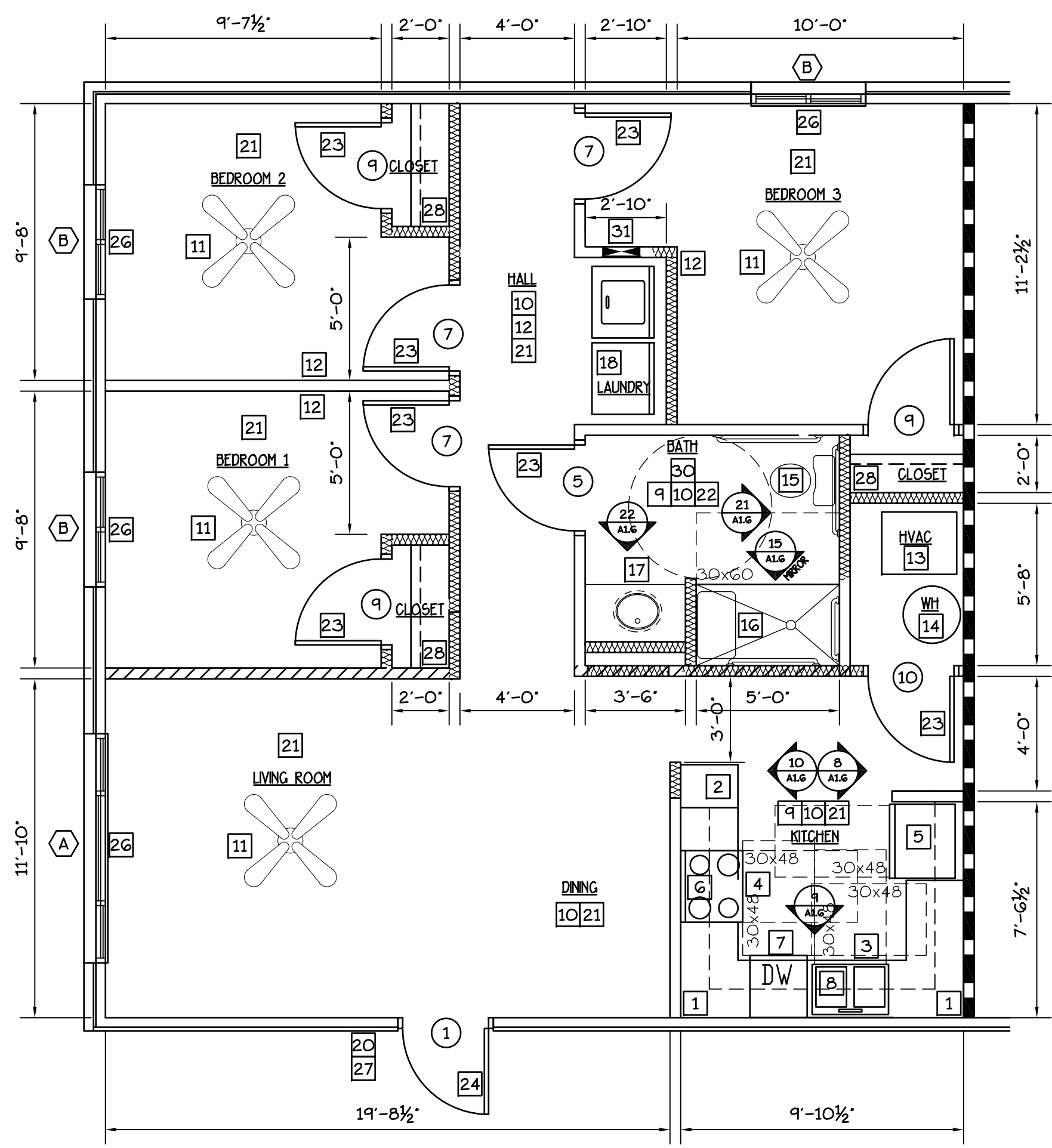
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

865 / 689-1902  
5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

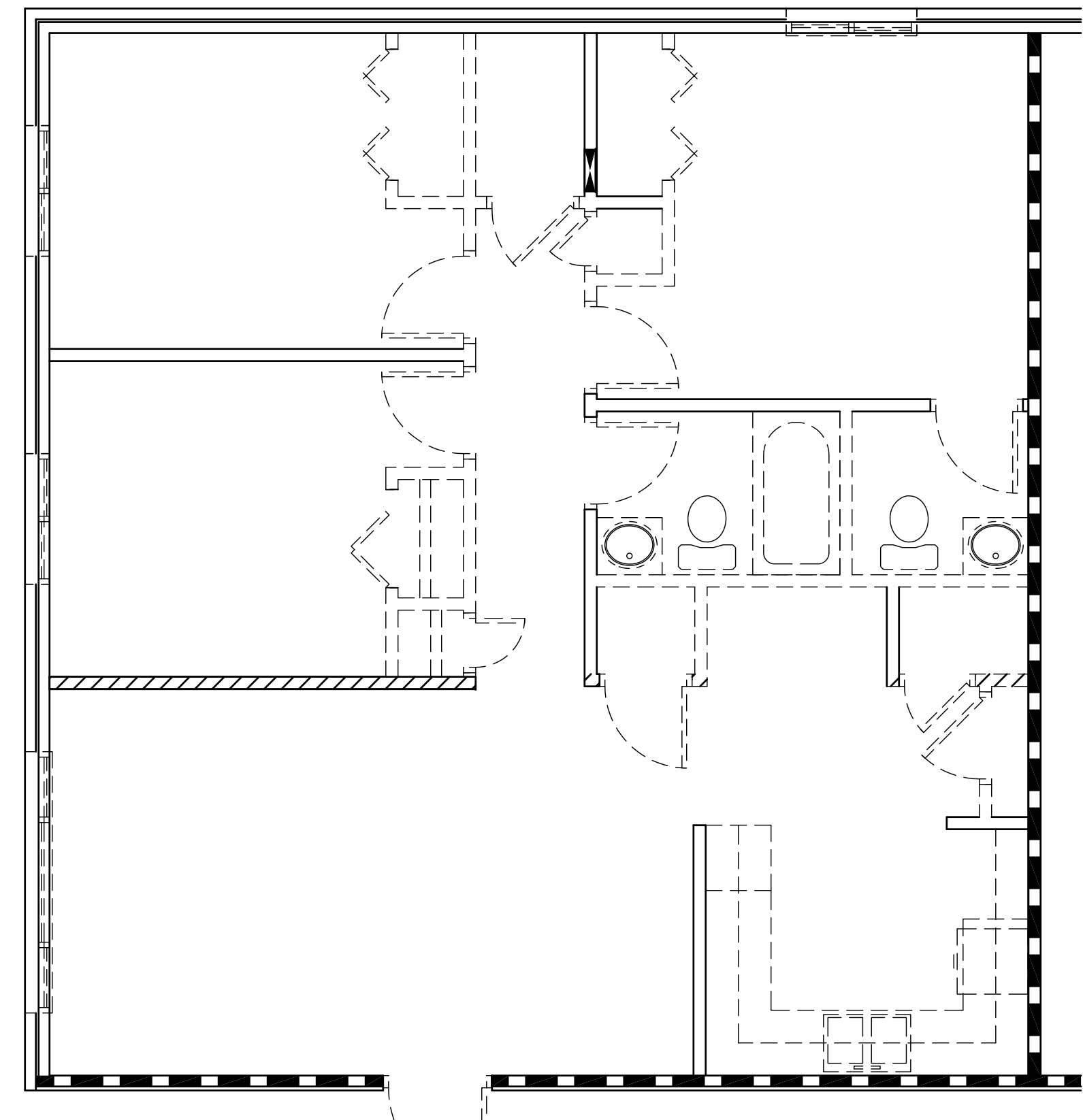
**REGISTERED ARCHITECT**  
MARK DAVID ALLAN  
No. 3731  
ARKANSAS

**SHEET NUMBER**  
**A-1.2**

FINISH SCHEDULE						
RM. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	REMARKS/NOTES
THREE BEDROOM UNIT						
001	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"
002	DINING	V.P.	V	PNT	PNT	8'-0"
003	HVAC/VH	S.V.	V	PNT	PNT	8'-0"
004	KITCHEN	V.P.	V	PNT	PNT	8'-0"
005	LAUNDRY	V.P.	V	PNT	PNT	7'-0"
006	HALL	V.P.	V	PNT	PNT	7'-0"
007	BATH	P.T.	V	PNT	PNT	7'-0"
008	BEDROOM 1	V.P.	V	PNT	PNT	8'-0"
009	CLOSET	V.P.	V	PNT	PNT	8'-0"
010	BEDROOM 2	V.P.	V	PNT	PNT	8'-0"
011	CLOSET	V.P.	V	PNT	PNT	8'-0"
012	BEDROOM 3	V.P.	V	PNT	PNT	8'-0"
013	CLOSET	V.P.	V	PNT	PNT	8'-0"
ABBREVIATIONS						
V.P.	VINYL PLANK		V	4 1/2" HIGH VINYL BASE		
EX	EXISTING		PNT	PAINT		
SV	SEAMLESS VINYL		PT	PORCELAIN TILE		
DOOR SCHEDULE						
#	SIZE	TYPE	FRAME	T. HOLD	HDWE	REMARKS
UNIT DOORS						
1	3'-0"x6'-8"x1 3/4"	A	MTL	ADA	PASS/D.B.	RATED 60 MIN. SPRING LOADED HINGES 180 DEGREE PEEP. KICK PLATE
2	---	---	---	---	---	---
3	---	---	---	---	---	---
4	---	---	---	---	---	---
5	3'-0"x6'-8"x1 3/8"	D	WD	-	PRIV	---
6	---	---	---	---	---	---
7	3'-0"x6'-8"x1 3/8"	D	WD	-	PRIV	---
8	---	---	---	---	---	---
9	3'-0"x6'-8"x1 3/8"	D	WD	-	PASS	---
10	2'-6"x6'-8"x1 3/8"	C	WD	-	D.B.	LOUVER
NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.						



**1**  
A-1.3  
**THREE BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS



**2**  
A-1.3  
**THREE BEDROOM DEMO PLAN**  
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS

DEMOLITION GENERAL NOTE:  
ACCESSIBLE UNIT DEMO SHALL BE A 'GUT'. REMOVE ALL FLOORING, INSULATION, SHEETROCK (WALLS), DOORS, FRAMES, SHELVES, CABINETS, APPLIANCES, PLUMBING FIXTURES, WATER HEATER, WATER AND WASTE LINES, GAS LINES, HVAC EQUIPMENT, ELECTRICAL DEVICES, LIGHT FIXTURES. ONLY WOOD STUD WALLS AS SHOWN SHALL REMAIN.

TYPICAL UNIT NOTES

- 1 NEW CABINETS WITH WIRE PULLS AND DUAL SIDETRACK DRAWERS AND LAMINATE COUNTERTOPS. CAULK CABINET PERIMETER AND PROVIDE WOOD TRIM AS REQ'D TO COVER GAPS • WALL AND FLOOR. SEE A-1.6
- 2 PANTRY CABINET 18" W/ 5 SHELVES.
- 3 NEW 2LB DRY CHEMICAL FIRE EXTINGUISHER MOUNT UNDER SINK.
- 4 PROVIDE AND INSTALL NEW ADA FRONT CONTROL RANGE WITH ANTI-TIP DEVICE AND METAL SPLASH GUARD.
- 5 PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA FROST FREE REFRIGERATOR.
- 6 PROVIDE AND INSTALL NEW RANGE VENT W/ ACCESSIBLE WALL SWITCH. PROVIDE AND INSTALL FIRESTOP SUPPRESSORS BY WILLIAMS-PYRO. PROVIDE COUNTERTOP MICROWAVE.
- 7 PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA DISHWASHER. SEE PLUMB. DWG'S.
- 8 PROVIDE AND INSTALL NEW 22 GA. S.S. SINK, SINGLE HANDLE WATER SENSE FAUCET, TRAPS, SUPPLIES AND 1/2 H.P. GARBAGE DISPOSER W/ ACCESSIBLE WALL SWITCH. SEE PLUMB. AND ELEC. DWG'S.
- 9 KITCHEN AND BATH: CHANGE OUTLETS TO GFI TYPE. SEE ELEC. DWG'S.
- 10 PROVIDE AND INSTALL NEW FLUORESCENT LIGHT FIXTURE. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
- 11 PROVIDE AND INSTALL NEW 'ENERGY STAR' CEILING FAN W/LIGHT KIT. REPLACE WALL SWITCH W/SIERRA TOGGLE TYPE. SEE ELEC. DWG'S.
- 12 PROVIDE AND INSTALL HARD-WIRED, BATTERY BACKED, TAMPER-PROOF SMOKE DETECTORS (INTERCONNECTED) IN BEDROOMS AND HALLWAYS. SEE ELEC. DWG'S.
- 13 PROVIDE AND INSTALL NEW HEAT PUMP W/HSPF RATING <8.0 AND 15 SEER RATED AIR CONDITIONING. INSULATE ALL REFRIGERATION LINES. T-STAT SHALL BE PROGRAMMABLE AND DIGITAL W/ RAISED BUTTONS. PROVIDE NEW DUCTWORK AND DIFFUSERS. SEE MECH. DWG'S.
- 14 PROVIDE AND INSTALL NEW ELECTRIC WATER HEATER (EFO-93) W/ INSULATED THERMAL LOOP ON STAND IN DRAIN PAN PLUMBED TO OUTSIDE. SEE PLUMB. DWG'S.
- 15 PROVIDE AND INSTALL NEW LOW FLOW TOILET. SEE PLUMB. DWG'S. PROVIDE AND INSTALL GRAB BARS AND WALL BLOCKING. SEE A-1.6
- 16 PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D) NEW ADA (34x60) SHOWER PAN, SURROUND, NEW WATER SENSE SHOWER HEAD 2.0 G.P.M. HAND HELD WAND, GRAB BARS, CONTROLS VALVES AND FOLD DOWN SEAT. SEE A-1.6 AND PLUMB. DWG'S.
- 17 PROVIDE AND INSTALL NEW CULTURED MARBLE TOPS W/INTEGRAL SINKS, SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
- 18 PROVIDE AND INSTALL NEW 'ENERGY STAR' ADA COMPLIANT FRONT LOADING WASHER AND DRYER, EXTEND WASTE, WATER AND ELECTRIC AS REQ'D FOR NEW SERVICE. SEE PLUMB. DWG'S.
- 19 PROVIDE AND INSTALL WALL HUNG SINK, SINGLE HANDLE WATER SENSE FAUCET, TRAP AND SUPPLIES W/ INSUL. WRAP. SEE A-1.6 AND PLUMB. DWG'S. PROVIDE NEW MIRROR.
- 20 PROVIDE AND INSTALL NEW PORCH LIGHT. SEE ELEC. DWG'S.
- 21 PREP SUBFLOOR AND INSTALL NEW VINYL PLANK FLOORING THROUGH-OUT ENTIRE UNIT. PROVIDE AND INSTALL NEW VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT UNIT W/ LOW OR NO VOC PAINT.
- 22 PREP SUBFLOOR AND INSTALL NEW PORCELAIN TILE FLOORING AND VINYL BASE. PATCH AND REPAIR WALLS AND CEILING AND PAINT W/LOW OR NO VOC PAINT.
- 23 PROVIDE AND INSTALL NEW SOLID CORE DOORS, FRAMES AND SINGLE HANDLE DOOR LEVERS WITH FUNCTION (PRIVACY/PASSAGE) TO MATCH EXISTING.
- 24 NEW 36"W METAL-INSUL. DOOR (60 MIN. RATED) W/ (2) PEEPHOLE, NEW DEADBOLT LOCK W/INTERIOR 'THUMB LATCH', SINGLE HANDLE PASSAGE DOOR LEVER AND (3) SPRING LOADED HINGES.
- 25 PROVIDE AND INSTALL NEW BI-FOLDS, HEAVY DUTY TRACK AND D PULLS.
- 26 PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR ≤ 0.32 + SHGC ≤ 0.29. PROVIDE NEW MIN BLINDS.
- 27 PROVIDE AND INSTALL NEW UNIT SIGNAGE.
- 28 PROVIDE AND INSTALL VINYL COATED WIRE SHELF W/HANGING ROD.
- 29 PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
- 30 PROVIDE AND INSTALL NEW ENERGY STAR FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH AND ELEC. DWG'S.
- 31 NEW ELEC. PNL. SEE ELEC. DWG'S.
- 32 PROVIDE AND INSTALL NEW OPENING LINTEL AND JACK STUDS. SEE 10/A-1.7.

ACCESSIBLE UNIT NOTES

- PROVIDE WALL SWITCHES AND THEROSTATS AT 48" A.F.F.
- PROVIDE SCALD AND ABRASION INSULATION KIT AT ALL SINKS AND LAVATORIES.
- PROVIDE GRAB BARS AT WATER CLOSET AND SHOWER PER UFAS WITH WALL BLOCKING.
- PROVIDE FOLD DOWN TRANSFER BENCH IN SHOWER WITH WALL BLOCKING.
- KITCHEN COUNTER WORKSPACE TOP AT 34" MAX. ABOVE FLOOR W/30" WIDE CLEAR KNEE SPACE.

WALL LEGEND

- █ EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- - - PARTITION TO BE DEMO'D
- ▨ ASSUMED EXISTING LOAD BEARING WALL
- ▤ NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

GENERAL NOTE:

LEAD BASED PAINT AND ASBESTOS CONTAINING MATERIALS ARE SUSPECT IN SELECT BUILDING MATERIALS. OWNER WILL PROVIDE TESTING AND ABATEMENT PROTOCOL. GENERAL CONTRACTOR IS REQUIRED TO FAMILIARIZE THEMSELVES WITH OWNER REPORTS AND PROPERLY DEAL WITH ANY IMPACTED ACM IN ACCORDANCE WITH EPA AND OSHA REGULATIONS.

CAD FILE:

DRWN BY: MGA	CHKD BY: MDA	DATE: 6-30-16
APPR BY: MDA	REVISIONS	

WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

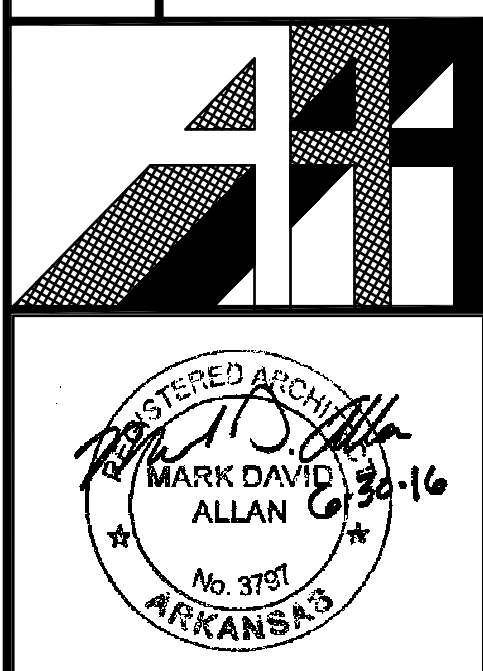
THREE BEDROOM UNIT PLANS

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

REGISTERED ARCHITECT  
MARK DAVID ALLAN  
No. 3731  
ARKANSAS



SHEET NUMBER

A-1.3

FINISH SCHEDULE						
RM. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	REMARKS/NOTES
FOUR BEDROOM UNIT						
001	LIVING ROOM	V.P.	V	PNT	PNT	8'-0"
002	CLOSET	V.P.	V	PNT	PNT	8'-0"
003	HVAC	V.P.	V	PNT	PNT	8'-0"
004	DINING	V.P.	V	PNT	PNT	8'-0"
005	KITCHEN	V.P.	V	PNT	PNT	8'-0"
006	HALL	V.P.	V	PNT	PNT	7'-0"
007	CLOSET/WH	V.P.	V	PNT	PNT	8'-0"
008	BATH	P.T.	V	PNT	PNT	7'-0"
009	LAUNDRY	V.P.	V	PNT	PNT	8'-0"
010	BEDROOM 1	V.P.	V	PNT	PNT	8'-0"
011	CLOSET	V.P.	V	PNT	PNT	8'-0"
012	BATH	P.T.	V	PNT	PNT	7'-0"
013	BEDROOM 2	V.P.	V	PNT	PNT	8'-0"
014	CLOSET	V.P.	V	PNT	PNT	8'-0"
015	BEDROOM 3	V.P.	V	PNT	PNT	8'-0"
016	CLOSET	V.P.	V	PNT	PNT	8'-0"
017	BEDROOM 4	V.P.	V	PNT	PNT	8'-0"
018	CLOSET	V.P.	V	PNT	PNT	8'-0"

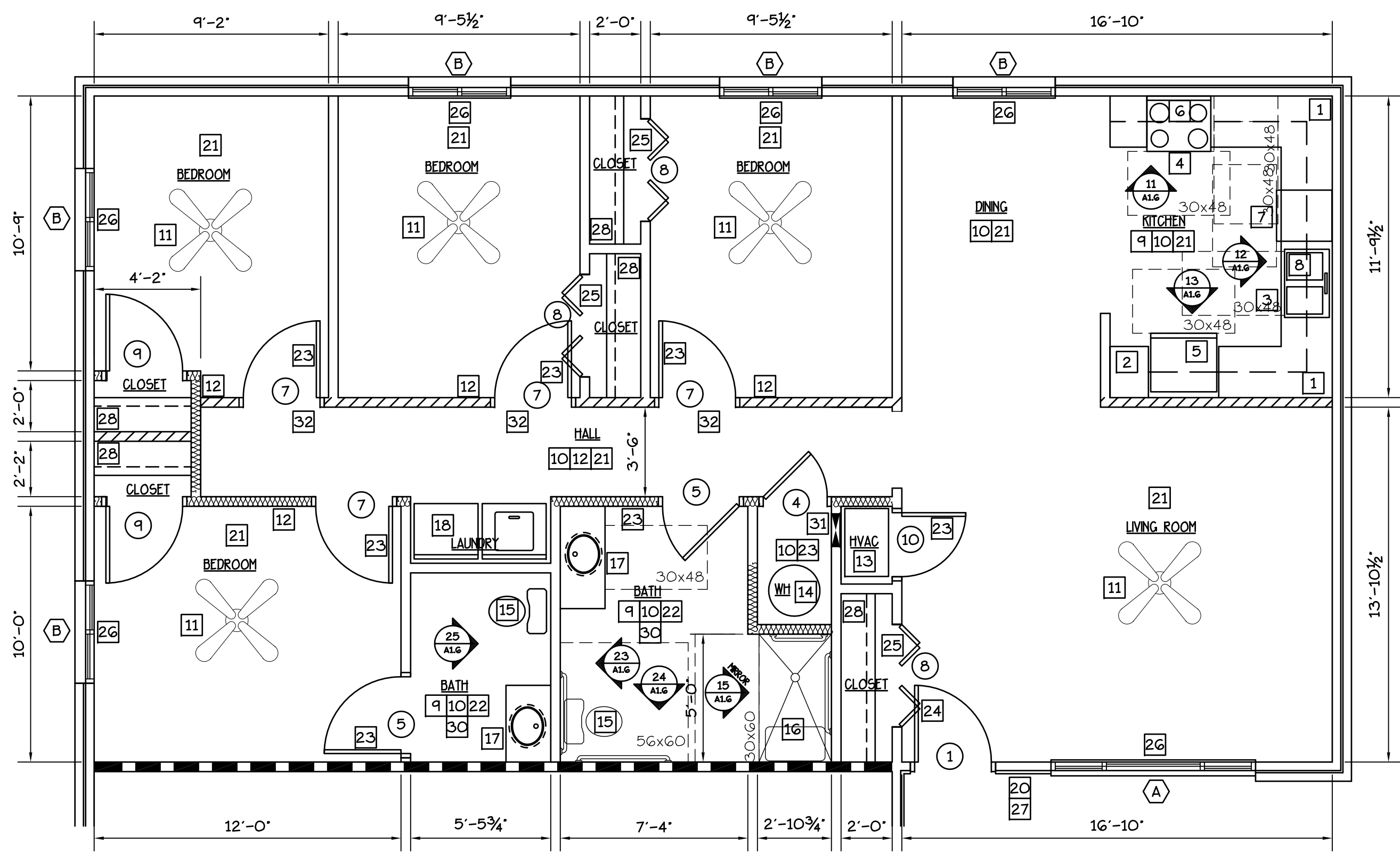
  

ABBREVIATIONS			
V.P.	VINYL PLANK	V	4 1/2" HIGH VINYL BASE
EX	EXISTING	PNT	PAINT
		PT	PORCELAIN TILE

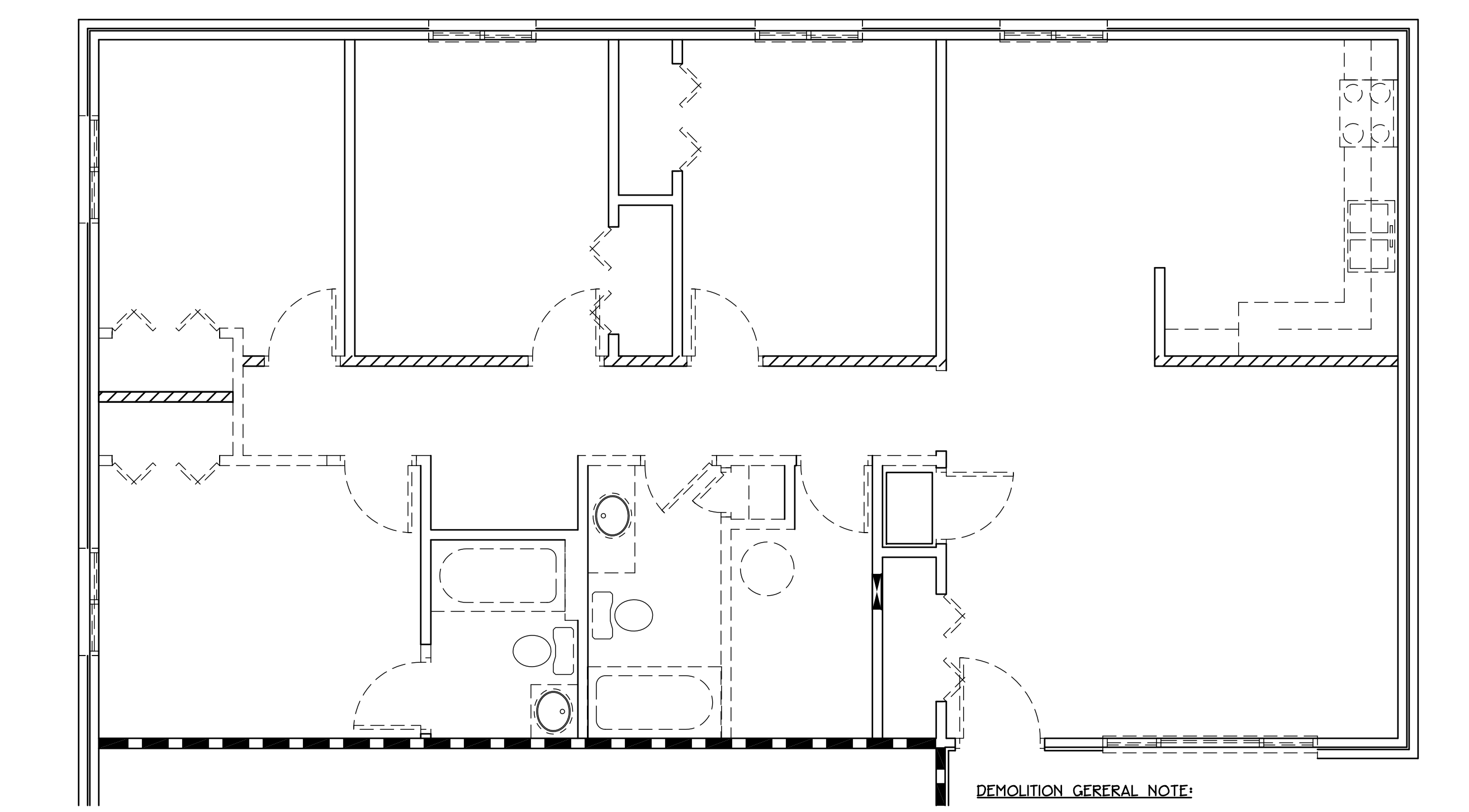
  

DOOR SCHEDULE						
#	SIZE	TYPE	FRAME	T. HOLD	HDWE	REMARKS
UNIT DOORS						
1	3'-0"x6'-8"x1 3/4"	A	MTL	ADA	PASS/DB.	RATED 60 MIN. SPRING LOADED HINGES 180 DEGREE PEEP, KICK PLATE
2	---	---	---	---	---	---
3	---	---	---	---	---	---
4	2'-6"x6'-8"x1 3/8"	D	WD	-	PASS	---
5	3'-0"x6'-8"x1 3/8"	D	WD	-	PRIV	---
6	---	---	---	---	---	---
7	3'-0"x6'-8"x1 3/8"	D	WD	-	PRIV	---
8	(2) 2'-0"x6'-8"x1 3/8"	B	WD	-	PULL	---
9	3'-0"x6'-8"x1 3/8"	D	WD	-	PASS	---
10	2'-6"x6'-8"x1 3/8"	C	WD	-	D.B.	LOUVER

NOTE: FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING.



**1**  
A-1.4  
**FOUR BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 1,261 SF NET 1,351 SF GROSS



**2**  
A-1.4  
**FOUR BEDROOM DEMO PLAN**  
SCALE: 1/4"=1'-0" 1,261 SF NET 1,351 SF GROSS

**ACCESSIBLE UNIT NOTES**

- PROVIDE WALL SWITCHES AND THEROSTATS AT 48" A.F.F.
- PROVIDE SCALD AND ABRASION INSULATION KIT AT ALL SINKS AND LAVATORIES.
- PROVIDE GRAB BARS AT WATER CLOSET AND SHOWER PER UFAS WITH WALL BLOCKING.
- PROVIDE FOLD DOWN TRANSFER BENCH IN SHOWER WITH WALL BLOCKING.
- KITCHEN COUNTER WORKSPACE TOP AT 34" MAX. ABOVE FLOOR W/30" WIDE CLEAR KNEE SPACE.

**DEMOLITION GENERAL NOTE:**

ACCESSIBLE UNIT DEMO SHALL BE A 'CUT'. REMOVE ALL FLOORING, INSULATION, SHEETROCK (WALLS), DOORS, FRAMES, SHELVES, CABINETS, APPLIANCES, PLUMBING FIXTURES, WATER HEATER, WATER AND WASTE LINES, GAS LINES, HVAC EQUIPMENT, ELECTRICAL DEVICES, LIGHT FIXTURES. ONLY WOOD STUD WALLS AS SHOWN SHALL REMAIN.

**TYPICAL UNIT NOTES**

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- PROVIDE AND INSTALL M.R. GYP. BD. (FIRE RATED AS REQ'D) NEW ADA (34x60) SHOWER PAN, SURROUND, NEW WATER SENSE SHOWER HEAD 2.0 G.P.M., HAND HELD WAND, GRAB BARS, CONTROLS VALVES AND FOLD DOWN SEAT. SEE A-1.6 AND PLUMB. DWG'S.
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- PROVIDE AND INSTALL VINYL COATED WIRE SHELF W/HANGING ROD.
- PROVIDE (5) ROWS 16" DEEP VINYL COATED WIRE SHELVES.
- PROVIDE AND INSTALL NEW ENERGY STAR FAN W/ RADIATION DAMPED DUCTED TO OUTSIDE. SEE MECH AND ELEC. DWG'S.
- NEW ELEC. PNL. SEE ELEC. DWG'S.
- PROVIDE AND INSTALL NEW OPENING LINTEL AND JACK STUDS. SEE 10/A-1.7.

**WALL LEGEND**

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL
- NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

**GENERAL NOTE:**

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CAD FILE:

DRWN BY: MGA	CHKD. BY: MDA	APPR. BY: MDA	DATE: 6-30-16	REVISIONS
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WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**FOUR BEDROOM UNIT PLANS**

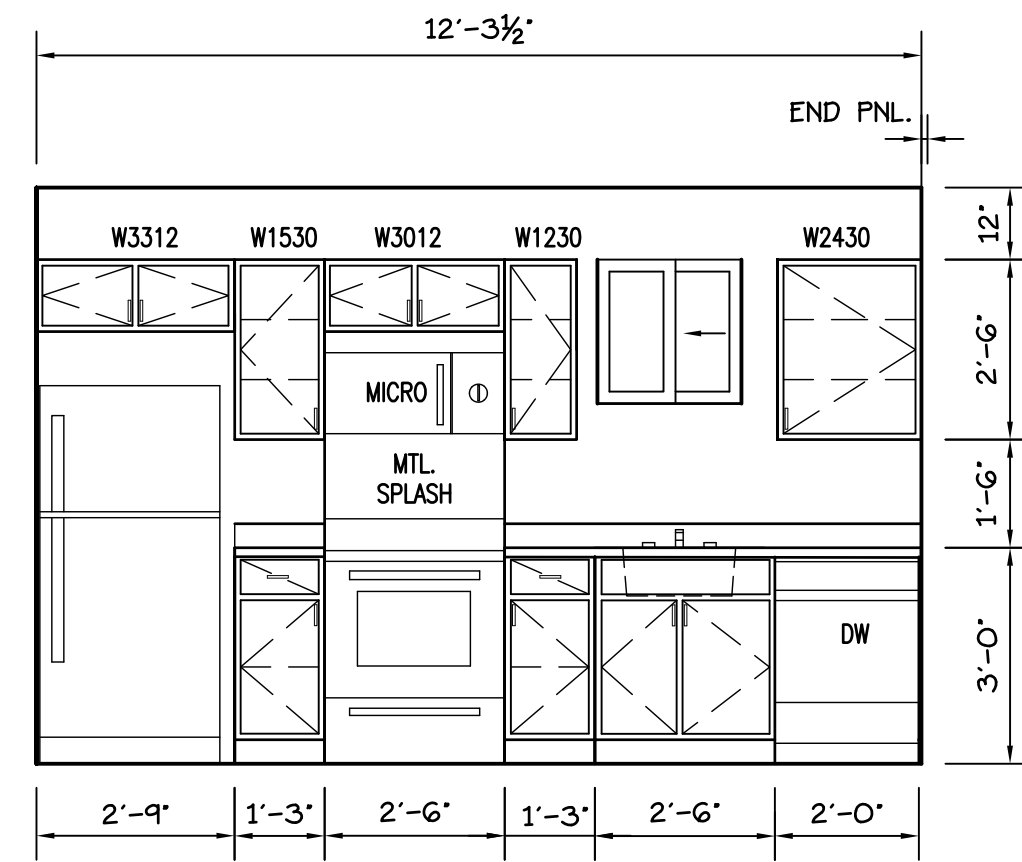
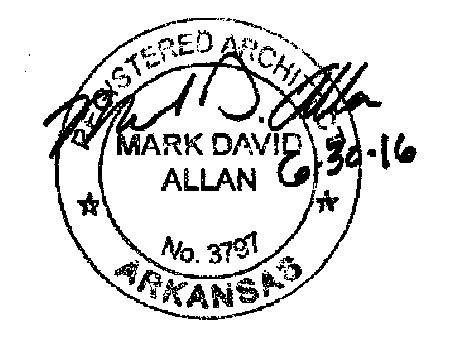
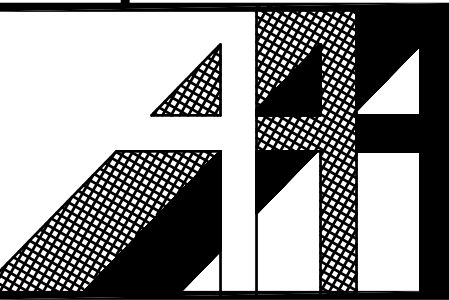
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

6516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

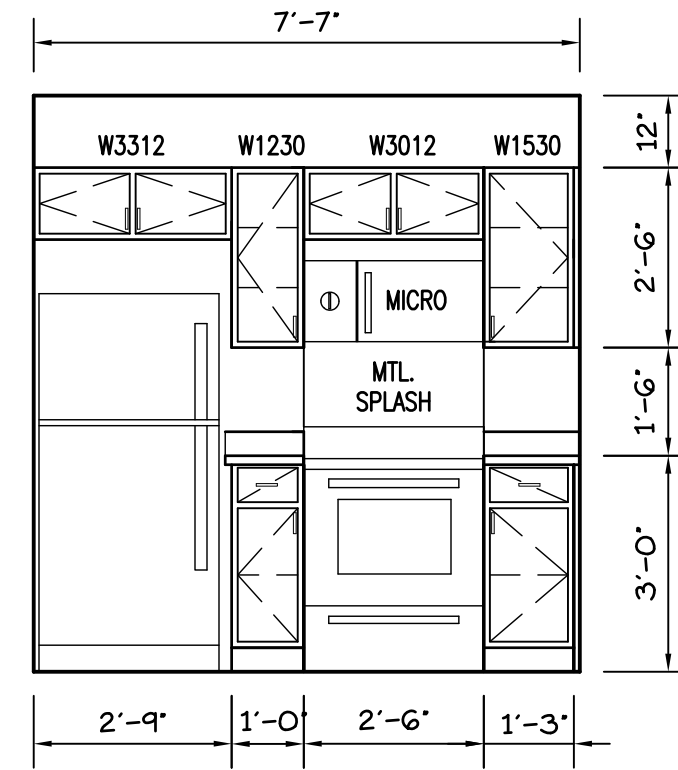
865 / 689-1902

REGISTERED ARCHITECT  
MARK DAVID ALLAN  
No. 3731  
ARKANSAS

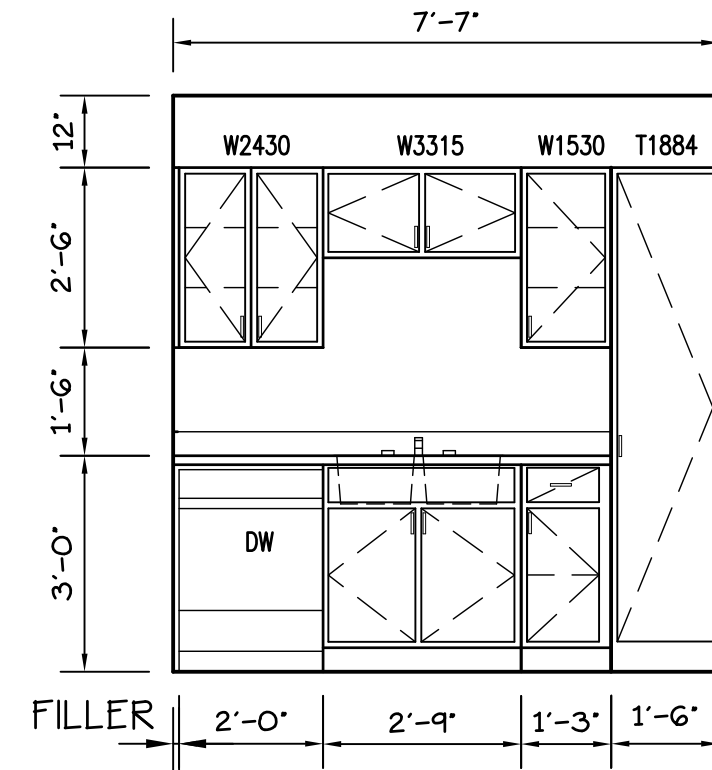
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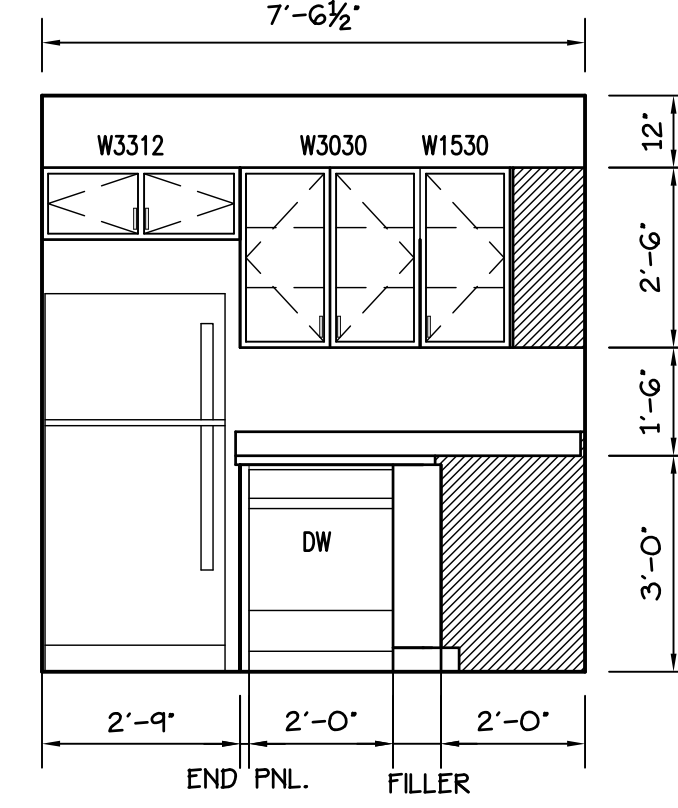
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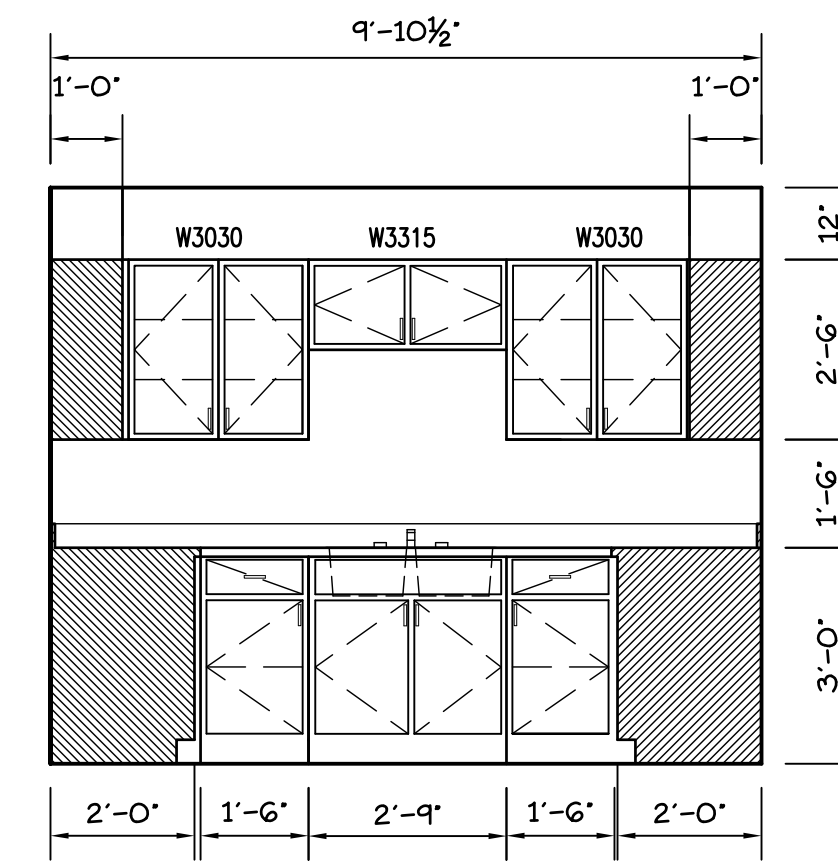
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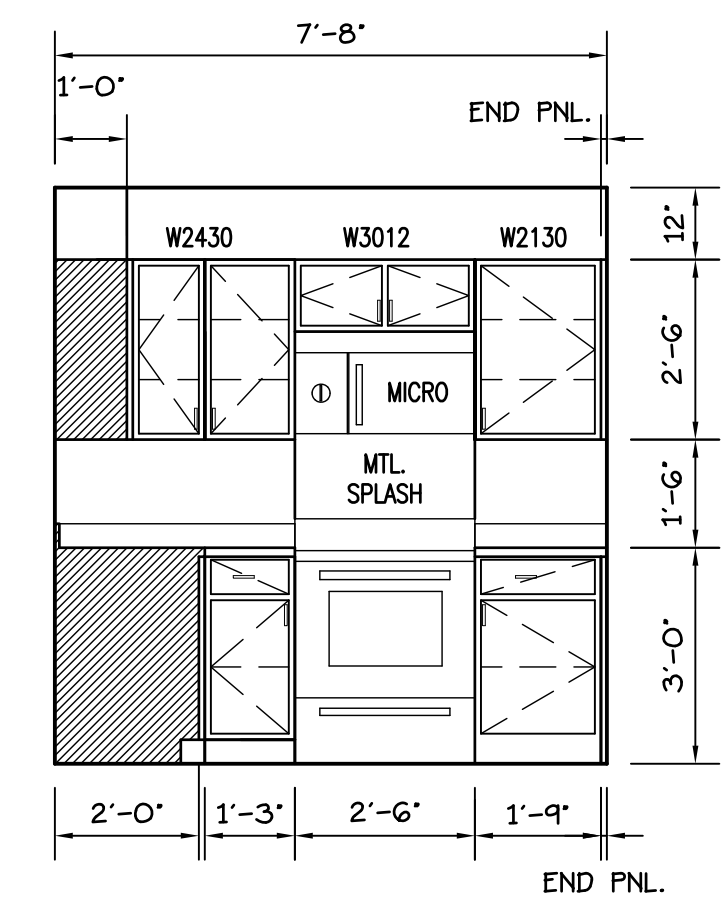
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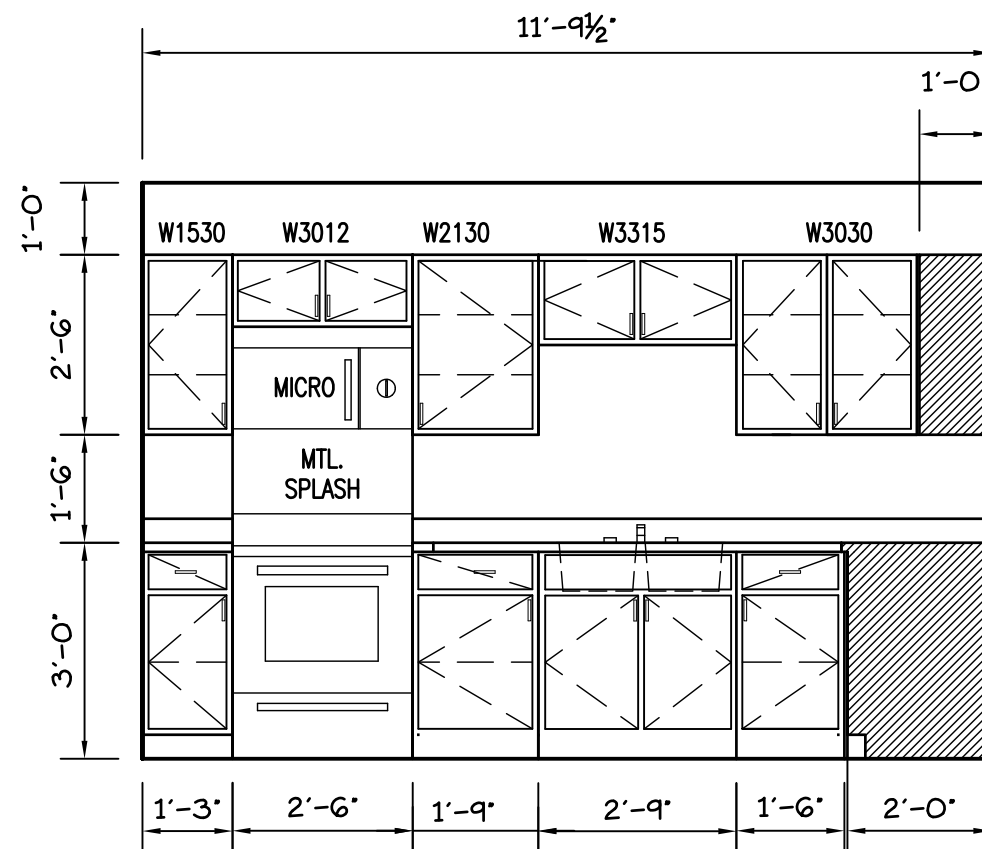
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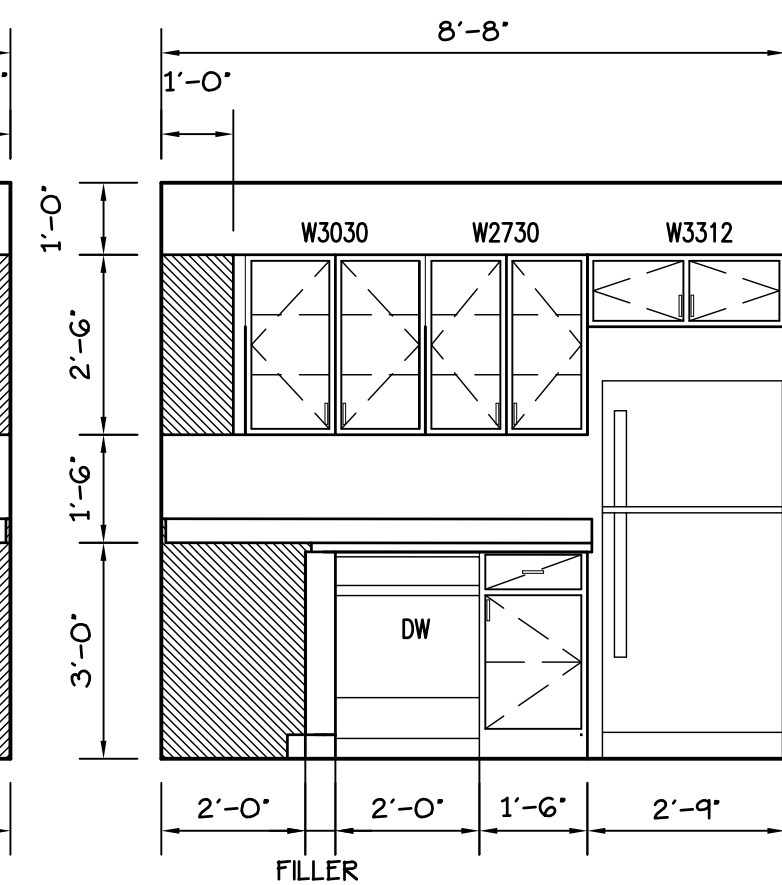
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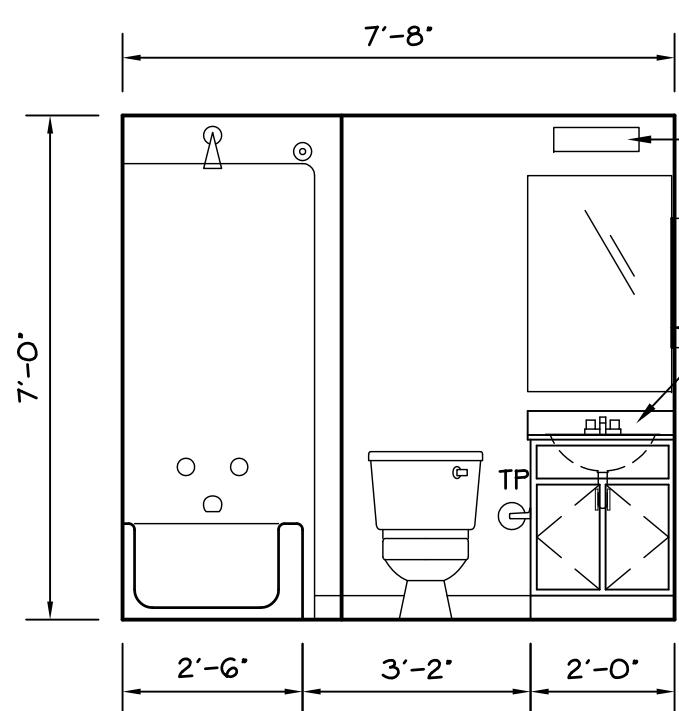
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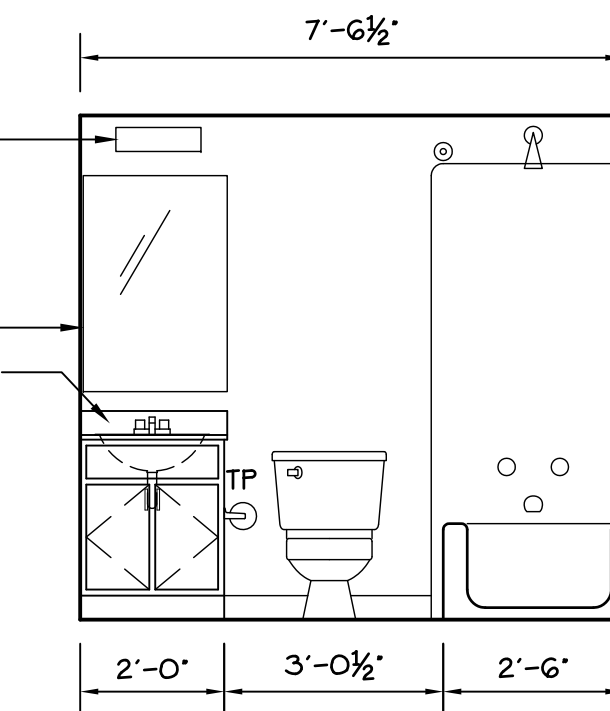
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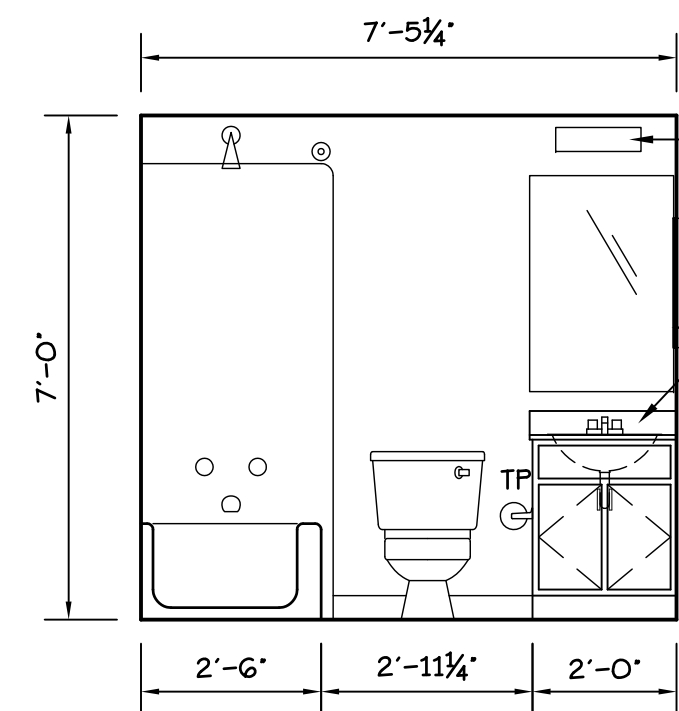
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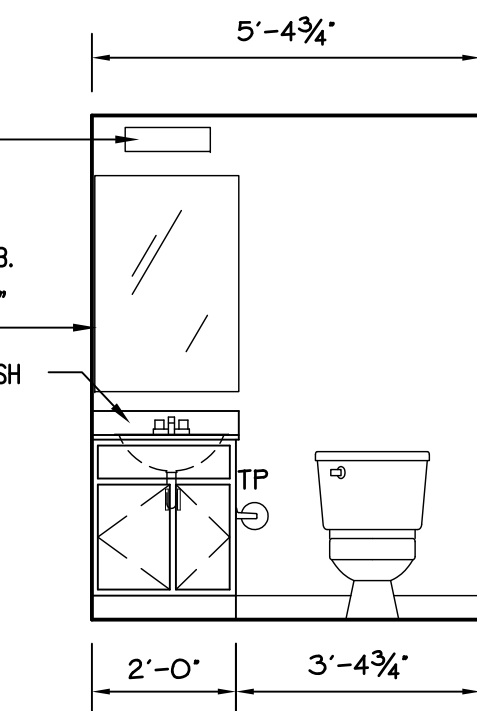
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A-1.5  
1 BDRM. BATH  
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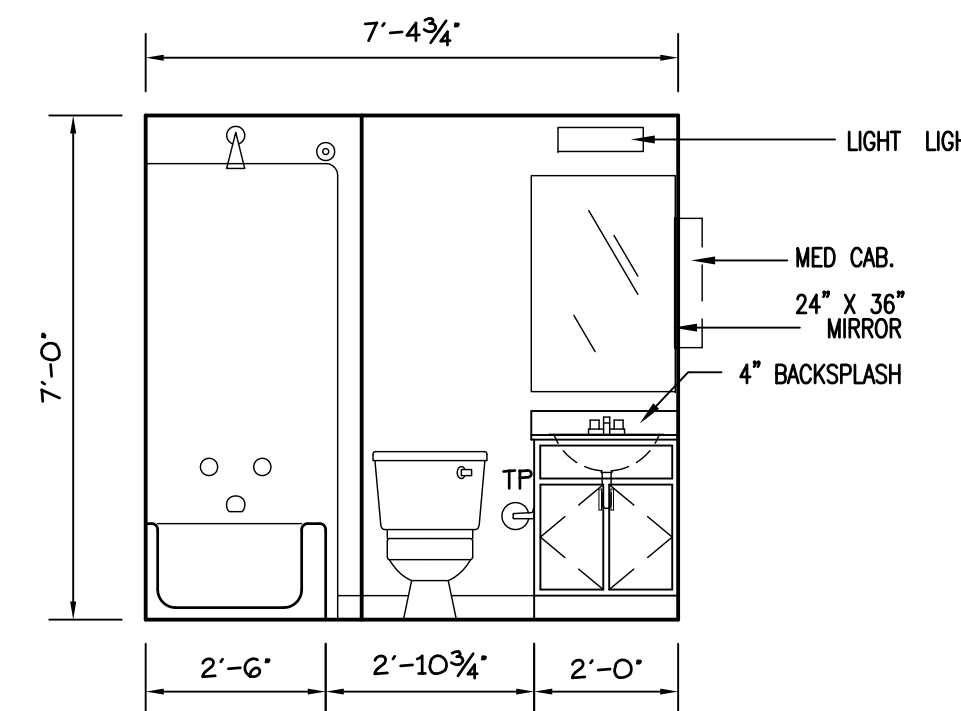
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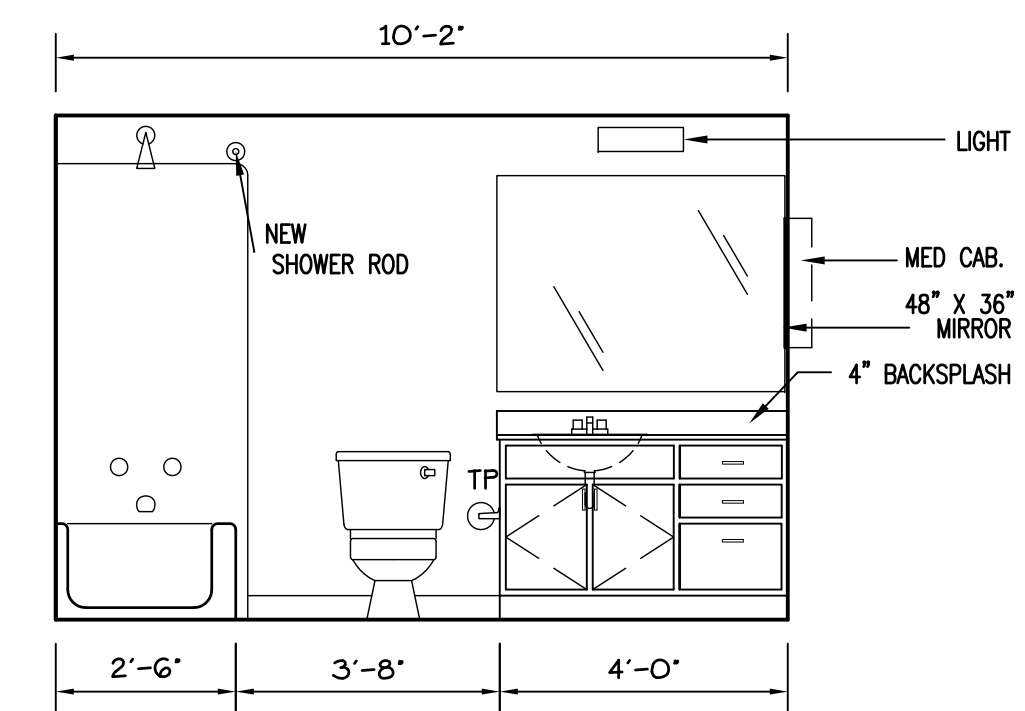
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12  
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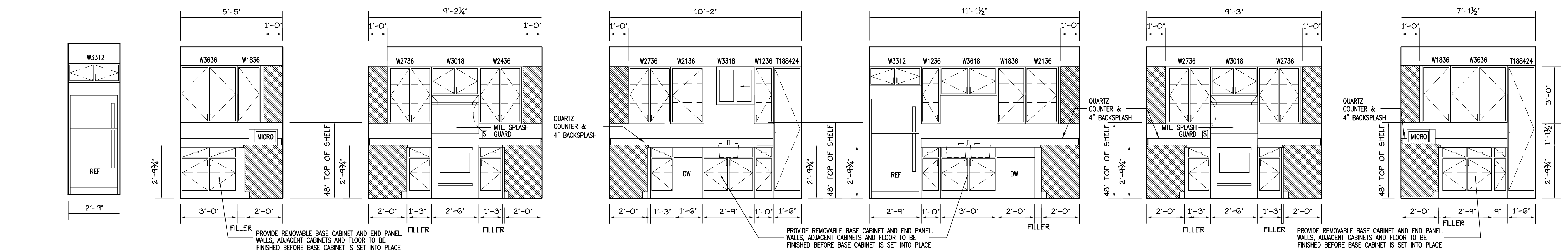
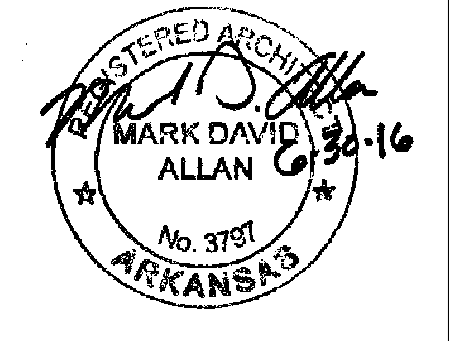
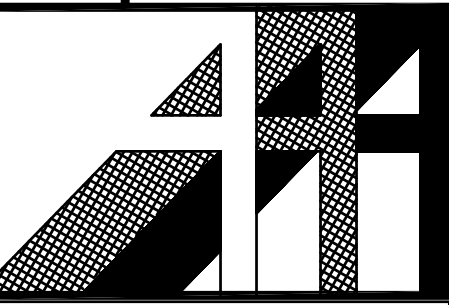


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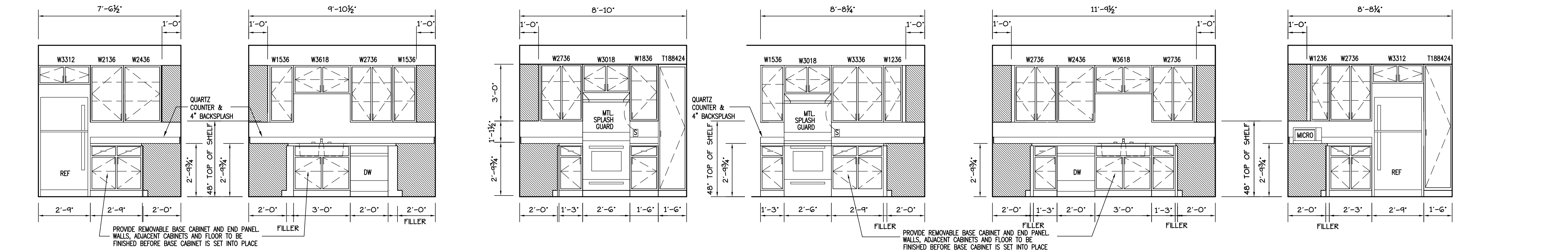


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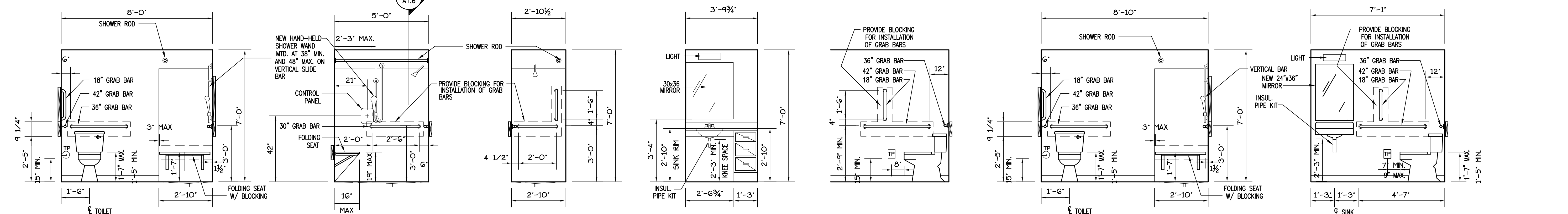




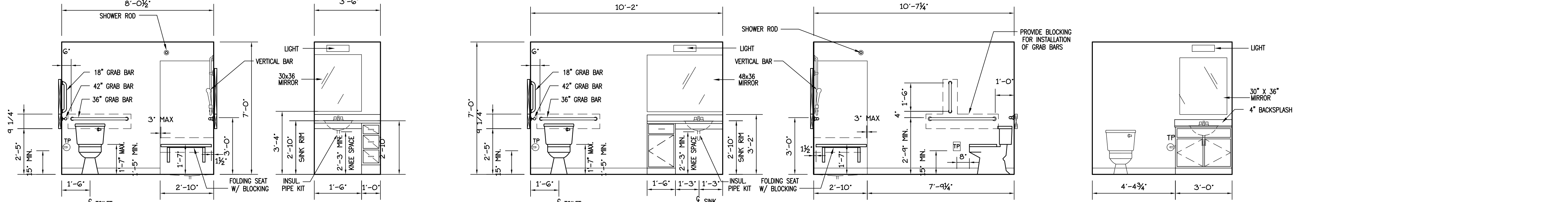
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3 ACCESSIBLE 1 BDRM. KIT. SCALE: 3/8" = 1'-0"  
4 ACCESSIBLE 1 BDRM. KIT. SCALE: 3/8" = 1'-0"  
5 ACCESSIBLE 2 BDRM. KIT. SCALE: 3/8" = 1'-0"  
6 ACCESSIBLE 2 BDRM. KIT. SCALE: 3/8" = 1'-0"  
7 ACCESSIBLE 2 BDRM. KIT. SCALE: 3/8" = 1'-0"



8 ACCESSIBLE 3 BDRM. KIT. SCALE: 3/8" = 1'-0"  
9 ACCESSIBLE 3 BDRM. KIT. SCALE: 3/8" = 1'-0"  
10 ACCESSIBLE 3 BDRM. KIT. SCALE: 3/8" = 1'-0"  
11 ACCESSIBLE 4 BDRM. KIT. SCALE: 3/8" = 1'-0"  
12 ACCESSIBLE 4 BDRM. KIT. SCALE: 3/8" = 1'-0"  
13 ACCESSIBLE 4 BDRM. KIT. SCALE: 3/8" = 1'-0"



14 1 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
15 ACCESS. SHOWER SCALE: 3/8" = 1'-0"  
16 ACCESS. SHOWER SCALE: 3/8" = 1'-0"  
17 1 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
18 ACCESS. TOILET SCALE: 3/8" = 1'-0"  
19 2 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
20 2 BR ACCESS. BATH SCALE: 3/8" = 1'-0"



21 3 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
22 3 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
23 4 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
24 4 BR ACCESS. BATH SCALE: 3/8" = 1'-0"  
25 4 BR TOILET SCALE: 3/8" = 1'-0"

DRWN. BY: MGA
CHKD. BY: MDA
APPR. BY: MDA
DATE: 6-30-16
REVISIONS

**CEILING PLANS AND DETAILS**

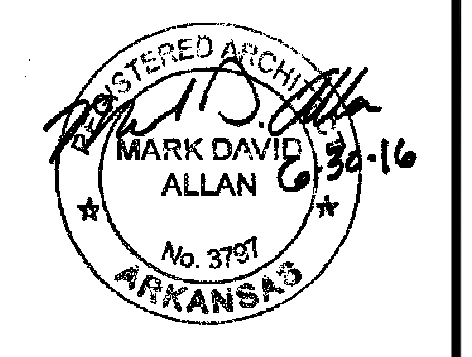
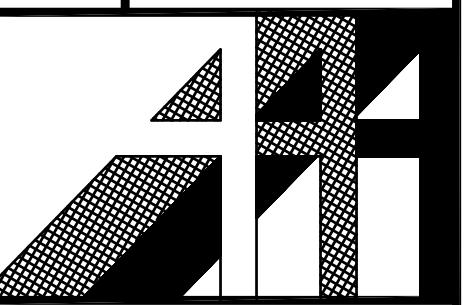
**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

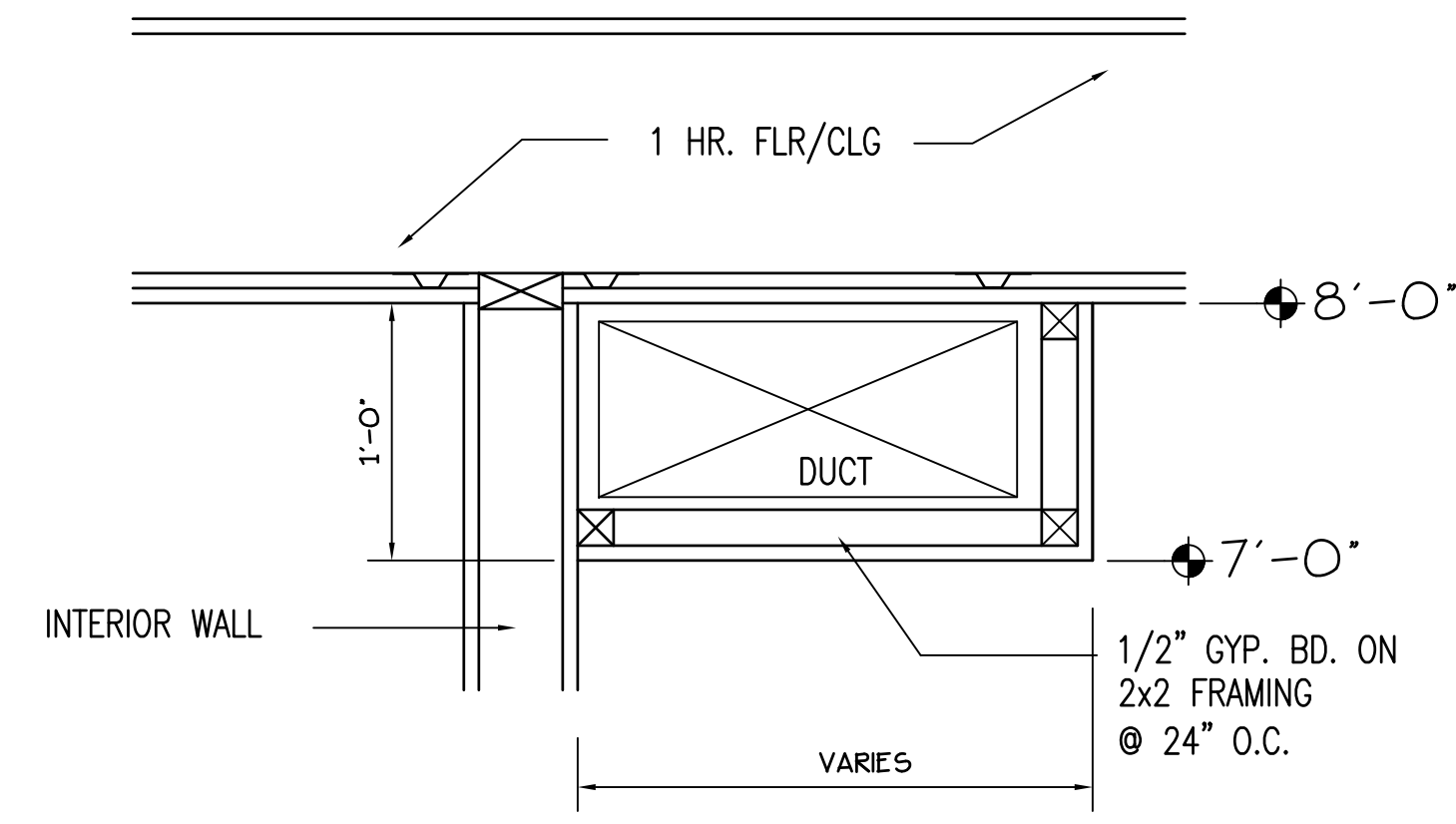
865 / 689-1302

6516 WALLWOOD ROAD

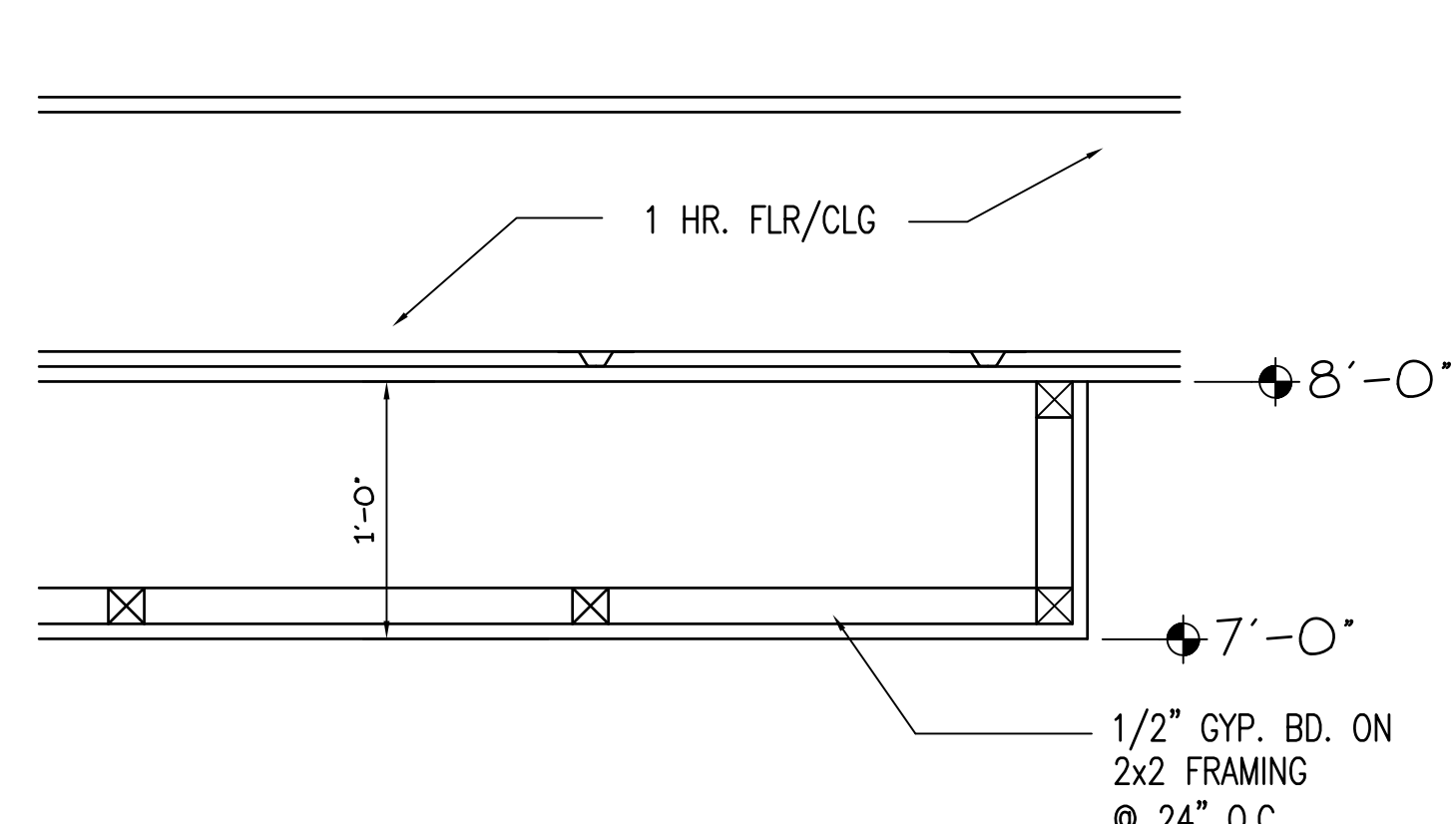


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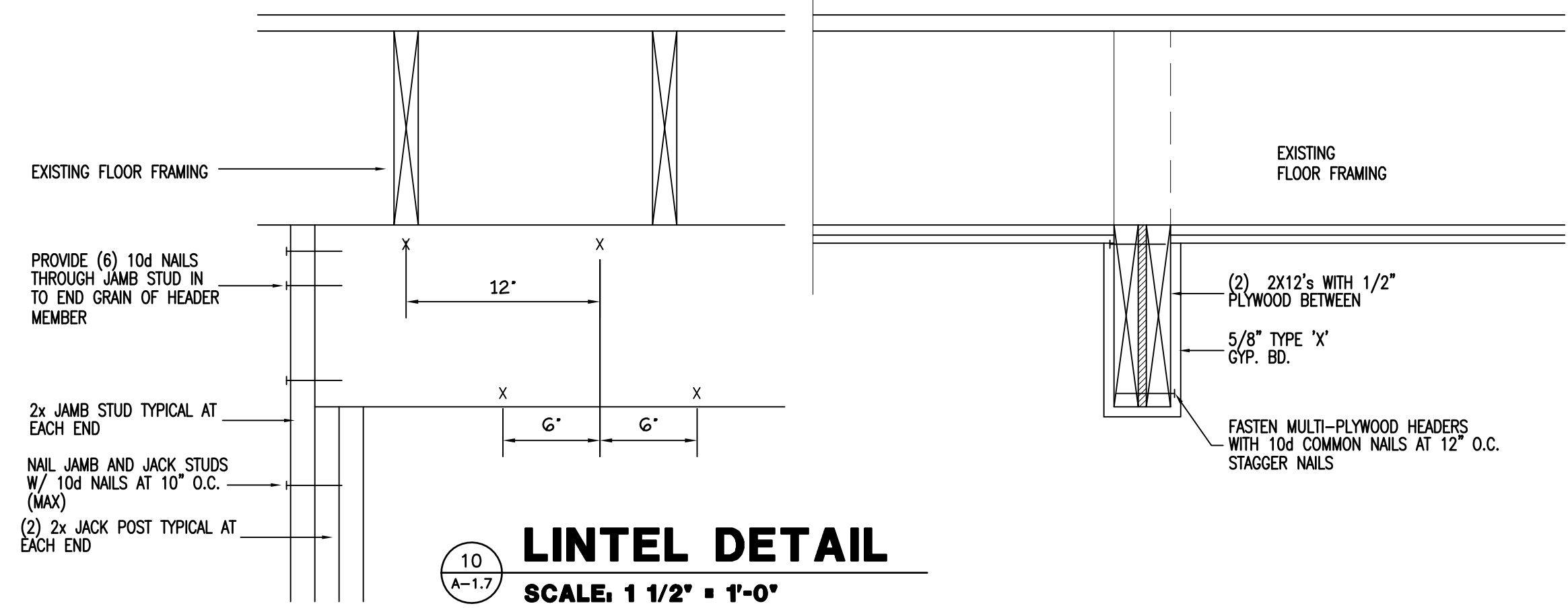
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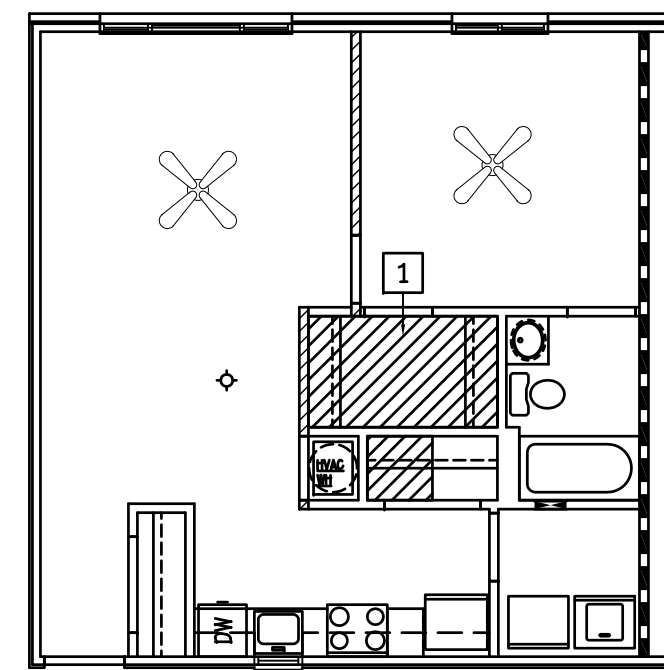
**12 DROPPED CEILING DETAIL**  
SCALE: 1 1/2" = 1'-0"



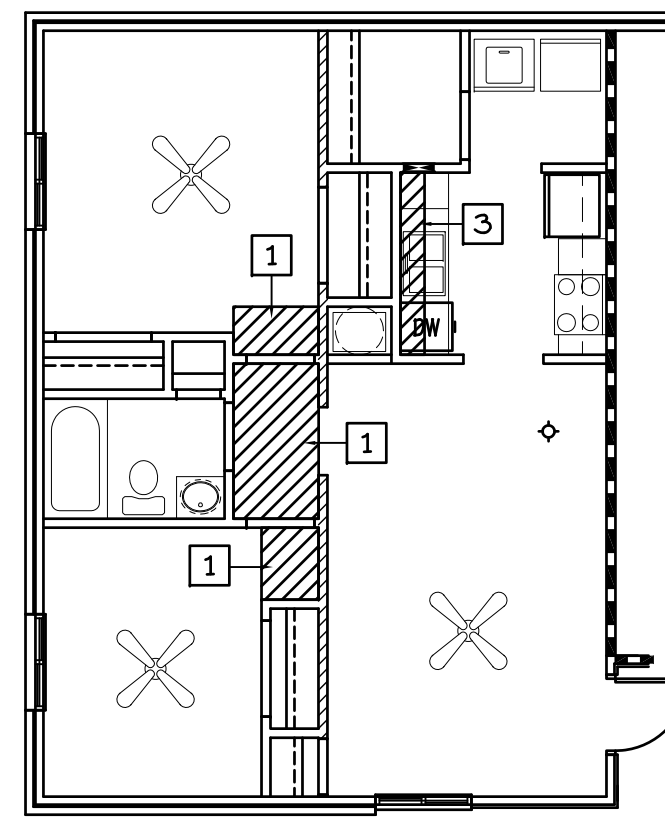
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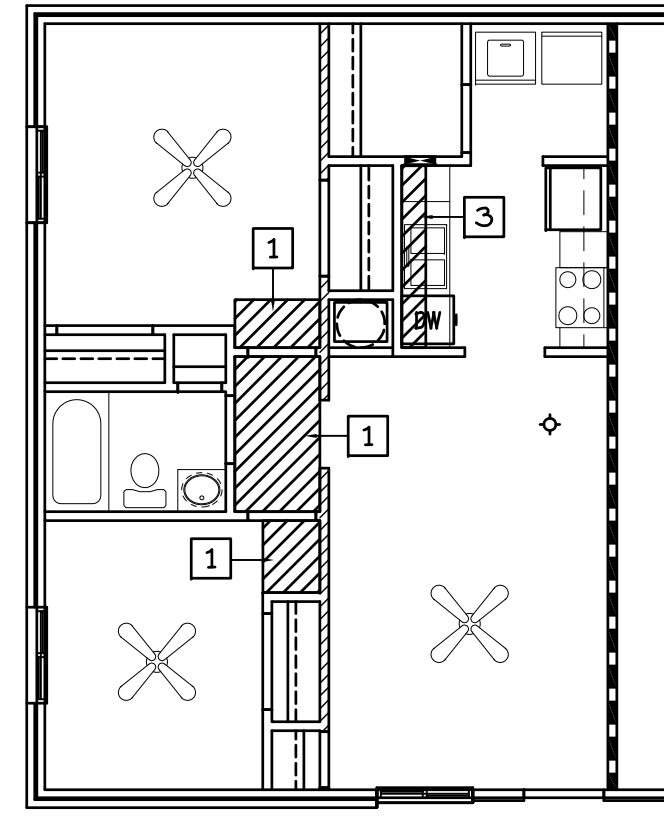
**10 LINTEL DETAIL**  
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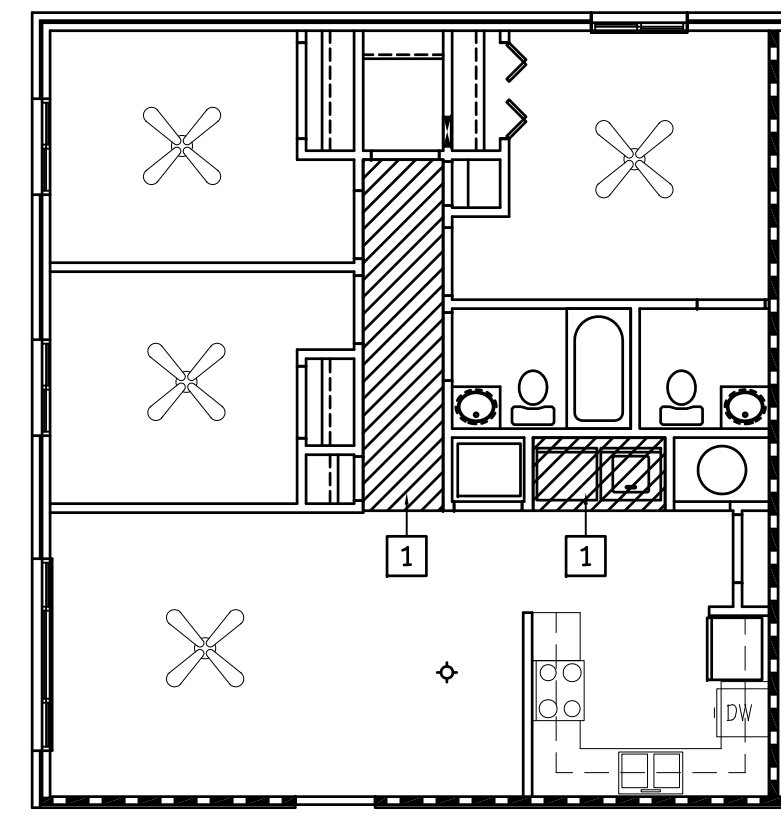
**1 ONE BEDROOM TYP. CEILING PLAN**  
SCALE: 1/8" = 1'-0"



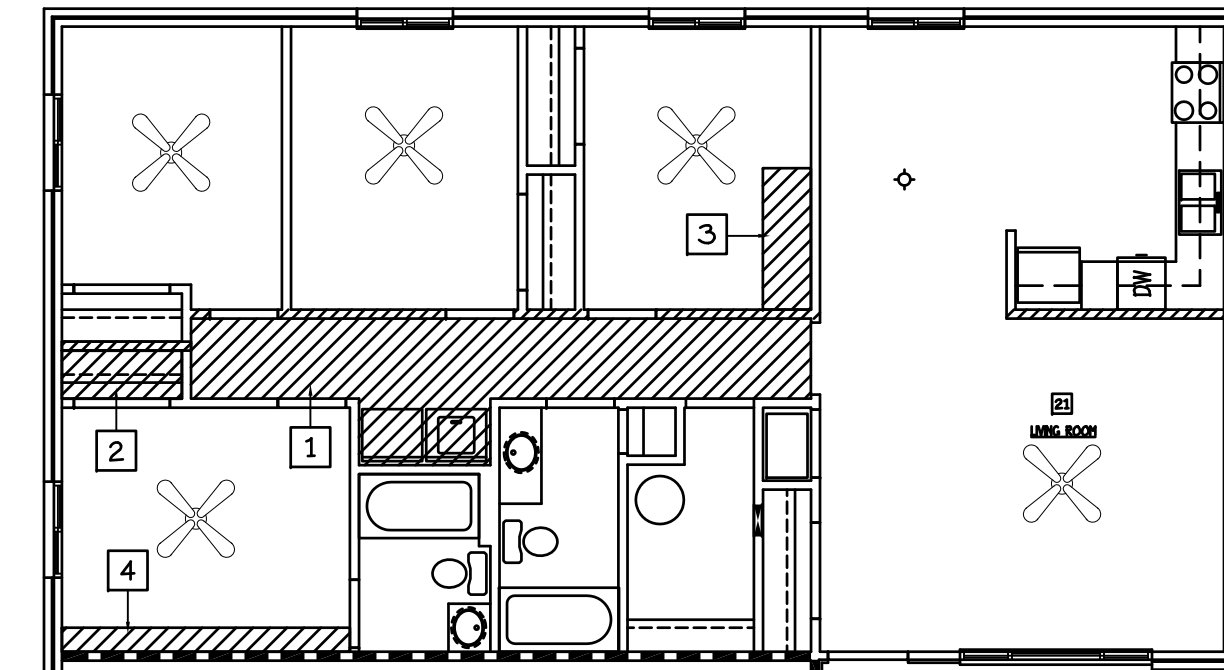
**2 TWO BEDROOM TYP. CEILING PLAN**  
SCALE: 1/8" = 1'-0"



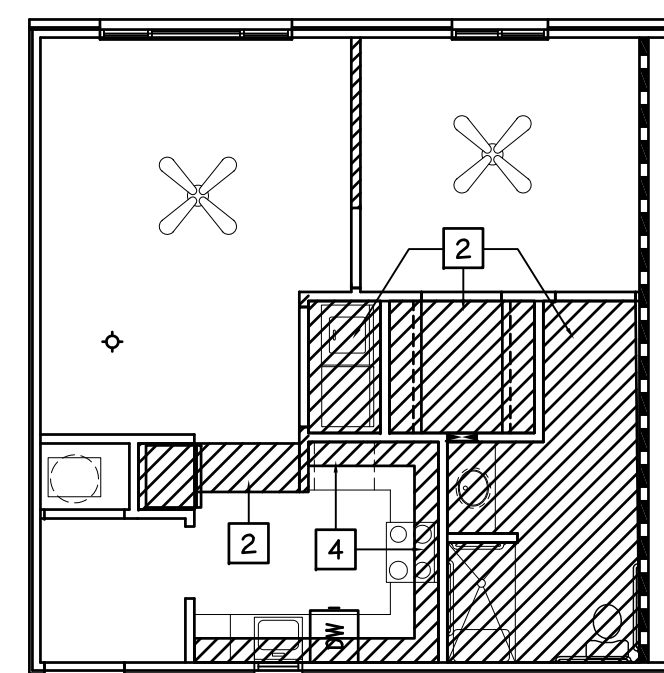
**3 TWO BEDROOM TYP. CEILING PLAN**  
SCALE: 1/8" = 1'-0"



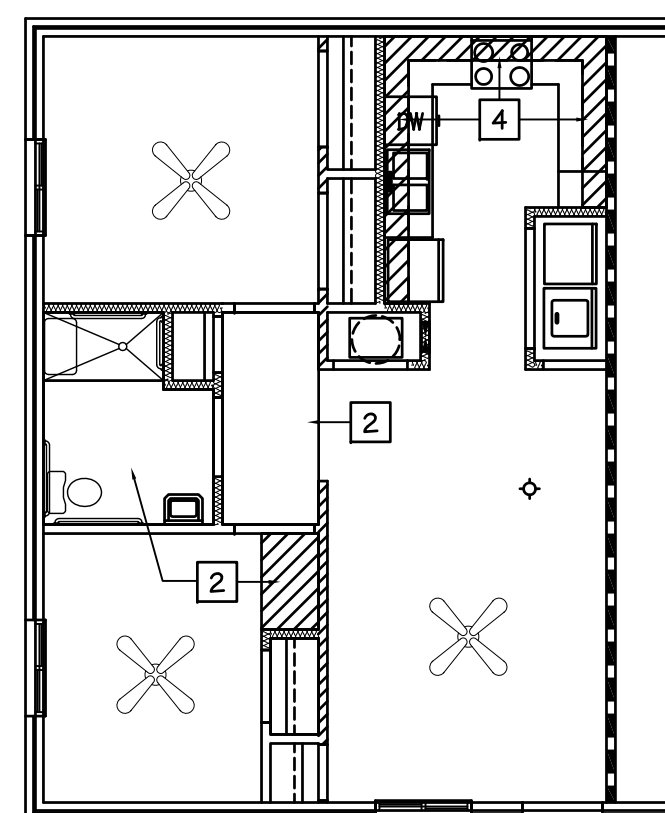
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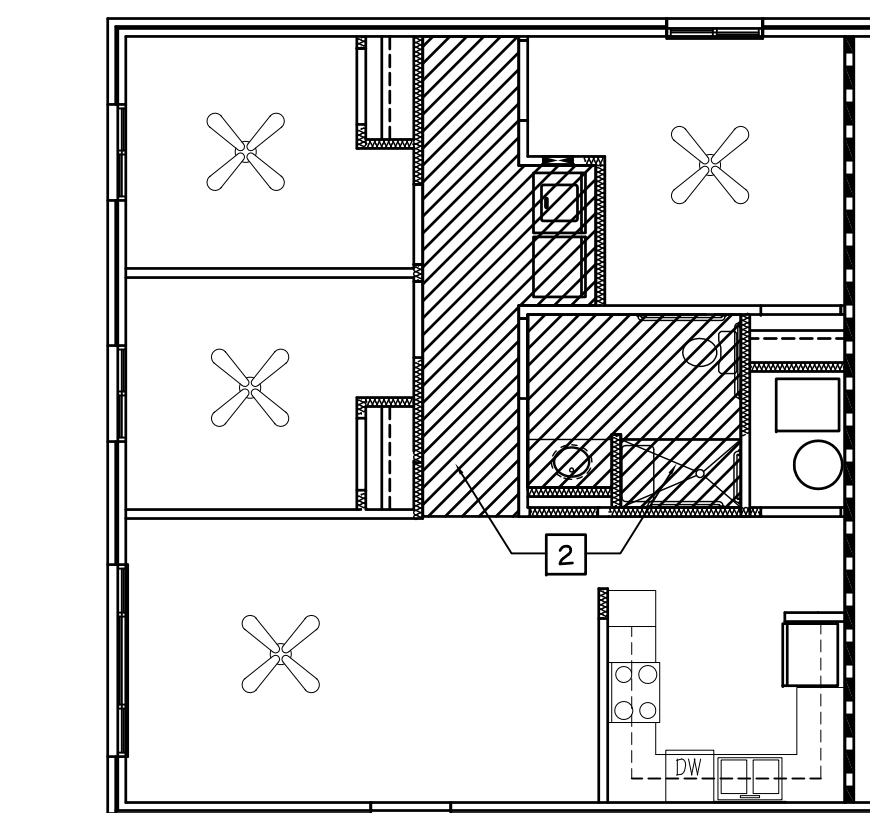
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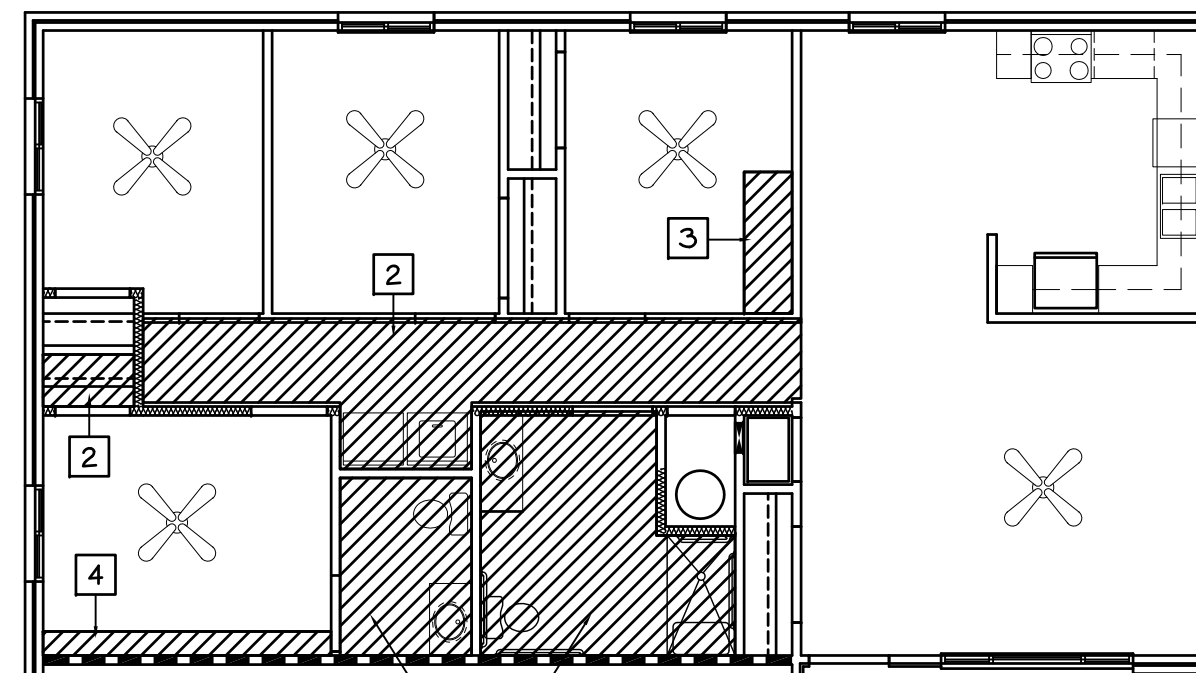
**6 ONE BEDROOM ACC. CEILING PLAN**  
SCALE: 1/8" = 1'-0"



**7 TWO BEDROOM ACC. CEILING PLAN**  
SCALE: 1/8" = 1'-0"



**8 THREE BEDROOM ACC. CEILING PLAN**  
SCALE: 1/8" = 1'-0"



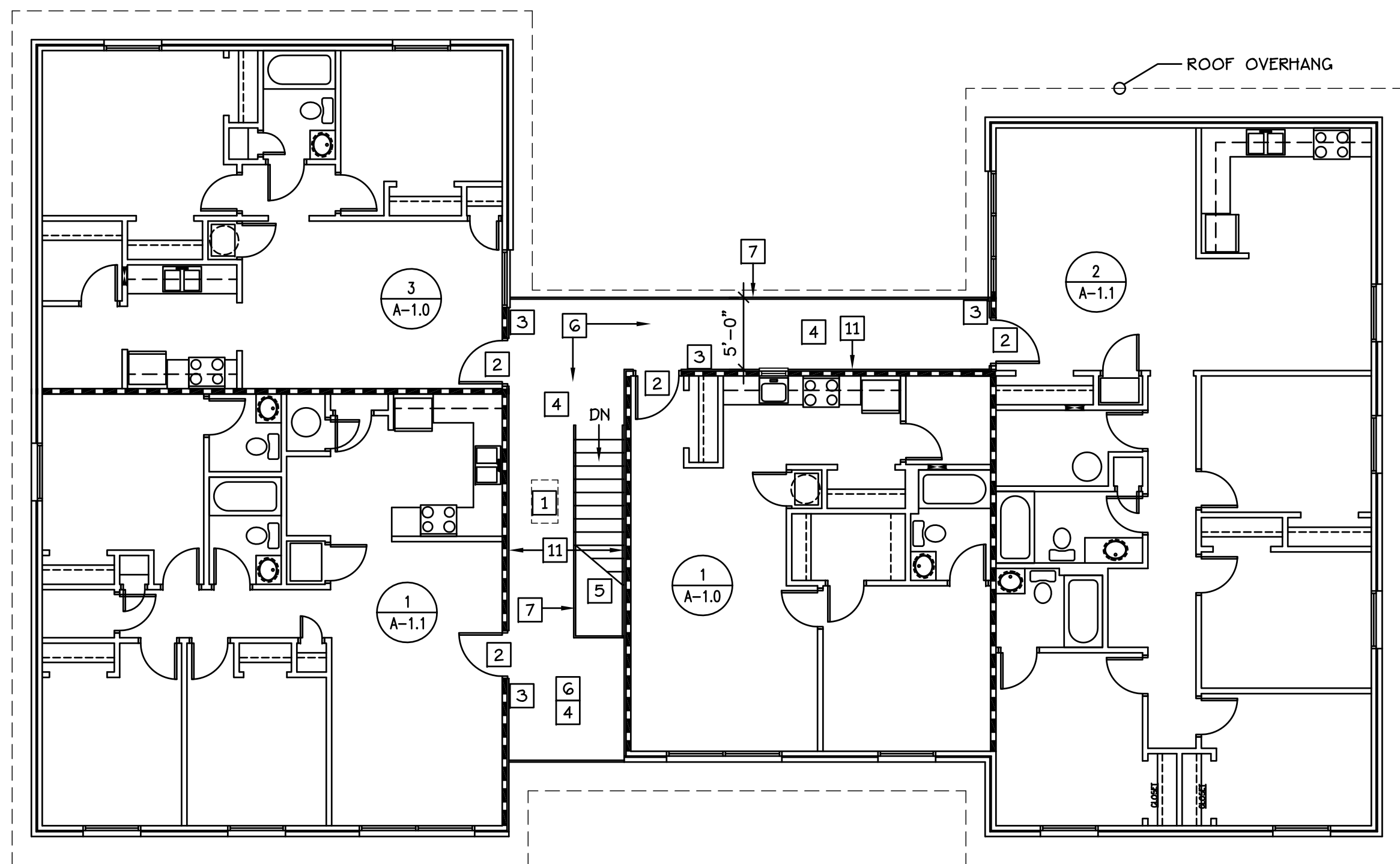
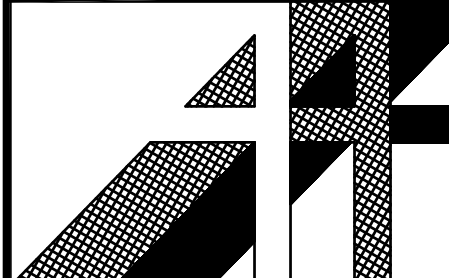
**9 FOUR BEDROOM ACC. CEILING PLAN**  
SCALE: 1/8" = 1'-0"

**CEILING NOTES**

- 1 EXISTING DROPPED CEILING 7'-0" TO REMAIN.
- 2 NEW DROPPED CEILING 7'-0". SEE DETAILS THIS SHEET.
- 3 EXISTING SHEETROCK BULKHEAD TO REMAIN. PATCH, REPAIR AND PAINT.
- 4 NEW SHEETROCK BULKHEAD TO CONSEAL EXHAUST DUCTS.
- 5 NEW 1 HR. FLR/CLG. THROUGHOUT APARTMENT. 5/8" TYPE 'X' GYP. BD. ON 7/8" RES. CHNLs.

**NOTE:**

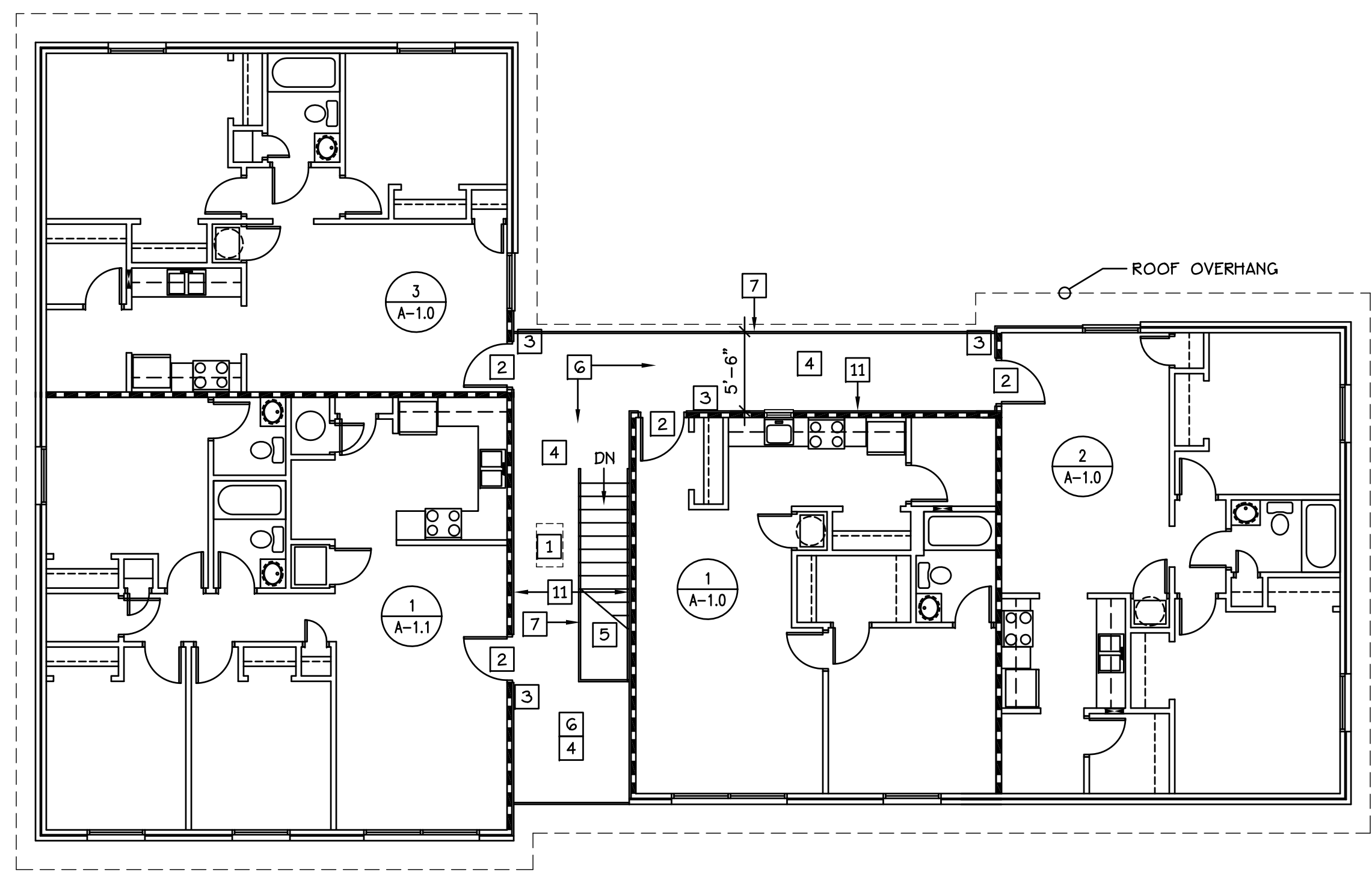
PATCH AND REPAIR EXISTING 'FIRE LID' TO MAINTAIN RATING PRIOR TO INSTALLING DROPPED CEILINGS.



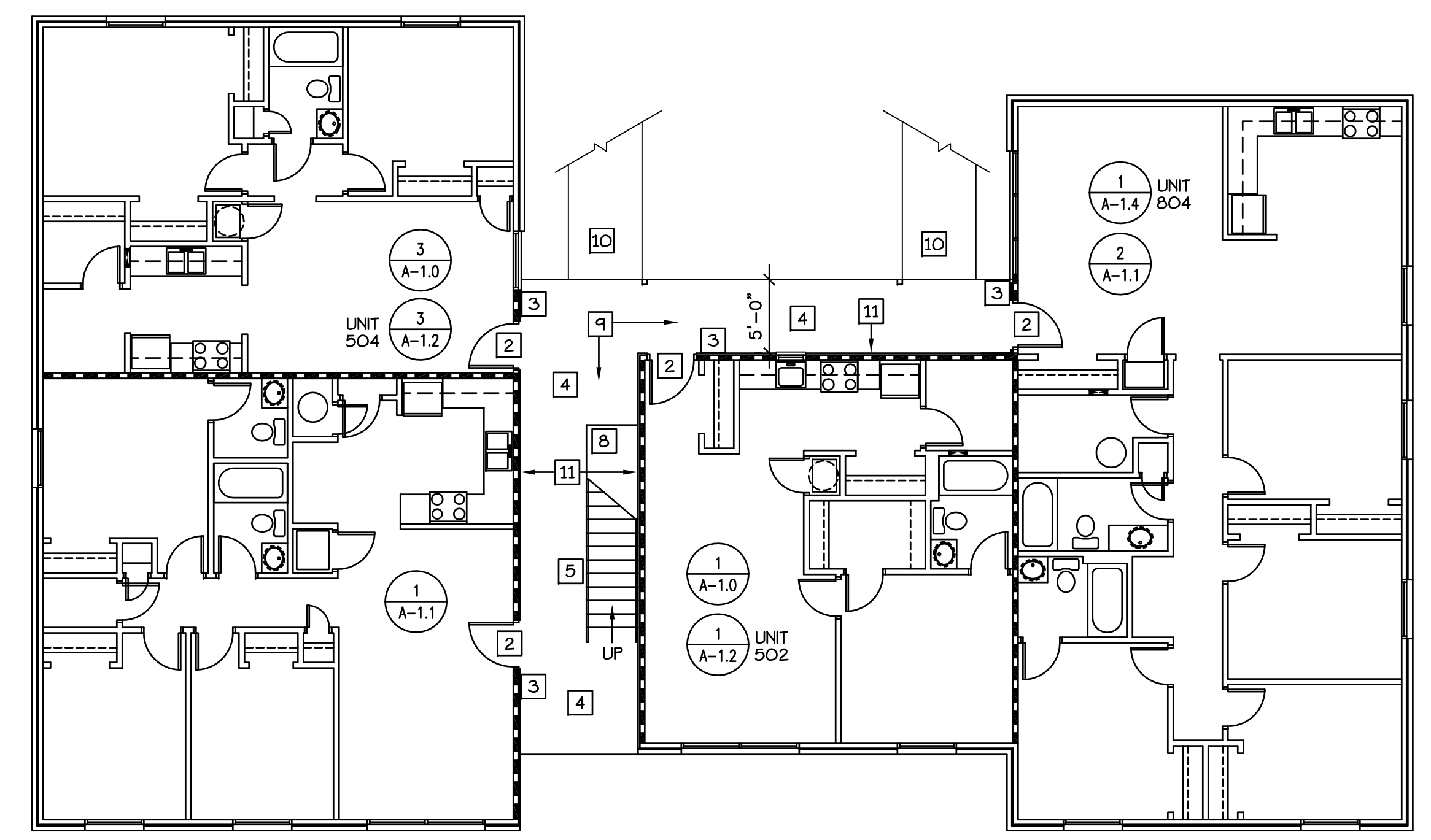
**BLDG'S '2','3','5','8'**  
**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**BUILDING PLAN NOTES**

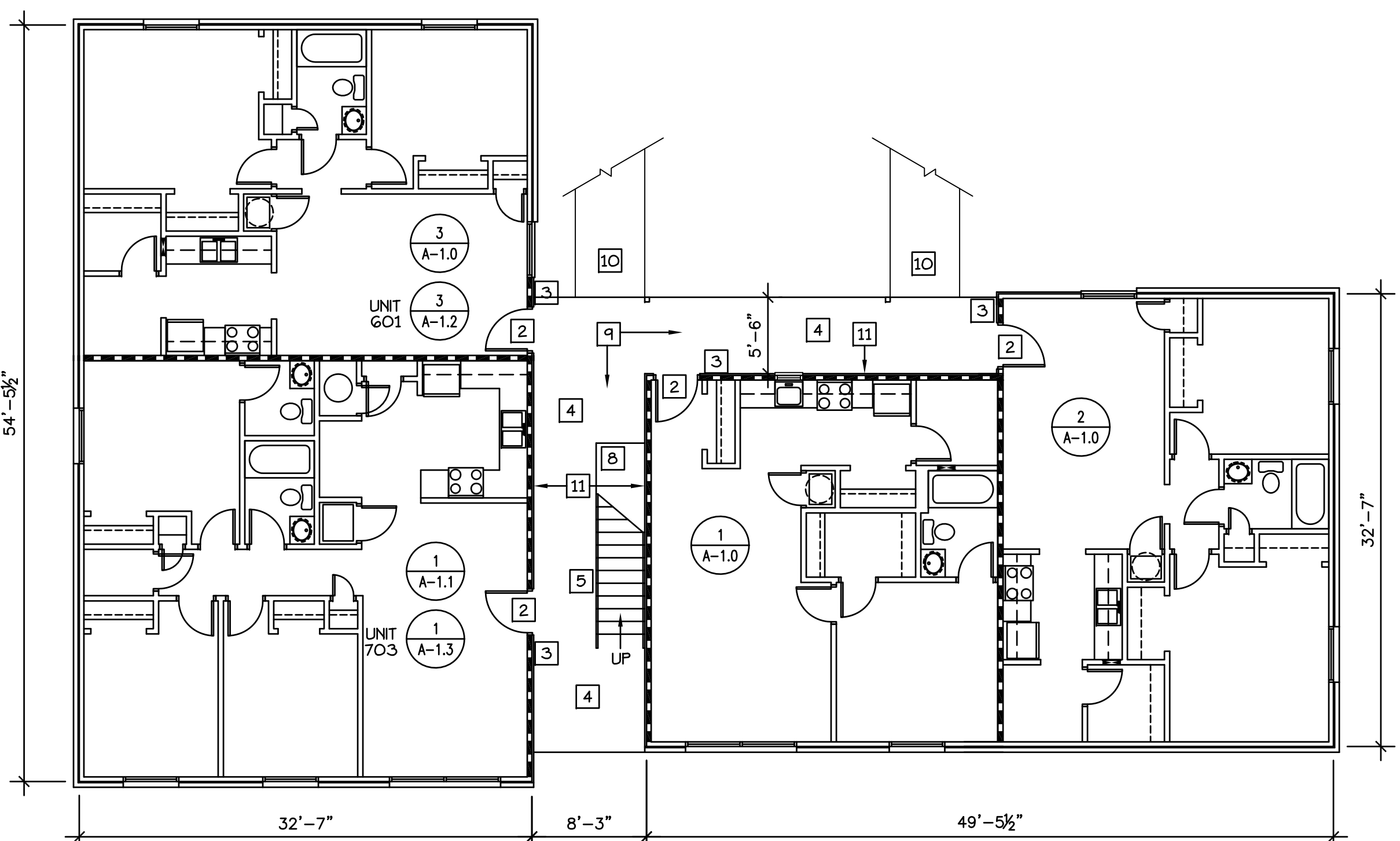
- |  |  |
|--|--|
| <p>1 PROVIDE AND INSTALL NEW 1 HR. RATED 22"x36" METAL ATTIC ACCESS PANEL.</p> <p>2 NEW 36"W CGO MIN RATED) MTL. INSULATED DOOR AND FRAMES W/PEEP HOLE, DEAD BOLT LOCK W/ INTERIOR THUMB LATCH, SINGLE HANDLE PASSAGE DOOR LEVER AND SPRING LOADED HINGES. PAINT DOOR AND FRAME.</p> <p>3 PROVIDE AND INSTALL NEW 'ENERGY STAR' LIGHT FIXTURES AT ENTRY DOOR. SEE ELEC. DWG'S.</p> <p>4 PROVIDE AND INSTALL NEW 'ENERGY STAR' LIGHT FIXTURES TO PROVIDE MIN. 1.0 FOOT CANDLE W/IN BRZVY AREA. SEE ELEC. DWG'S.</p> <p>5 REMOVE EXISTING STAIR STRUCTURE. PROVIDE AND INSTALL NEW STL. STRINGERS, PRECAST CONC. TREADS W/ CLOSED MTL. RISER. 42" STL. GUARDRAIL ON THE OPEN SIDE AND 1 1/2" DIA. HANDRAILS EACH SIDE. PAINT ALL EXPOSED STL. SEE STRUCT. DWG'S. AND A-2.1</p> | <p>6 REMOVE EXISTING ELEVATED WALKWAY. PROVIDE AND INSTALL STL. COLUMNS, FLOOR CHANNELS, MTL. DECKING AND 4,000 PSI CONC. TOPPING. PAINT ALL EXPOSED STL. SEE STRUCT. DWG'S. AND A-2.1</p> <p>7 PROVIDE AND INSTALL NEW 42" HIGH GUARDRAIL W/ PICKETS • 4' O.C. (PAINT) A-2.1</p> <p>8 PROVIDE AND INSTALL CANE DETECTION STL. RAIL • 27" A.F.F. 10/A-2.1</p> <p>9 AT BLDG'S 5,6,7+8 REMOVE EXISTING BRWY. CONC. ENTRY SLAB, BACKFILL W/GRAVEL AND INSTALL NEW 4" THICK, 4500 PSI CONCRETE W/GxG WWF TO PROVIDE LEVEL TRANSITION INTO ACCESSIBLE UNITS. SLOPE AWAY FROM BLDG. AT 1:50.</p> <p>10 NEW SIDEWALKS REFER TO SD-1 AND CIVIL DEG'S.</p> <p>11 REMOVE VINYL SIDING. PROVIDE AND INSTALL NEW HARDIP-LAP SIDING AND TRIM OVER TYVEK HOUSE WRAP AND PAINT.</p> |
|--|--|



**BLDG'S '1','4','6','7'**  
**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**BLDG'S '2','3','5','8'**  
**FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**BLDG'S '1','4','6','7'**  
**FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

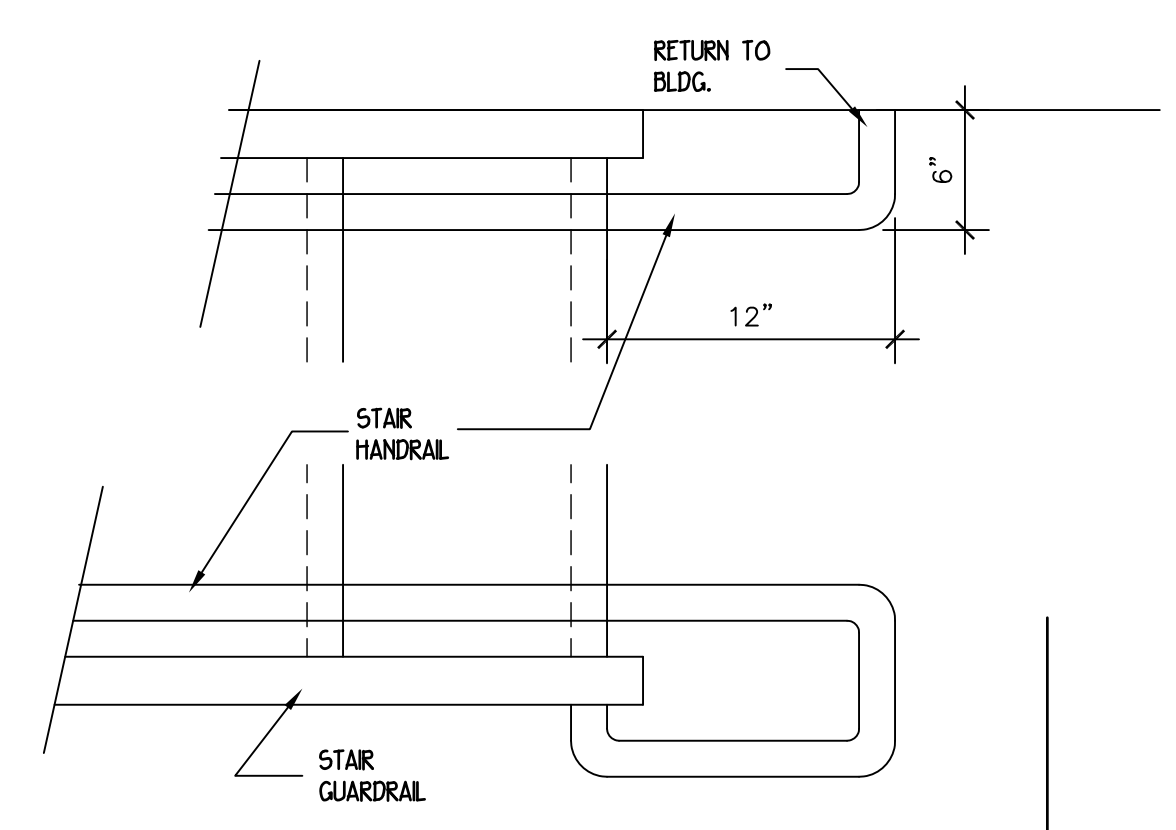
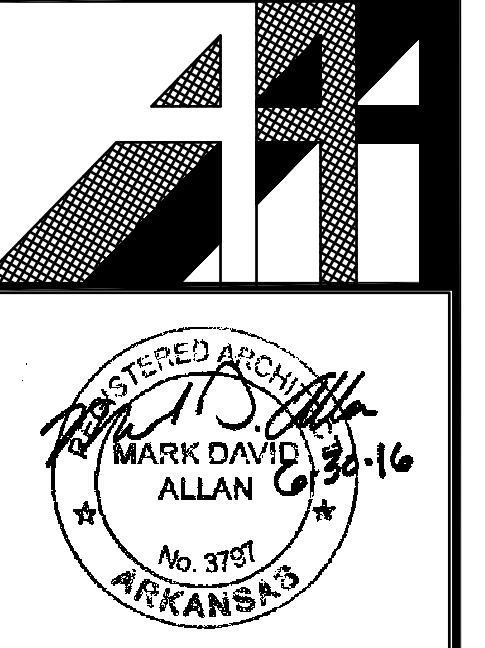
DRWN BY: MGA
CHKD BY: MDA
APPR BY: MDA
DATE: 6-30-16
REVISIONS

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

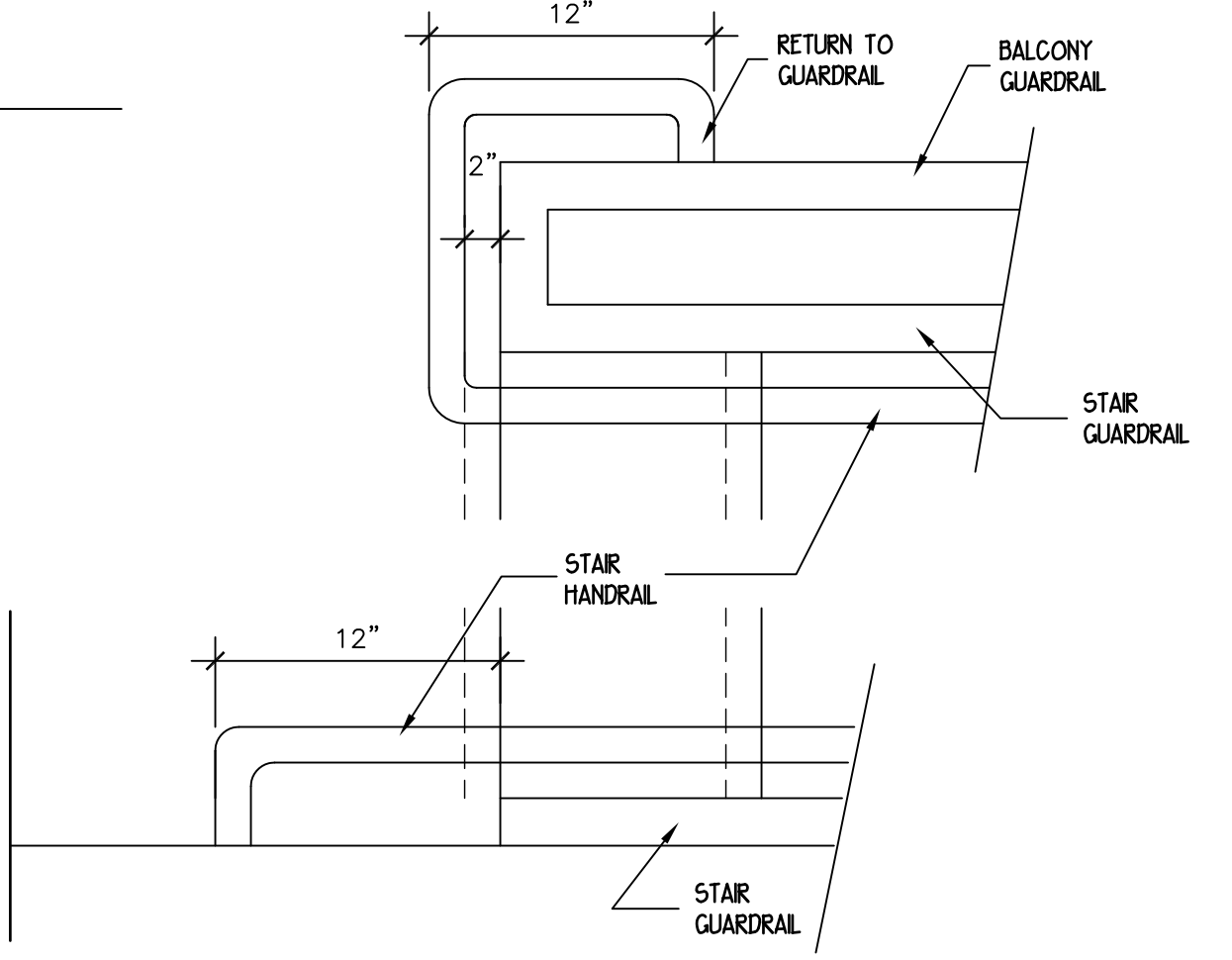
**ROOF PLANS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
6516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

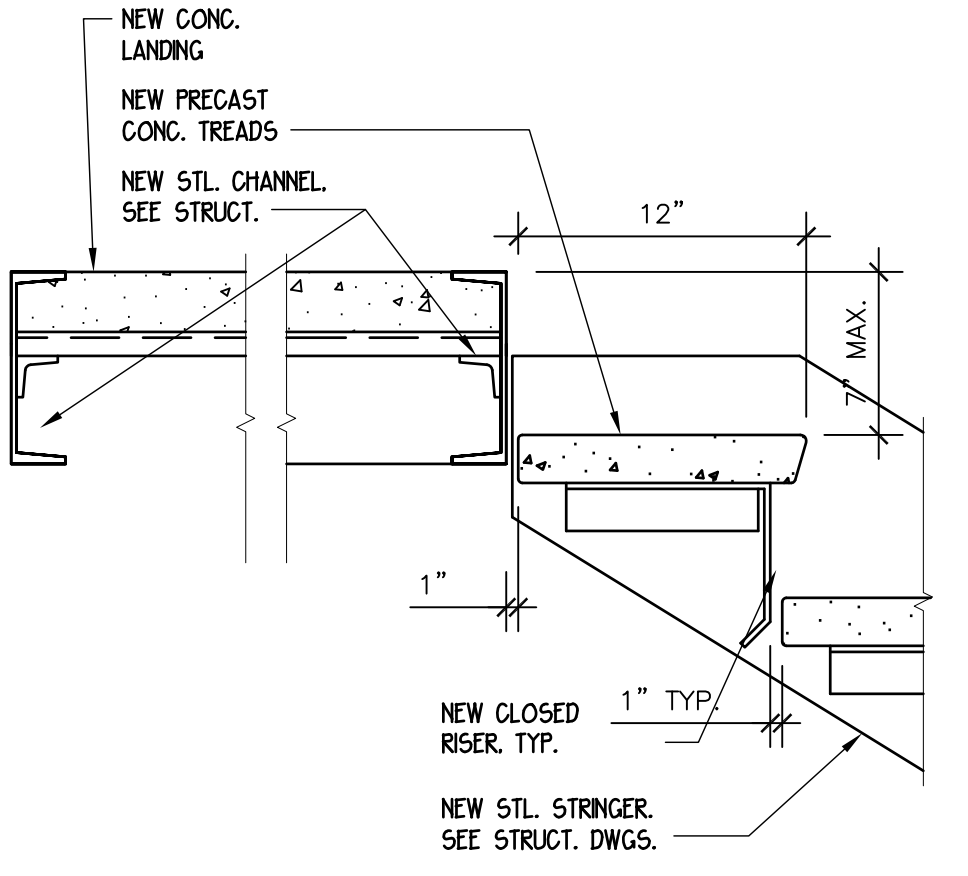
865 / 689-1302



3  
A-2.1  
**BOTTOM OF STAIR RAILS**  
SCALE: 1 1/2" = 1'-0"



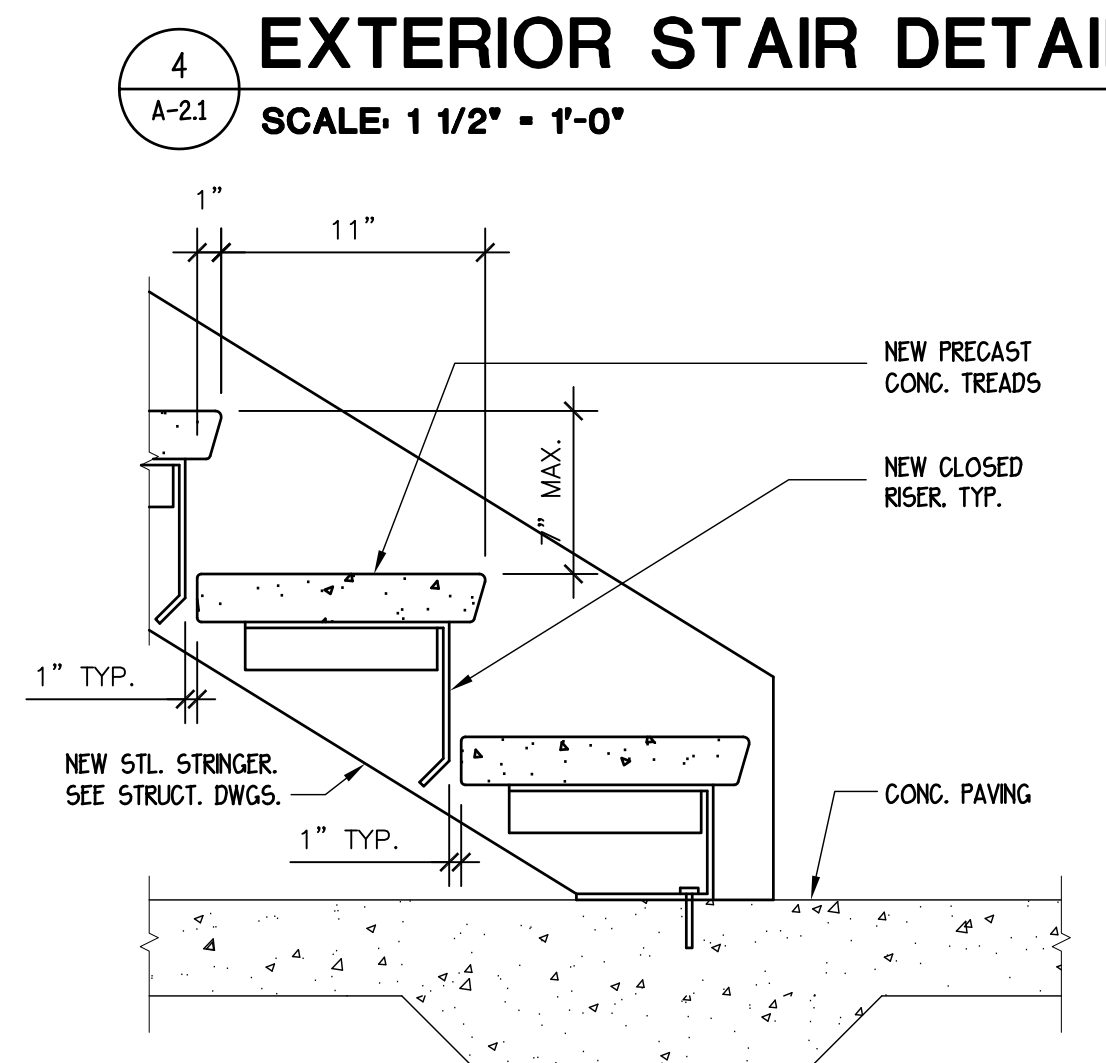
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A-2.1  
**TOP OF STAIR RAILS**  
SCALE: 1 1/2" = 1'-0"



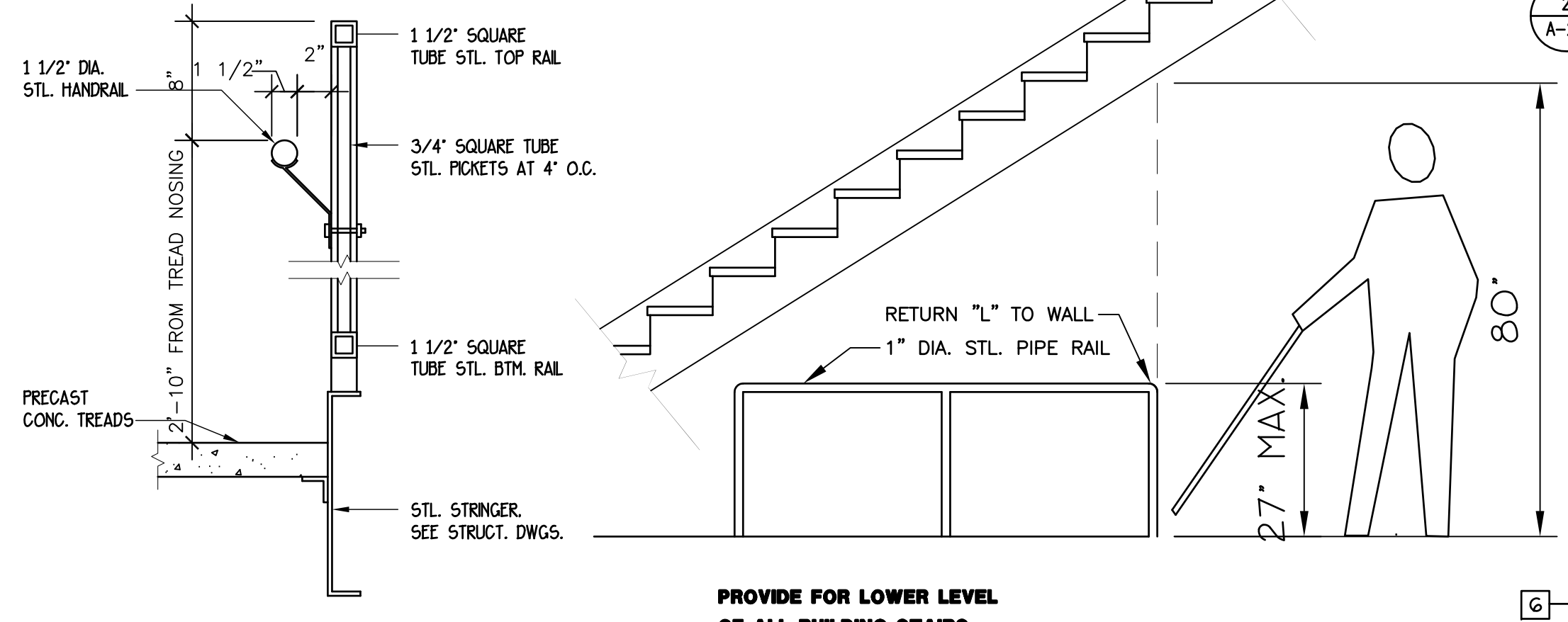
4  
A-2.1  
**EXTERIOR STAIR DETAIL**  
SCALE: 1 1/2" = 1'-0"



8  
A-2.1  
**LANDING DETAIL**  
SCALE: 1 1/2" = 1'-0"

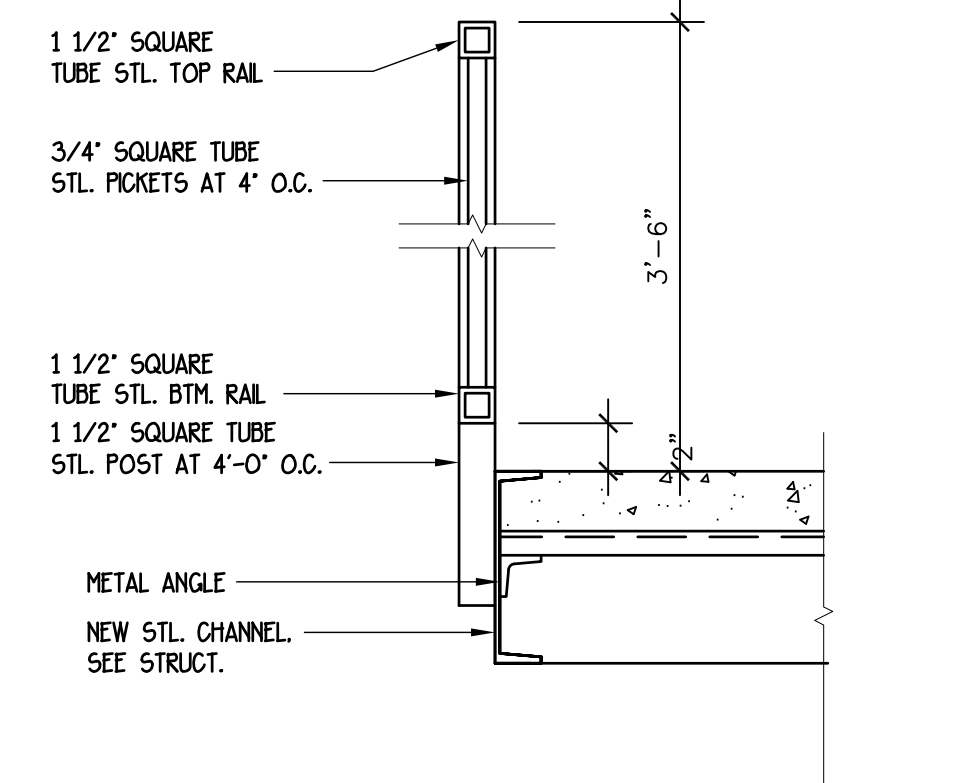


5  
A-2.1  
**EXTERIOR STAIR DETAIL**  
SCALE: 1 1/2" = 1'-0"

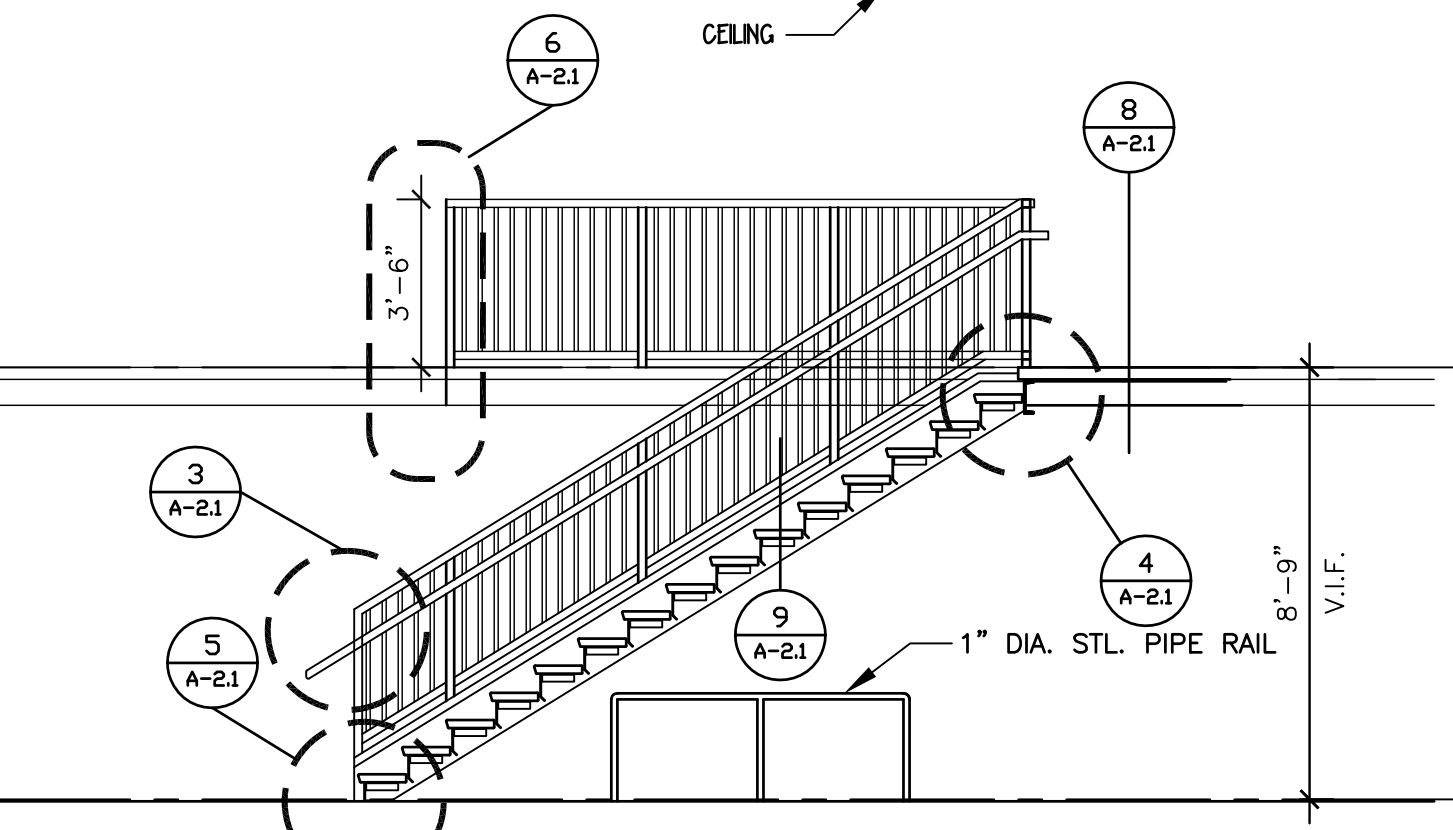


9  
A-2.1  
**RAILING DETAIL**  
SCALE: 1 1/2" = 1'-0"

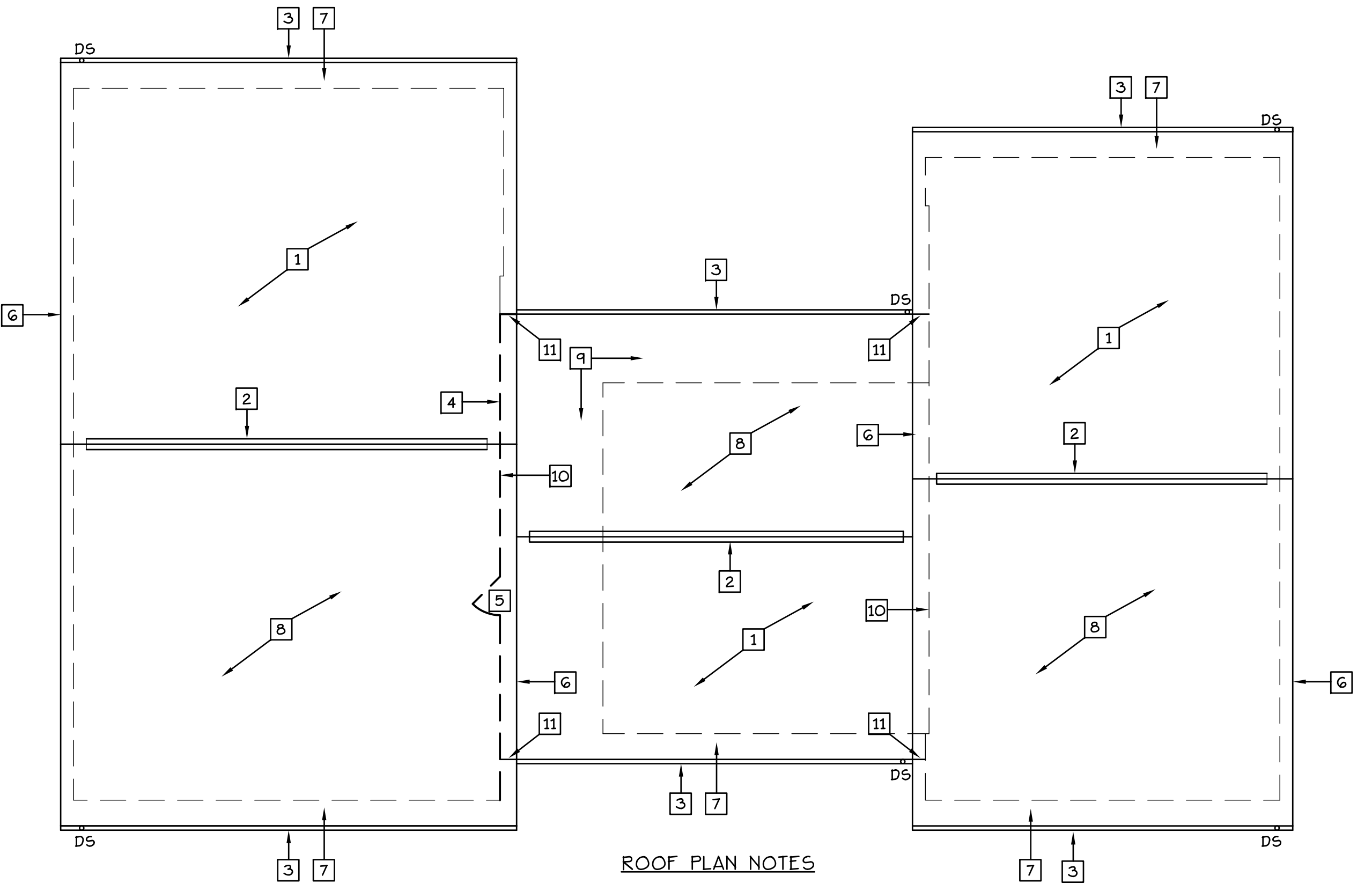
11  
A-2.1  
**CANE DETECTION RAIL**  
SCALE: 1/2" = 1'-0"



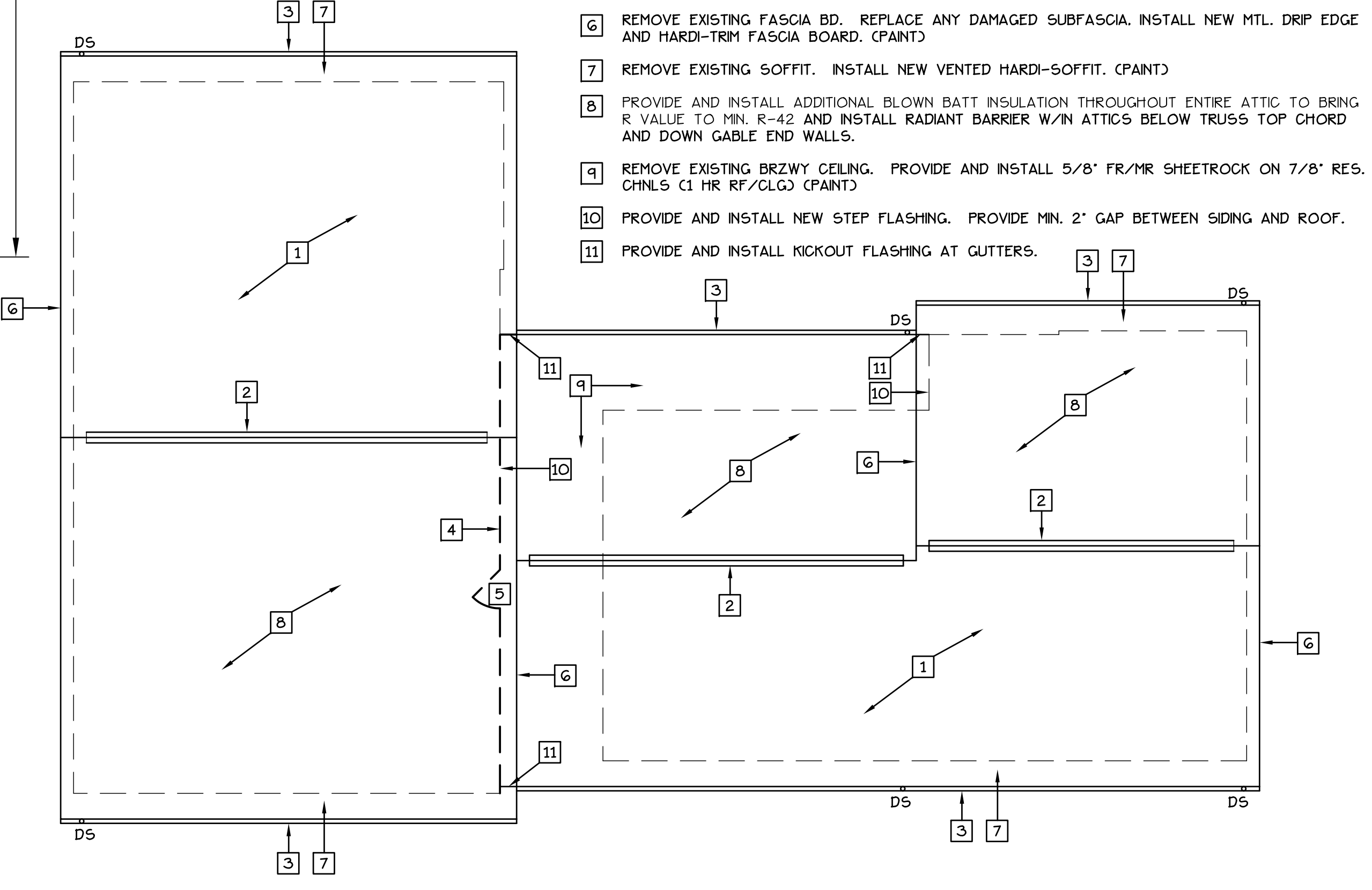
6  
A-2.1  
**GUARDRAIL DETAIL**  
SCALE: 1 1/2" = 1'-0"



10  
A-2.1  
**NEW STAIR SECTION**  
SCALE: 1/4" = 1'-0"



2  
A-2.1  
**BLDG'S '2','3','5','8' ROOF PLAN**  
SCALE: 1/8"=1'-0"

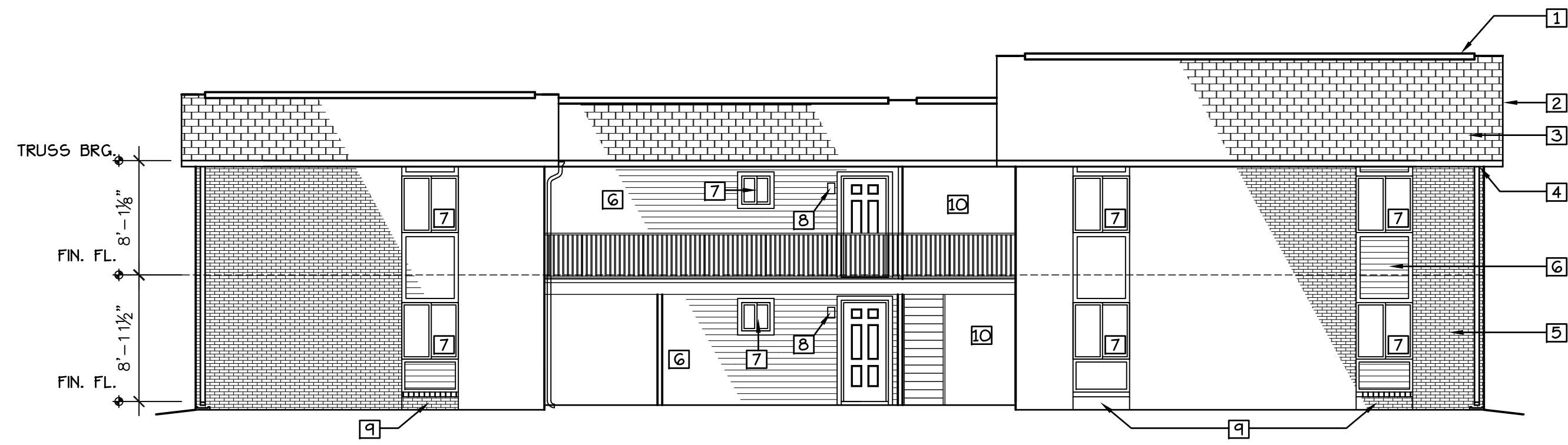


1  
A-2.1  
**BLDG'S '1','4','6','7' ROOF PLAN**  
SCALE: 1/8"=1'-0"

ROOF PLAN NOTES

- 1 REMOVE EXISTING ASPHALT SHINGLES, FELT AND ABANDONED ROOF CAPS. REPLACE DAMAGED ROOF SHEATHING AS REQ'D. INSTALL NEW 15# FELT AND CLASS 'A' 30 YR. ASPHALT DIMENSIONAL SHINGLES (ANTI-FUNGAL).
- 2 CREATE 1 1/2" CONT. OPENING ALONG RIDGE AND INSTALL SHINGLE OVER RIDGE VENT.
- 3 REMOVE EXISTING FASCIA BOARD. REPLACE ANY DAMAGED SUBFASCIA. INSTALL MTL. DRIP EDGE, 1x6 HARDI-TRIM FASCIA, 5" OGEE GUTTERS, 2x3 RECT. CORR. DOWNSPOUTS AND CONC. SPLASH BLOCKS.
- 4 INSTALL 1/2" GYP. BD. ATTIC DRAFT-STOP CONT. ALONG FULL LENGTH OF ROOF TRUSS IN LINE W/TENANT SEPARATION WALL BELOW.
- 5 PROVIDE AND INSTALL 22x36 METAL ACCESS PNL.
- 6 REMOVE EXISTING FASCIA BD. REPLACE ANY DAMAGED SUBFASCIA. INSTALL NEW MTL. DRIP EDGE AND HARDI-TRIM FASCIA BOARD. (PAINT)
- 7 REMOVE EXISTING SOFFIT. INSTALL NEW VENTED HARDI-SOFFIT. (PAINT)
- 8 PROVIDE AND INSTALL ADDITIONAL BLOWN BATT INSULATION THROUGHOUT ENTIRE ATTIC TO BRING R VALUE TO MIN. R-42 AND INSTALL RADIANT BARRIER W/IN ATTICS BELOW TRUSS TOP CHORD AND DOWN GABLE END WALLS.
- 9 REMOVE EXISTING BRZVY CEILING. PROVIDE AND INSTALL 5/8" FR/MR SHEETROCK ON 7/8" RES. CHNLS (1 HR RF/CLG) (PAINT)
- 10 PROVIDE AND INSTALL NEW STEP FLASHING. PROVIDE MIN. 2" GAP BETWEEN SIDING AND ROOF.
- 11 PROVIDE AND INSTALL KICKOUT FLASHING AT GUTTERS.

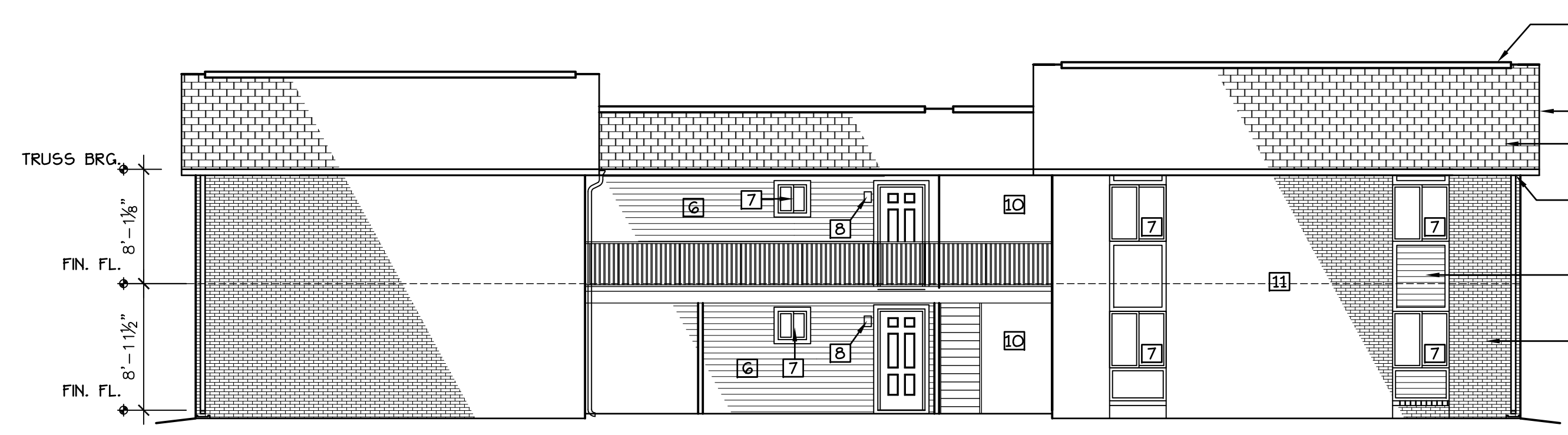
PROVIDE FOR LOWER LEVEL OF ALL BUILDING STAIRS



**BLDG'S '1','4','6','7'  
FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



**BLDG'S '1','4','6','7'  
REAR ELEVATION**  
SCALE: 1/8"=1'-0"



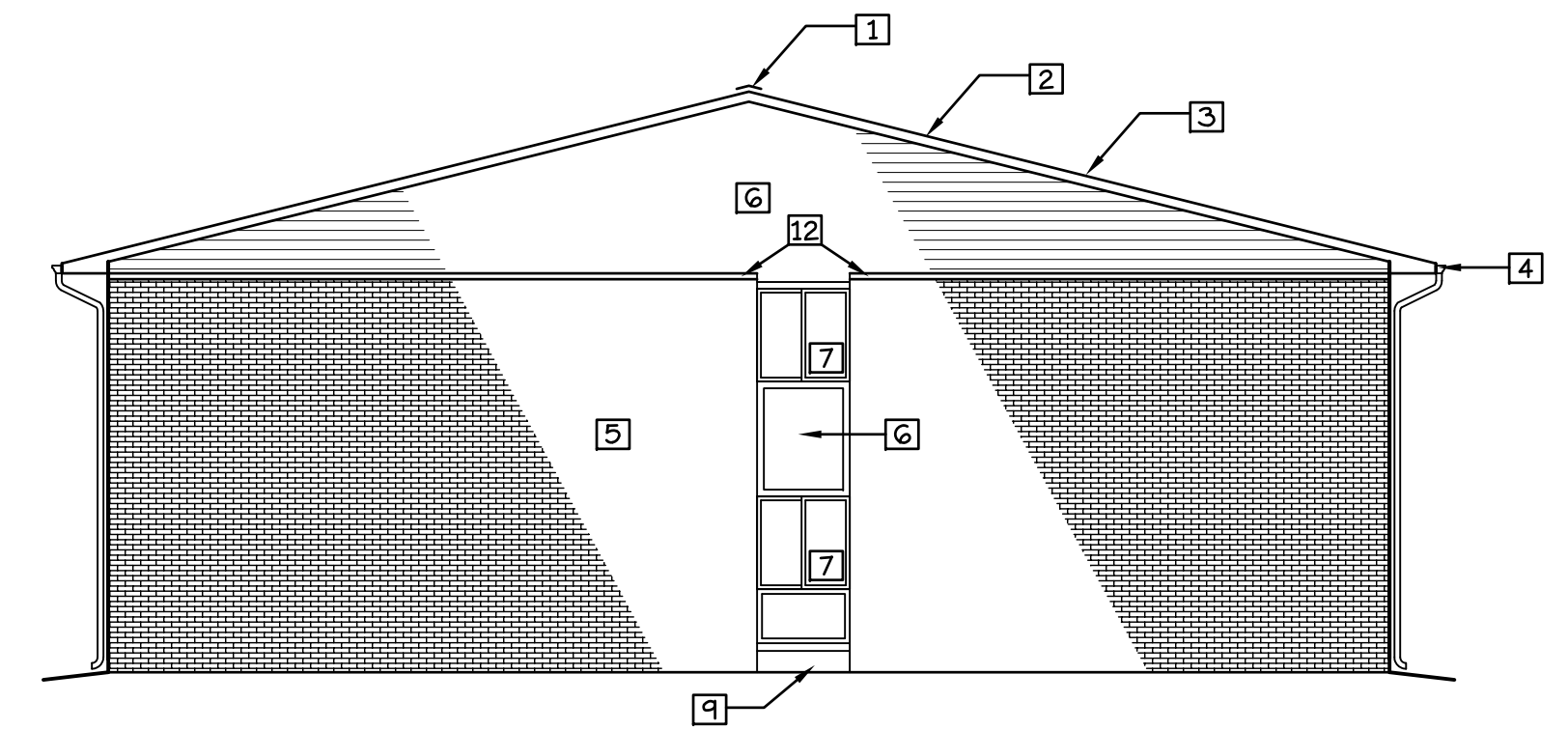
**BLDG'S '2','3','5','8'  
FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



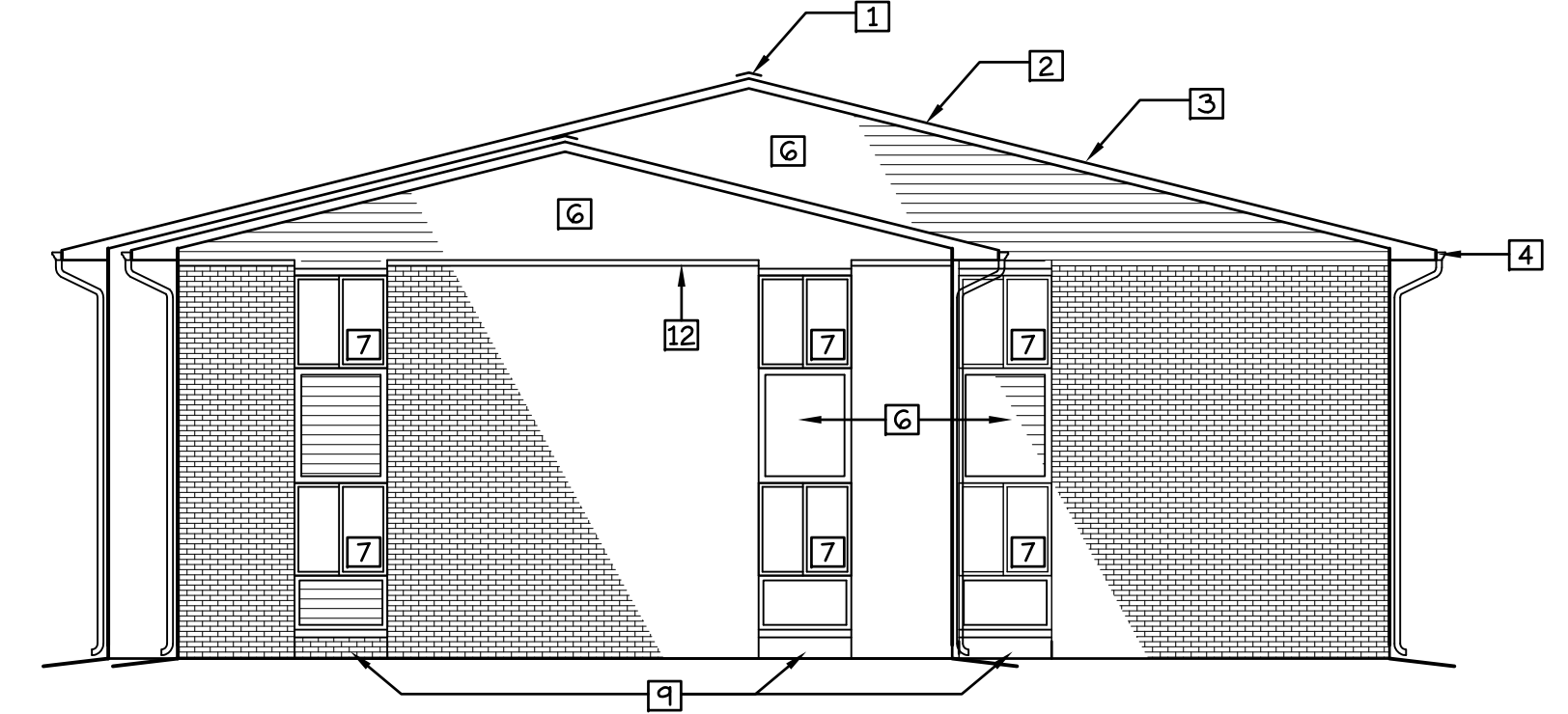
**BLDG'S '2','3','5','8'  
REAR ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION NOTES:**

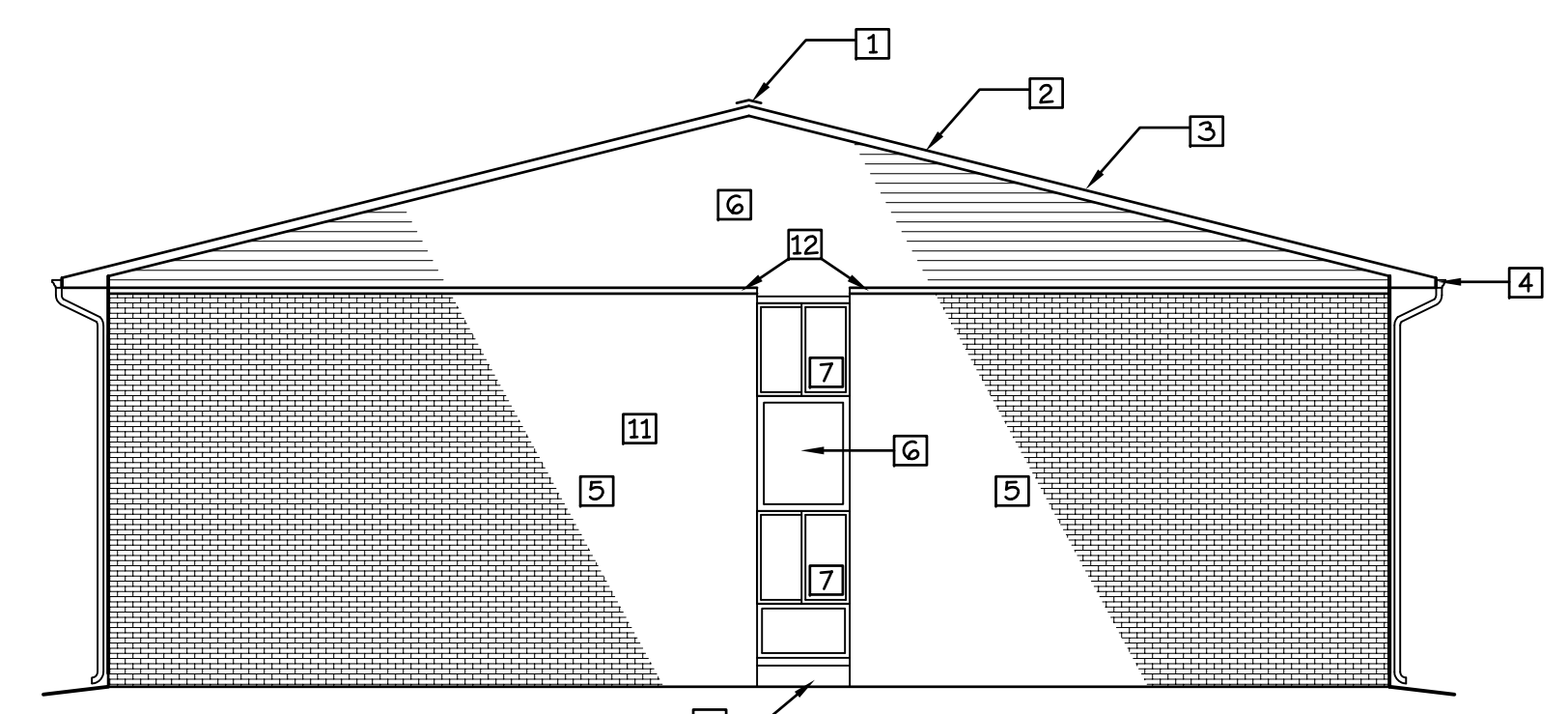
- 1 NEW SHINGLE OVER RIDGE VENTS
- 2 NEW MTL. DRIP EDGE AND HARDI-TRIM FASCIA TO MATCH EXISTING SIZE REMOVED. (PAINT).
- 3 NEW 30 YR. ASPHALT DIMENSIONAL ROOF SHINGLES (ANTI-FUNGAL) OVER 15# FELT.
- 4 NEW HARDI-TRIM FASCIA, ALUMN. 5' OGEE GUTTERS AND 2x3 DOWNSPOUTS. PROVIDE CONC. SPLASH BLOCKS AT EACH DOWNSPOUT.
- 5 EXISTING BRICK (PRESSURE WASH)
- 6 REMOVE VINYL SIDING. PROVIDE AND INSTALL NEW HARDI-LAP SIDING AND TRIM OVER TYVEK HOUSE WRAP AND PAINT.
- 7 REMOVE EXISTING WINDOW UNITS. PROVIDE AND INSTALL NEW VINYL WINDOW UNITS W/ ARGON GAS FILLED INSULATED GLASS, LOW-E COATING AND U-FACTOR 0.32. + SHGC 0.29.
- 8 PROVIDE AND INSTALL NEW 'ENERGY STAR' ENTRY LIGHT.
- 9 PROVIDE AND INSTALL NEW BRCK APRON W/ROWLOCK 8' A.F.F.
- 10 WITHIN BRZWY. PAINT ALL EXPOSED STEEL, DECKING AND GUARDRAILS.
- 11 FOR BLDG. B THAT WAS PREVIOUSLY REPAIRED. REMOVE VINYL SIDING. PROVIDE AND INSTALL TYVEK AND FACE BRICK W/TIES TO MATCH THE APPEARANCE OF THE OTHER BUILDINGS ON SITE.
- 12 NEW MTL. BRICK CAP FLASHING (PRE-FINISHED) TO MATCH SIDING.



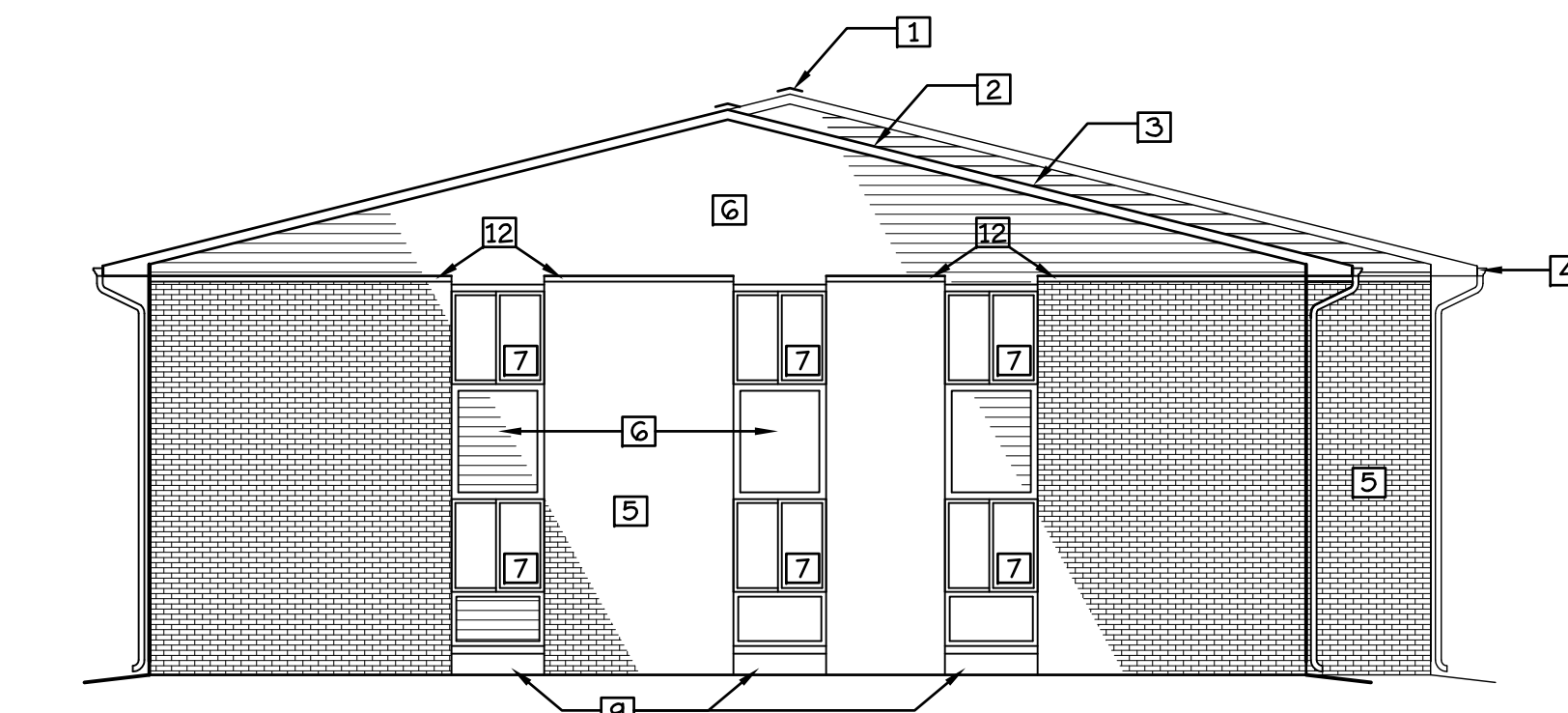
**BLDG'S '1','4','6','7'  
SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**BLDG'S '1','4','6','7'  
SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**BLDG'S '2','3','5','8'  
SIDE ELEVATION**  
SCALE: 1/8"=1'-0"

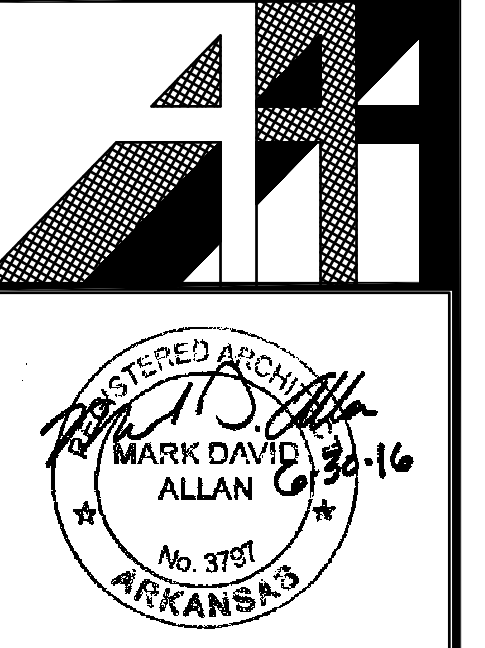


**BLDG'S '2','3','5','8'  
SIDE ELEVATION**  
SCALE: 1/8"=1'-0"

CAD FILE:

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**WHITE RIVER APARTMENTS**  
 2800 MARION DRIVE  
 DIAZ, ARKANSAS  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 KNOXVILLE, TENNESSEE 37912  
 865 / 689-1302  
 6516 WALLWOOD ROAD



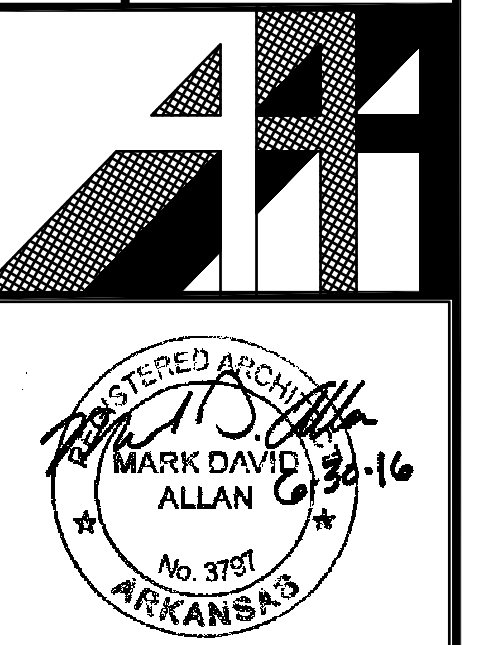
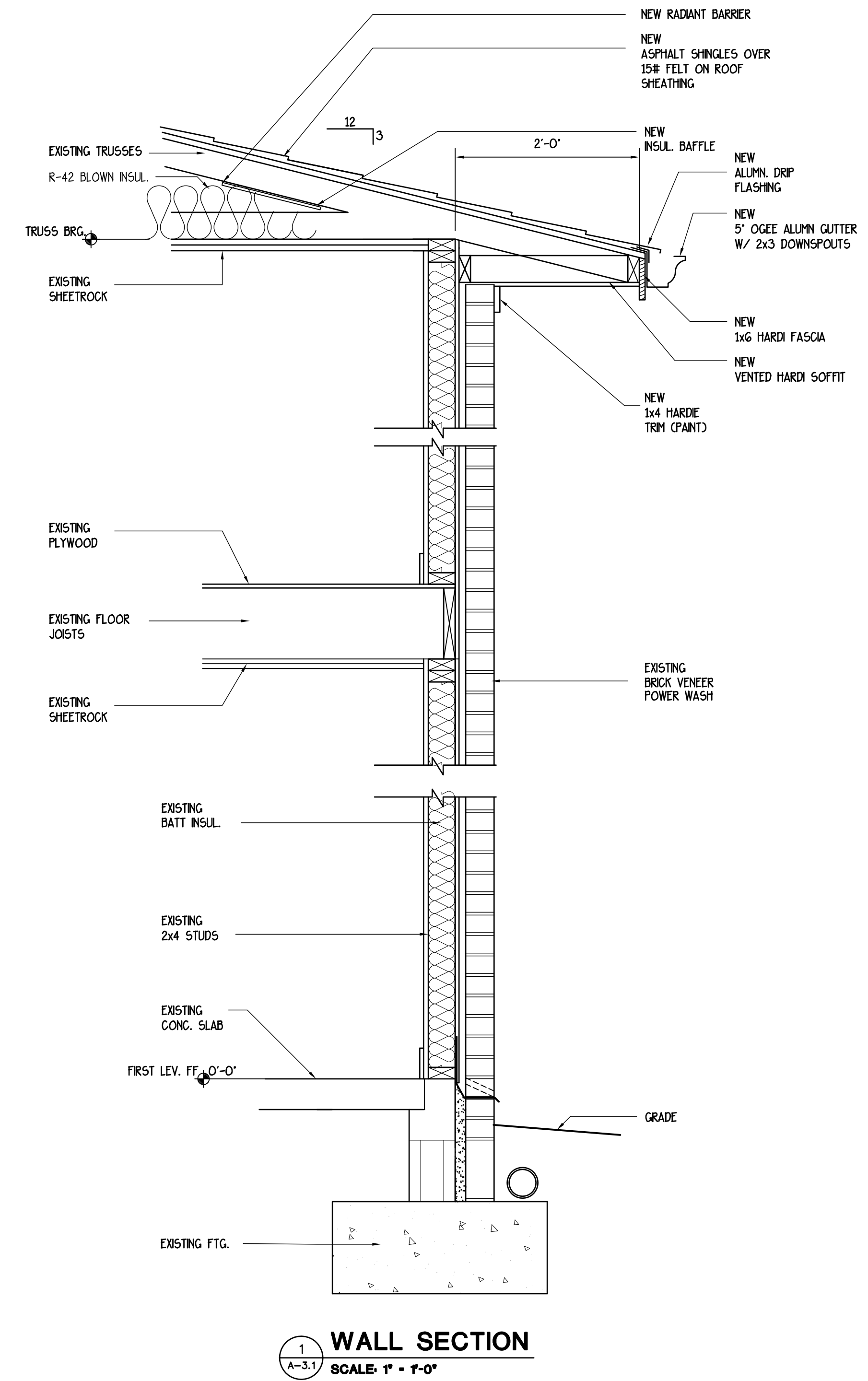
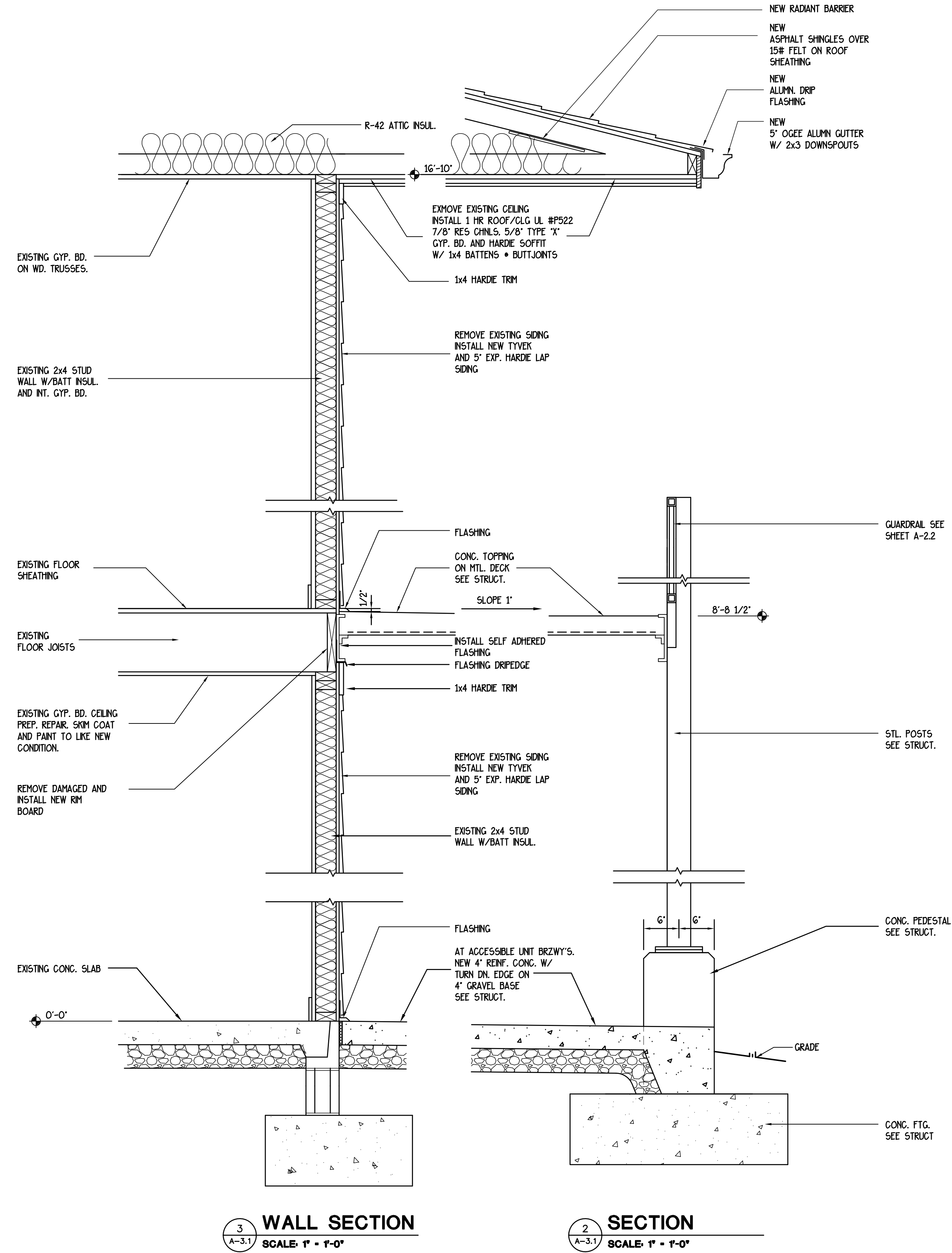
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**A-3.0**

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DATE: 6-30-16
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**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

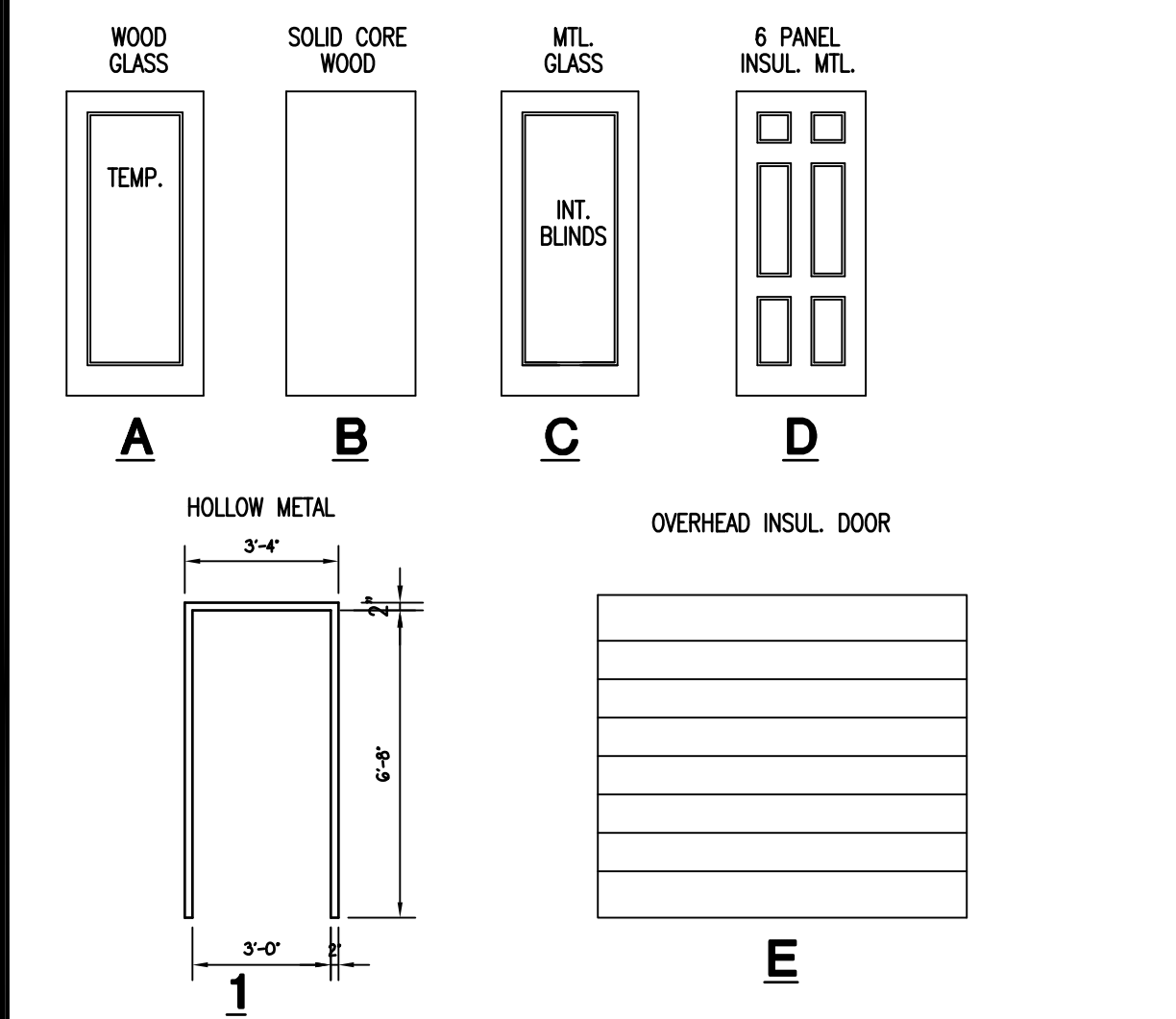
**WALL SECTIONS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
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865 / 689-1302  
6516 WALLWOOD ROAD



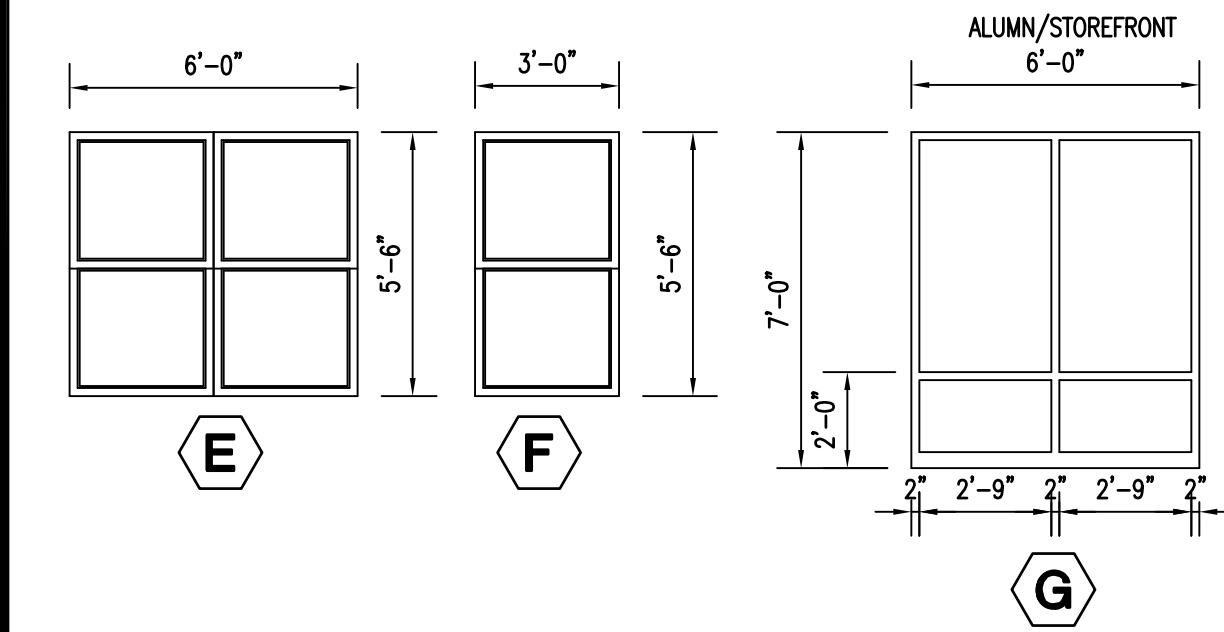
RM. NO.	ROOM NAME	FLOOR	BASE	WALLS	CEIL.	CEIL. HT.	REMARKS
101	WAITING	VP	V	PNT	PNT	9'-0"	
102	RECEPTION	VP	V	PNT	PNT	9'-0"	
103	MANAGER	VP	V	PNT	PNT	9'-0"	
104	FILES	VP	V	PNT	PNT	9'-0"	
105	ELEC./ SECURITY	VP	V	PNT	PNT	9'-0"	
106	COMMUNITY ROOM	VP	V	PNT	PNT	9'-0"	
107	LAUNDRY	VP	V	PNT	PNT	9'-0"	
108	WOMEN	PT	V	PNT	PNT	9'-0"	
109	MEN	PT	V	PNT	PNT	9'-0"	
110	MAINTENANCE	EPOXY	V	PNT	PNT	9'-0"	

NO.	SIZE	TYPE	FRAME	T-HOLD	HDWE.	REMARKS
1	3'-0" X 6'-8" X 1 3/4"	C	MTL	ADA	LOCK	
2	3'-0" X 6'-8" X 1 3/4"	A	MTL		LOCK	
3	3'-0" X 6'-8" X 1 3/4"	B	MTL		LOCK	
4	3'-0" X 6'-8" X 1 3/4"	B	MTL		LOCK	
5	3'-0" X 6'-8" X 1 3/4"	A	MTL		LOCK	
6	3'-0" X 6'-8" X 1 3/4"	C	MTL	ADA	LOCK	W/FULL VIEW SIDELITE
7	3'-0" X 6'-8" X 1 3/4"	B	MTL		LOCK	45 MIN RATED W/CLOSER
8	OPEN					
9	3'-0" X 6'-8" X 1 3/4"	B	MTL		PRIV	
10	3'-0" X 6'-8" X 1 3/4"	B	MTL		PRIV	
11	3'-0" X 6'-8" X 1 3/4"	B	MTL		LOCK	45 MIN RATED W/CLOSER
12	3'-0" X 6'-8" X 1 3/4"	D	MTL	ADA	LOCK	
13	8'-0" X 7'-0" X	E	TRACK		LOCK	OVERHEAD COIL

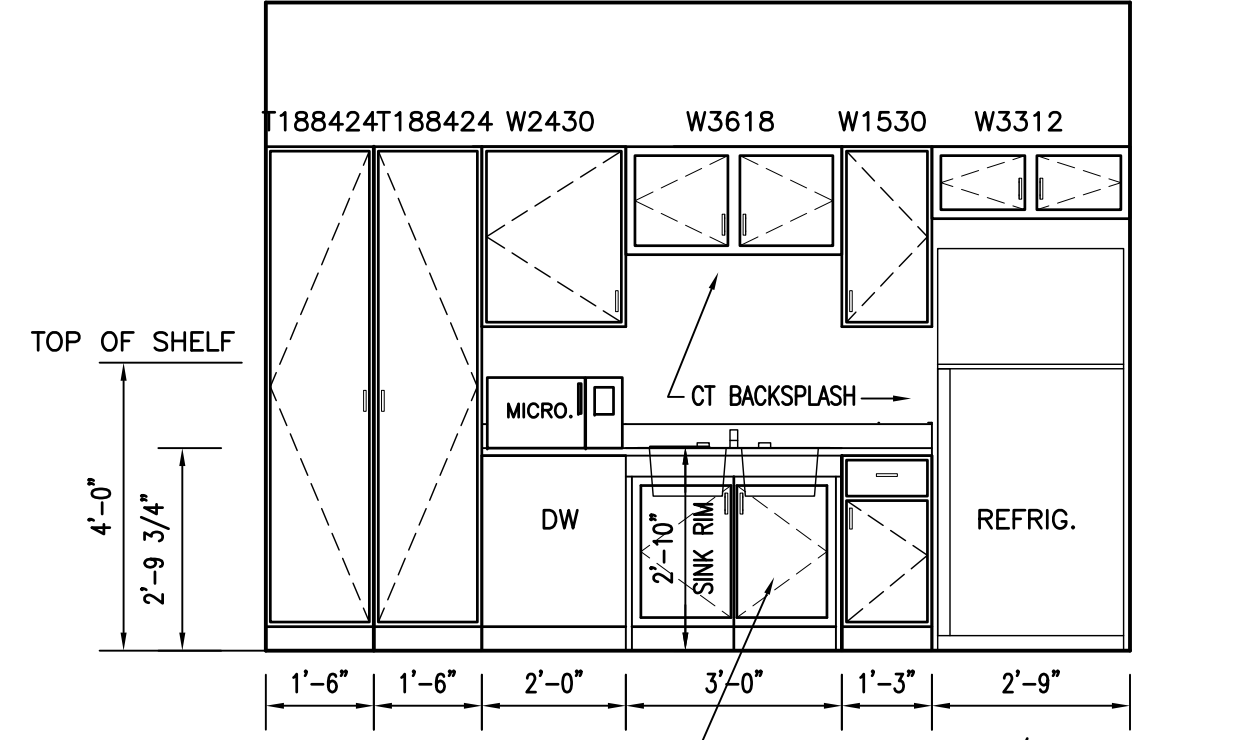
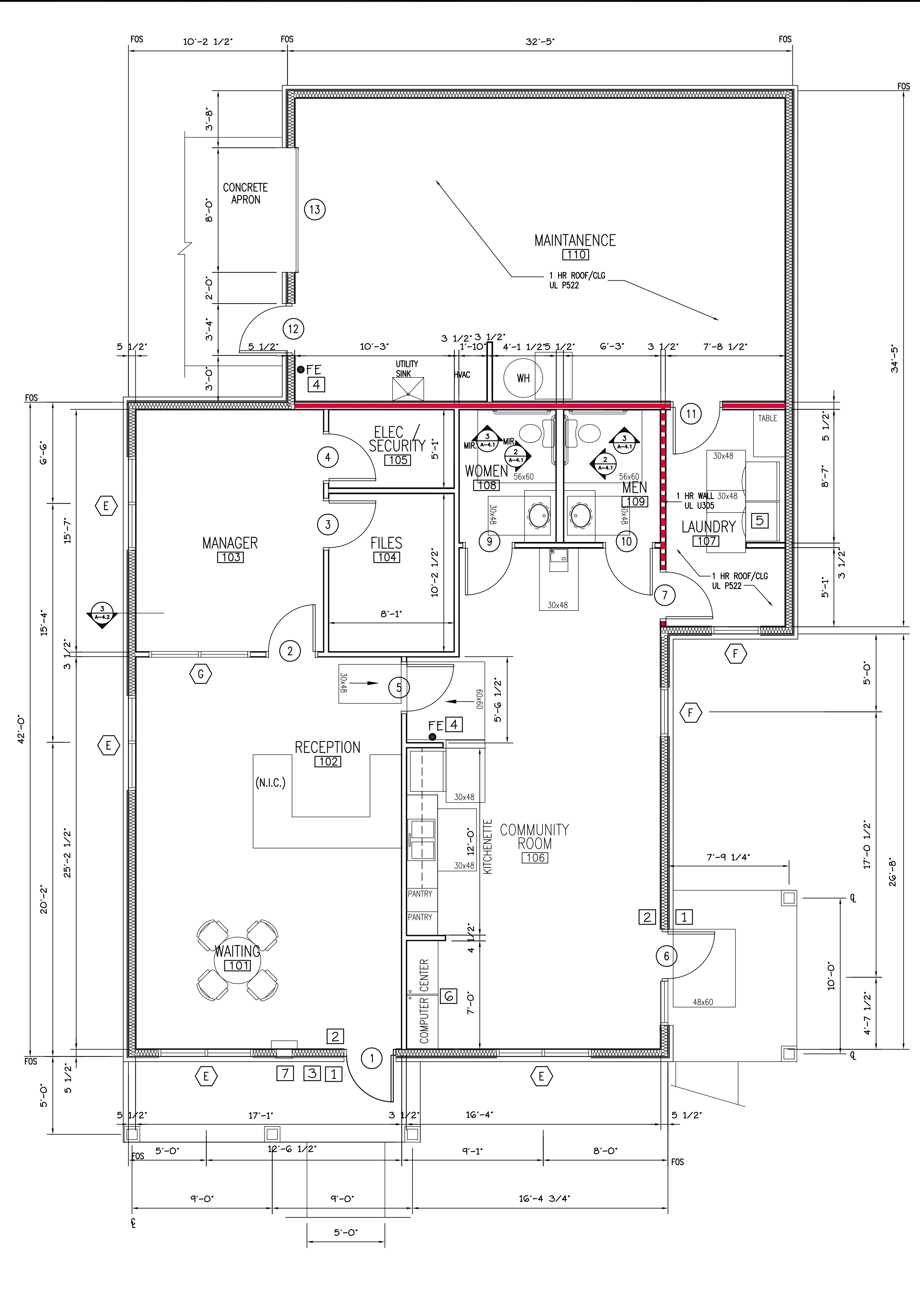


NO.	SIZE	GLAZING	TYPE
E	(2) 3'-0" X 5'-6"	5/8"	VINYL SINGLE HUNG INSULATED GLASS, LOW E W/ ARGON
F	3'-0" X 5'-6"	5/8"	VINYL SINGLE HUNG INSULATED GLASS, LOW E W/ ARGON

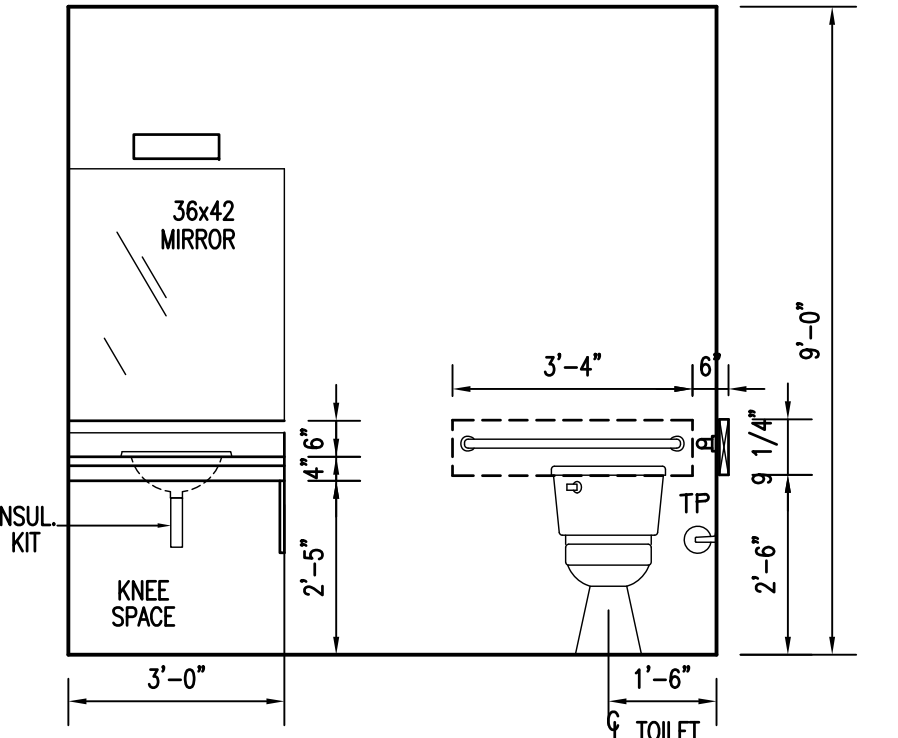
NOTE: PROVIDE VINYL BLINDS W/ ALL ACCESSORIES AS RECOMMENDED FOR REQ'D INSTALLATION AT ALL WINDOWS.



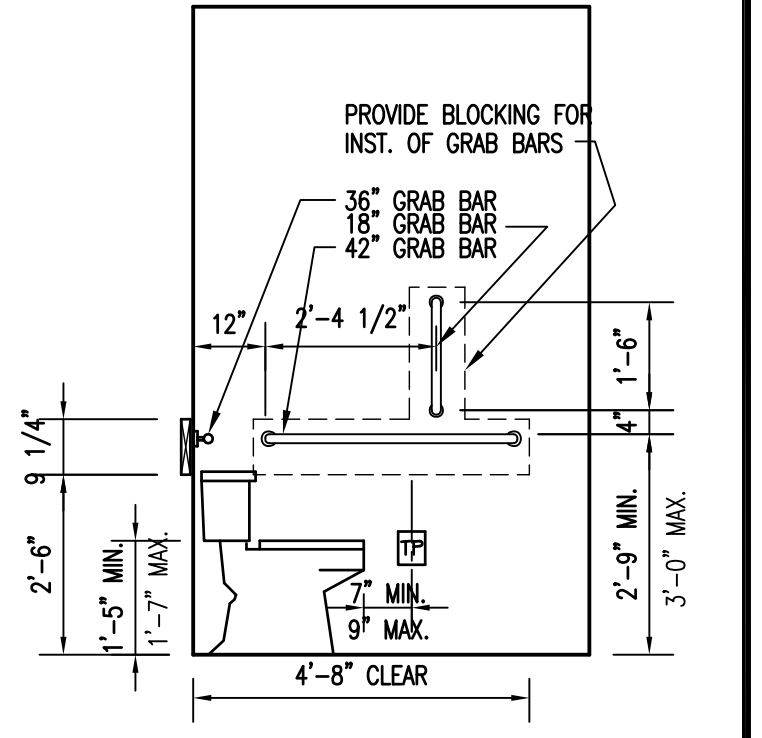
**COMMUNITY/OFFICE FLOOR PLAN**  
SCALE: 1/4" = 1'-0" 2,275 SF GROSS



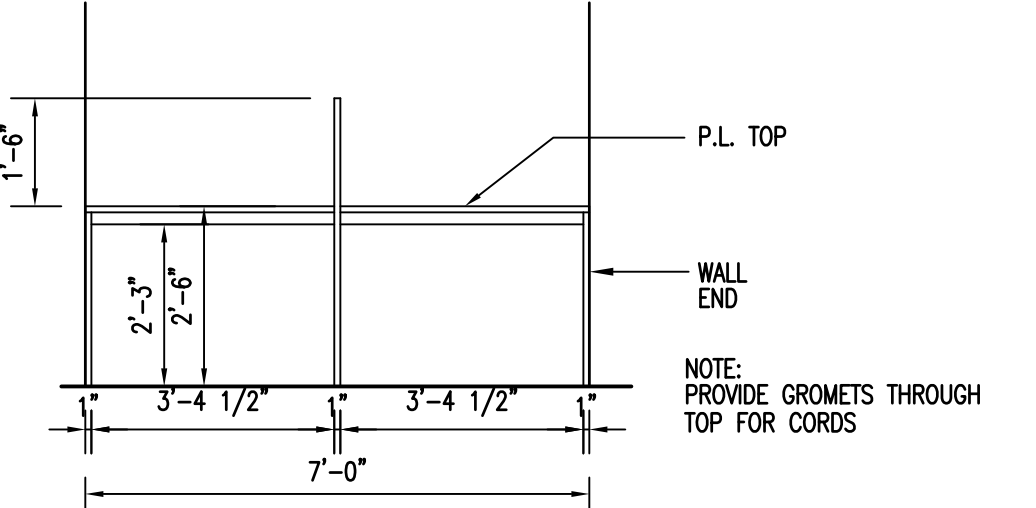
**1 KITCHEN**  
SCALE: 3/8" = 1'-0"



**2 TOILET**  
SCALE: 3/8" = 1'-0"



**3 TOILET**  
SCALE: 3/8" = 1'-0"



**4 COMPUTER CENTER**  
SCALE: 3/8" = 1'-0"

- PLAN NOTES:**
- ACCESSIBLE BUILDING ENTRANCE SIGN W/ INTERNATIONAL SYMBOL OF ACCESSIBILITY MOUNTED W/CENTERLINE 54" A.F.F.
  - TACTILE SIGNAGE STATING "EXIT" W/BRAILLE MOUNTED W/CENTERLINE 54" A.F.F.
  - LEASING CENTER OFFICE HOURS SIGN. SEE CS-1
  - WALL MOUNTED FIRE EXTINGUISHER. REFER TO SPEC BOOK
  - PROVIDE AND INSTALL ONE "ENERGY STAR" WASHER AND DRYER THAT MEET ACCESSIBILITY STANDARDS OF UFAS AND ADA WITH RESPECT TO REACH RANGE AND CONTROLS.
  - COMPUTER CENTER W/HIGH SPEED INTERNET
  - RENT DROP BOX. REFER TO SPEC BOOK.

- WALL LEGEND**
- INDICATES 1 HR RATED WALL. UL# U305
  - TYPICAL INTERIOR PARTITION: 2x4 WD. STUDS + 16" O.C. W/ 5/8" GYP. BD. EA. SIDE. PROVIDE AND INSTALL 3" SOUND BATT W/IN ALL STUD CAVITIES
  - INDICATES 1 HR RATED WALL. UL# U305 W/ FLYWD. ONE SIDE SEE STRUCT. DWG'S.

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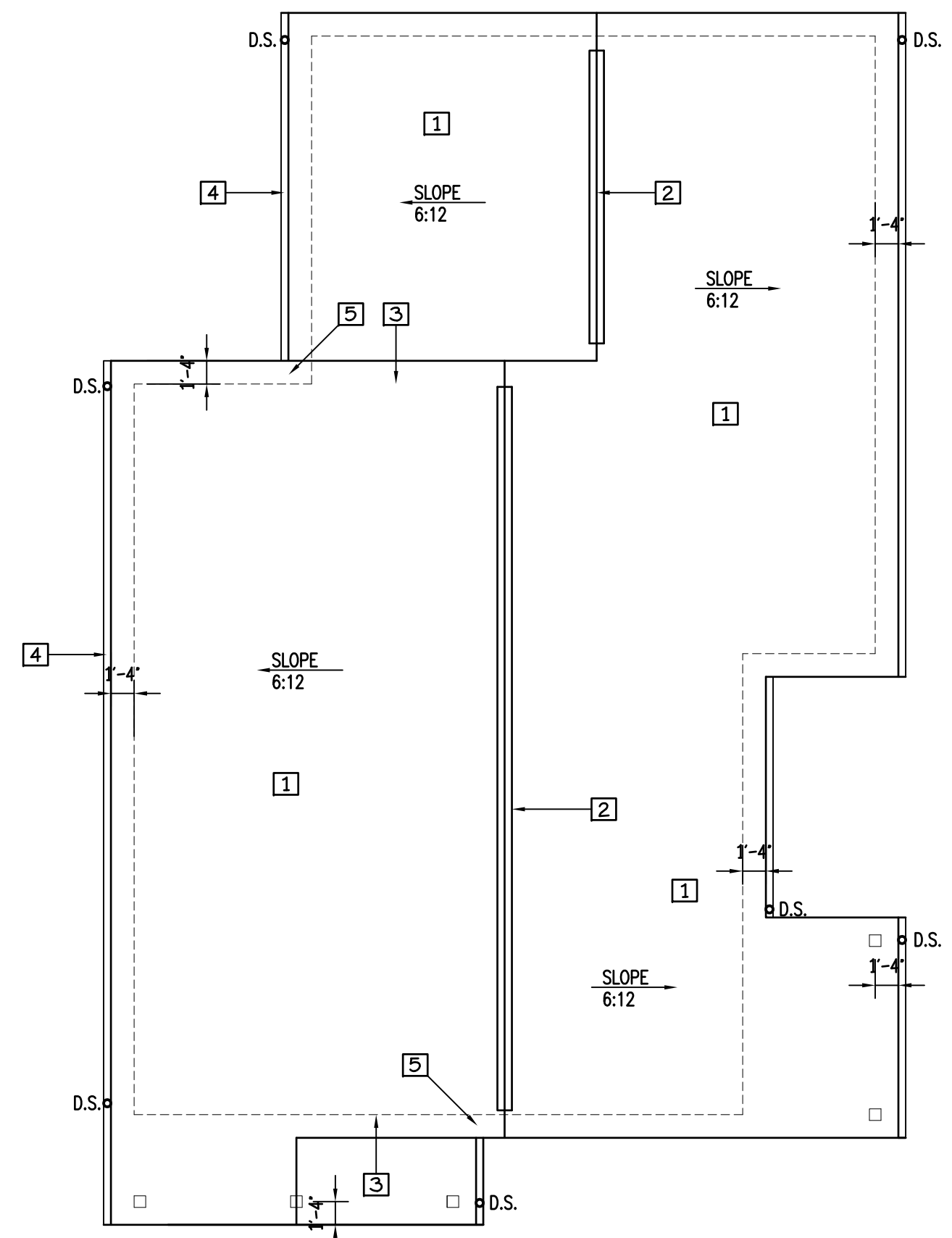
**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE FLOOR PLANS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

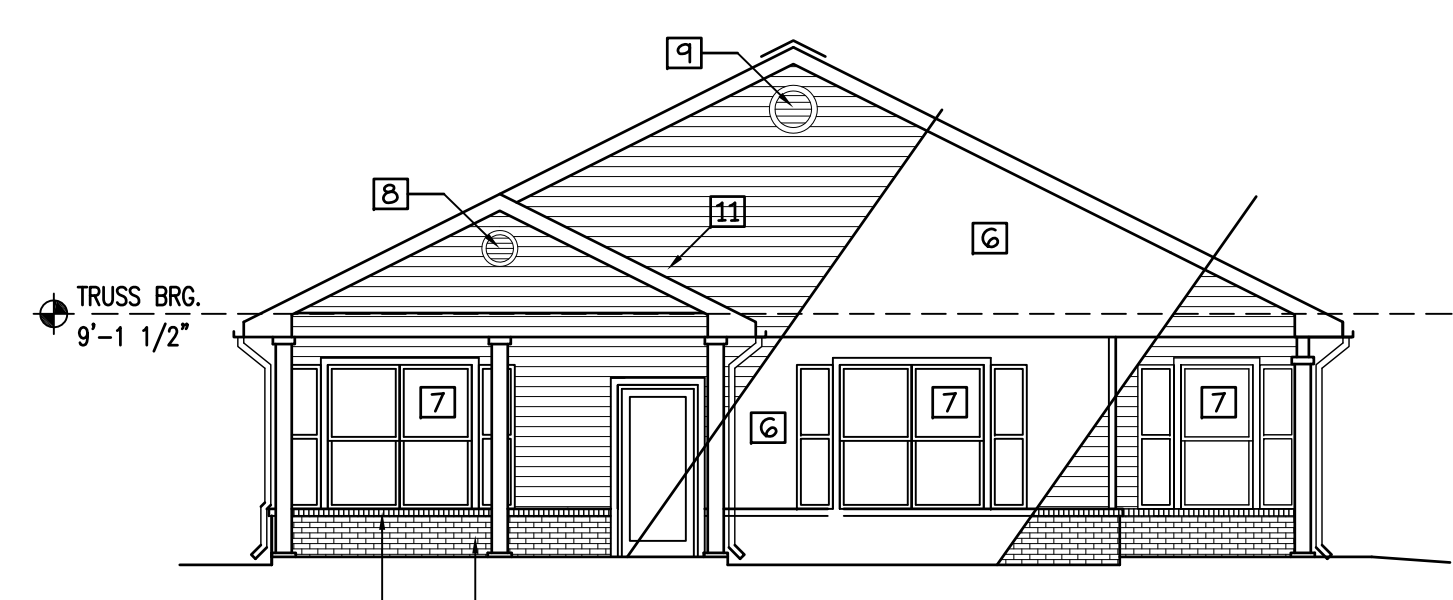
665 / 689-1302  
5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

SHEET NUMBER  
**A-4.0**

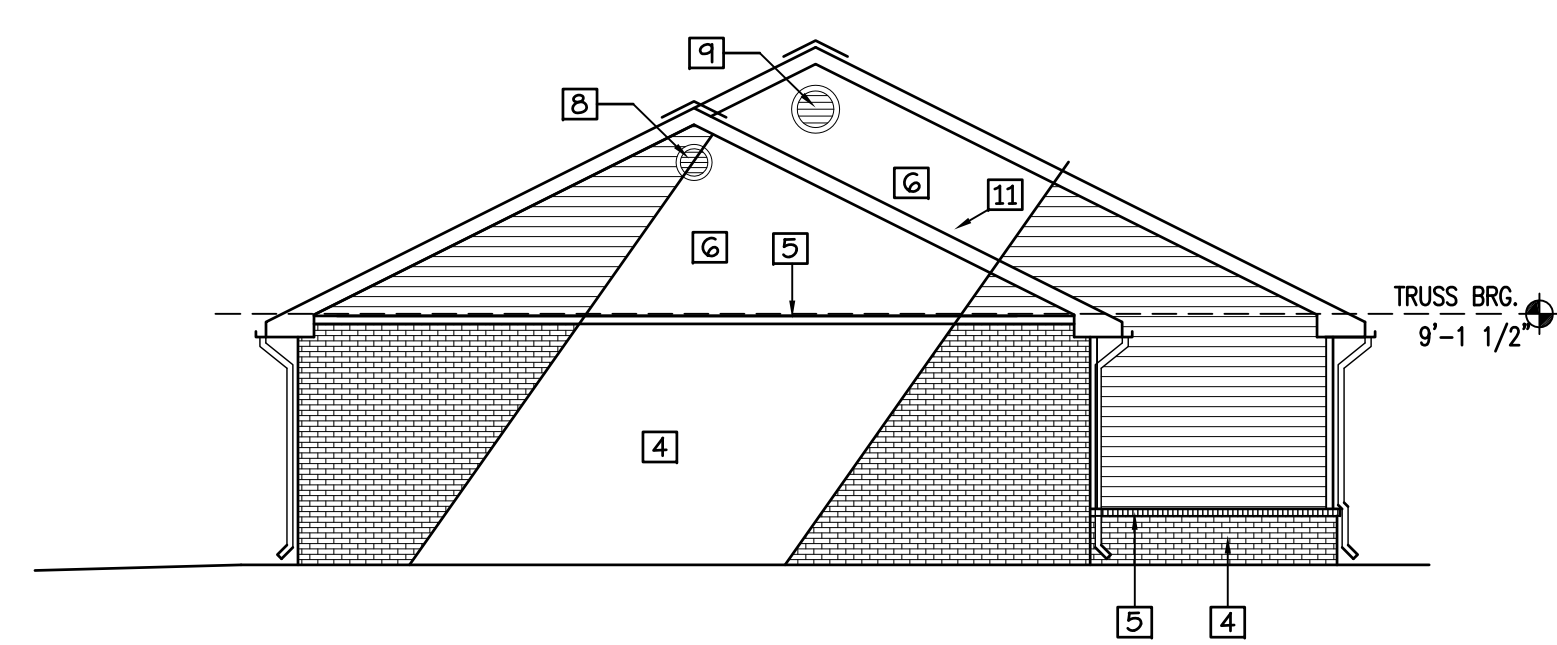


**COMMUNITY/OFFICE ROOF PLAN**  
SCALE: 1/8" = 1'-0"

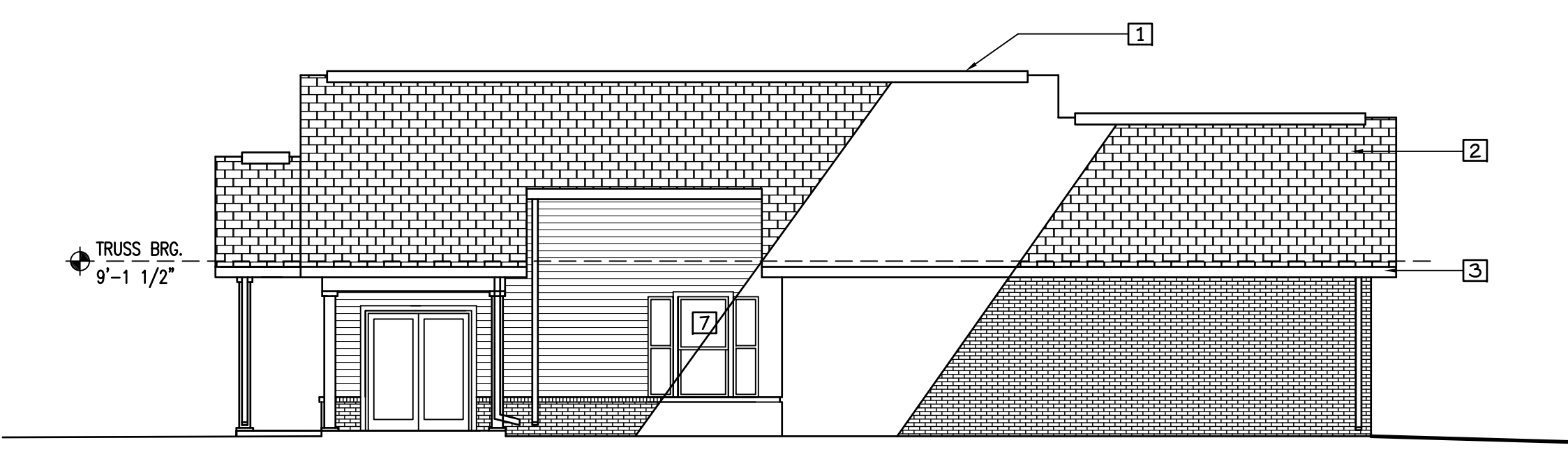
- ROOF PLAN NOTES:**
- 1 30 YR DIM. ROOF SHINGLES, ANTI-FUNGAL ON 15# FELT SEE SPEC.
  - 2 SHINGLE OVER RIDGE VENT. SEE SPEC.
  - 3 PROVIDE AND INSTALL STEP FLASHING.
  - 4 5" ALUMN OGEE GUTTERS AND 3x4 DOWNSPOUTS W/ CONC. SPLASH BLOCKS.
  - 5 KICK-OUT FLASHING • GUTTER.



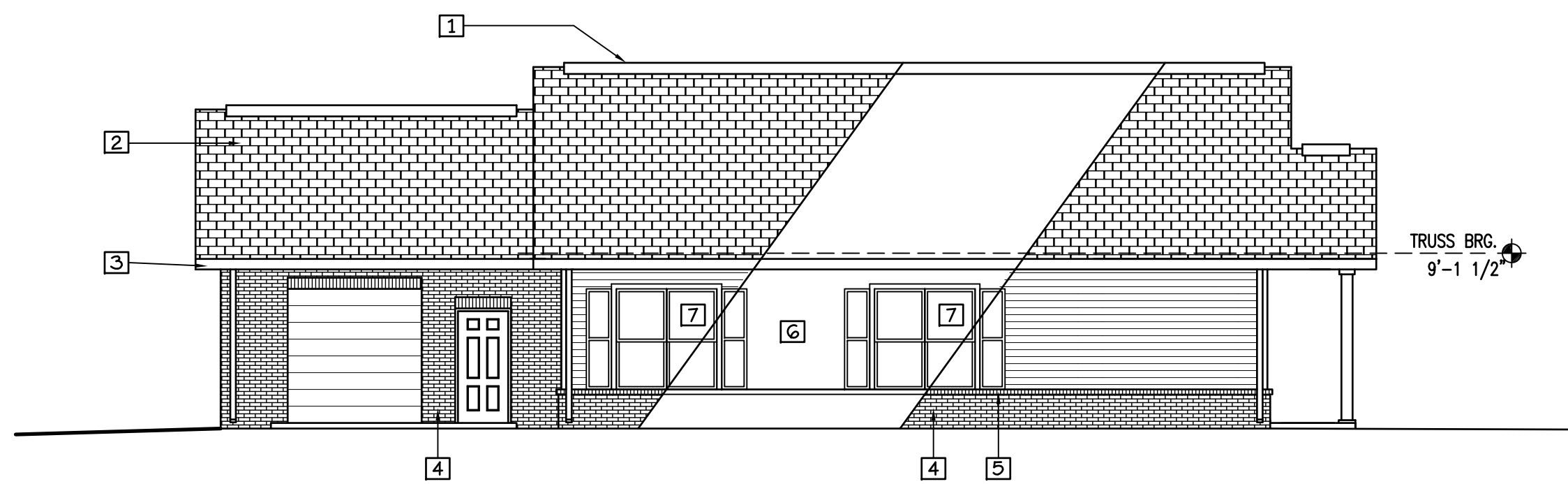
**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

- ELEVATION NOTES:**
- 1 SHINGLE OVER RIDGE VENT.
  - 2 ASPHALT 30 YR. DIM. ROOF SHINGLES (ANTI-FUNGAL) ON 15# FELT
  - 3 5" OGEE ALUMN GUTTER, 3x4 DOWN SPOUTS AND CONC. SPLASH BLOCKS.
  - 4 BRICK VENEER OVER TYVEK
  - 5 BRICK ROWLOCK W/1' SLOPE
  - 6 HARDI-LAP SIDING OVER TYVEK.
  - 7 VINYL WINDOWS W/INSULATED ARGON FILLED GLASS W/ LOW-E COATING. U-0.32 + 5HGC 0.29
  - 8 16" DIA. VINYL VENT W/ INSECT SCREEN
  - 9 24" DIA. VINYL VENT W/ INSECT SCREEN
  - 10 ROOF SUPPORT COLUMNS W/ 1x8 HARDI TRIM WRAP AND 1x4 HARDI TRIM CAP AND BASE
  - 11 PROVIDE AND INSTALL STEP FLASHING. SIDING SHALL BE MIN. 2' ABOVE ROOF LINE.

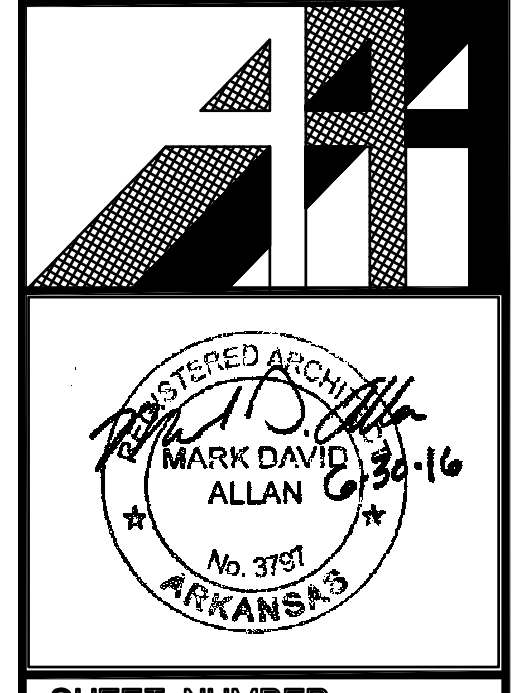
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REVISIONS	

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE / COMMUNITY ROOM ELEVATIONS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912  
866 / 689-1302



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**A-4.1**



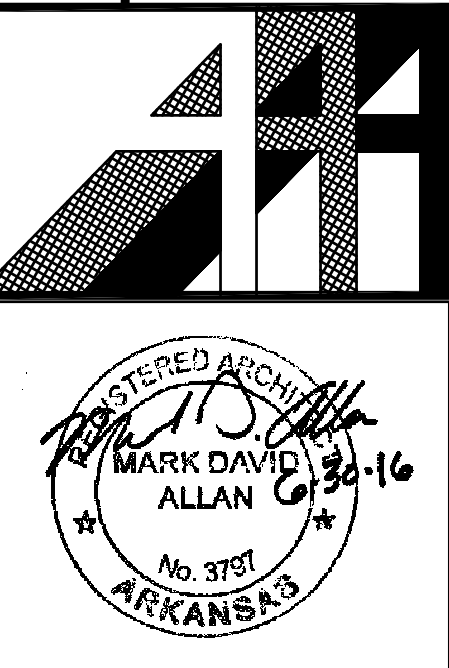
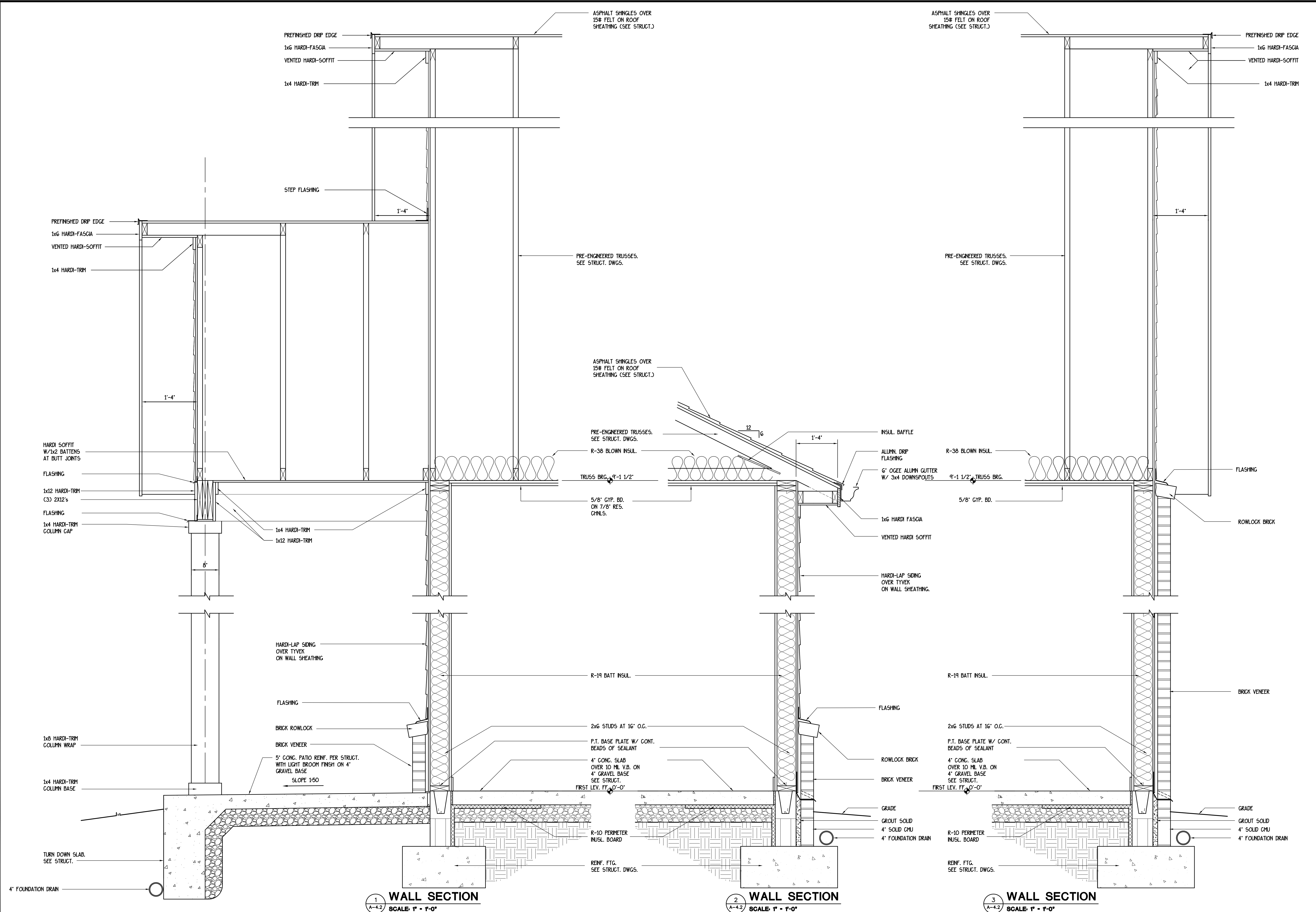
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**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**WALL SECTIONS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
6516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

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SHEET NUMBER  
**A-4.2**



# STRUCTURAL GENERAL NOTES

CAD FILE: 16-103 STRUCTURAL

**10.0 SPECIAL INSPECTIONS PER 2012 IBC:**

- 10.1 THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED UNDER SECTION 1705. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING INSPECTION.
- 10.2 THESE INSPECTIONS ARE IN ADDITION TO THE INSPECTIONS SPECIFIED IN SECTION 110 OF THE BUILDING CODE, AND ALL QUALITY CONTROL TESTING SPECIFIED IN THE RESPECTIVE SPECIFICATION SECTIONS IN THE PROJECT MANUAL.
- 10.3 REPORTS:
  - A. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. REPORTS SHALL INDICATE THAT THE WORK INSPECTED WAS DONE IN CONFORMANCE WITH APPROVED CONSTRUCTION DOCUMENTS.
  - B. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THE DISCREPANCIES ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK.
  - C. REPORTS OF ALL INSPECTIONS, TESTS PERFORMED, DISCREPANCY NOTICES AND CORRECTIVE ACTIONS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL ON A WEEKLY BASIS. SUCH REPORTS SHALL ALSO BE SUBMITTED TO THE BUILDING OFFICIAL IF REQUESTED.
  - D. A FINAL REPORT OF INSPECTIONS DOCUMENTING ALL REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED AT A POINT IN TIME AGREED UPON BY THE PERMIT APPLICANT AND THE BUILDING OFFICIAL PRIOR TO THE START OF THE WORK.
- 10.4 THE INSPECTION AND TESTING AGENT(S) SHALL BE ENGAGED BY THE OWNER'S REPRESENTATIVE OR THE SPECIAL INSPECTOR, AND NOT BY THE CONTRACTOR OR SUBCONTRACTOR WHOSE WORK IS TO BE INSPECTED OR TESTED. ANY CONFLICT OF INTEREST MUST BE DISCLOSED PRIOR TO COMMENCING WORK. THE QUALIFICATIONS OF THE SPECIAL INSPECTOR(S) AND/OR TESTING AGENCIES SHALL BE SUBJECT TO THE APPROVAL OF BUILDING OFFICIAL AND/OR THE DESIGN PROFESSIONAL.
- 10.5 INSPECTIONS REQUIRED:

**SCHEDULE OF SPECIAL INSPECTION SERVICES PER 2012 IBC**

MATERIAL / ACTIVITY	SERVICE	REMARKS	CONTINUOUS	PERIODIC
<b>1704.2.5 INSPECTION OF FABRICATORS</b>				
VERIFY FABRICATION/QUALITY CONTROL PROCEDURES	IN PLANT REVIEW			X
<b>1705.2 STEEL CONSTRUCTION</b>				
FABRICATOR AND ERECTOR DOCUMENTS (VERIFY REPORTS AND CERTIFICATES AS LISTED IN AISC 360, CHAPTER N, PARAGRAPH 3.2 FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS)	SUBMITTAL REVIEW	EACH SUBMITTAL		
MATERIAL VERIFICATION OF STRUCTURAL STEEL	SHOP AND FIELD INSPECTION			X
EMBEDMENTS (VERIFY DIAMETER, GRADE, TYPE, LENGTH, EMBEDMENT. SEE 1705.3 FOR ANCHORS)	FIELD INSPECTION			X
VERIFY MEMBER LOCATIONS, BRACES, STIFFENERS, AND APPLICATION OF JOINT DETAILS AT EACH CONNECTION COMPLY WITH CONSTRUCTION DOCUMENTS	FIELD INSPECTION			X
STRUCTURAL STEEL WELDING:				
A. INSPECTION TASKS PRIOR TO WELDING (OBSERVE, OR PERFORM FOR EACH WELDED JOINT OR MEMBER, THE QA TASKS LISTED IN AISC 360, TABLE N5.4-1)	SHOP AND FIELD INSPECTION	OBSERVE OR PERFORM AS NOTED		
B. INSPECTION TASKS DURING WELDING (OBSERVE, OR PERFORM FOR EACH WELDED JOINT OR MEMBER, THE QA TASKS LISTED IN AISC 360, TABLE N5.4-1)	SHOP AND FIELD INSPECTION	OBSERVE		
C. INSPECTION TASKS AFTER WELDING (OBSERVE, OR PERFORM FOR EACH WELDED JOINT OR MEMBER, THE QA TASKS LISTED IN AISC 360, TABLE N5.4-3)	SHOP AND FIELD INSPECTION	OBSERVE OR PERFORM AS NOTED		
D. NON-DESTRUCTIVE TESTING (NDT) OR WELDED JOINTS				
1) COMPLETE PENETRATION GROOVE WELDS 5/16" OR GREATER IN RISK CATEGORY III OR IV	SHOP OR FIELD ULTRASONIC TESTING - 100%			X
2) COMPLETE PENETRATION GROOVE WELDS 5/16" OR GREATER IN RISK CATEGORY II	SHOP OR FIELD ULTRASONIC TESTING - 10% OF WELDS MINIMUM			X
5) FABRICATOR'S NDT REPORTS WHEN FABRICATOR PERFORMS NDT	VERIFY REPORTS	EACH SUBMITTAL		
STRUCTURAL STEEL BOLTING	SHOP AND FIELD INSPECTION			
A. INSPECTION TASKS PRIOR TO BOLTING (OBSERVE, OR PERFORM FOR EACH BOLTED CONNECTION, IN ACCORDANCE WITH THE QA TASKS LISTED IN AISC 360, TABLE N5.6-1)		OBSERVE OR PERFORM AS NOTED		
B. INSPECTION TASKS DURING BOLTING (OBSERVE THE QA TASKS LISTED IN AISC 360, TABLE N5.6-2)		OBSERVE		
1) SNUG-TIGHT JOINTS				X
C. INSPECTION TASKS AFTER BOLTING (PERFORM TASKS FOR EACH BOLTED CONNECTION IN ACCORDANCE WITH QA TASKS LISTED IN AISC 360, TABLE N5.6-3)		PERFORM		
<b>1705.2.2 STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL</b>				
1. MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK				
A. IDENTIFICATION MARKINGS	FIELD INSPECTION			X
B. MANUFACTURER'S CERTIFIED TEST REPORTS	SUBMITTAL REVIEW	EACH SUBMITTAL		
2. CONNECTION OF COLD-FORMED STEEL DECK TO SUPPORTING STRUCTURE	SHOP AND FIELD INSPECTION			
A. WELDING				X
B. OTHER FASTENERS (IN ACCORDANCE WITH AISC 360, SECTION N6)				
1) VERIFY FASTENERS ARE IN CONFORMANCE WITH APPROVED SUBMITTAL				X
2) VERIFY FASTENER INSTALLATION IS IN CONFORMANCE WITH APPROVED SUBMITTAL AND MANUFACTURER'S RECOMMENDATIONS				X
<b>1705.3 CONCRETE CONSTRUCTION</b>				
INSPECTION OF REINFORCING STEEL INSTALLATION	SHOP AND FIELD INSPECTION			X
INSPECTION OF ANCHORS AND REINFORCING STEEL POST-INSTALLED IN HARDENED CONCRETE: PER RESEARCH REPORTS INCLUDING VERIFICATION OF ANCHOR TYPE, ANCHOR DIMENSIONS, HOLE DIMENSIONS, HOLE CLEANING PROCEDURES, ANCHOR SPACING, EDGE DISTANCES, CONCRETE MINIMUM THICKNESS, ANCHOR EMBEDMENT AND TIGHTENING TORQUE	FIELD INSPECTION	PERIODIC OR AS REQUIRED BY THE RESEARCH REPORT ISSUED BY AN APPROVED SOURCE		
VERIFY USE OF APPROVED DESIGN MIX	SHOP AND FIELD INSPECTION			X
FRESH CONCRETE SAMPLING, PERFORM SLUMP AND AIR CONTENT TESTS AND DETERMINE TEMPERATURE OF CONCRETE	SHOP AND FIELD INSPECTION			X
INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	SHOP AND FIELD INSPECTION			X
INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	SHOP AND FIELD INSPECTION			X
INSPECT FORMWORK FOR SHAPE, LINES, LOCATION AND DIMENSIONS	FIELD INSPECTION			X
CONCRETE STRENGTH TESTING AND VERIFICATION OF COMPLIANCE WITH CONSTRUCTION DOCUMENTS	FIELD TESTING AND REVIEW OF LABORATORY REPORTS			X
<b>1705.5 WOOD CONSTRUCTION</b>				
METAL-PLATE-CONNECTED WOOD TRUSSES: VERIFY TEMPORARY AND PERMANENT RESTRAINT/BRACING ARE INSTALLED IN ACCORDANCE WITH THE APPROVED TRUSS SUBMITTAL PACKAGE	FIELD INSPECTION			X

NOTES: 1. N/A - DENOTES NOT APPLICABLE

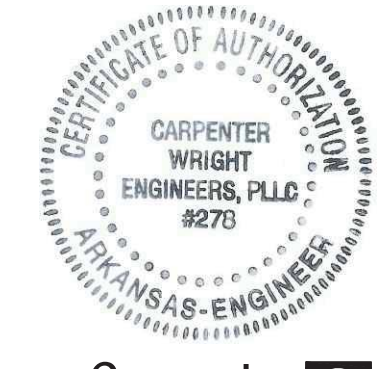
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REVISIONS			

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

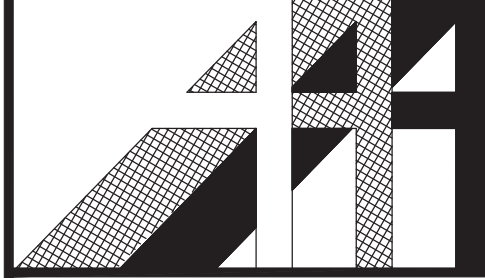
**STRUCTURAL GENERAL NOTES**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

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5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912



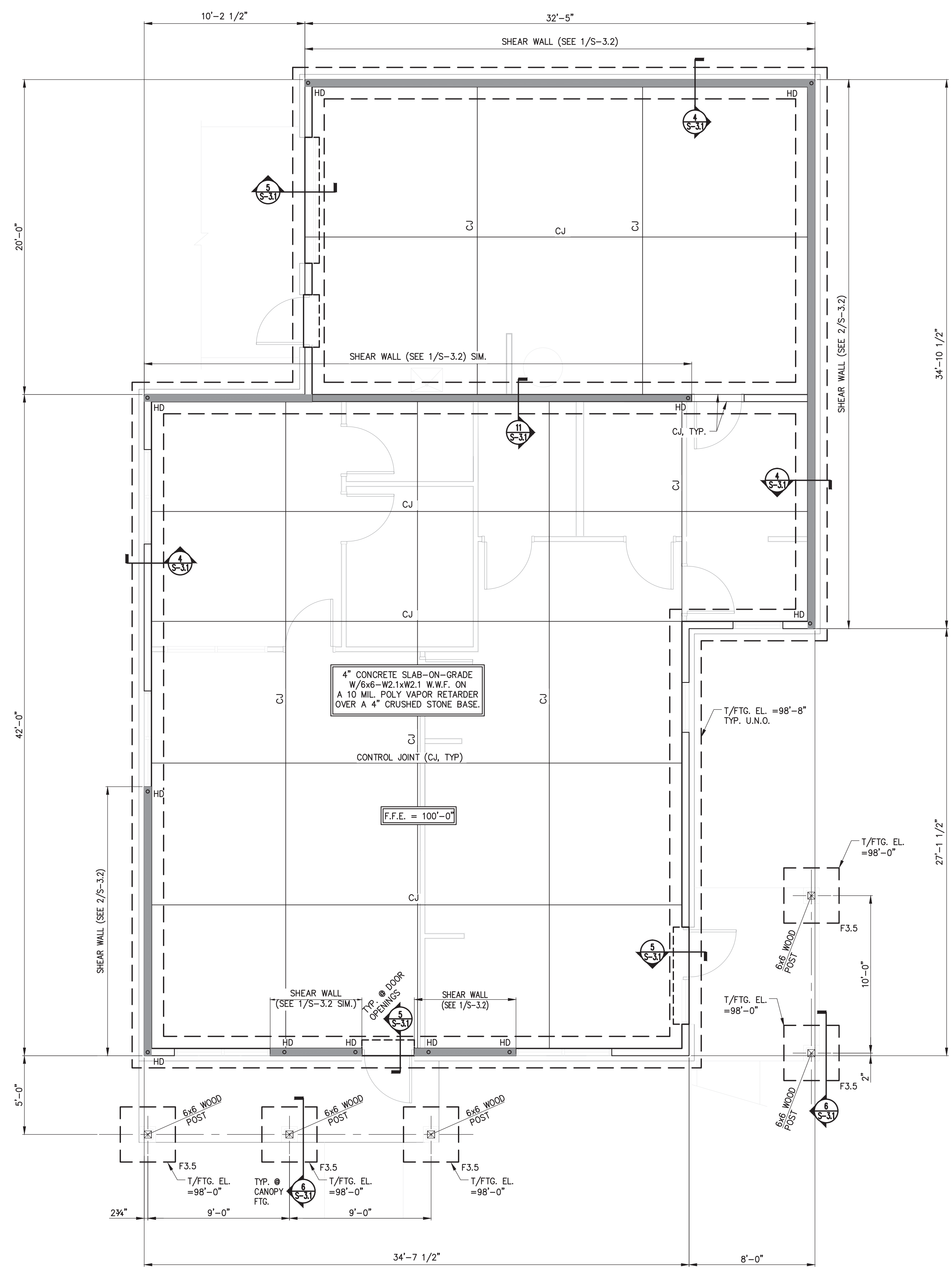
**Carpentier Wright Engineers**  
Structural Consultants  
111 Sherlake Lane, Suite 200  
Knoxville, TN 37922  
P: 865-539-8227  
F: 865-539-8227  
CWE # 2016103.00



SHEET NUMBER

S-1.1

DRAWN BY: DJW	CHKD. BY: CAM	DATE: 06/30/16	REVISIONS
APPR. BY: JJF	DATE: 06/30/16	07/15/16 GEN. REV.	11/21/16 GEN. REV.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

REFER TO SECTION 3.0 ON SHEET S-1.0 FOR STRUCTURAL GENERAL NOTES REGARDING FOUNDATION DESIGNS. CONTRACTOR SHALL UTILIZE THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT AND EMPLOY A SPECIALTY GEOTECHNICAL SUB-CONTRACTOR TO INSTALL RAMMED AGGREGATE PIERS TO REINFORCE THE SUBGRADE TO ACHIEVE THE ASSUMED STATED DESIGN PARAMETERS.

AS A PROPOSED ALTERNATIVE, CONTRACTOR MAY SUBMIT AN ALTERNATE FOUNDATION DESIGN CONSISTING OF POST-TENSIONED SLAB SYSTEM FOR ENGINEER REVIEW. THIS SUBMITTAL SHALL:

- BE SEALED BY AN ENGINEER LICENSED IN THE STATE OF ARKANSAS.
- INCLUDE CALCULATIONS SHOWING THAT APPROPRIATE FRAMING LOADS HAVE BEEN CONSIDERED.
- INCLUDE LOAD BEARING WALL LOADS, CONCENTRATED JAMB LOADS AT OPENINGS, AND HOLD-DOWN FORCES AT THE ENDS OF SHEAR WALLS (SHEAR WALL FORCES CAN BE PROVIDED BY OWE UPON REQUEST).
- CONSIDER THE ECCENTRICITY OF APPLIED LOADS (CONCENTRATED LOADS AT SLAB EDGE).
- A COPY OF THE ADDENDUM TO THE GEOTECHNICAL REPORT DATED NOVEMBER 15, 2016 SEALED BY THE GEOTECHNICAL ENGINEER.

**NOTE:**  
A GRADING PLAN HAS NOT BEEN PROVIDED TO THE ENGINEER. TOP OF FOOTING ELEVATION SHALL PROVIDE ADEQUATE FOOTING EMBEDMENT PER NOTE 3.4 ON SHEET S-1.0. CONTRACTOR SHALL COORDINATE AND NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF SPECIFIED TOP OF FOOTING ELEVATION DOES NOT PROVIDE ADEQUATE EMBEDMENT OR PROVIDES AN EXPOSED TOP OF FOOTING.

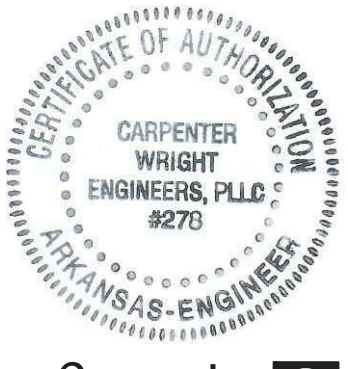
FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
F3.5	3'-6"x3'-6"x1'-4"	(5)-#5 E.W. T&B	

- FOUNDATION PLAN NOTES:**
- ALL ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS ARE REFERENCED FROM A FINISHED FLOOR DATUM ELEVATION AT THE GROUND FLOOR OF 100'-0" AT EACH BUILDING. REFER TO ARCH./CIVIL DRAWINGS FOR ACTUAL EQUIVALENT MEAN SEA-LEVEL FLOOR ELEVATION.
  - EXTERIOR WALLS SHALL BE CONSTRUCTED W/ 2x6 WOOD STUDS @ 16" O.C., PROVIDE APA STRUCTURAL I RATED SHEATHING WITH AN EXPOSURE 1 DURABILITY CLASSIFICATION AND A MINIMUM THICKNESS OF 1/2" ON THE EXTERIOR FACE OF STUDS. FASTEN W/10d NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
  - REFER TO 2/S-3.1 FOR TYPICAL SLAB CONSTRUCTION & CONTROL JOINT DETAILS.
  - 'HD' DENOTES SHEAR WALL HOLD-DOWN LOCATION REFER TO 3/S-3.1 FOR DETAIL AND HOLD-DOWN DEVICES REQUIRED.
  - REFER TO 1/S-3.1 FOR TYPICAL CONTINUOUS FOOTING DETAILS.
  - COORDINATE ALL DIMENSIONS AND ELEVATIONS W/ARCH. DRAWINGS

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE / COMMUNITY ROOM**  
FOUNDATION PLAN

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
865 / 689-1302  
5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912



**Carpentier Wright Engineers**  
Structural Consultants  
111 Sherioka Lane, Suite 200  
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CWE # 2016103.00

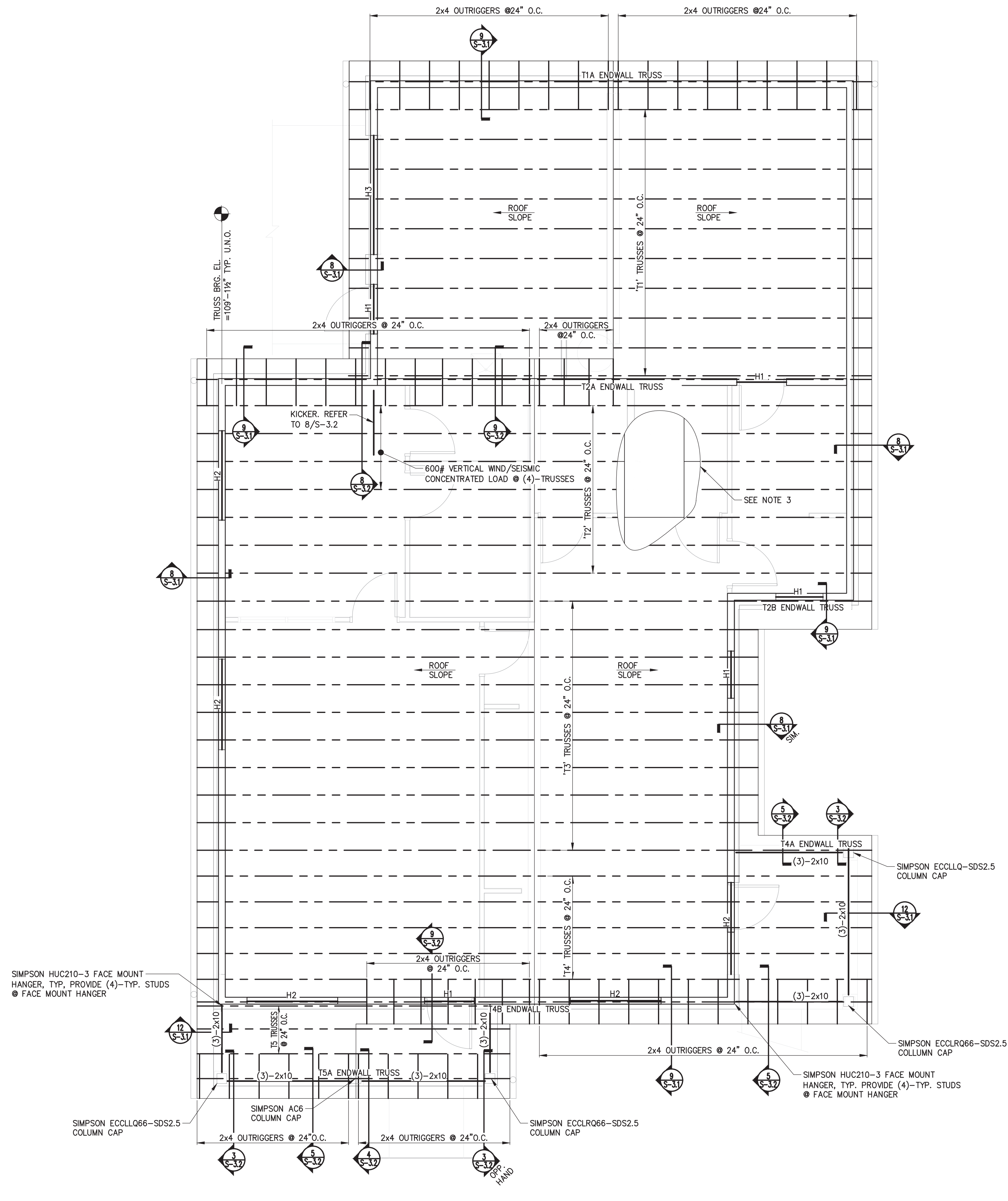
**SHEET NUMBER**  
**S-2.1**

DRWN. BY: DJW  
CHKD. BY: CAM  
APPR. BY: JJF  
DATE: 06.30.16  
REVISIONS

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

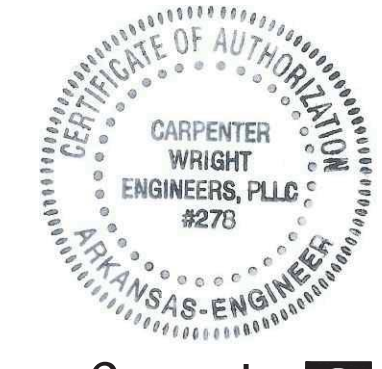
**OFFICE / COMMUNITY ROOM**  
**ROOF FRAMING PLAN**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
865 / 689-1802  
5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912



- ROOF FRAMING PLAN NOTES:**
1. ALL ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS ARE REFERENCED FROM A FINISHED FLOOR DATUM ELEVATION AT THE GROUND FLOOR OF 100'-0" AT EACH BUILDING. REFER TO ARCH./CIVIL DRAWINGS FOR ACTUAL EQUIVALENT MEAN SEA-LEVEL FLOOR ELEVATION.
  2. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DRAWINGS.
  3. ROOF SHEATHING SHALL BE 19/32" APA STRUCTURAL I RATED SHEATHING W/ A SPAN RATING OF 40/20 AND AN 'EXPOSURE 1' DURABILITY CLASSIFICATION. SPAN PANELS WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS. PROVIDE ONE PANEL EDGE CLIP MIDWAY BETWEEN EACH SUPPORT OR SUPPLY TONGUE & GROOVE EDGES. ATTACH PANELS TO SUPPORT FRAMING W/ 10d NAILS @ 6" O.C. AT PANEL EDGES & @ 12" O.C. @ INTERMEDIATE SUPPORTS.
  4. REFER TO 10/S-3.1 FOR TYPICAL FRAMING AT WALL OPENINGS.
  5. "H" DENOTES WOOD BEAM HEADER. REFER TO 7/S-3.1 FOR HEADER SCHEDULE AT WALL OPENINGS.
  6. EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS SPACED @ 16" O.C.
  7. ALL PREFABRICATED WOOD ROOF TRUSSES SHALL BE SPACED AT 2'-0" O.C. U.N.O.
  8. TRUSSES NOTED 'ENDWALL TRUSS' SHALL HAVE 2x VERTICAL INFILL WEB MEMBERS @ 16" O.C. FACE OF TRUSS SHALL BE ALIGNED WITH RESPECTIVE FACE OF STUD WALL BELOW AND SHALL BE SHEATHED WITH WOOD SHEATHING SIMILAR TO THAT SPECIFIED FOR WALLS (INCLUDING ATTACHMENT REQUIREMENTS). REFER TO ARCH. FOR ENDWALL TRUSS OPENINGS. REFER TO 9/S-3.1 FOR ENDWALL TRUSS DETAIL.
  9. DROP TOP CHORD OF TRUSSES NOTED 'ENDWALL TRUSSES' 3/4" FOR 2x4 OUTRIGGERS. @ SPACING INDICATED ON PLAN.
  10. REFER TO SHEET S-3.3 FOR TRUSS PROFILES.

**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

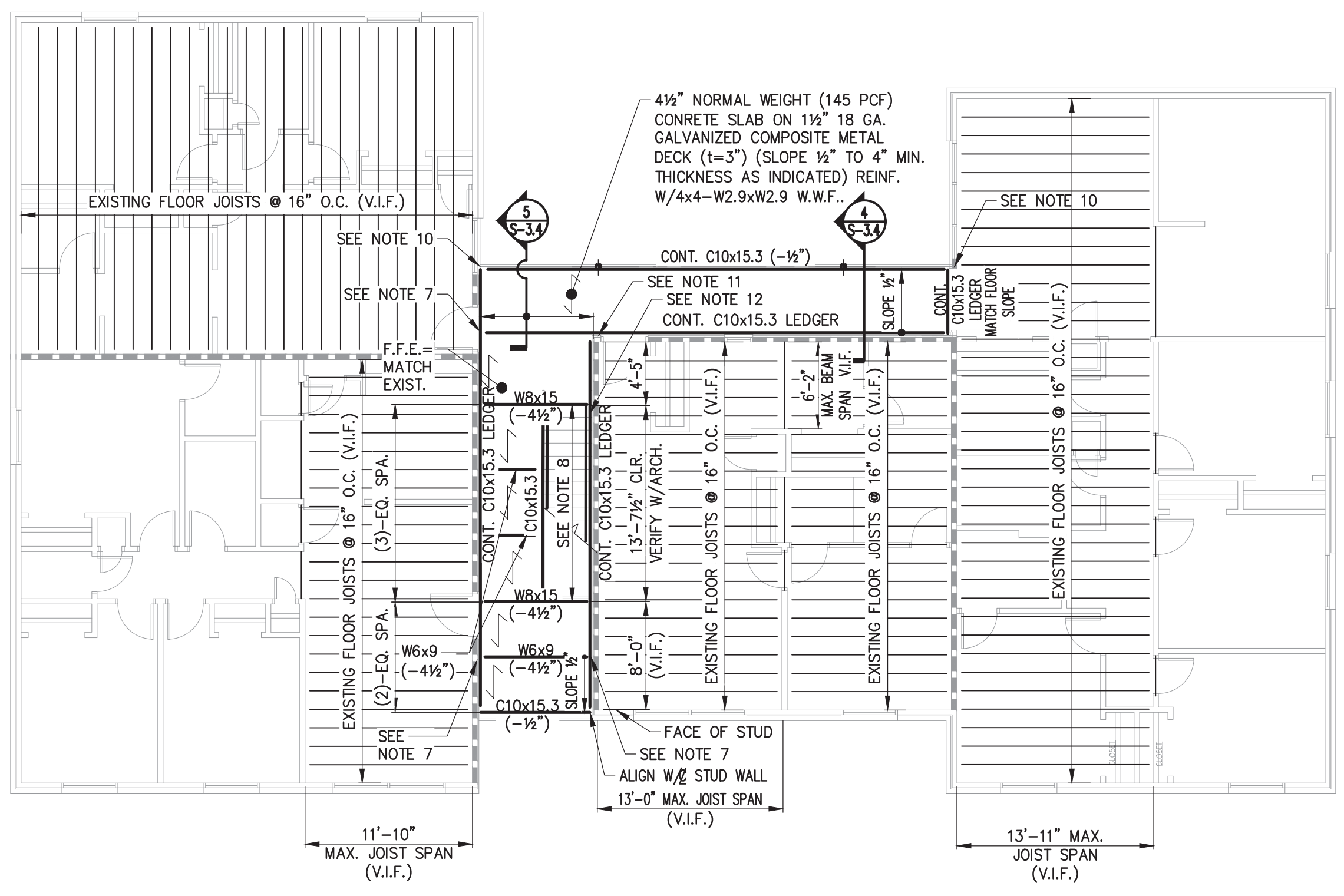


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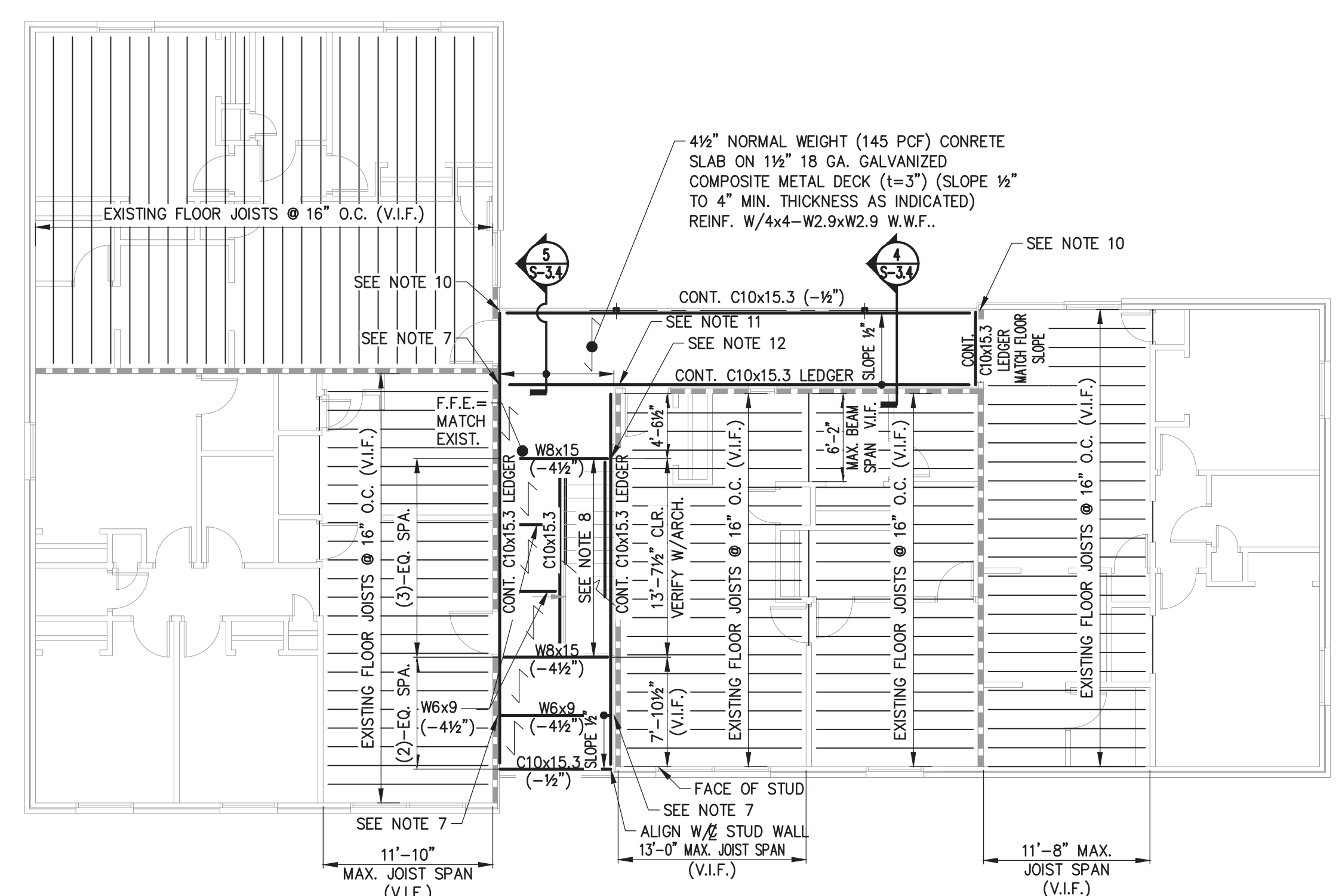
**SHEET NUMBER**

**S-2.2**

DRWN. BY: DJW  
 CHKD. BY: CAM  
 APPR. BY: JUF  
 DATE: 06.30.16  
 REVISIONS

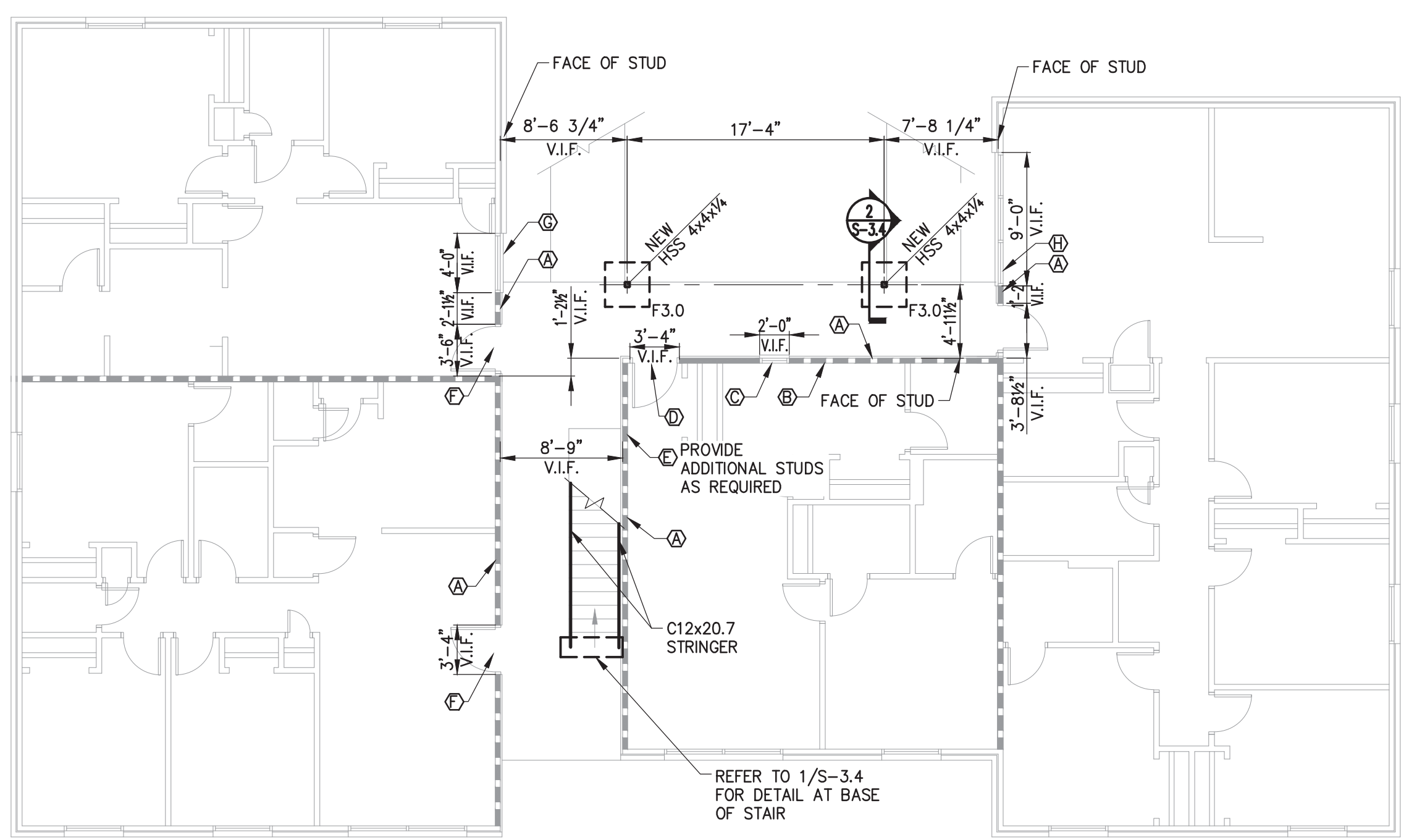


**STAIR / ELEVATED WALKWAY FRAMING PLAN**  
**BLDGS 2, 3, 5, 8**  
 SCALE: 1/8" = 1'-0"

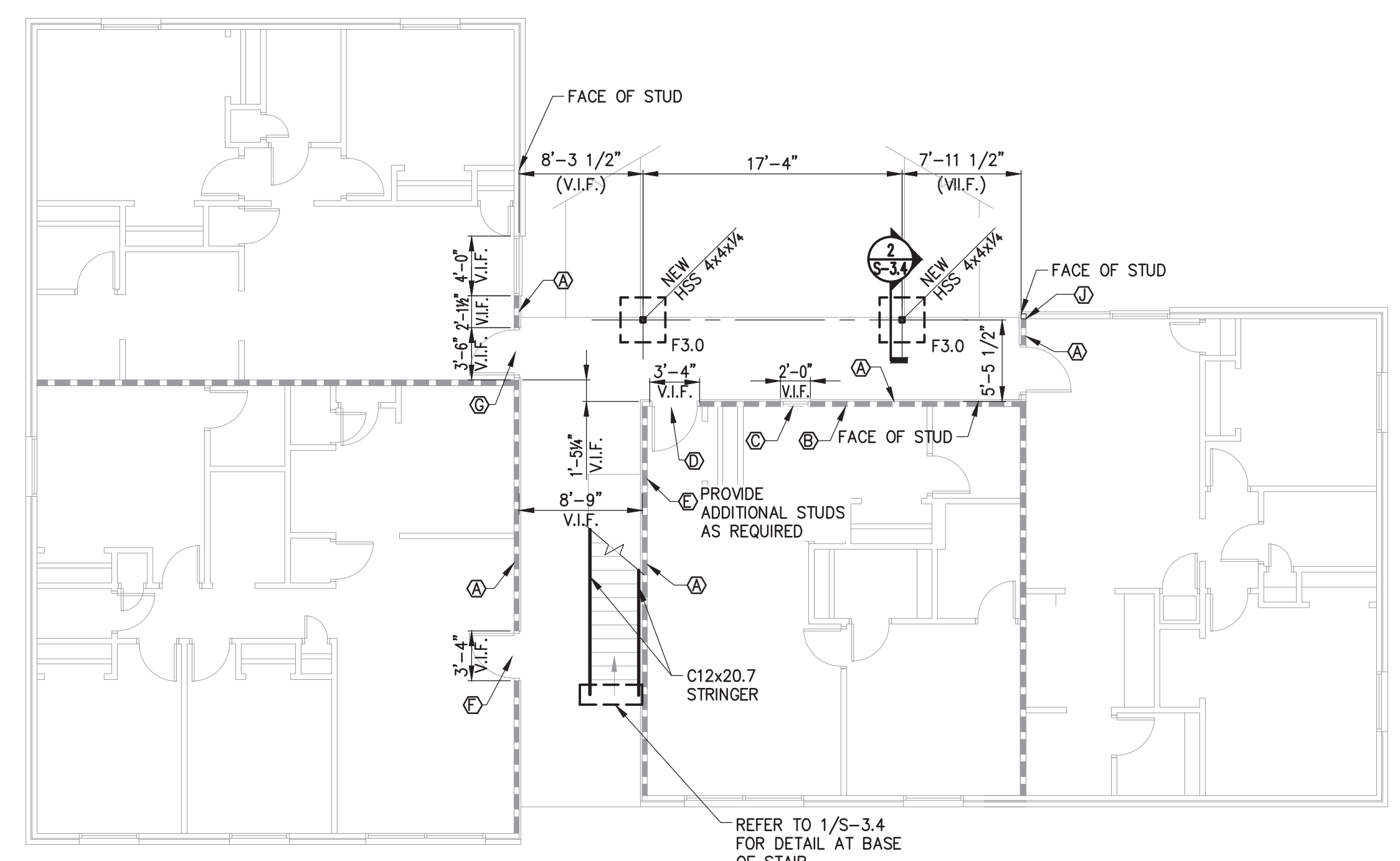


**STAIR / ELEVATED WALKWAY FRAMING PLAN**  
**BLDGS 1, 4, 6, 7**  
 SCALE: 1/8" = 1'-0"

- NOTES:**
- ALL ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS ARE REFERENCED FROM A FINISHED FLOOR DATUM ELEVATION AT THE GROUND FLOOR OF 100'-0" AT EACH BUILDING; REFER TO ARCH./CIVIL DRAWINGS FOR ACTUAL EQUIVALENT MEAN SEA-LEVEL FLOOR ELEVATION.
  - DIMENSIONS SHOWN ARE ASSUMED FOR DESIGN. CONTRACTOR SHALL SUBMIT A DIMENSIONED PLAN WITH FIELD VERIFIED DIMENSIONS INDICATED THIS SHEET AT EACH BUILDING FOR ENGINEER REVIEW PRIOR TO SUBMITTAL OF SHOP DRAWINGS. FIELD VERIFY EXISTING CONDITIONS PRIOR TO STEEL FABRICATION. STEEL SHOP DRAWINGS SHALL INDICATE ACTUAL FIELD CONDITIONS AND DIMENSIONS.
  - ASSUMED EXISTING ROOF DEAD LOADS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION:  
 ROOFING: 2.5 PSF  
 PLYWOOD SHEATHING: 2.0 PSF  
 ROOF TRUSSES: 4.0 PSF  
 GYP CEILING: 3.0 PSF  
 BATT INSULATION: 1.5 PSF  
 M, P, & E ALLOWANCE: 5.0 PSF
  - ASSUMED EXISTING (INTERIOR) FLOOR DEAD LOADS SHALL BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION:  
 FLOOR COVERING: 1.5 PSF  
 3/4" GYPCRETE TOPPING: 6.5 PSF  
 PLYWOOD SHEATHING: 2.3 PSF  
 2x FLOOR JOISTS @ 16" O.C.: 3.3 PSF  
 CEILING: 3.0 PSF  
 M, P, & E ALLOWANCE: 5.0 PSF  
 PARTITION ALLOWANCE: 15.0 PSF
  - EXISTING FLOOR FRAMING CONFIGURATIONS INDICATED ARE ASSUMED FOR DESIGN. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO CONSTRUCTION.
  - (C) DENOTES EXISTING WALL FRAMING CONDITION TO BE VERIFIED IN FIELD. REFER TO 10/S3.4 FOR REQUIRED FRAMING.
  - PROVIDE MITERED FULL PENETRATION WELDED SPLICE IN LEDGER TO ALLOW END OF LEDGER TO SLOPE W/TOP OF FLOOR SLAB.
  - PROVIDE BENT @ POUR STOP ON TOP OF CHANNEL AT STAIR OPENING.
  - REFER TO 6/S-3.4 FOR TYPICAL GUARDRAIL DETAILS.
  - PROVIDE (8)-ADDITIONAL THRU-BOLTS (2-ROWS OF 4-BOLTS) AT LEDGER IN ADDITION TO TYPICAL BOLT SPACING @ END OF C10 LEDGER. SPACE ADDITIONAL BOLTS @ 3" O.C. (3" MIN. END DISTANCE FOR WOOD MEMBERS).
  - PROVIDE (14)-ADDITIONAL THRU-BOLTS (2-ROWS OF 7-BOLTS) AT LEDGER IN ADDITION TO TYPICAL BOLT SPACING @ WALL CORNER. SPACE ADDITIONAL BOLTS @ 3" O.C. (3" MIN. END DISTANCE FOR WOOD MEMBERS).
  - PROVIDE (20)-ADDITIONAL THRU-BOLTS (2-ROWS OF 10-BOLTS) AT LEDGER IN ADDITION TO TYPICAL BOLT SPACING. CENTER ADDITIONAL BOLTS ABOUT STAIR HEADER. SPACE ADDITIONAL BOLTS @ 3" O.C. (3" MIN. END DISTANCE FOR WOOD MEMBERS.)
  - REFER TO 7/S-3.4 FOR TYPICAL C10 LEDGER CONNECTION TO EXISTING WALL FRAMING.



**STAIR / ELEVATED WALKWAY FOUNDATION PLAN & REQUIRED EXISTING WALL FRAMING PLAN**  
**BLDGS 2, 3, 5, 8**  
 SCALE: 1/8" = 1'-0"



**STAIR / ELEVATED WALKWAY FOUNDATION PLAN & REQUIRED EXISTING WALL FRAMING PLAN**  
**BLDGS 1, 4, 6, 7**  
 SCALE: 1/8" = 1'-0"

FOOTING SCHEDULE			
MARK	SIZE	REINFORCEMENT	REMARKS
F3.0	3'-0"x3'-0"x1'-0"	(4)-#5 EA. WAY T&B	

**WHITE RIVER APARTMENTS**  
 2900 MARION DRIVE  
 DIAZ, ARKANSAS

**FOUNDATION & FLOOR FRAMING PLANS**  
**AT STAIRS/ELEVATED WALKWAYS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 5616 WALLWOOD ROAD  
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 865 / 869-1802



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**SHEET NUMBER**  
**S-2.3**

DRAWN BY: DJW  
 CHKD. BY: CAM  
 APPR. BY: JUF  
 DATE: 06.30.16  
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WHITE RIVER APARTMENTS  
 2900 MARION DRIVE  
 DIAZ, ARKANSAS

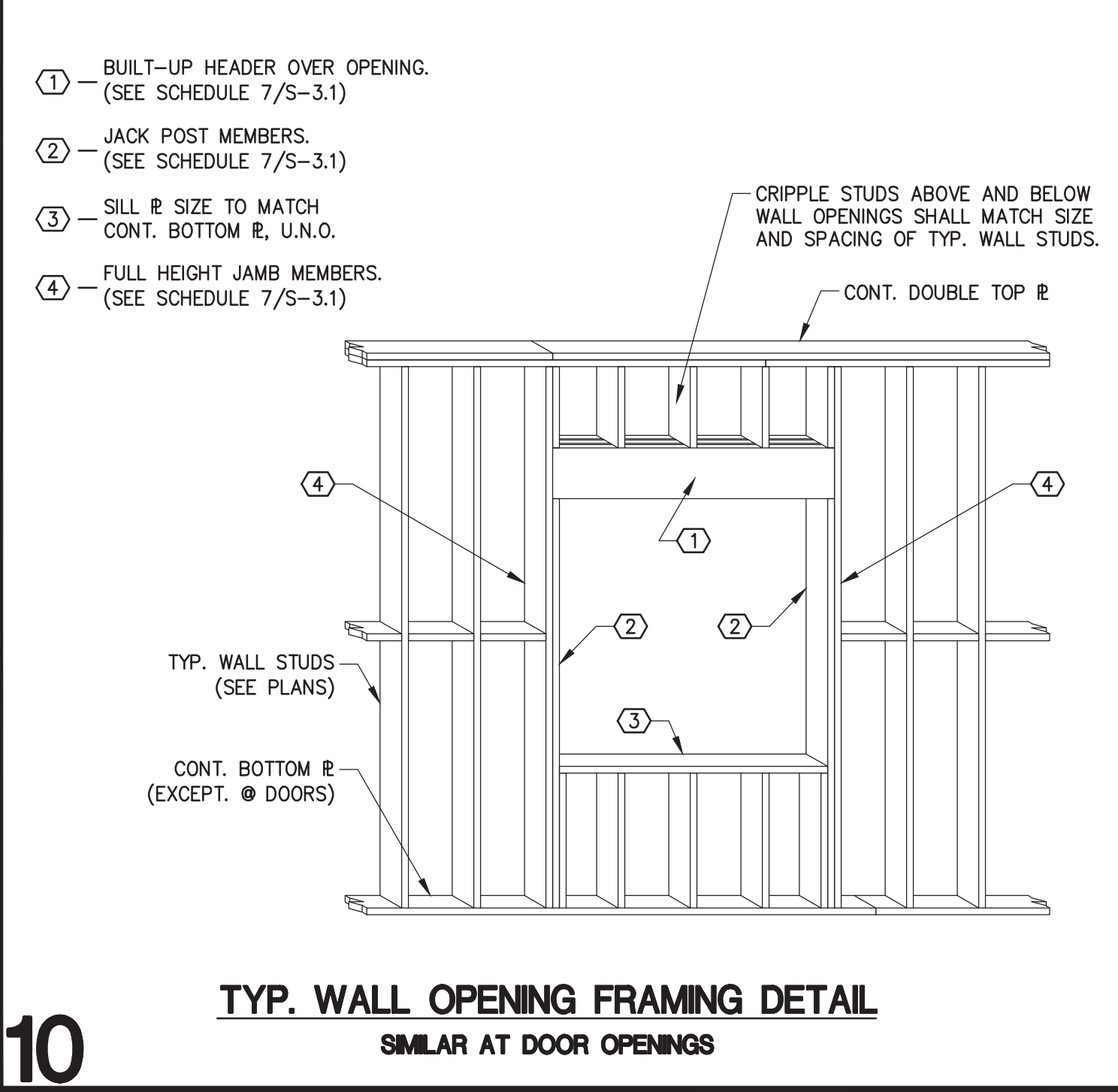
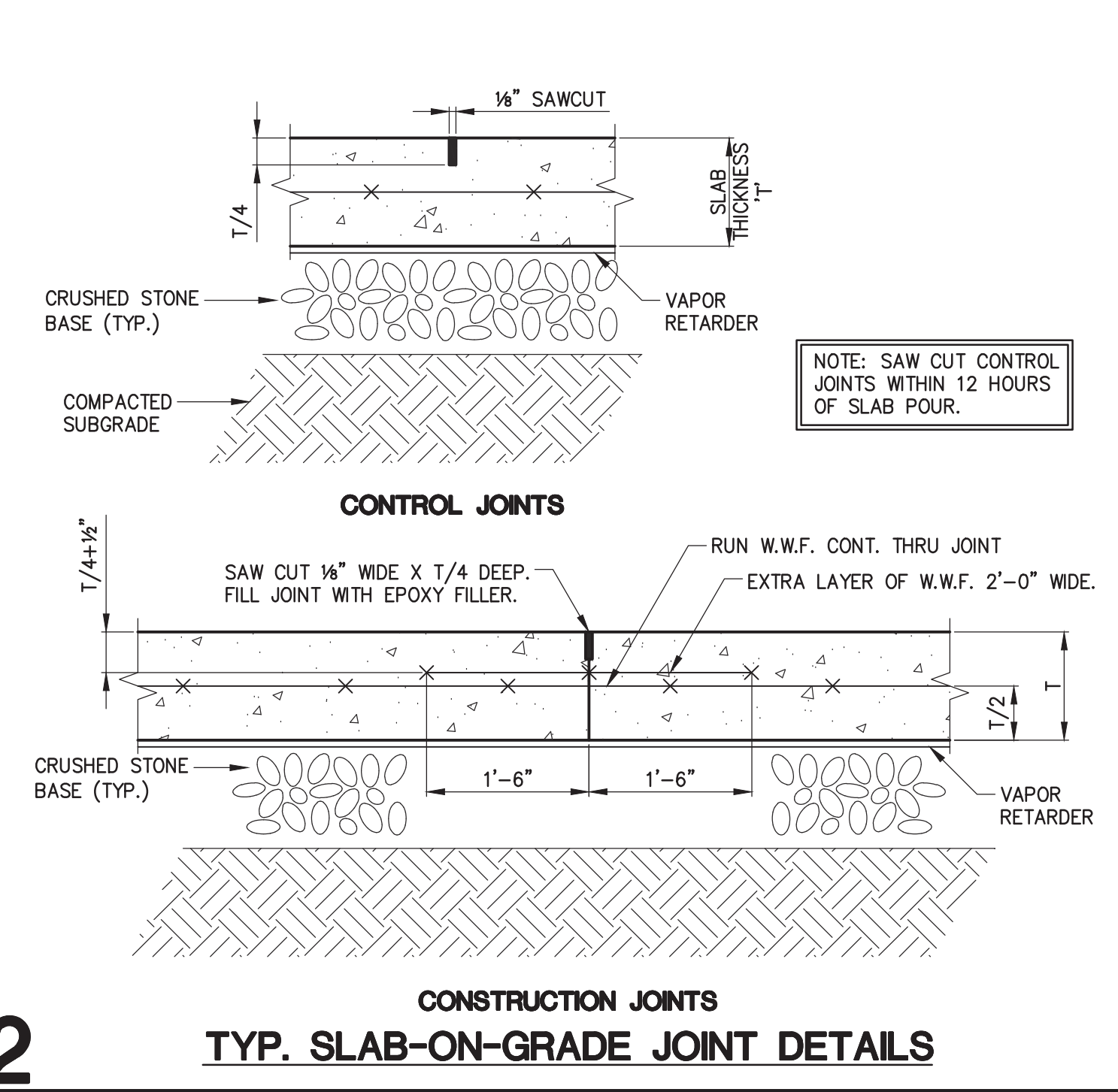
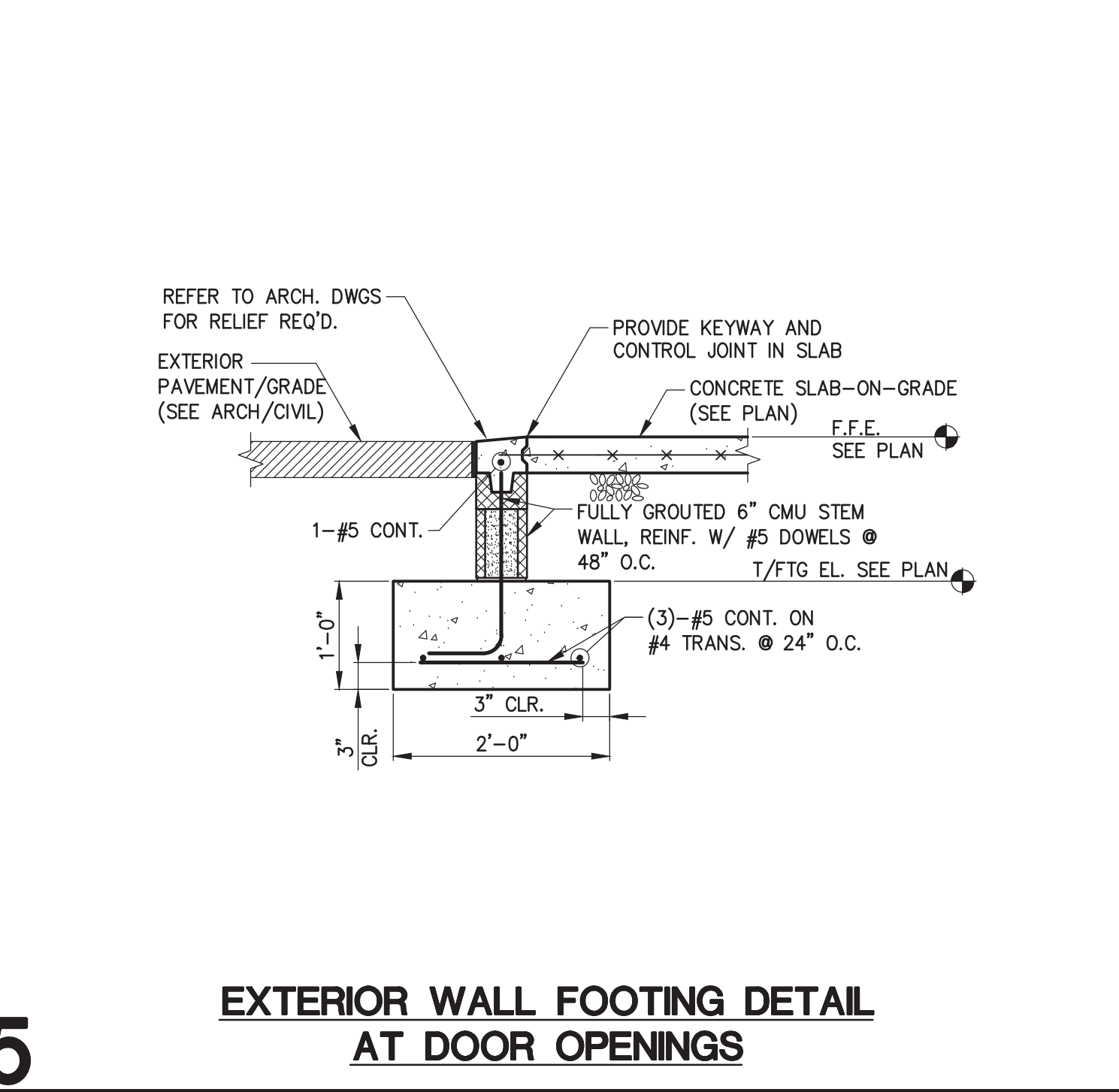
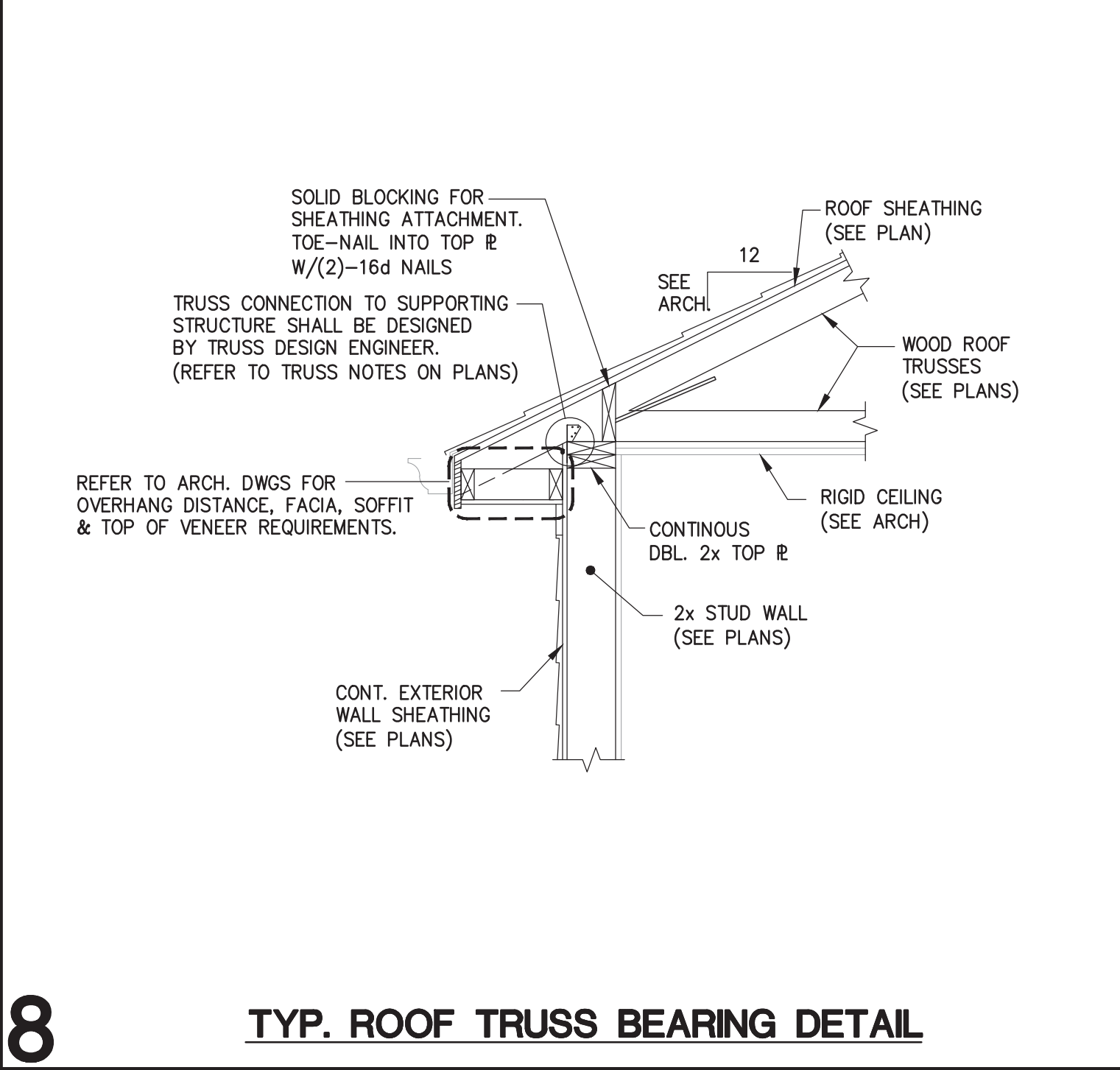
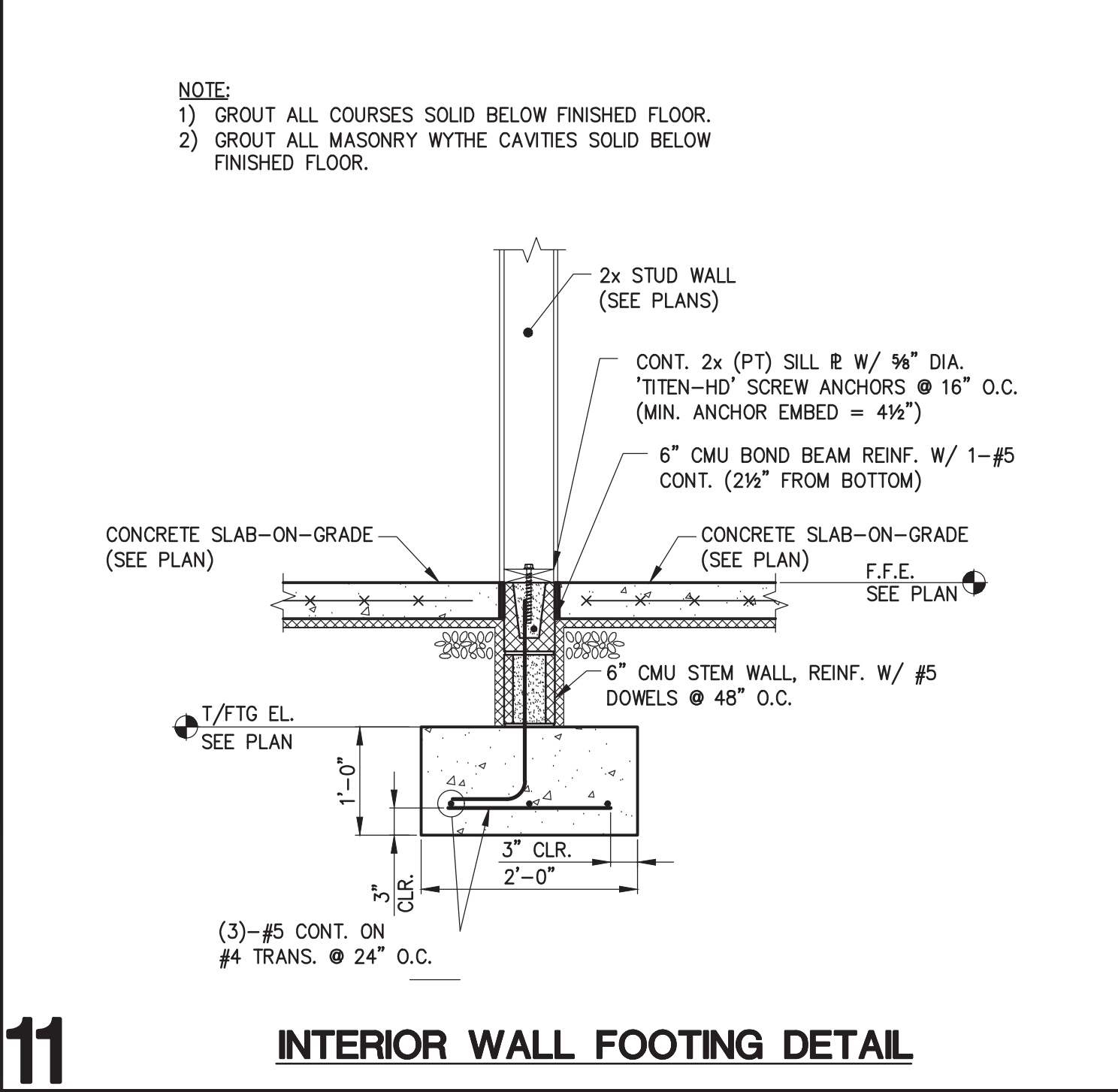
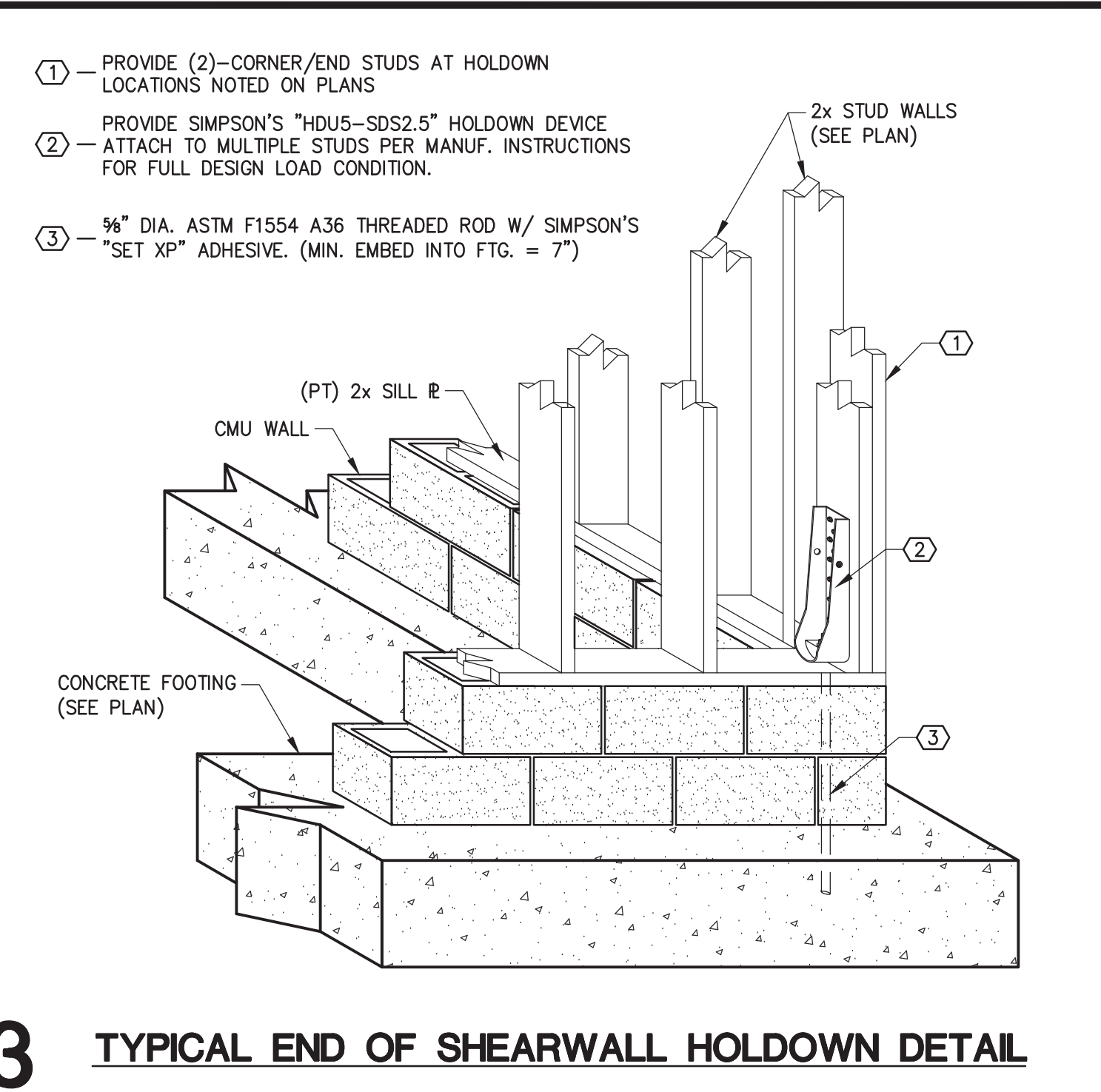
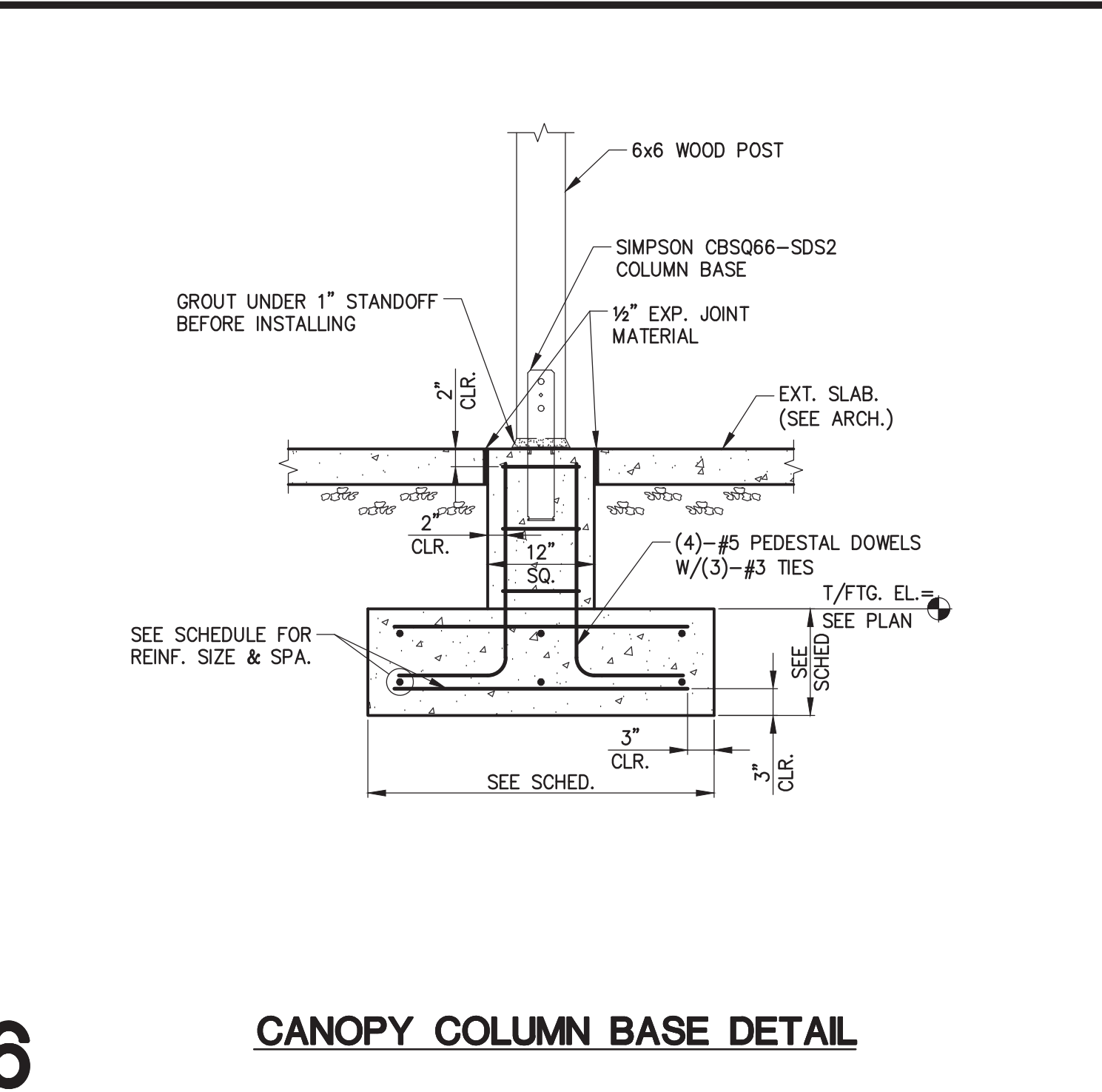
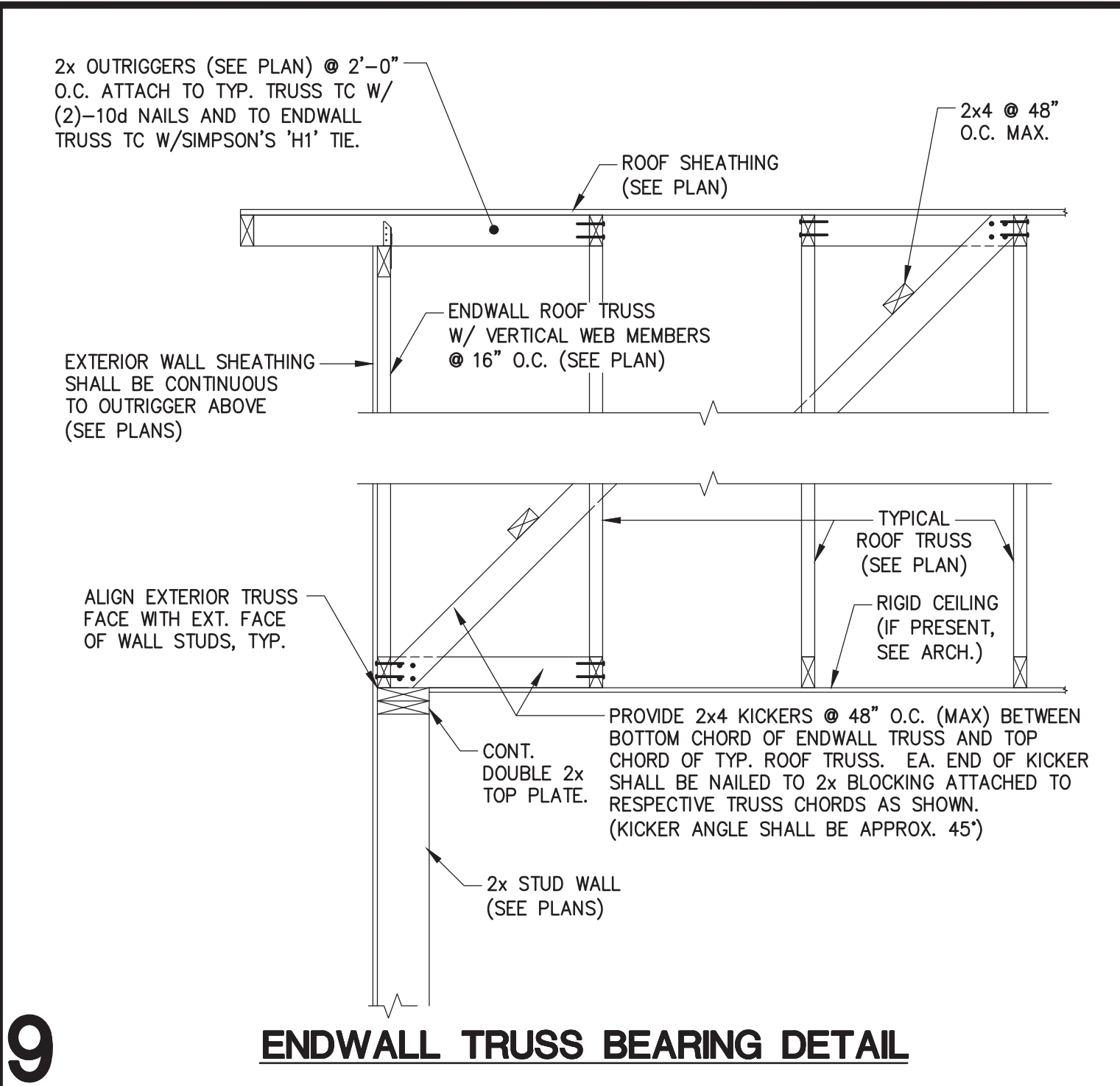
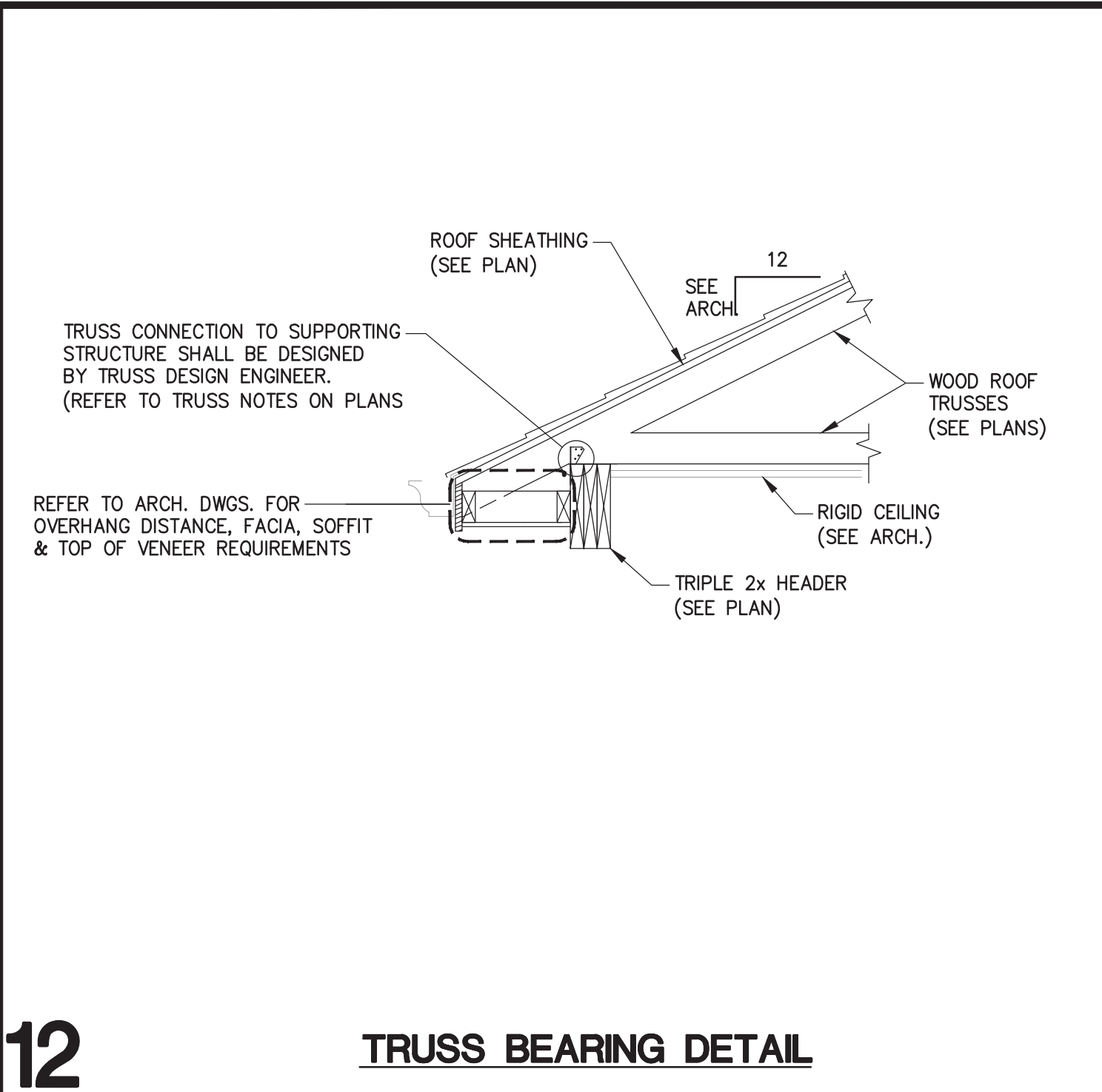
SECTIONS AND DETAILS

ALLAN ASSOCIATES ARCHITECTS, PLLC

KNOXVILLE, TENNESSEE 37912

865 / 689-1802

5616 WALLWOOD ROAD



**WOOD STUD HEADER AND JAMB SCHEDULE**

MARK/SIZE	HEADER MEMBERS	FULL-HEIGHT JAMBS	JACK POSTS	REMARKS
H1	(3)-2x8	2x6	1-2x6	L4x4 1/4 LOOSE BRICK LINTEL WHERE REQUIRED
H2	(3)-2x12	(2)-2x6	1-2x6	
H3	(3)-2x12	(2)-2x6	1-2x6	L6x4 3/8 (LLV) LOOSE BRICK LINTEL WHERE REQUIRED

NOTE:  
 1. ALL HEADER MEMBERS, JAMBS AND JACK POSTS SHALL BE #2 SO. PINE, U.N.O.  
 2. SCHEDULED QUANTITY AND SIZE OF FULL-HEIGHT JAMBS AND JACK POSTS SHALL BE PROVIDED AT EACH END OF HEADER U.N.O. ON PLANS.  
 3. PROVIDE CONT. PLYWOOD SPACERS BETWEEN HEADER LAMINATIONS AS NECESSARY. TOTAL HEADER WIDTH SHALL BE EQUAL TO ACTUAL DEPTH OF ADJACENT STUDS.  
 4. LOOSE BRICK LINTELS SHALL HAVE 8" BEARING LENGTH EA. END.

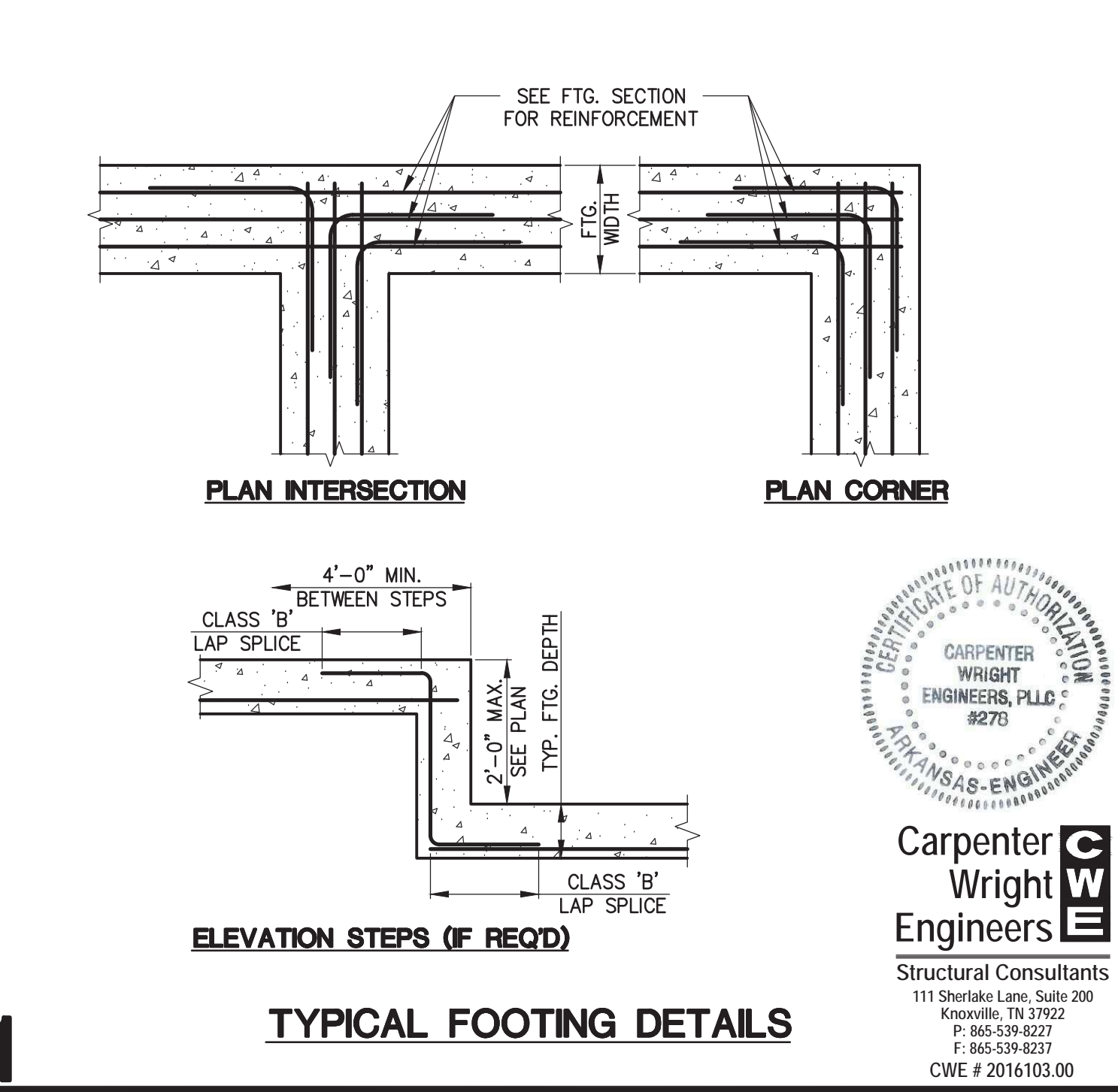
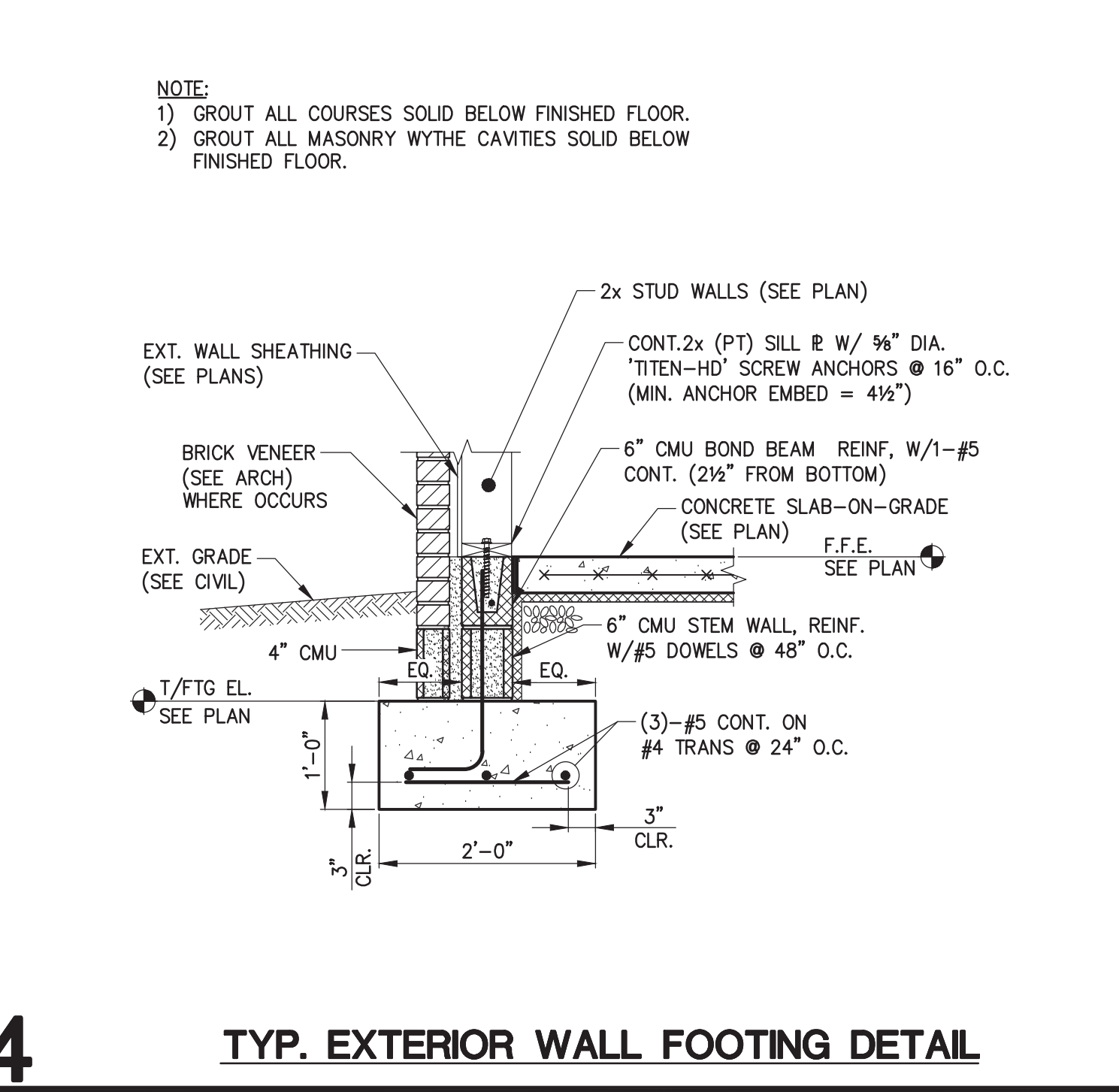
CONTINUOUS PLYWOOD SPACER

2x MEMBERS SEE SCHEDULE

(3)-2x MEMBERS

NOTE:  
 FASTEN PLIES TOGETHER W/NAILED EA. SIDE @ 12" O.C. STAGGER NAILS TOP & BOTTOM. USE 16d NAILS FOR (3)-2x MEMBERS.

2x HEADERS W/PLYWOOD SPACERS

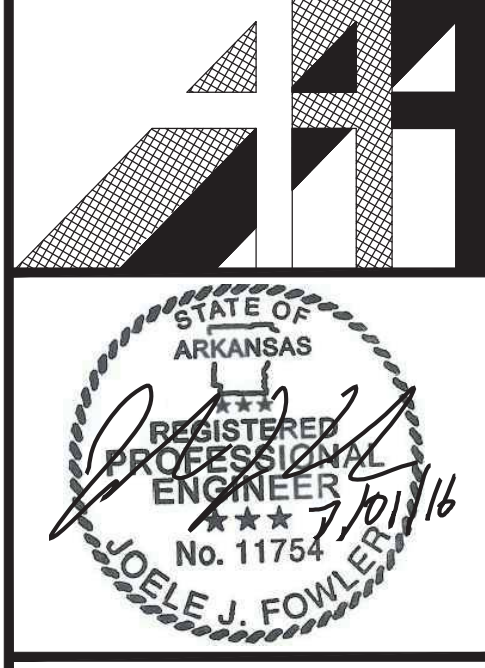


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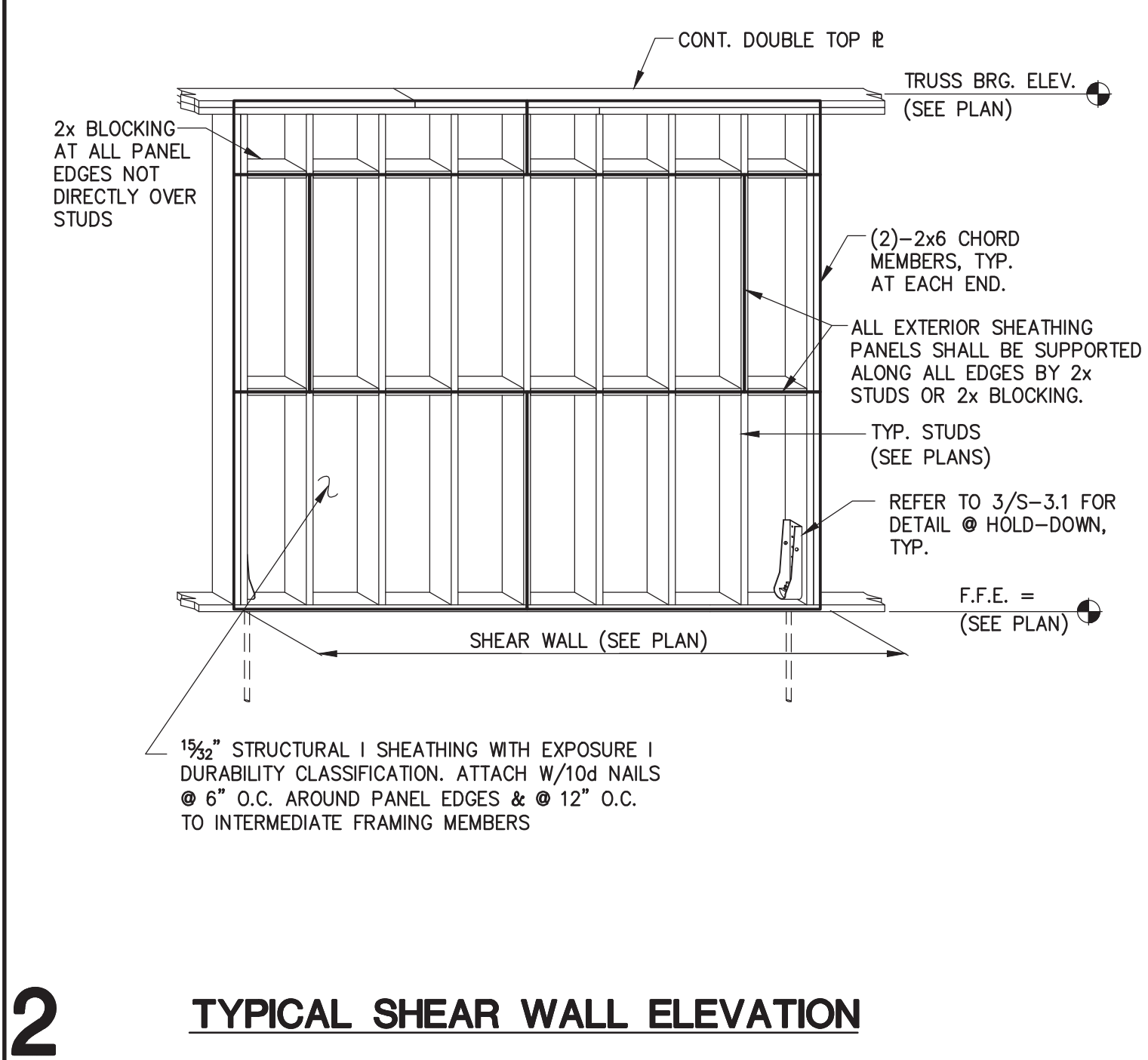
**S-3.1**

DRWN. BY: DJW	CHKD. BY: CAM
APPR. BY: JUF	DATE: 06.30.16
REVISIONS	

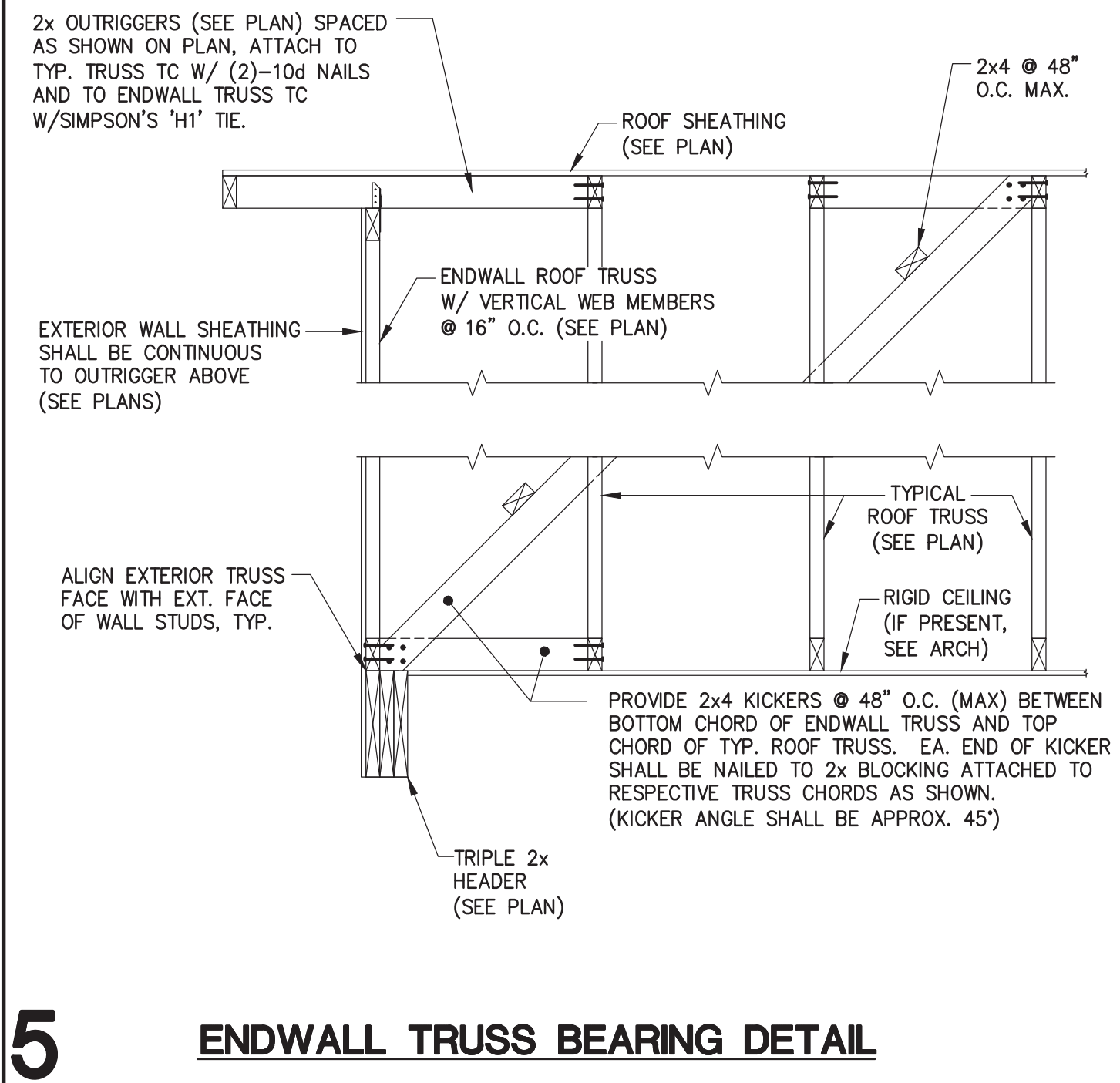
WHITE RIVER APARTMENTS  
 2800 MARION DRIVE  
 DIAZ, ARKANSAS  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 5616 WALLWOOD ROAD  
 KNOXVILLE, TENNESSEE 37912  
 865 / 689-1802



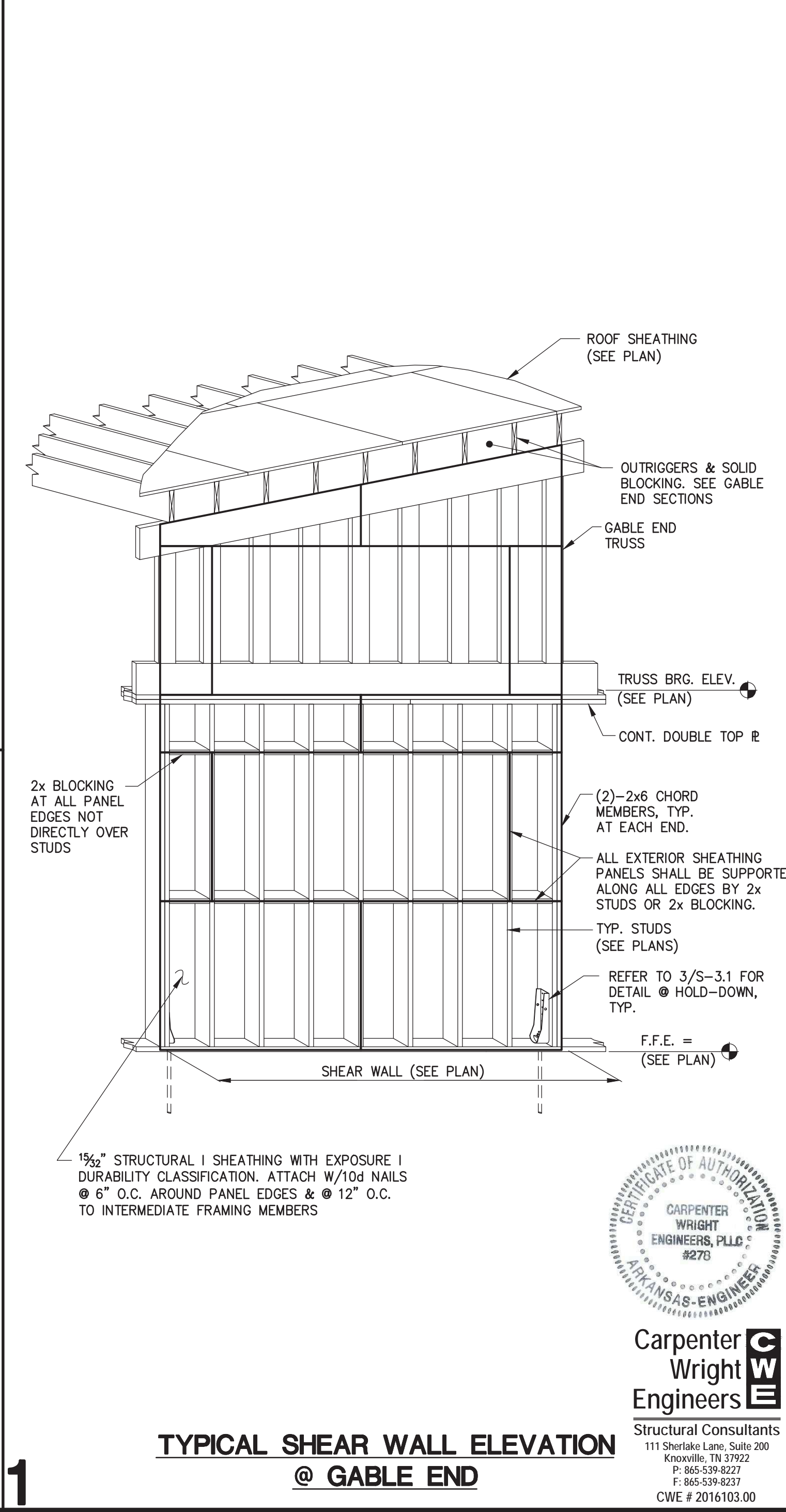
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**S-3.2**



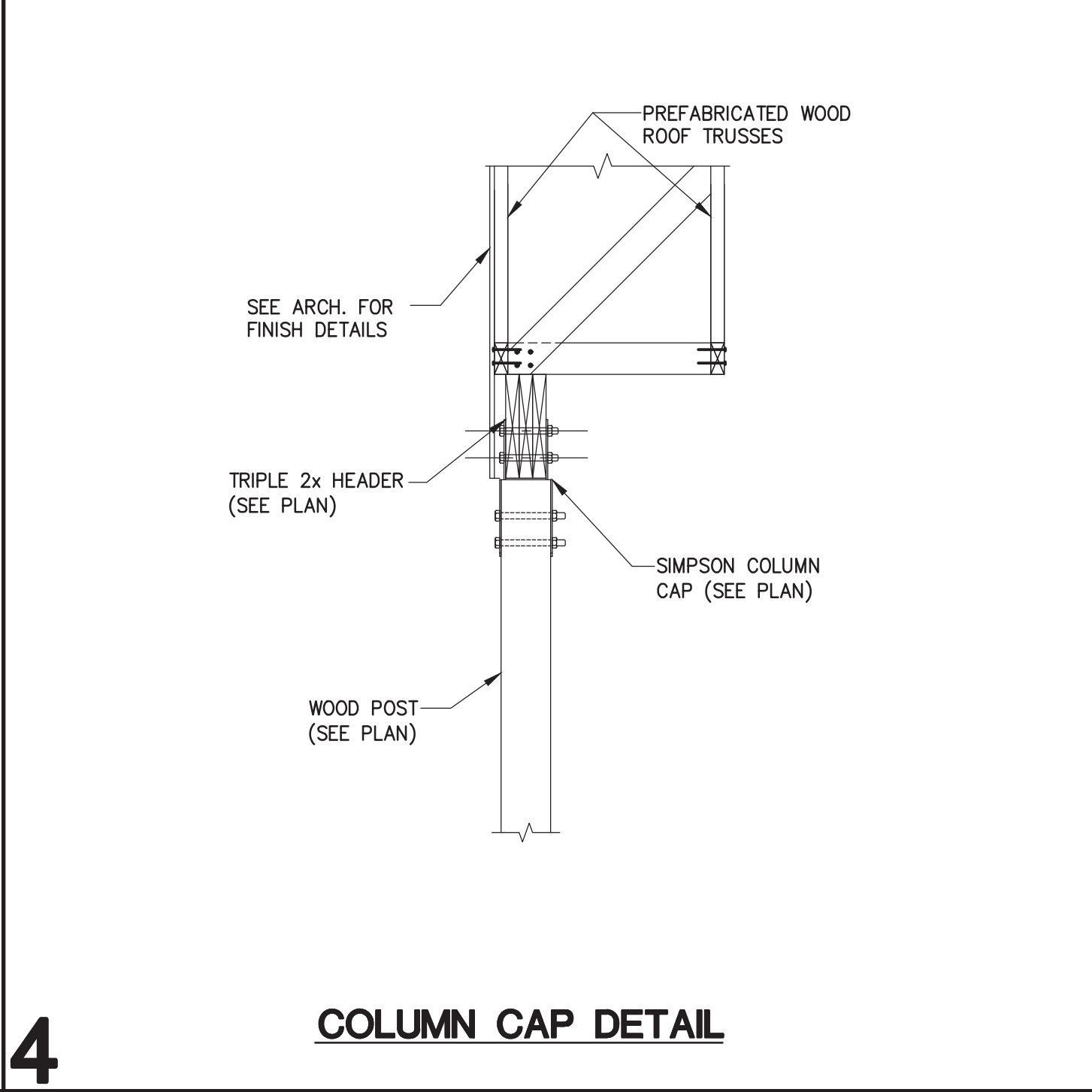
**2 TYPICAL SHEAR WALL ELEVATION**



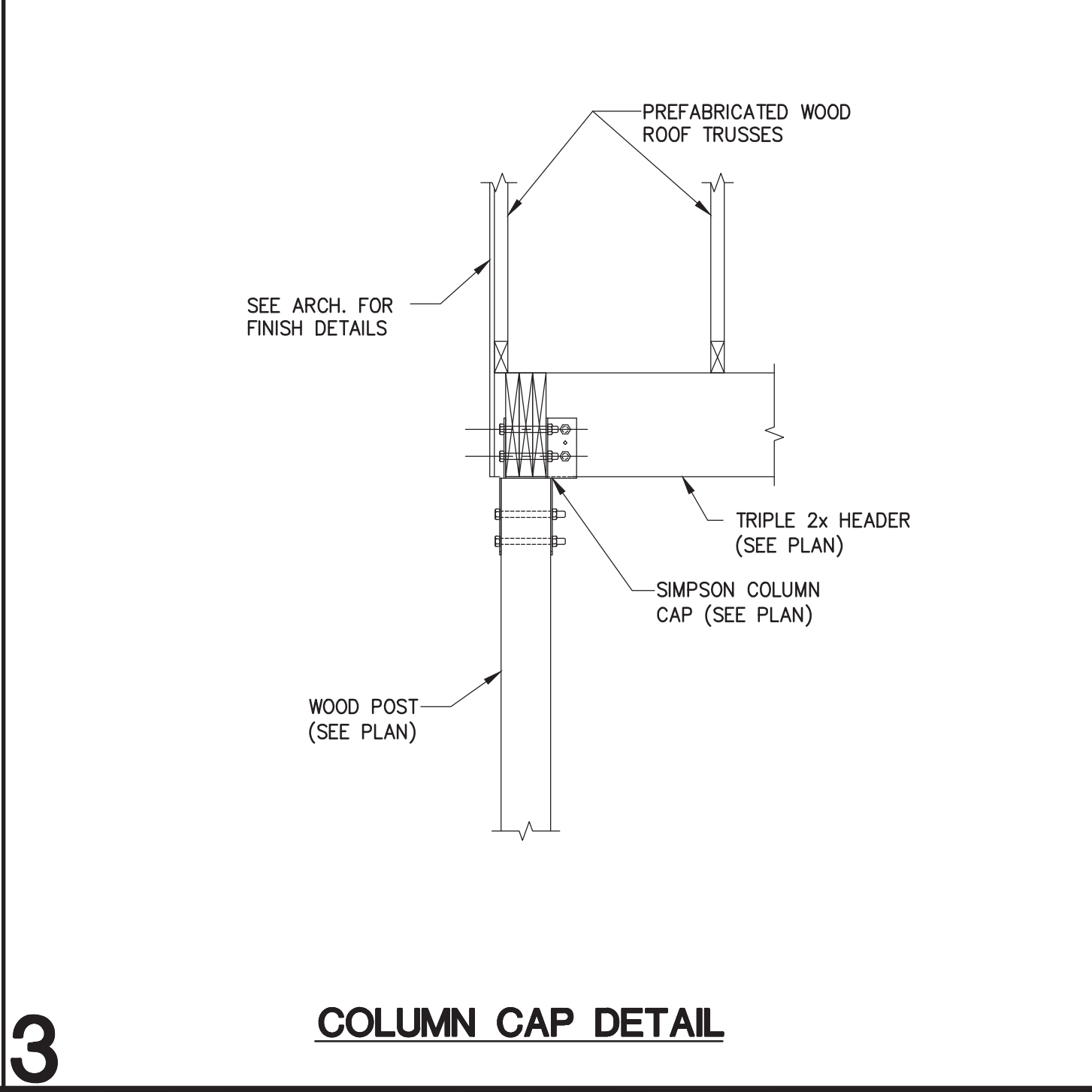
**5 ENDWALL TRUSS BEARING DETAIL**



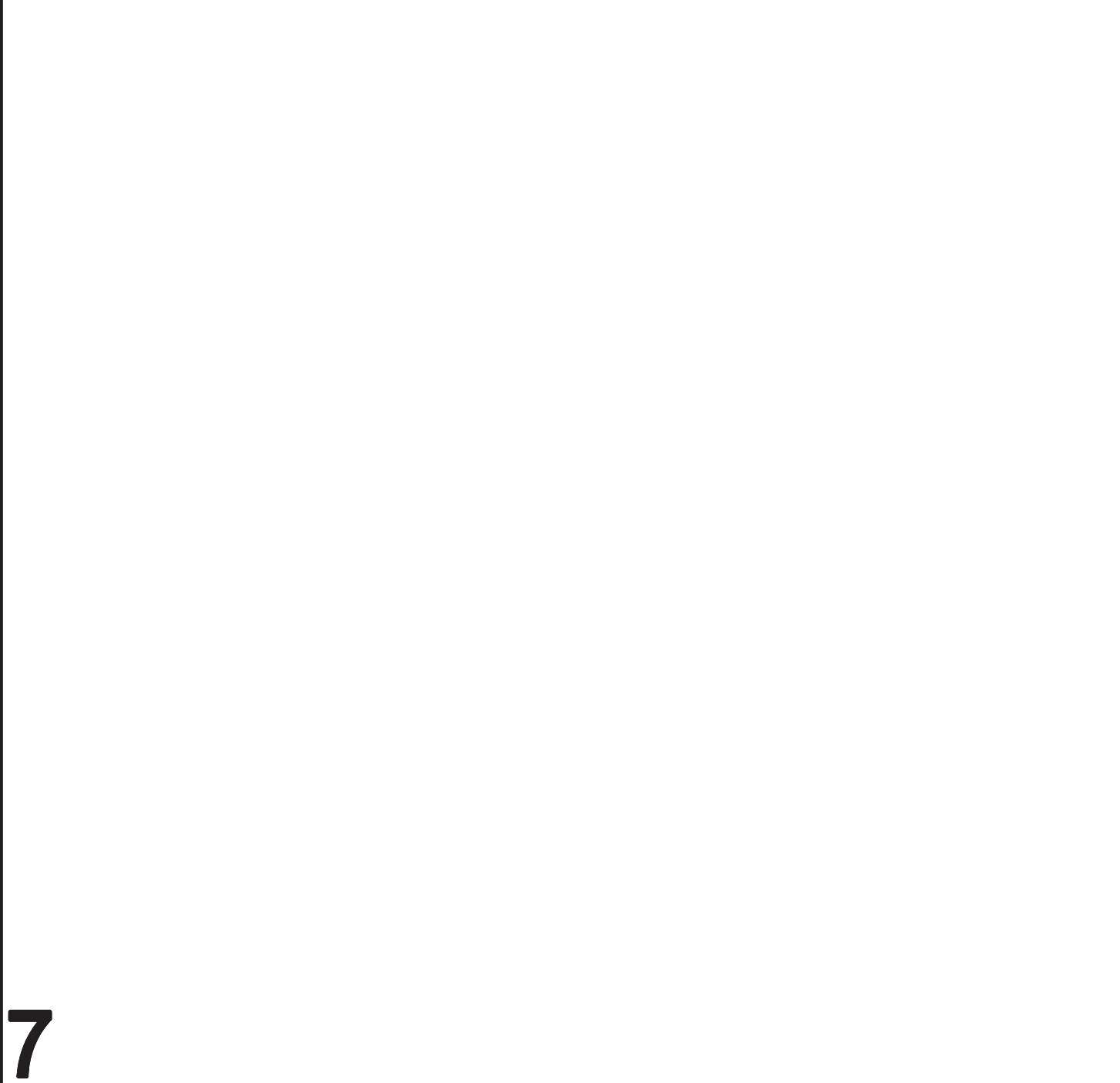
**1 TYPICAL SHEAR WALL ELEVATION @ GABLE END**



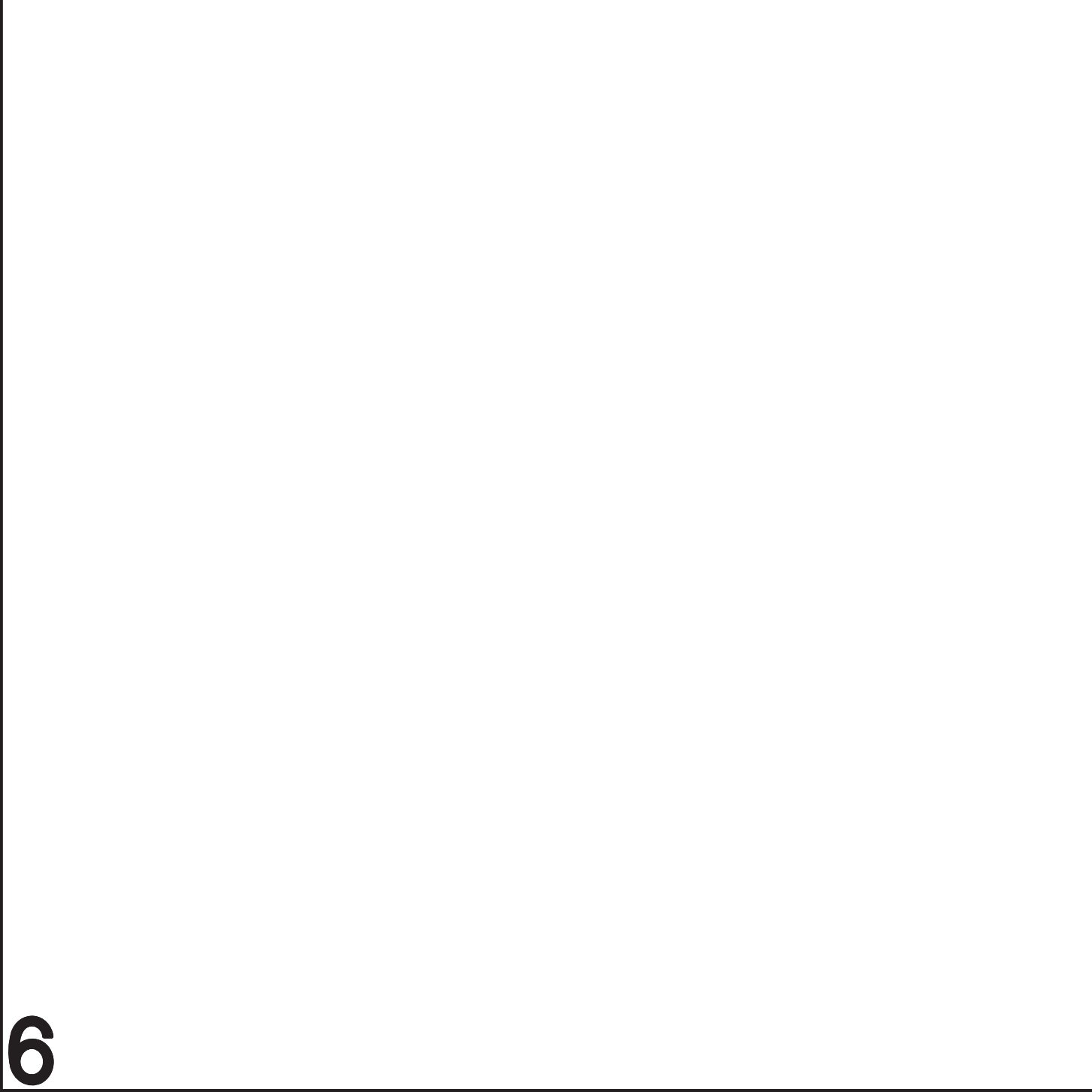
**4 COLUMN CAP DETAIL**



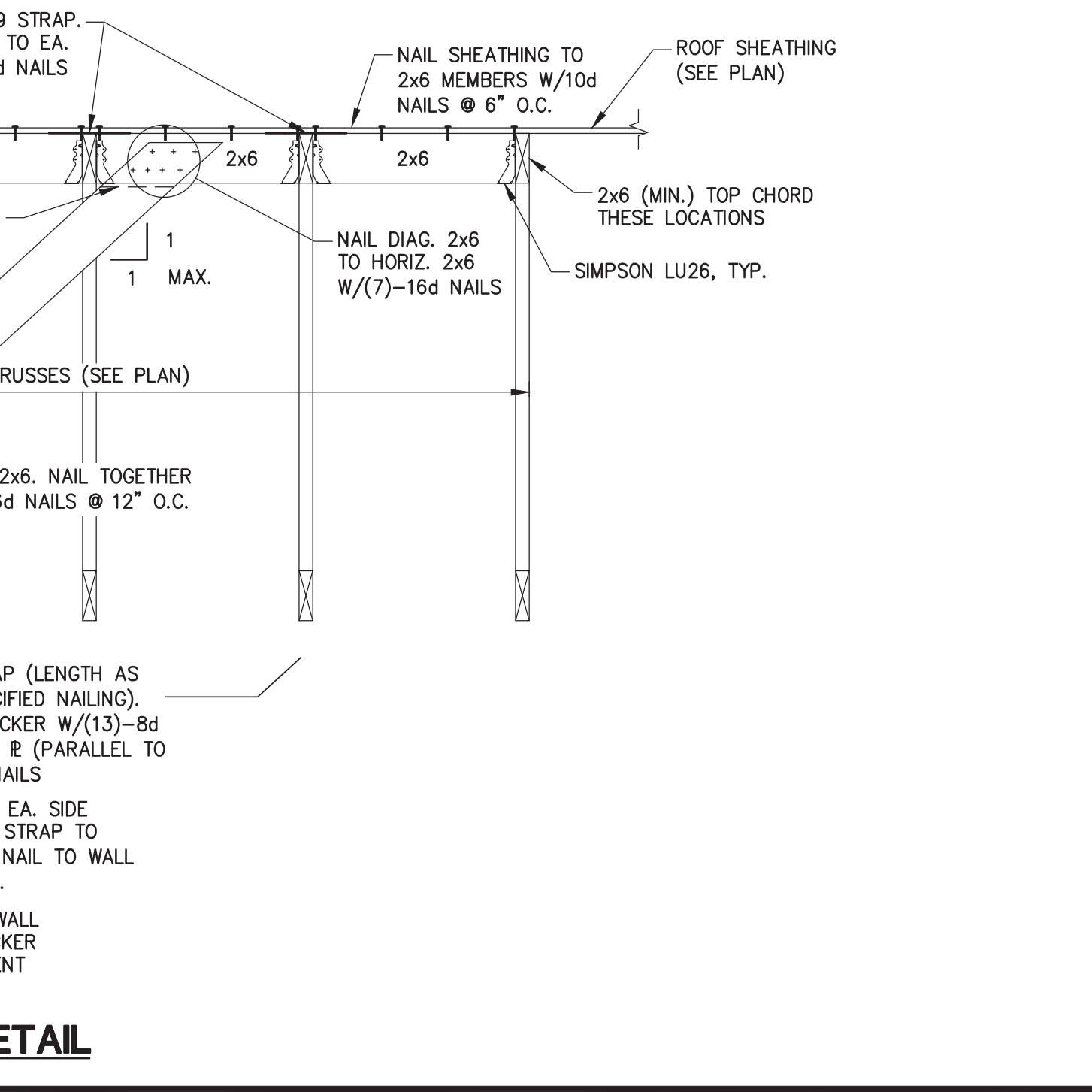
**3 COLUMN CAP DETAIL**



**7 KICKER DETAIL**



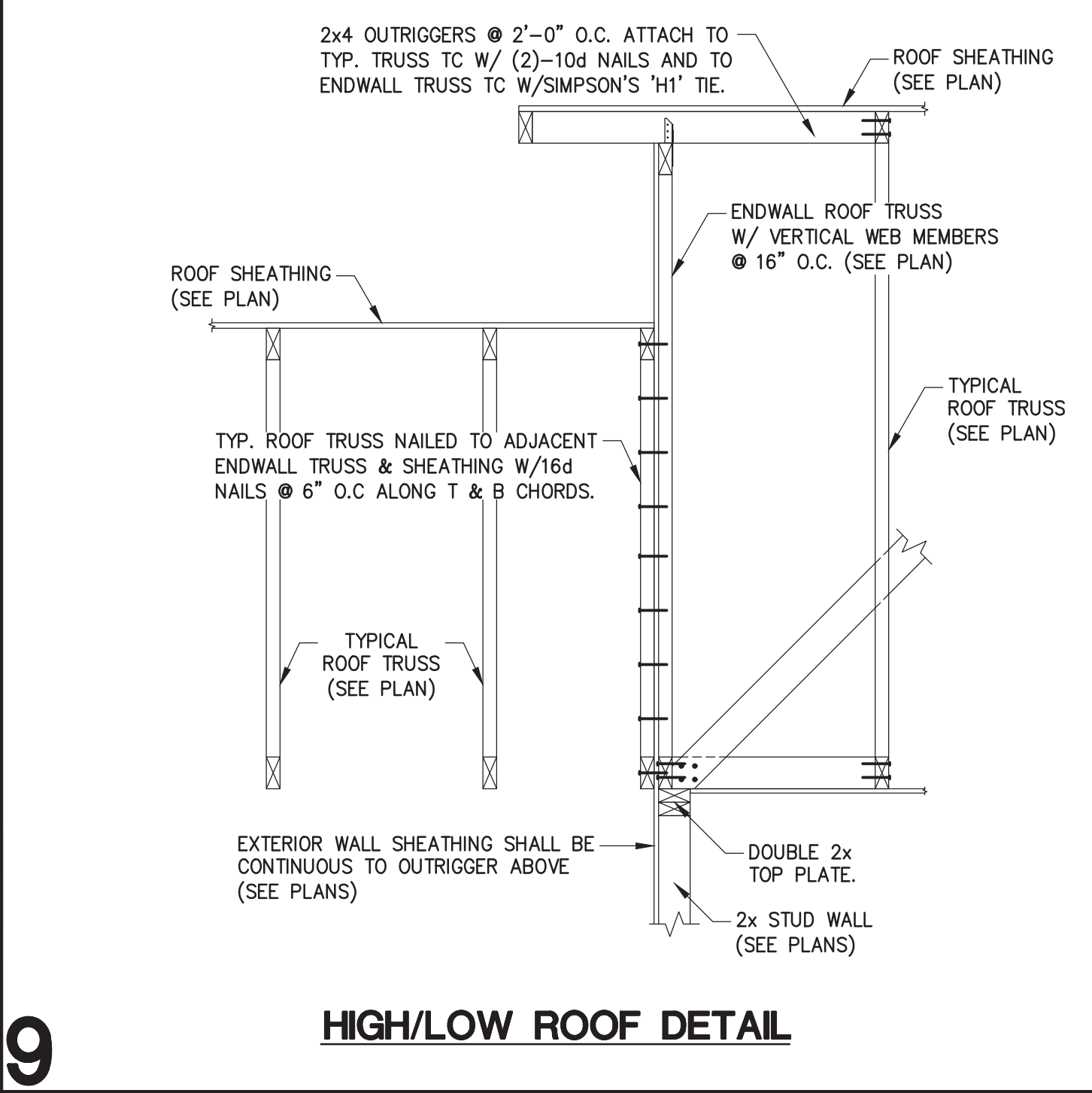
**6 HIGH/LOW ROOF DETAIL**



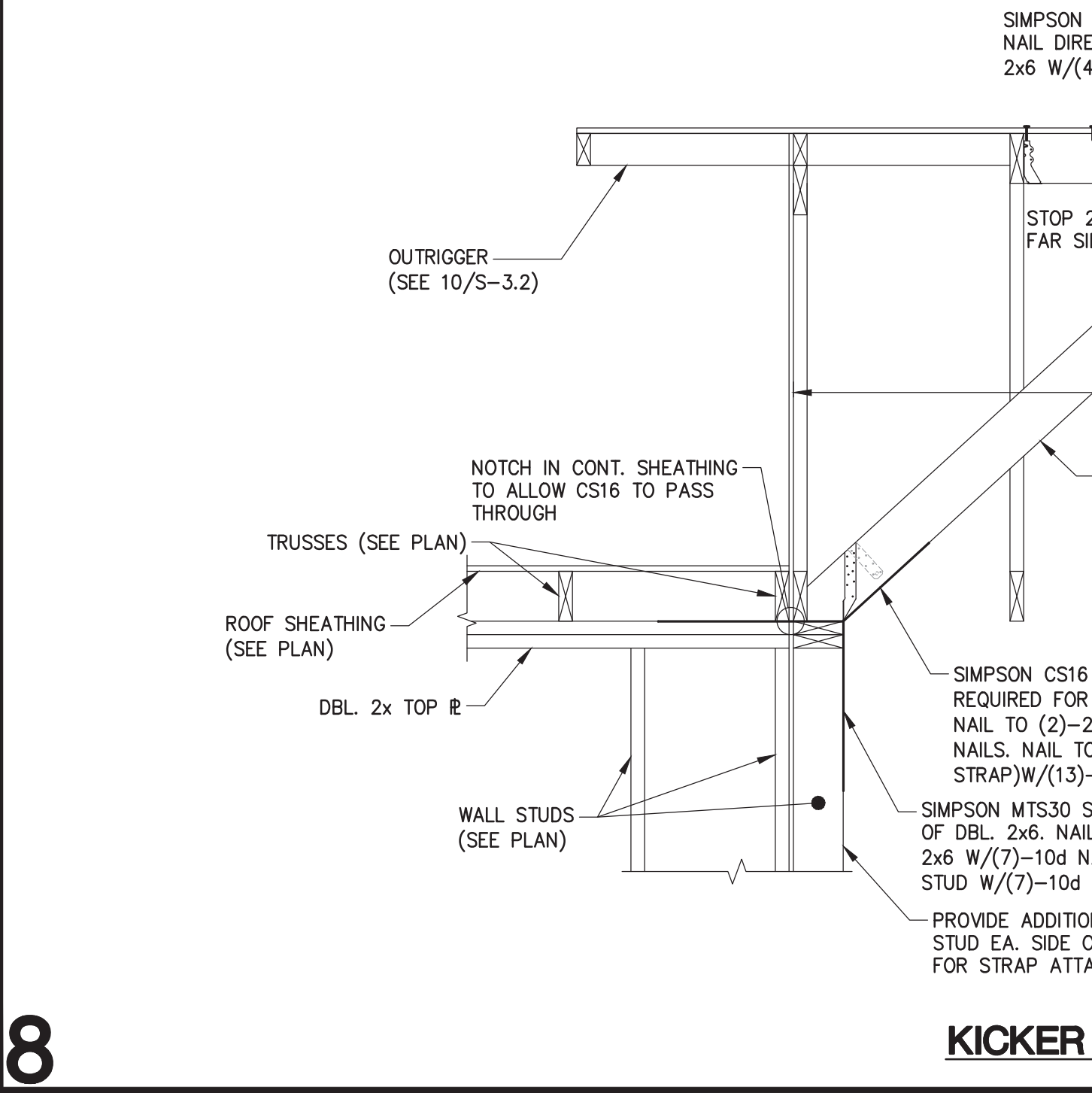
**8 KICKER DETAIL**



**10 ENDWALL TRUSS BEARING DETAIL**



**9 HIGH/LOW ROOF DETAIL**



**8 KICKER DETAIL**



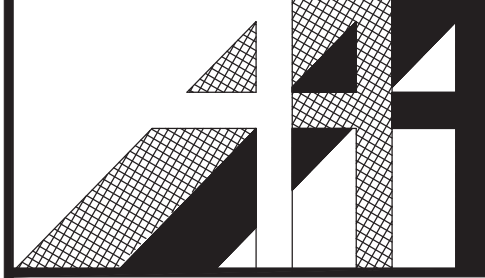
DRWN. BY: DJW  
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DATE: 06.30.16  
REVISIONS

WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

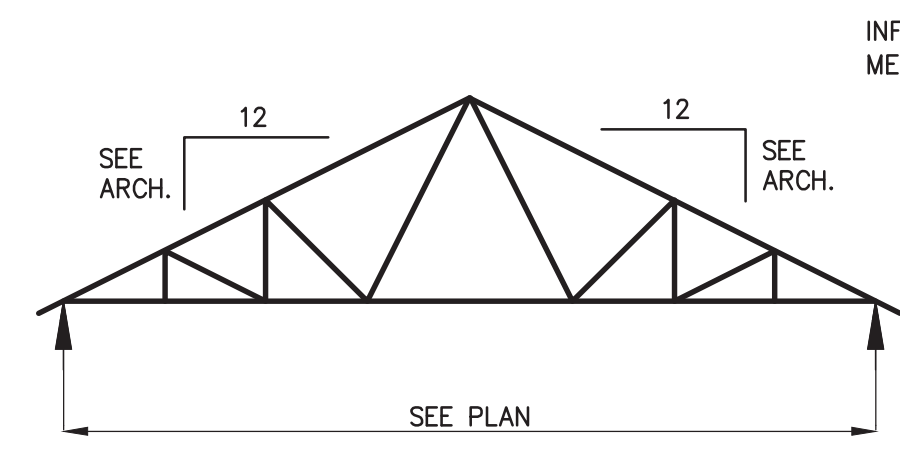
**ROOF TRUSS PROFILES**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912

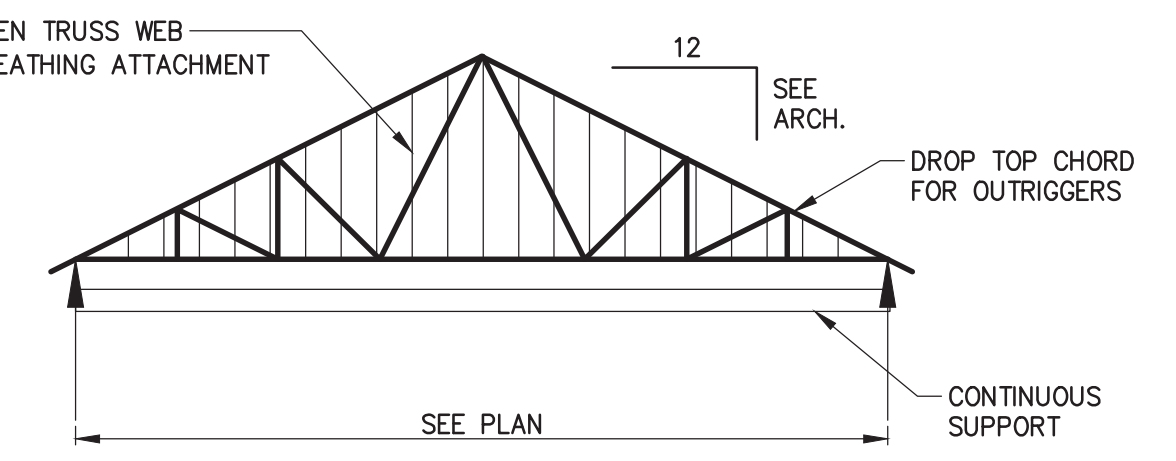
865 / 689-1802  
5516 WALLWOOD ROAD



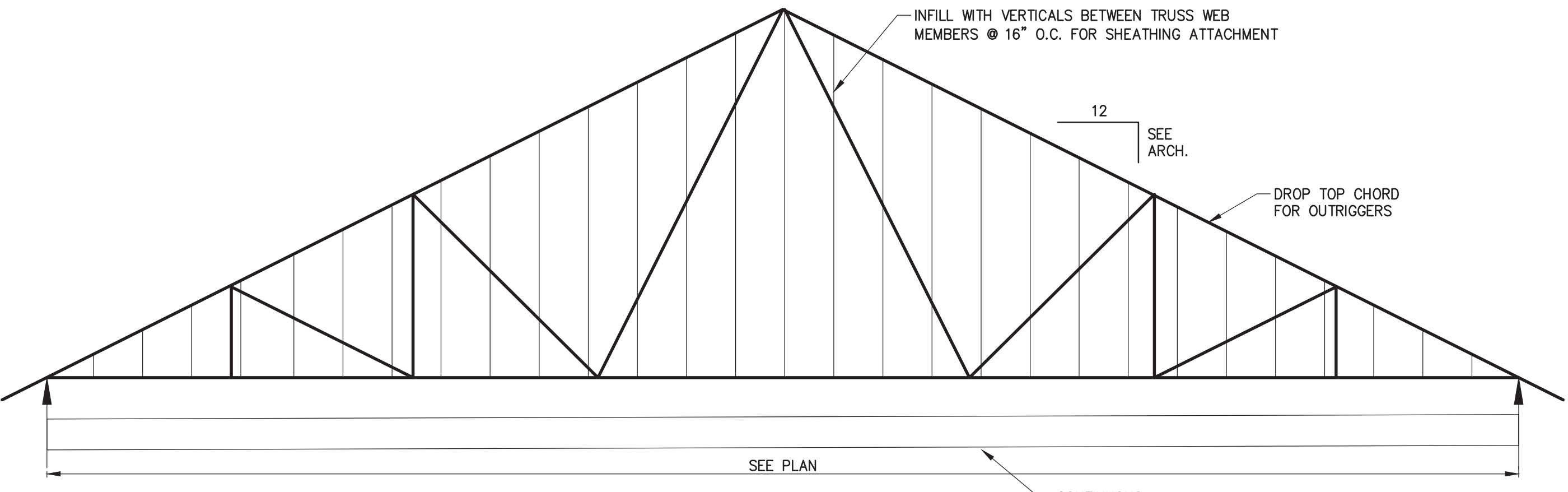
SHEET NUMBER  
**S-3.3**



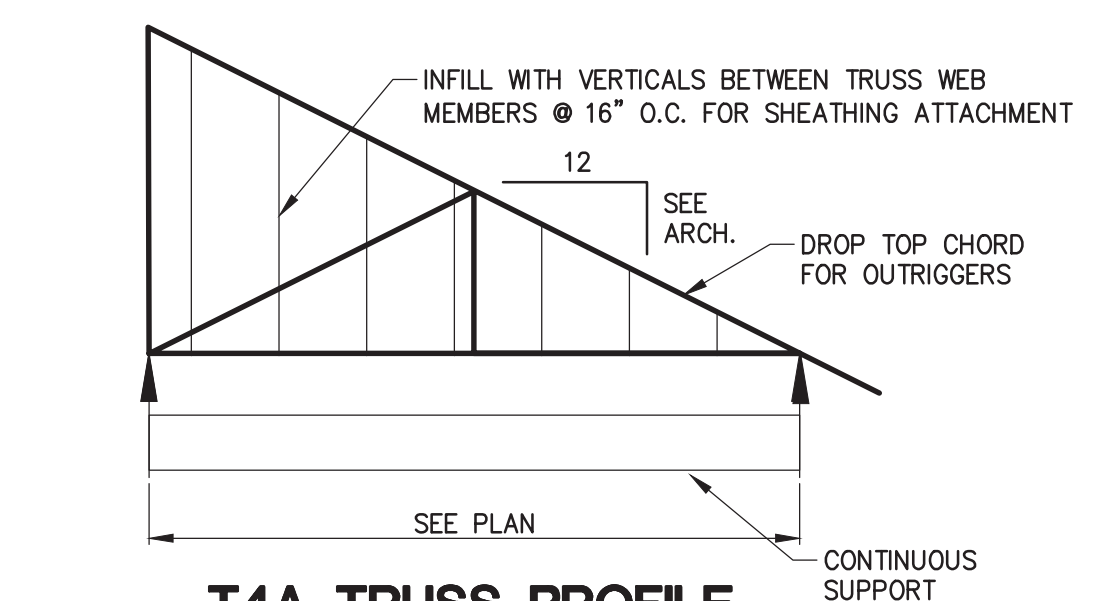
**T5 TRUSS PROFILE**



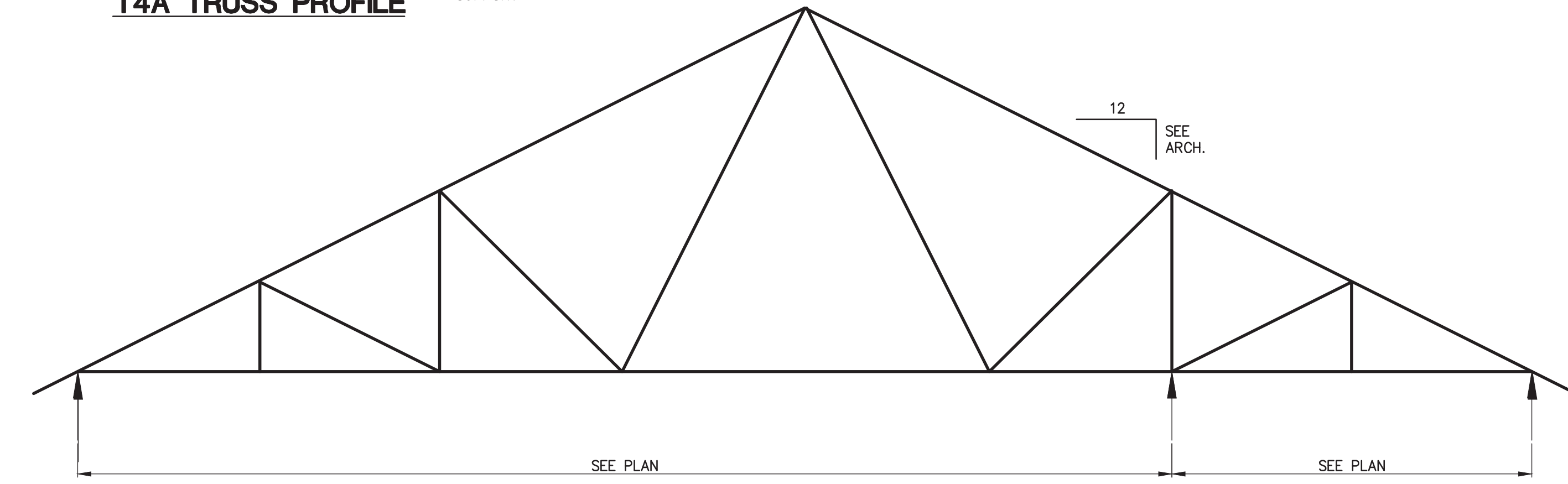
**T5A TRUSS PROFILE**



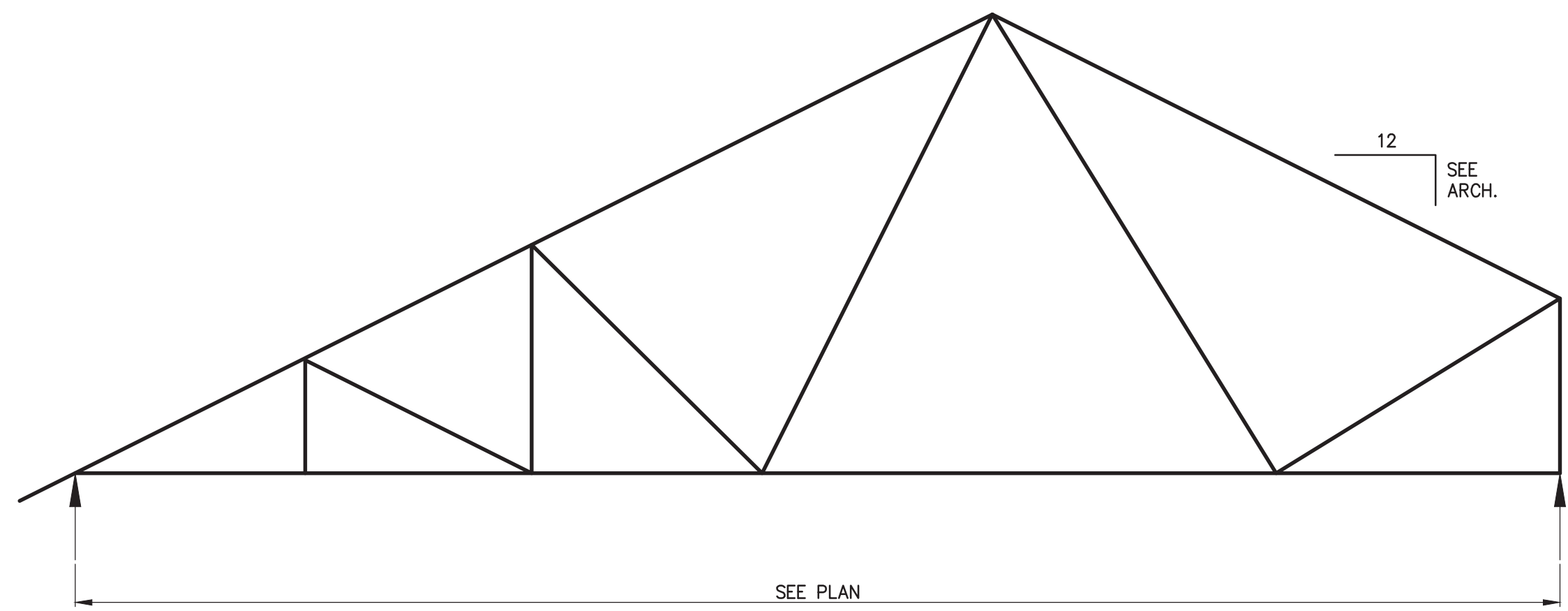
**T4B TRUSS PROFILE**



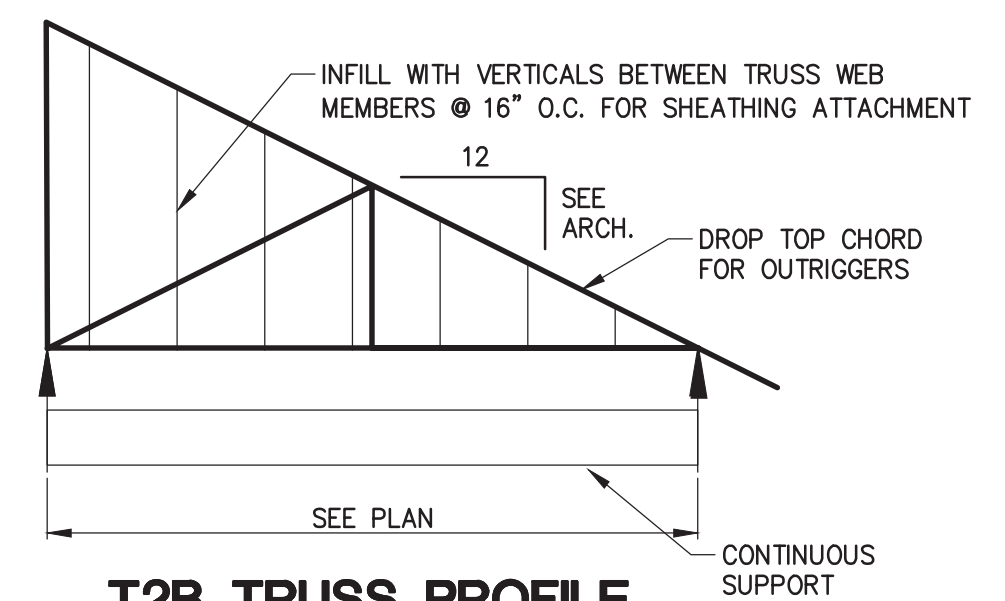
**T4A TRUSS PROFILE**



**T4 TRUSS PROFILE**

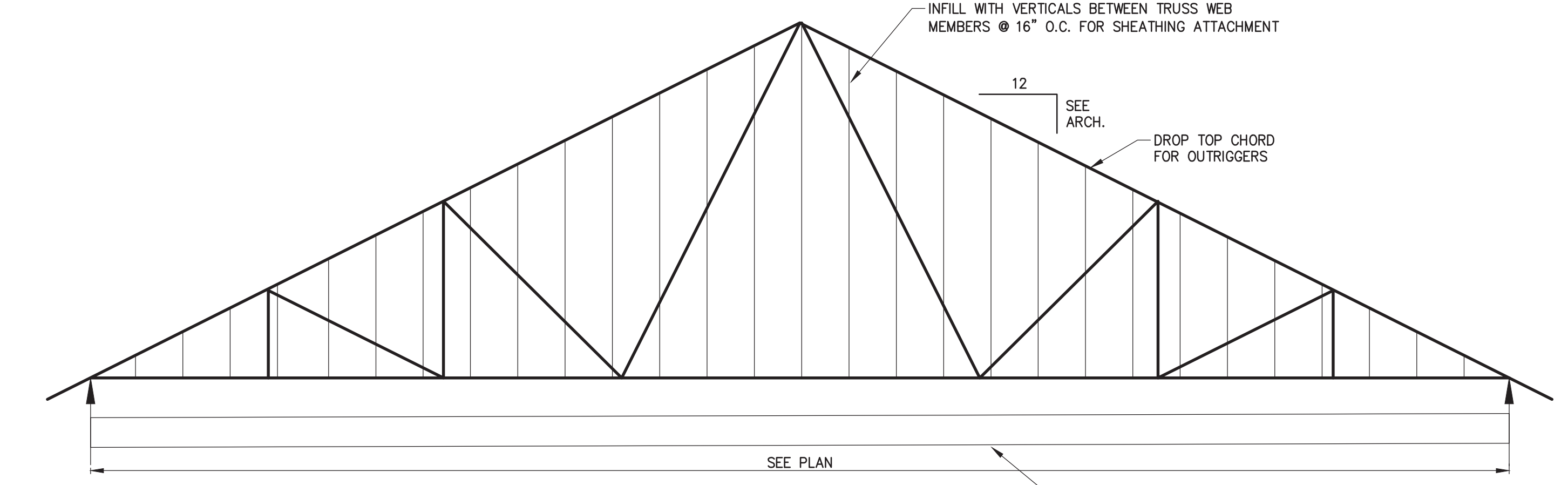


**T3 TRUSS PROFILE**

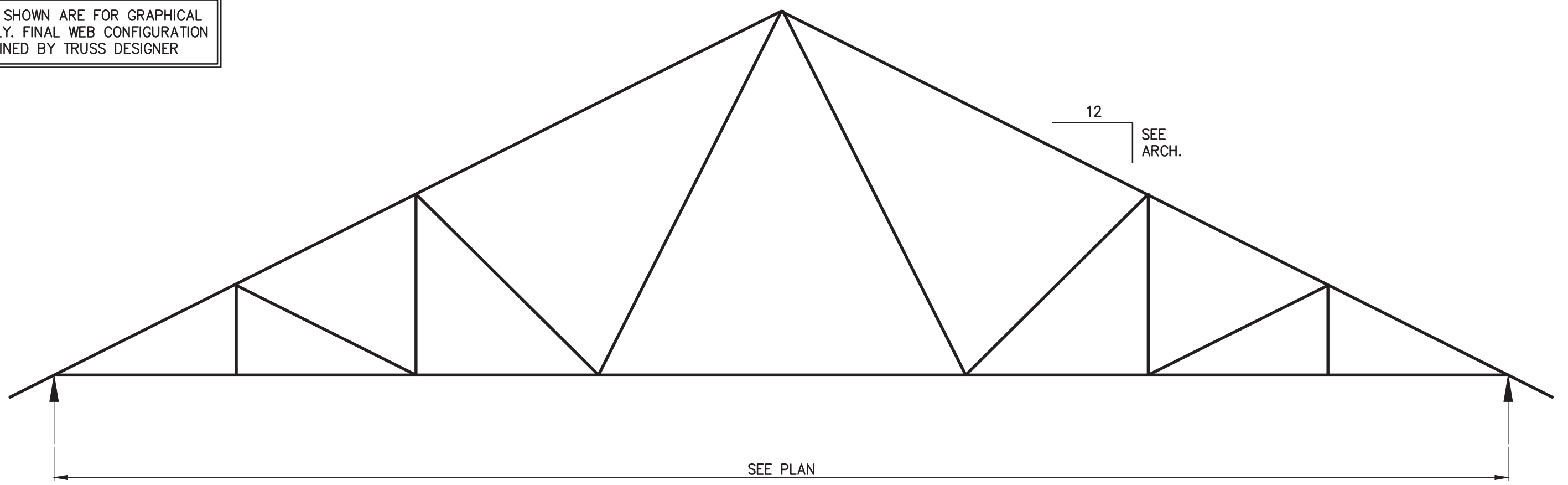


**T2B TRUSS PROFILE**

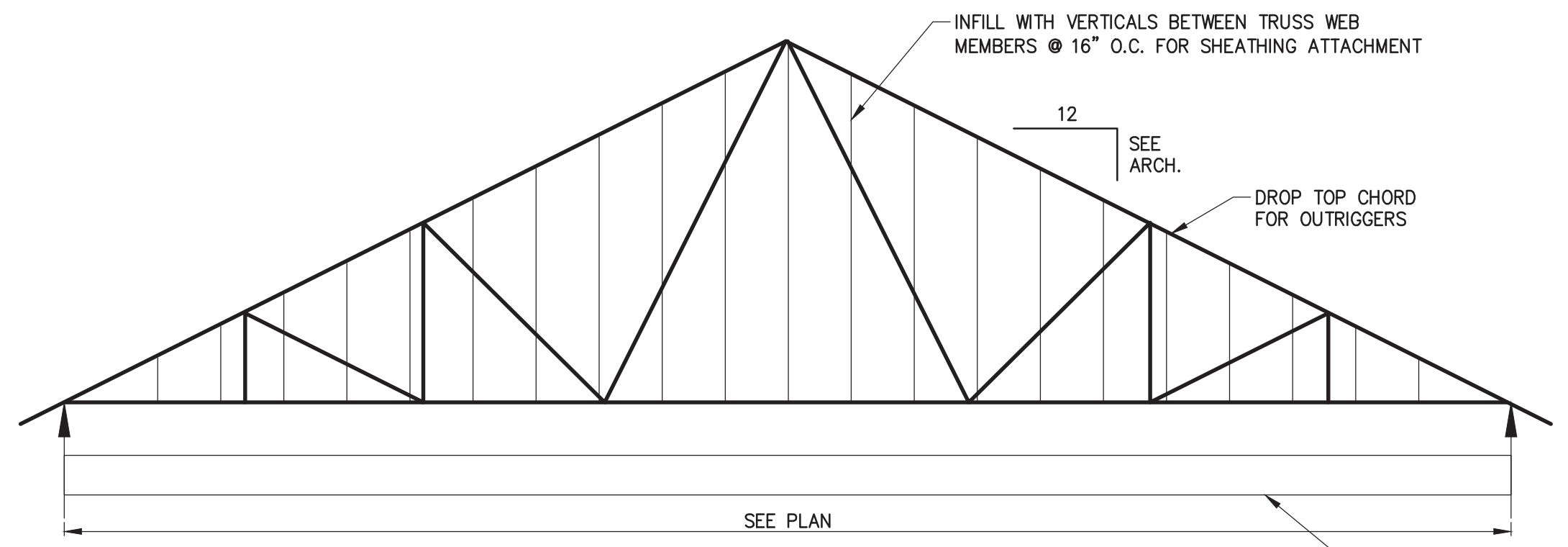
WEB MEMBERS SHOWN ARE FOR GRAPHICAL PURPOSES ONLY. FINAL WEB CONFIGURATION TO BE DETERMINED BY TRUSS DESIGNER



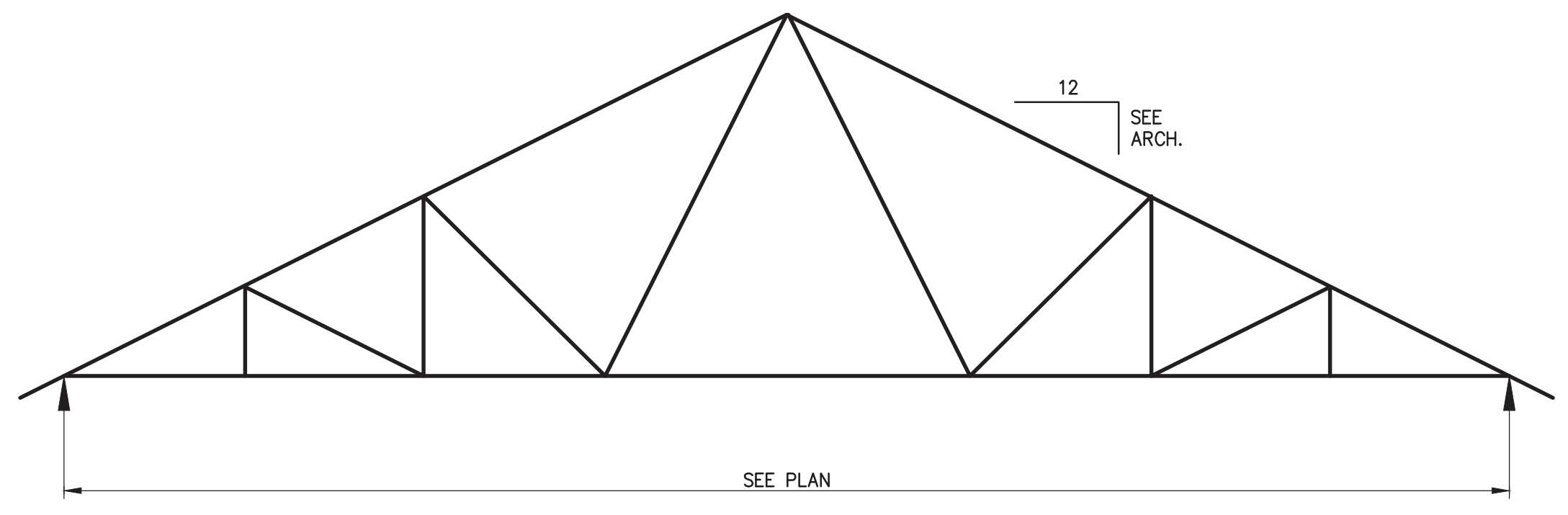
**T2A TRUSS PROFILE**



**T2 TRUSS PROFILE**



**T1A TRUSS PROFILE**



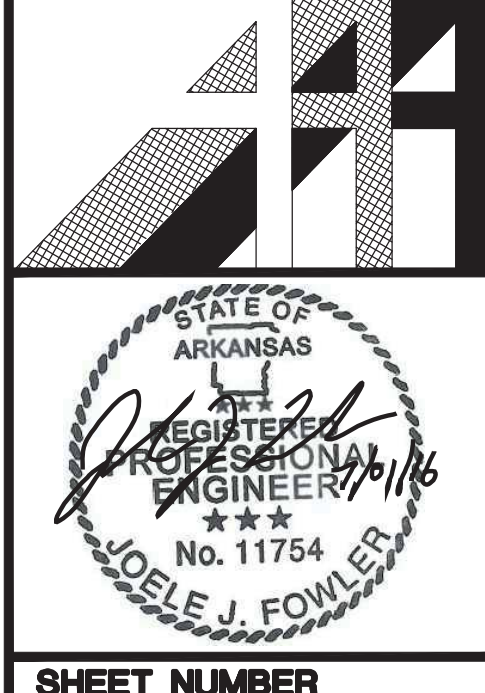
**T1 TRUSS PROFILE**



**Carpenter Wright Engineers**  
Structural Consultants  
111 Sherlake Lane, Suite 200  
Knoxville, TN 37922  
P: 865-539-8227  
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CWE # 2016103.00

DRWN. BY: DJW  
 CHKD. BY: CAM  
 APPR. BY: JUF  
 DATE: 06.30.16  
 REVISIONS

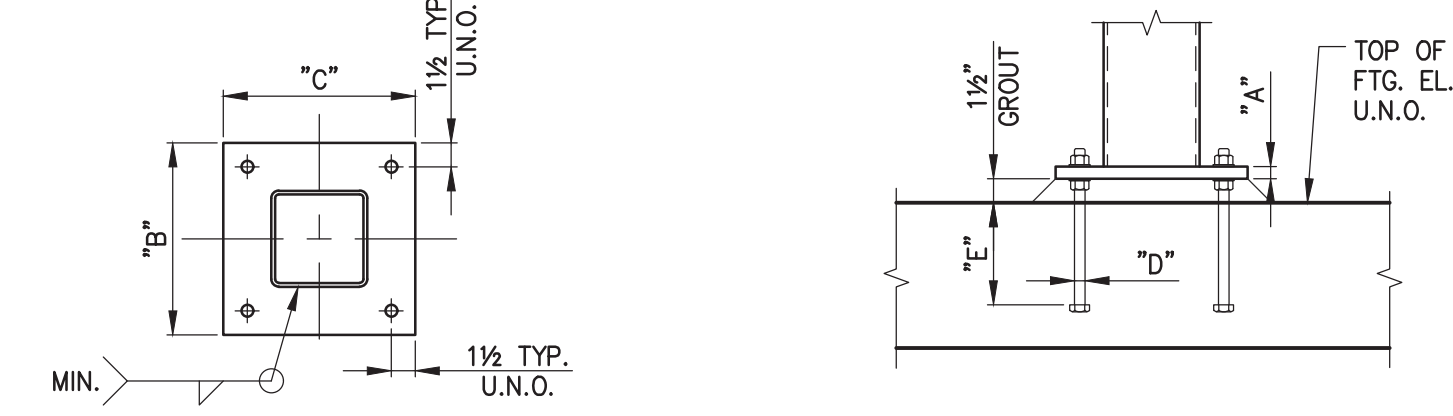
WHITE RIVER APARTMENTS  
 2900 MARION DRIVE  
 DIAZ, ARKANSAS  
 ALLAN ASSOCIATES ARCHITECTS, PLLC  
 KNOXVILLE, TENNESSEE 37912  
 865 / 689-1802  
 5616 WALLWOOD ROAD



SHEET NUMBER  
**S-3.4**

COLUMN SIZE	BASE PLATE			ANCHOR BOLTS			REMARKS
	A	B	C	D	E	#	
HSS 4x4	3/4"	10"	10"	3/4"	9"	4	

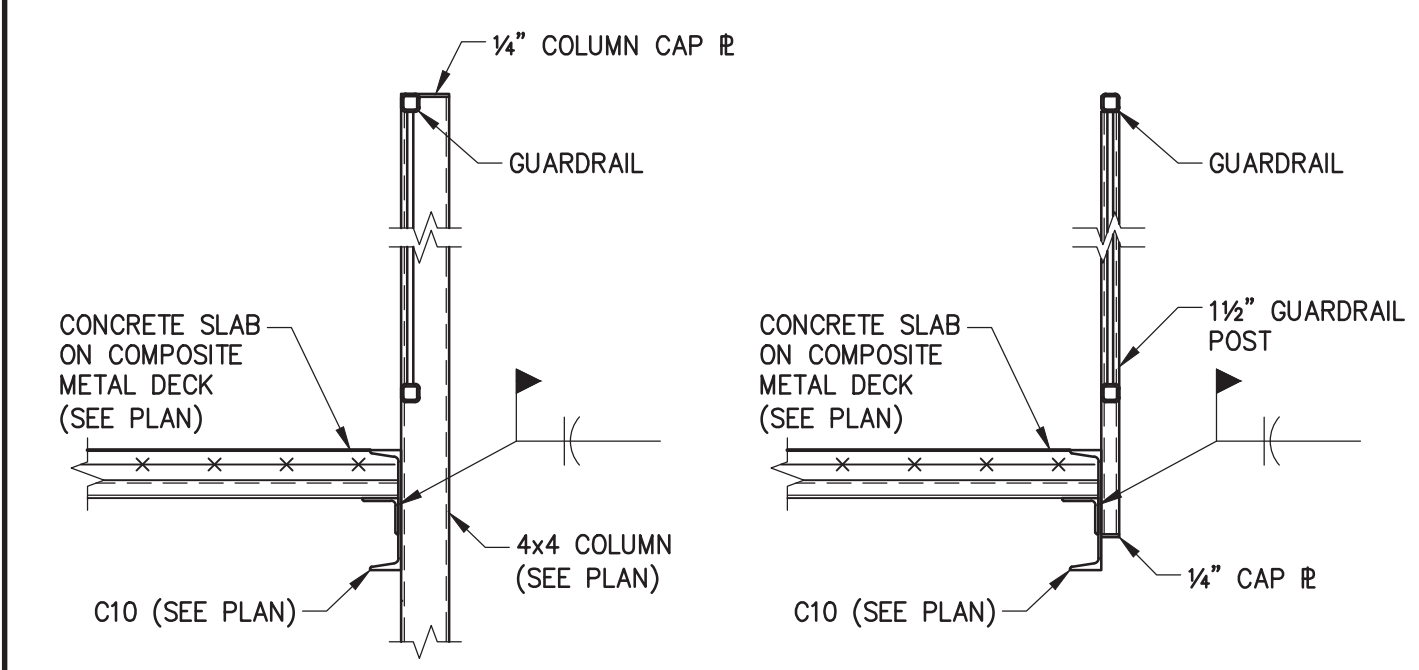
NOTES:  
 1) ALL BASE PLATE MATERIAL SHALL BE ASTM A572 GRADE 50 U.N.O.  
 2) ALL ANCHOR BOLTS ARE HEADED ANCHOR RODS WITH (2) PLATE WASHERS & (2) HEAVY HEX NUTS (TYP.)  
 3) ANCHOR BOLTS/RODS SHALL BE ASTM F1554, GRADE (AS SPECIFIED)



HSS CONFIGURATION

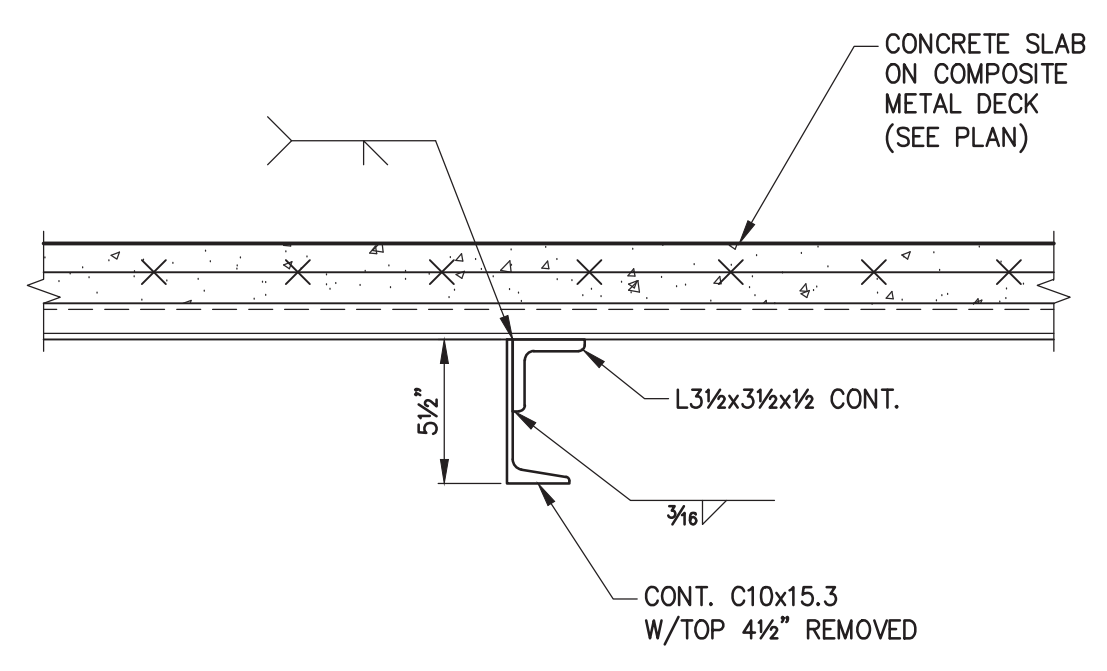
COLUMN BASEPLATE DETAIL

3



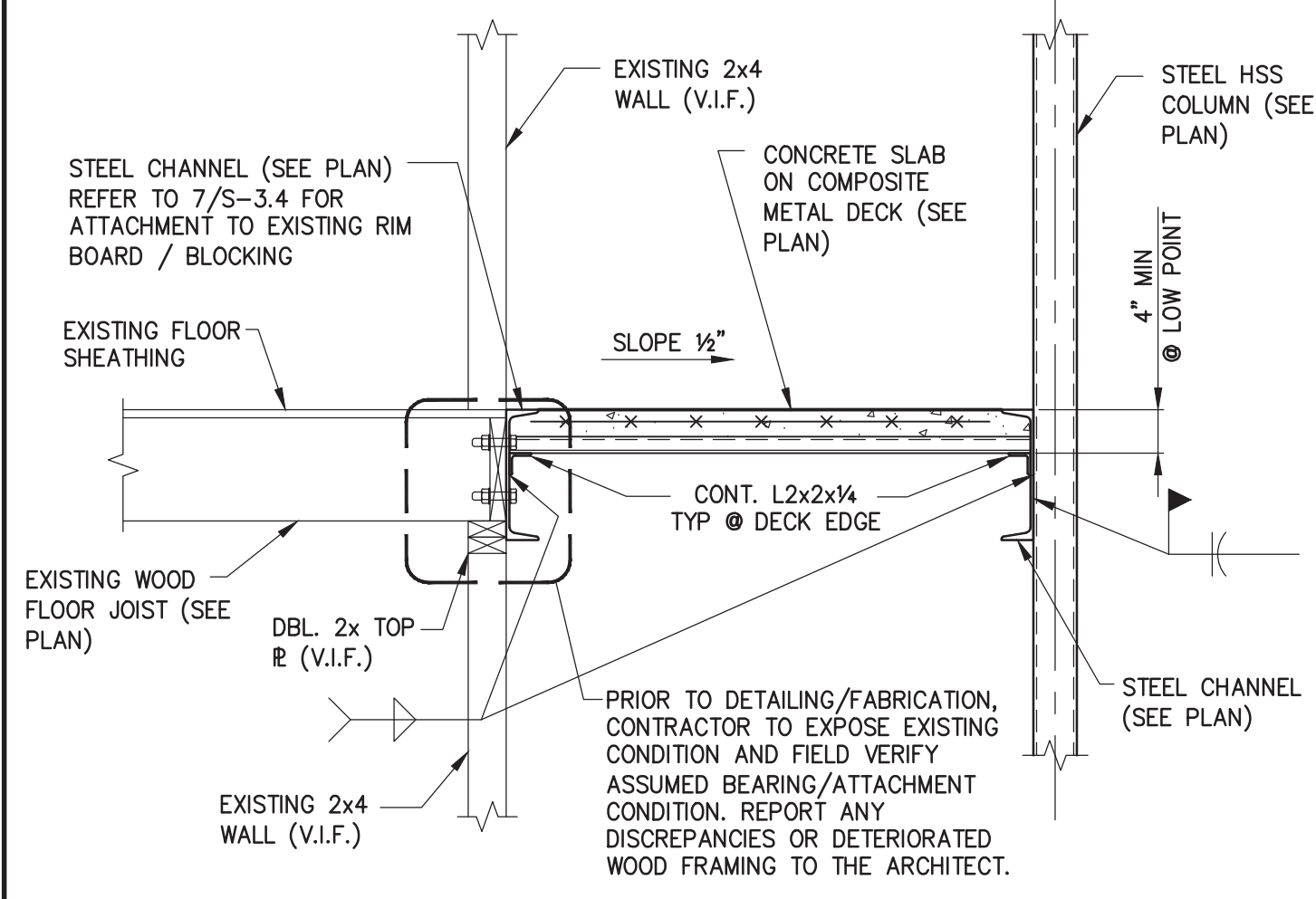
GUARDRAIL DETAILS

6



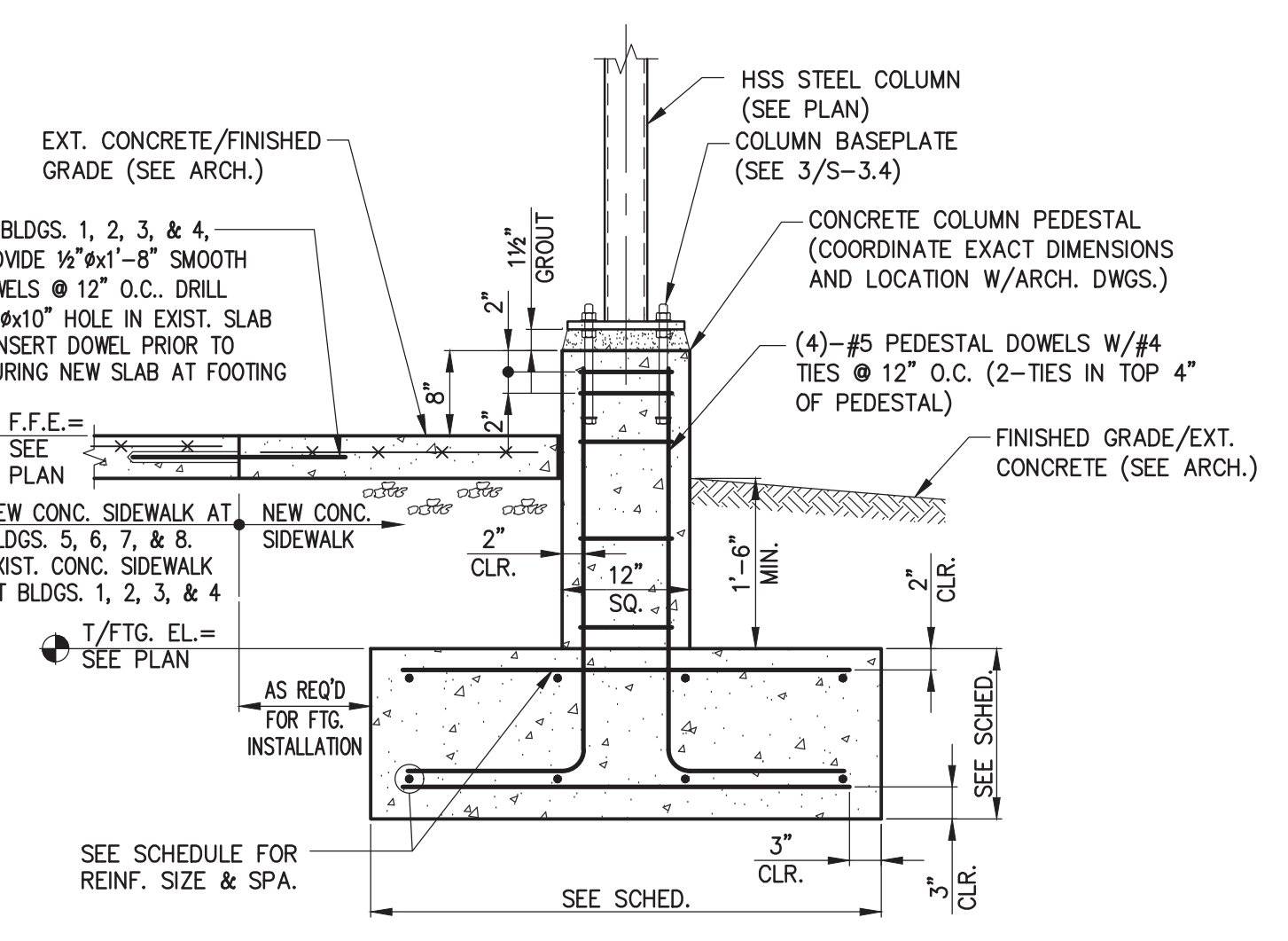
FLOOR SLAB SECTION

5



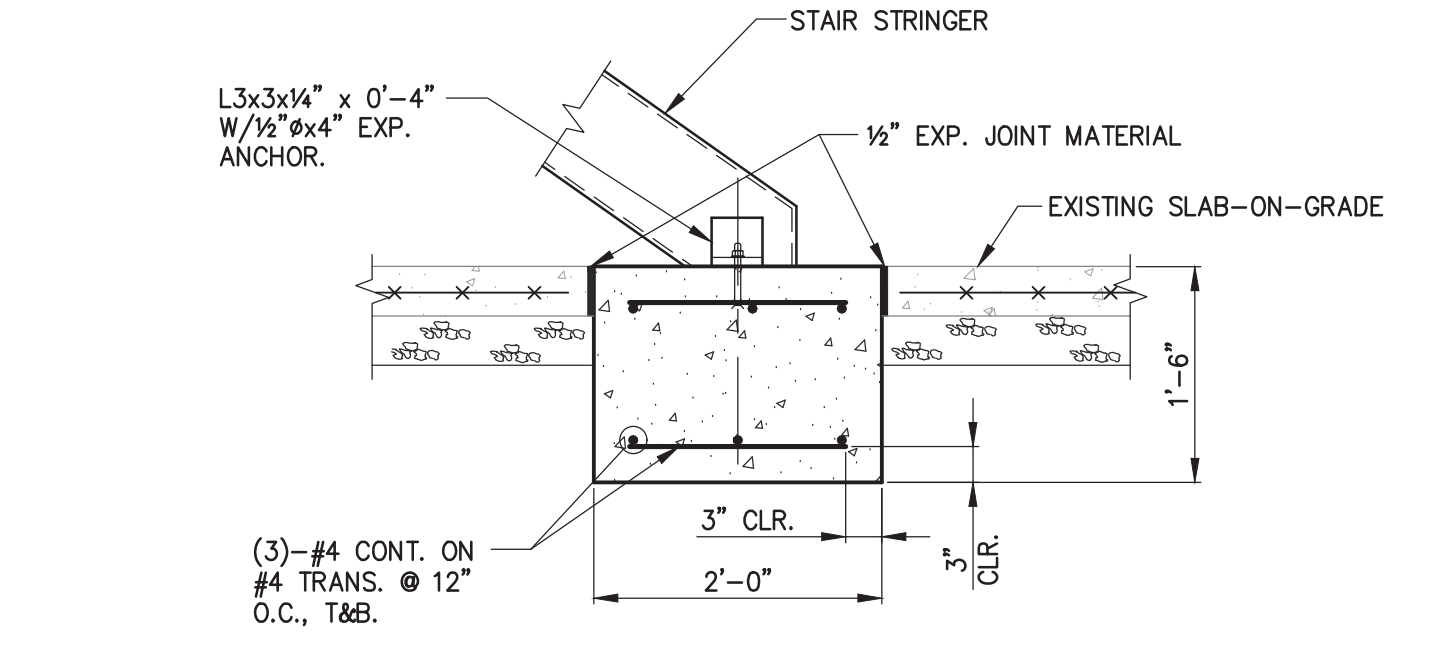
SECTION @ WALKWAY

4

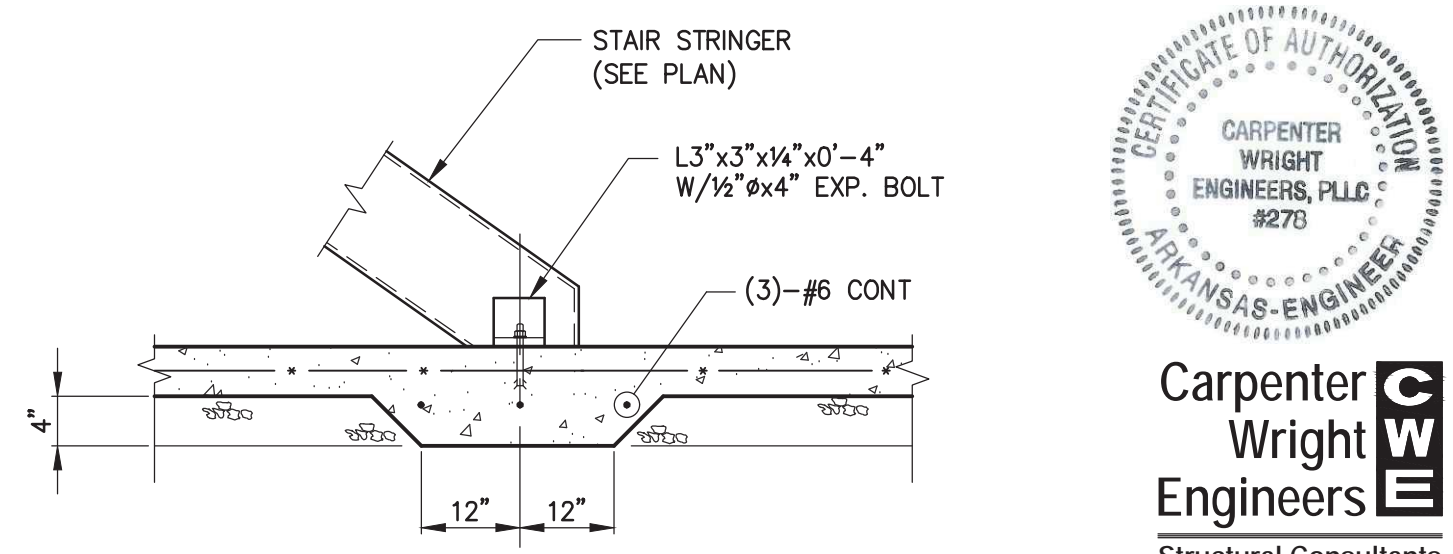


COLUMN FOUNDATION DETAIL

2



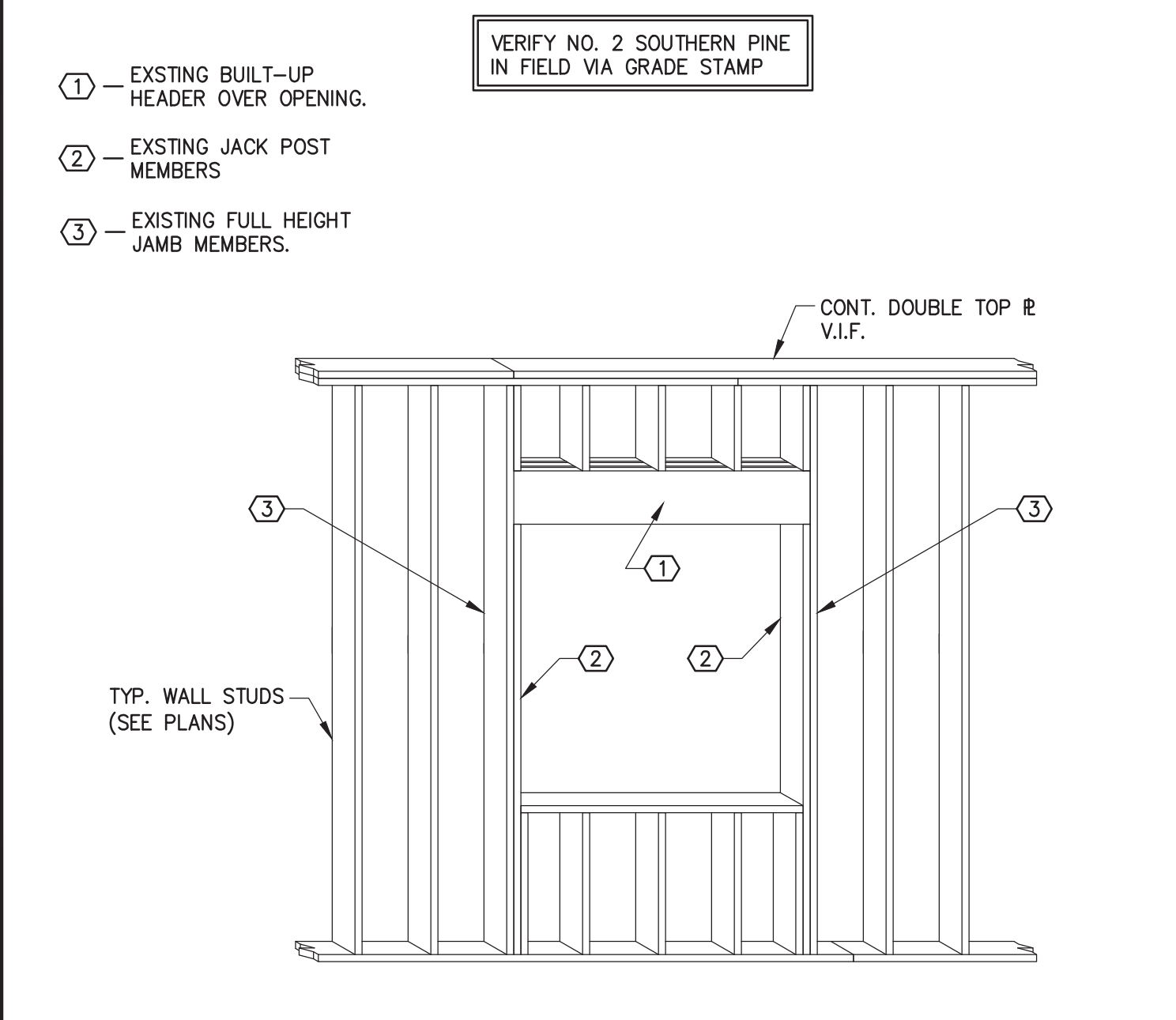
TYP. STRINGER ANCHORAGE DETAIL AT EXISTING SLAB



TYPICAL STRINGER ANCHORAGE DETAIL @ NEW SLAB

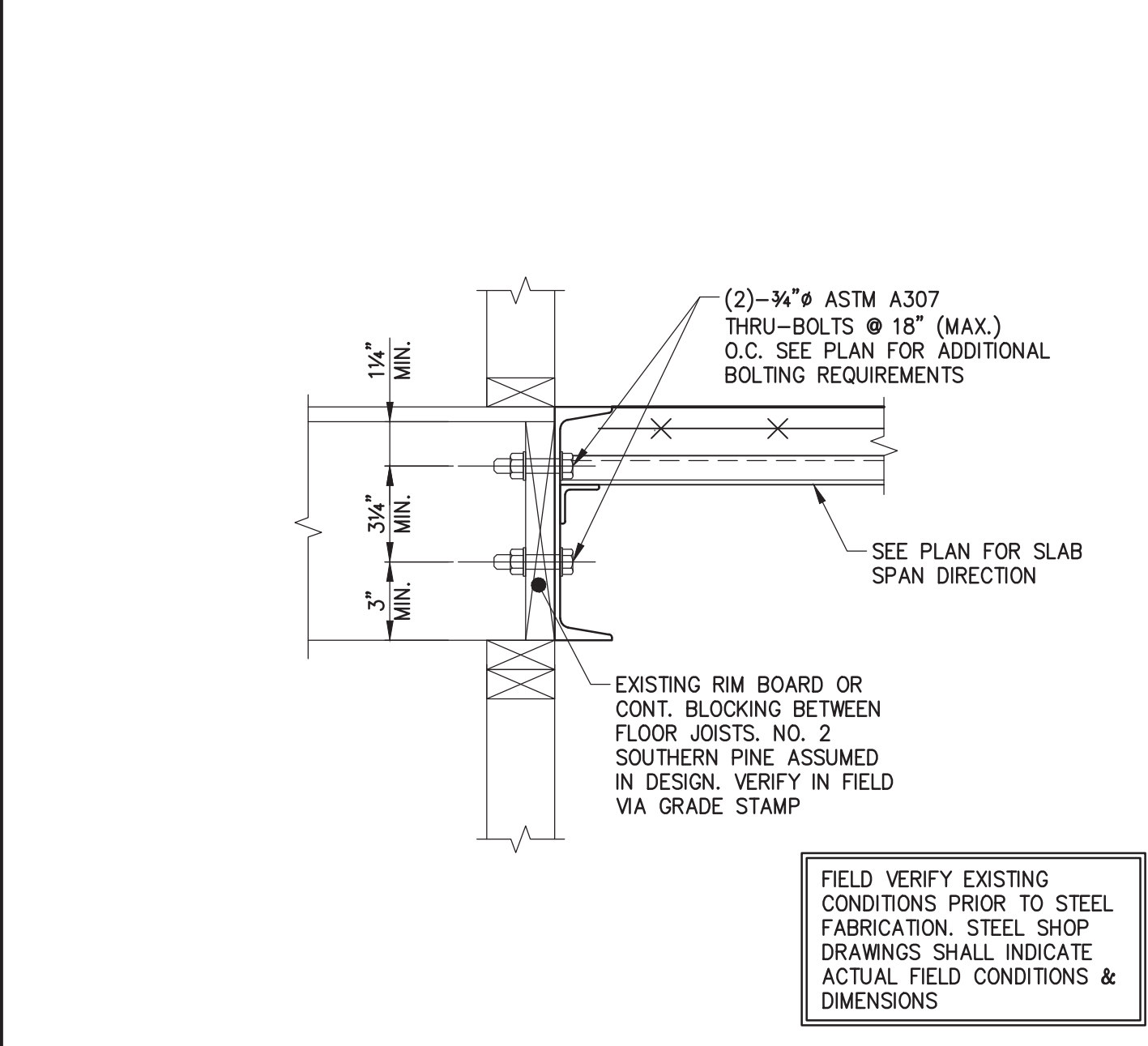
1

PLAN MARK	CONDITION	REQUIRED WALL FRAMING TO BE VERIFIED IN FIELD
(A)	TYPICAL EXISTING WALL FRAMING	NO. 2 SOUTHERN PINE 2x4 WALL STUDS @ 16" O.C.
(B)	EXISTING FLOOR BEAM BEARING	NO. 2 SOUTHERN PINE (2)-2x4 BELOW BEAM BEARING
(C)	EXISTING WINDOW OPENING	NO. 2 SOUTHERN PINE (2)-2x6 HEADER NO. 2 SOUTHERN PINE 2x4 JACK POST EA. SIDE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS EA. SIDE
(D)	EXISTING DOOR OPENING	NO. 2 SOUTHERN PINE (2)-2x8 HEADER NO. 2 SOUTHERN PINE 2x4 JACK POST EA. SIDE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS OPPOSITE UNIT CORNER NO. 2 SOUTHERN PINE (3)-2x4 JAMBS @ UNIT CORNER
(E)	BELOW STAIR HEADER CONNECTION	NO. 2 SOUTHERN PINE (3)-2x4 NAILED TOGETHER W/16d NAILS @ 12" O.C. (PROVIDE ADDITIONAL STUDS AS REQUIRED)
(F)	EXISTING DOOR OPENING	NO. 2 SOUTHERN PINE (2)-2x10 HEADER NO. 2 SOUTHERN PINE 2x4 JACK POST EA. SIDE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS EA. SIDE
(G)	EXISTING WINDOW / DOOR OPENING	NO. 2 SOUTHERN PINE (2)-2x10 HEADER NO. 2 SOUTHERN PINE (2)-2x4 JACK POST @ SIDE NEAREST EDGE OF WALKWAY ABOVE NO. 2 SOUTHERN PINE 2x4 JACK POST OPPOSITE EDGE OF WALKWAY ABOVE NO. 2 SOUTHERN PINE (2)-2x4 JAMBS EA. SIDE
(H)	EXISTING WINDOW OPENING	NO. 2 SOUTHERN PINE (2)-2x4 JACK POST @ CORNER OF WALKWAY NO. 2 SOUTHERN PINE (3)-2x4 JAMBS @ CORNER OF WALKWAY * FIELD VERIFY WALKWAY DOES NOT EXTEND ABOVE WINDOW HEADER SPAN
(J)	CORNER POST @ CORNER OF WALKWAY	NO. 2 SOUTHERN PINE (2)-2x4 BELOW CORNER OF WALKWAY



(EXISTING WALL FRAMING REQUIREMENTS)  
 (SIMILAR AT DOOR OPENINGS)

10



LEDGER DETAIL

7

9

8

11

HVAC LEGEND	
	RECTANGULAR DUCT
	ROUND DUCT
	OVAL DUCT
	RECTANGULAR DUCT BRANCH AND TRANSITION (USE 45 DEGREE THROAT)
	ROUND DUCT BRANCH AND TRANSITION, W/ STICK-ON BRANCH TAP AND VOLUME DAMPER. USE EXTENDED QUADRANTS WHEN DUCT IS INSULATED.
	SQUARE TO ROUND TRANSITION
	SQUARE TURN WITH SINGLE THICKNESS TURNING VANES
	RADIUSED TURN R=1.5 W, UNLESS OTHERWISE NOTED
	VOLUME DAMPER IN DUCTWORK
	SUPPLY DUCT WITH SIDEWALL REGISTER OR GRILLE
	TEE WITH SINGLE THICKNESS TURNING VANES
	AIR DISTRIBUTION DEVICE TAG. SEE SCHEDULE FOR DETAILS.
	FLEXIBLE CONNECTION IN DUCT
	FIRE DAMPER
	SMOKE DAMPER
	FIRE/SMOKE DAMPER
	DUCT SMOKE DETECTOR
	SUPPLY DUCT TURNING UP
	SUPPLY DUCT TURNING DOWN
	RETURN DUCT TURNING UP
	RETURN DUCT TURNING DOWN
	SPIN-IN OR STICK-ON TAKEOFF WITH VOLUME DAMPER. USE EXTENDED QUADRANTS WHEN DUCT IS INSULATED.
	CEILING SUPPLY DIFFUSER W/ FLEX DUCT
	CEILING RETURN OR EXHAUST GRILLE W/ FLEX DUCT
	LINEAR (SLOT) DIFFUSER
	POINT OF TIE-IN WITH EXISTING
	DOOR UNDERCUT (1" MAXIMUM)
	WALL MOUNTED THERMOSTAT OR SENSOR (48" A.F.F.)
	ONE-HOUR FIRE WALL

## GENERAL NOTES/SPECIFICATIONS

### 1.0 GENERAL

1.1 SCOPE: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL HVAC WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.

1.2 PERMITS: OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS WORK. RETAIN CERTIFICATES OF INSPECTIONS AND SUBMIT WHEN WORK IS COMPLETE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES ADOPTED BY CITY, COUNTY, AND/OR STATE AUTHORITIES.

1.3 SUBMIT SCHEDULED EQUIPMENT FOR APPROVAL BY THE ENGINEER. SUBMITTAL DATA SHALL INCLUDE DIMENSIONS, WEIGHTS, CONNECTION POINTS FOR PIPING, DUCT, AND WIRING AND PERFORMANCE DATA INCLUDING ELECTRICAL REQUIREMENTS. A MINIMUM OF SIX SETS SHALL BE PROVIDED.

1.4 INSTRUCTIONS: INSTRUCT THE OWNER'S REPRESENTATIVE ABOUT THE PROPER OPERATION OF ALL EQUIPMENT. PROVIDE TO THE OWNER TWO SETS AND CD OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL MECHANICAL EQUIPMENT AT THE COMPLETION OF WORK. NEATLY ORGANIZE ALL INFORMATION WITHIN THREE-RING BINDERS AND CD.

1.5 RECORD DRAWINGS: MAINTAIN A SET OF DRAWINGS AT THE PROJECT SITE AND RECORD ANY AND ALL SIGNIFICANT CHANGES OF EQUIPMENT LOCATIONS, DUCT, AND PIPING ROUTING, AND OTHER INFORMATION THAT WOULD BE BENEFICIAL TO THE OWNER AFTER CONSTRUCTION IS COMPLETE. TURN RECORD DRAWINGS OVER TO THE ARCHITECT, ENGINEER, OR OWNER UPON PROJECT SUBSTANTIAL COMPLETION AIA G704 ISSUED BY ARCHITECT.

1.6 PROVIDE A ONE-YEAR PARTS AND LABOR WARRANTY ON ALL WORK PERFORMED AND EQUIPMENT PROVIDED FOR THE PROJECT. COMPRESSORIZED EQUIPMENT SHALL INCLUDE A FIVE-YEAR WARRANTY. WARRANTY SHALL COMMENCE UPON PROJECT SUBSTANTIAL COMPLETION AIA G704 ISSUED BY ARCHITECT.

1.7 EQUIPMENT SCHEDULED ON THE DRAWINGS HAS BEEN USED AS A BASIS OF DESIGN. ALTERNATIVE MANUFACTURERS ARE AS INDICATED IN EQUIPMENT SCHEDULE. HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL REQUIRED SIZES, WEIGHTS, ELECTRICAL CONNECTIONS, AND CLEARANCES ARE COMPATIBLE WITH THE DESIGN CONCEPT SHOWN ON THE DRAWINGS. ANY REQUIRED CHANGES TO ACCOMMODATE THE ALTERNATIVE EQUIPMENT SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALTERNATIVE MANUFACTURERS LISTED ARE CONSIDERED GENERALLY ACCEPTABLE SUPPLIERS. HOWEVER THEIR SPECIFIC PRODUCTS HAVE NOT BEEN EVALUATED FOR THIS DESIGN.

1.8 THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE LOCATION OF EQUIPMENT, PIPING, AND DUCTWORK. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. DO NOT SCALE THE DRAWINGS FOR EXACT SIZES OR LOCATIONS. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.

1.9 CHECK ALL DIMENSIONS, SUPPORT REQUIREMENTS, ETC. BEFORE MAKING FINAL CONNECTIONS TO PURCHASED EQUIPMENT. MAKE ADJUSTMENTS BEFORE FABRICATING DUCT, SUPPORTS, PIPING, OR ELECTRICAL SERVICE.

1.10 INSTALL ALL EQUIPMENT IN ACCORDANCE WITH CODE REQUIREMENTS AND THE MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLING ANY EQUIPMENT SHIPPED IN SECTIONS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

1.11 MAINTAIN A MINIMUM OF 10 FOOT SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.

1.12 PROVIDE FLASHING FOR ALL ROOF PENETRATIONS IN ACCORDANCE WITH ROOF MANUFACTURER'S RECOMMENDATIONS.

### 2.0 DUCTWORK

2.1 HVAC DUCTWORK: SUPPLY, RETURN, AND EXHAUST DUCTS SHALL BE FABRICATED, SUPPORTED, AND INSTALLED IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS. FABRICATE DUCT TO WITHSTAND A 2-INCH POSITIVE PRESSURE ON THE DISCHARGE SIDE OF THE FAN AND 1-INCH NEGATIVE PRESSURE ON THE SUCTION SIDE OF THE FAN. DUCT SEAMS SHALL BE SEALED PER SMACNA SEAL CLASS "C". DUCTWORK SHALL BE GALVANIZED STEEL CONSTRUCTION. ROUND DUCT SHALL BE SPIRAL OR LONGITUDINAL SEAM CONSTRUCTION AND MEET ALL REQUIREMENTS STATED ABOVE. EXPOSED ROUND DUCT SHALL BE SPIRAL SEAM ONLY.

2.2 TAKEOFFS: RECTANGULAR BRANCH TAKEOFFS SHALL BE 45 DEGREE THROAT TYPES. ROUND BRANCH TAKEOFFS SHALL BE SPIN-IN OR STICK-ON SADDLE TYPES.

2.3 ELBOWS: USE RADIUSED ELBOWS WHERE POSSIBLE. RADIUSED ELBOWS SHALL HAVE A CENTERLINE RADIUS EQUAL TO AT LEAST 1.0 TIMES THE DUCT WIDTH OR DIAMETER. UNLESS NOTED OTHERWISE, WHERE SPACE DOES NOT ALLOW RADIUSED ELBOWS, USE 90 DEGREE SQUARE ELBOWS HAVING SINGLE THICKNESS TURNING VANES. DO NOT INSTALL TURNING VANES AT ANY ANGLE BUT 45 DEGREES.

2.4 VOLUME DAMPERS: INSTALL VOLUME DAMPERS FOR BALANCING AS SHOWN ON THE PLANS. RECTANGULAR BALANCING DAMPERS SHALL BE OPPOSED BLADE TYPES HAVING A LOCKING QUADRANT OPERATOR THAT IS DESIGNED TO BE EXPOSED OUTSIDE OF DUCT INSULATION. ROUND BALANCING DAMPERS SHALL BE BUTTERFLY TYPES HAVING A LOCKING QUADRANT OPERATOR THAT IS DESIGNED TO BE EXPOSED OUTSIDE OF DUCT INSULATION.

2.5 FURNISH AND INSTALL ALL HANGERS AND SUPPORTS REQUIRED TO PROPERLY SUPPORT PIPING, DUCTWORK, AND EQUIPMENT ACCORDING TO INDUSTRY STANDARDS AND THE AUTHORITY HAVING JURISDICTION.

2.6 FINAL DUCT CONNECTIONS TO DIFFUSERS IN AREAS WITH CONCEALED CEILINGS SHALL BE MADE WITH INSULATED FLEXIBLE ROUND DUCTWORK. FLEXIBLE DUCTWORK SHALL BE INSTALLED STRAIGHT AS POSSIBLE WITH 6-FOOT MAXIMUM DUCT RUNS.

2.7 COORDINATE CEILING/WALL DIFFUSER AND REGISTER LOCATIONS WITH THE ARCHITECT'S FINAL REFLECTED CEILING PLAN/PLAN.

2.8 WHERE DUCTWORK PENETRATES WALLS, SEAL VOIDS TO PREVENT AIR TRANSFER BETWEEN SPACES AND TO MAINTAIN FIRE RATING. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

2.9 INSTALL FIRE DAMPERS AT ALL RATED WALLS AS DETAILED ON THE DRAWINGS. INSTALL ACCESS DOORS AS REQUIRED FOR TESTING AND RESETTING DAMPER ASSEMBLIES. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

2.10 DUCTWORK TO CURB MOUNTED ROOF EXHAUST FANS AND OUTSIDE AIR INTAKE OR EXHAUST HOODS SHALL BE CONNECTED TO FRAMED OPENINGS AND SEALED AIRTIGHT AND WATERTIGHT. PROVIDE DUCT TRANSITION PIECE WHERE REQUIRED TO SUIT OPENING.

### 3.0 REFRIGERANT AND CONDENSATE PIPING

3.1 INSTALL REFRIGERANT PIPING IN ACCORDANCE WITH CODE REQUIREMENTS AND THE REFRIGERANT SYSTEM MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL REQUIRE MANUFACTURER OF THE SPLIT SYSTEM REFRIGERATION EQUIPMENT TO GENERATE A DETAILED SCHEMATIC OF EACH REFRIGERANT PIPING SYSTEM. THE SCHEMATIC SHALL SHOW ALL RISES AND DROPS IN ELEVATION, SUCTION LINE TRAP LOCATIONS, DOUBLE RISERS IN THE SUCTION LINES IF REQUIRED FOR PART LOAD PERFORMANCE, DIRECTION OF SLOPE FOR ALL LINES, LINE SIZES, INSULATION TYPE AND THICKNESS, AND LOCATIONS OF ALL ACCESSORIES SUCH AS FILTER DRYERS, SIGHT GLASSES, SOLENOID VALVES, ETC.

3.2 INSTALL CONDENSATE DRAIN LINE HAVING 4" DEEP P-TRAP AT EACH AIR HANDLER'S CONDENSATE DRAIN PAN. ROUTE PIPING AS SHOWN ON THE PLUMBING DRAWINGS. USE 1" DRAIN SIZE THROUGH 10-TONS.

3.3 CONDENSATE DRAIN LINES SHALL BE CONSTRUCTED OF TYPE DWV PVC UNLESS LOCATED IN A RETURN AIR PLENUM. WHEN LOCATED IN A RETURN AIR PLENUM, CONSTRUCTION SHALL BE TYPE DWV COPPER DRAINAGE TUBE. INSULATE THE FIRST 20 FEET OF DRAIN PIPING STARTING AT THE CONNECTION TO THE DRAIN PAN. INSULATION SHALL BE 1" THICK ELASTOMERIC TYPE.

3.4 WHERE PIPING PENETRATES WALLS, SEAL VOIDS TO PREVENT AIR TRANSFER BETWEEN SPACES AND TO MAINTAIN FIRE RATING. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

3.5 FURNISH AND INSTALL ALL HANGERS AND SUPPORTS REQUIRED TO PROPERLY SUPPORT PIPING ACCORDING TO INDUSTRY STANDARD AND THE AUTHORITY HAVING JURISDICTION.

### 4.0 DUCTWORK INSULATION

4.1 INSULATION ASSEMBLIES DESCRIBED BELOW CONFORM TO THE 2014 VERSION OF THE ARKANSAS ENERGY CODE.

4.2 RECTANGULAR SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK LOCATED IN CEILING SPACES AND OTHER CONCEALED OR NON-CONDITIONED AREAS SHALL BE INSULATED WITH 2.2-INCH THICK FIBERGLASS BLANKET INSULATION HAVING A FOIL-SCRIM-KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A DENSITY OF 0.75 PCF WITH AN OUT-OF-PACKAGE R-VALUE OF 7.4. EFFECTIVE INSTALLED THICKNESS OF 1.5-INCHES SHALL RESULT IN AN INSTALLED R-VALUE OF 6.0. BASIS OF DESIGN: OWENS CORNING "SOFT" DUCT WRAP.

4.3 RECTANGULAR SUPPLY AND OUTSIDE AIR DUCTWORK EXPOSED TO THE CONDITIONED SPACE SHALL BE INSULATED WITH 1.5-INCH THICK FIBERGLASS RIGID BOARD INSULATION HAVING A FOIL-SCRIM-KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A DENSITY OF 3.0 LBS/CF AND A K-VALUE OF 0.24 BTU-IN/HR-SF-F. TOTAL R-VALUE: 6.25. RETURN DUCTWORK EXPOSED TO THE CONDITIONED SPACE NEED NOT BE INSULATED UNLESS SPECIFICALLY REQUIRED FOR SOUND ATTENUATION. BASIS OF DESIGN: OWENS CORNING "703 SERIES" FIBERGLASS BOARD.

4.4 ROUND SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK LOCATED IN CEILING SPACES AND OTHER CONCEALED OR NON-CONDITIONED AREAS SHALL BE INSULATED WITH 2.2-INCH THICK FIBERGLASS BLANKET INSULATION HAVING A FOIL-SCRIM-KRAFT VAPOR BARRIER. INSULATION SHALL HAVE A DENSITY OF 0.75 PCF WITH AN OUT-OF-PACKAGE R-VALUE OF 7.4. EFFECTIVE INSTALLED THICKNESS OF 1.5-INCHES SHALL RESULT IN AN INSTALLED R-VALUE OF 6.0. BASIS OF DESIGN: OWENS CORNING "SOFT" DUCT WRAP.

4.5 ROUND SUPPLY AND OUTSIDE AIR DUCTWORK EXPOSED TO THE CONDITIONED SPACE SHALL BE INTERNALLY LINED WITH 1.5-INCH THICK FIBERGLASS LINING THAT HAS BEEN SCORED FOR "SNAP-IN" INSTALLATION IN ROUND DUCTWORK. BASIS OF DESIGN: OWENS CORNING "QUIET ZONE" SPIRAL DUCT LINER. INSULATION SHALL HAVE A R-VALUE OF 6.5. ROUND RETURN DUCTWORK EXPOSED TO THE CONDITIONED SPACE NEED NOT BE INSULATED UNLESS SPECIFICALLY REQUIRED ON DRAWINGS FOR SOUND ATTENUATION.

4.6 DUCT SIZES SHOWN ON THE DRAWINGS ARE CLEAR INSIDE DIMENSIONS. SHEET METAL FABRICATION SHALL BE ADJUSTED TO ALLOW FOR REQUIRED THICKNESS OF INSULATION.

4.7 ALL INSULATION AND ADHESIVES SHALL HAVE A FLAME-SPREAD RATING NOT EXCEEDING 25 AND A SMOKE DEVELOPED RATING NOT EXCEEDING 50.

### 5.0 CONTROLS/ELECTRICAL

5.1 THERMOSTAT LOCATIONS ARE APPROXIMATE AND SHALL BE COORDINATED TO SUIT FIELD CONDITIONS. THERMOSTATS SHALL BE MOUNTED 4'-0" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.

5.2 UNLESS OTHERWISE NOTED, LOW VOLTAGE WIRING (LESS THAN 120 VAC) SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. LINE VOLTAGE WIRING (120 VAC AND GREATER) SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL WIRING SHALL BE ENCASED IN EMT CONDUIT, UNLESS ROUTED THROUGH A CONCEALED SPACE, WHERE PLENUM CABLE IS ACCEPTABLE. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH DIVISION 16 AND APPLICABLE CODES.

5.3 MOTOR STARTERS FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR FOR INSTALLATION BY THE ELECTRICAL CONTRACTOR. FIELD VERIFY ALL PURCHASED EQUIPMENT ELECTRICAL CHARACTERISTICS BEFORE ORDERING EQUIPMENT. STARTERS FOR MOTORS 1/2 HP AND LARGER SHALL BE MAGNETIC TYPES WITH OVERLOAD PROTECTION AND CONTROL POWER TRANSFORMERS. PROVIDE HAND-OFF-AUTO SWITCHES WHERE EQUIPMENT IS INTERLOCKED WITH SYSTEM CONTROLS. PROVIDE REQUIRED AUXILIARY CONTACTS AND A MINIMUM OF ONE SPARE CONTACT FOR FUTURE. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH DIVISION 16 AND APPLICABLE CODES.

### TEST AND BALANCE (FOR OFFICE BUILDING ONLY)

ALL HVAC SYSTEMS SHALL BE TESTED, ADJUSTED, AND BALANCED BY A CERTIFIED TEST AND BALANCE AGENCY. TEST AND BALANCE ACTIVITIES SHALL INCLUDE MEASUREMENT OF EACH AIR INLET OR OUTLET, AIR TERMINAL DEVICE, COMPARISON TO MAJOR DUCT TRAVERSES, AND ADJUSTMENT SO AS TO ACHIEVE PLUS/MINUS 10% OF DESIGN AIRFLOW RATES.

A TEST AND BALANCE REPORT SHALL BE PREPARED AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR APPROVAL. REPORT ANY SYSTEM DEFICIENCIES WITHIN THE REPORT FOR RESOLUTION BY THE ENGINEER.

AGENCY SUBMITTALS: SUBMIT QUALIFICATIONS OF PROPOSED TEST AND BALANCE AGENCY TO THE ENGINEER FOR APPROVAL. SUBMITTAL SHALL PRECEDE OR COINCIDE WITH SUBMITTALS FOR HVAC EQUIPMENT.

CAD FILE:

DRWN. BY: SA	
CHKD. BY: JH	
APPR. BY: JH	
DATE: 6-30-16	
REVISIONS	
0	6/30/16 - INITIAL ISSUE

WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

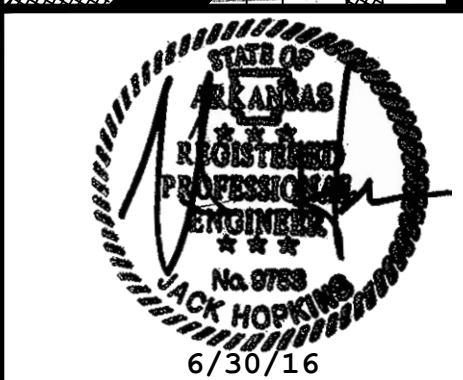
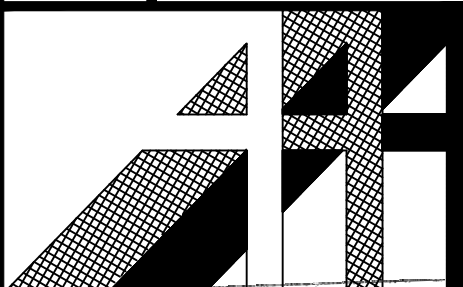
LEAD SHEET - HVAC

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5516 WALLWOOD ROAD

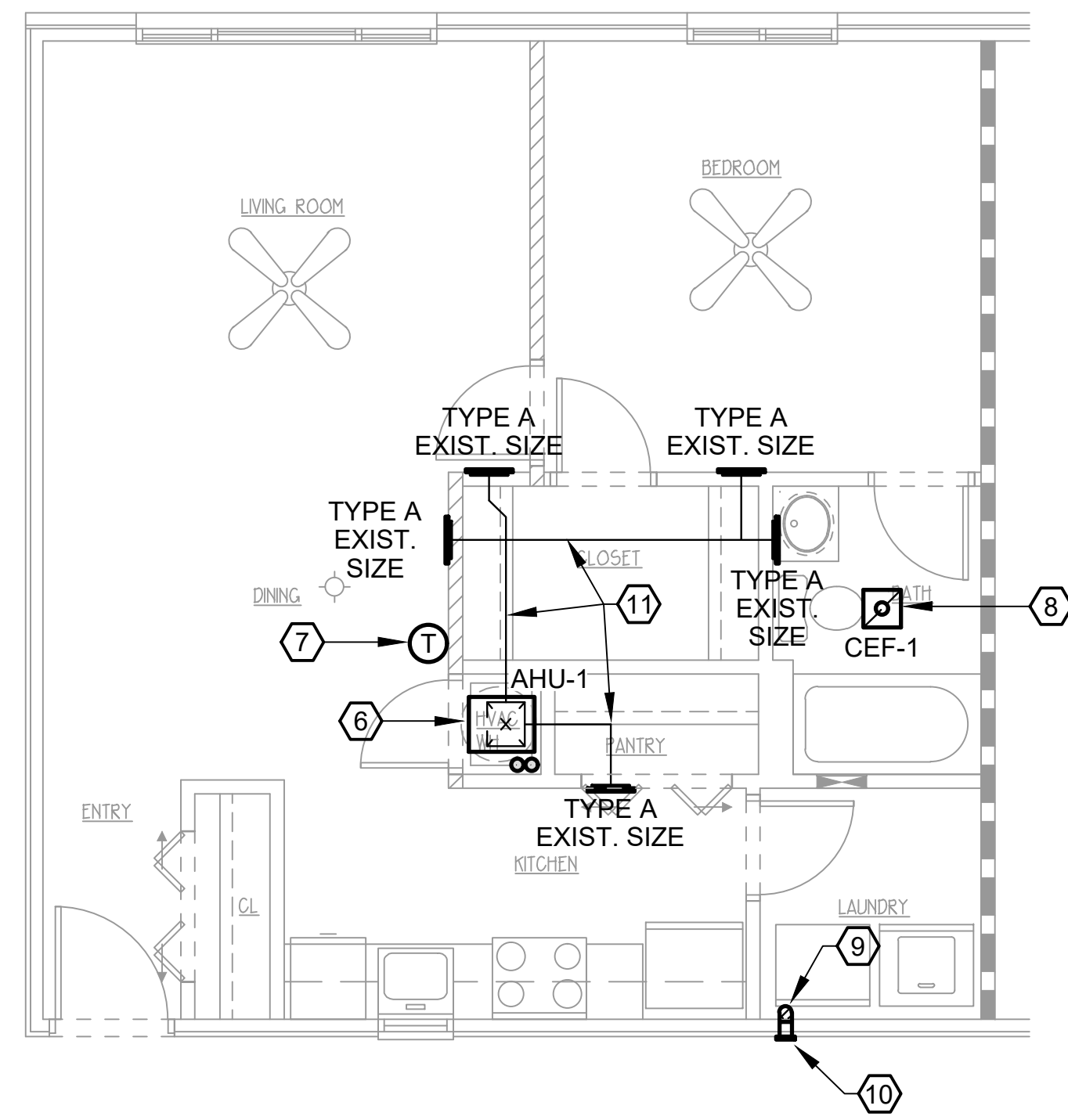
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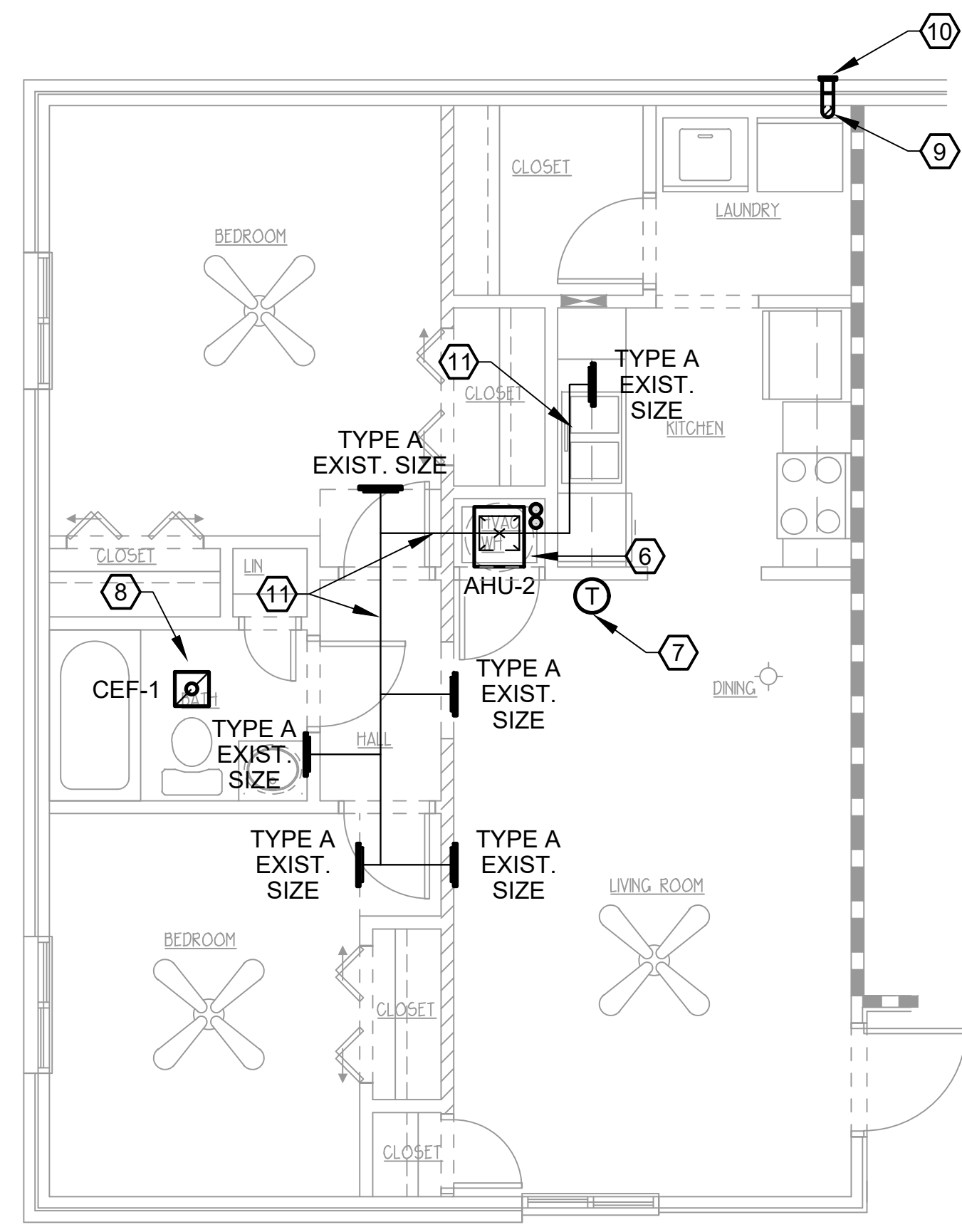
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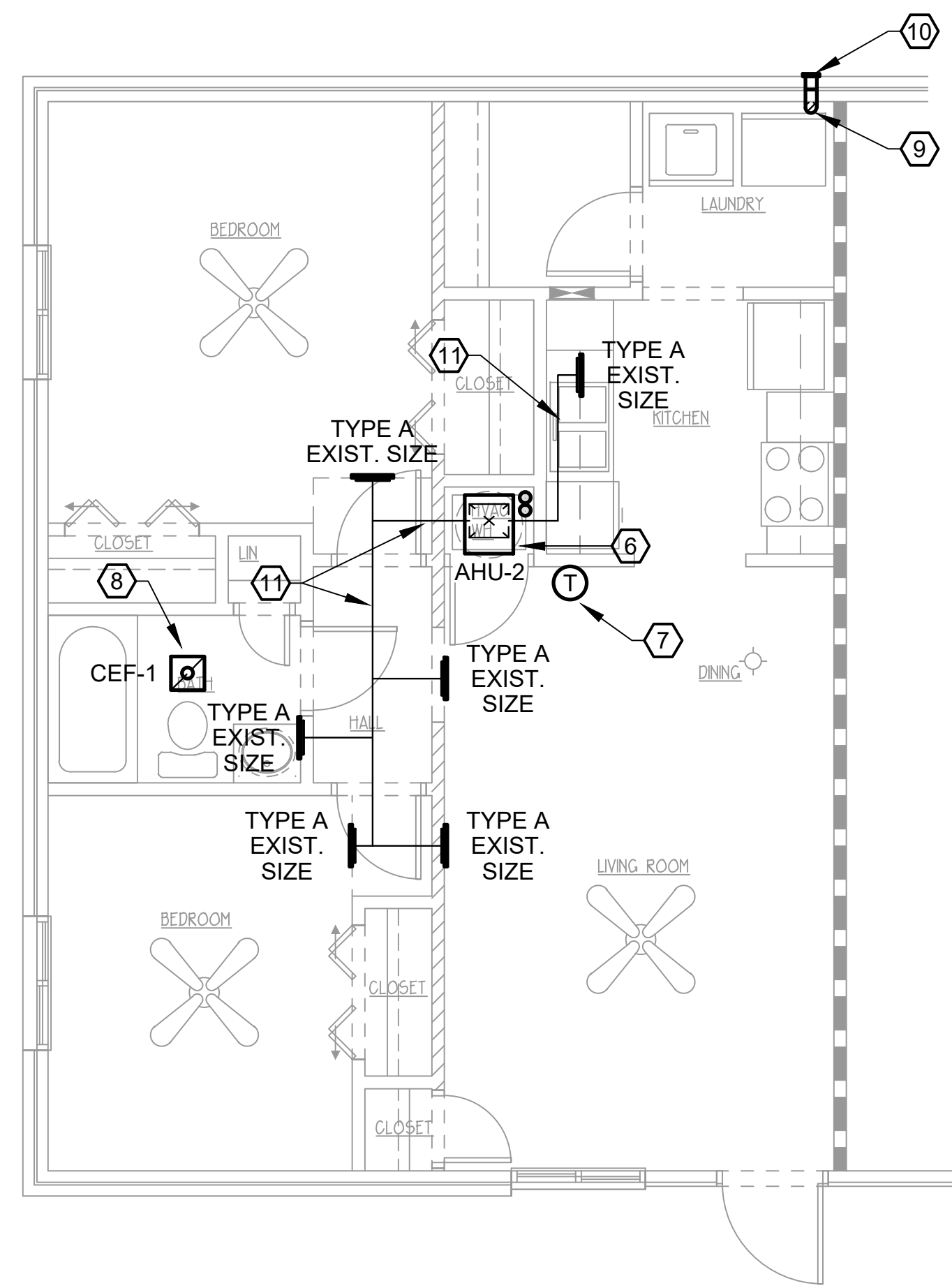
H0.1



**1 ONE BEDROOM TYPICAL - HVAC**  
SCALE: 1/4"=1'-0"



**2 TWO BEDROOM TYPICAL - HVAC**  
SCALE: 1/4"=1'-0"



**3 TWO BEDROOM TYPICAL - HVAC**  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL

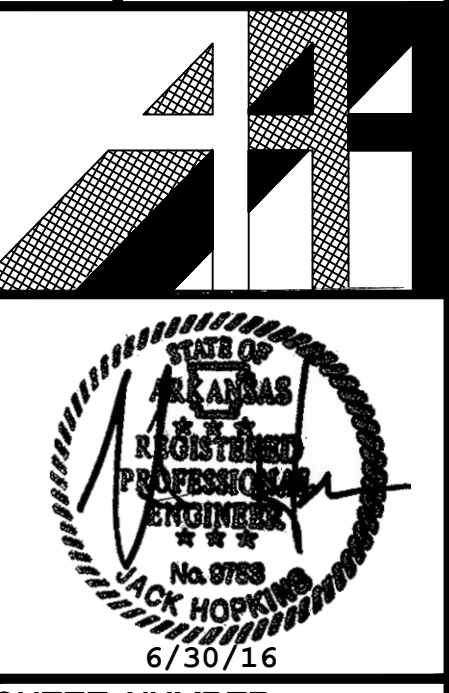
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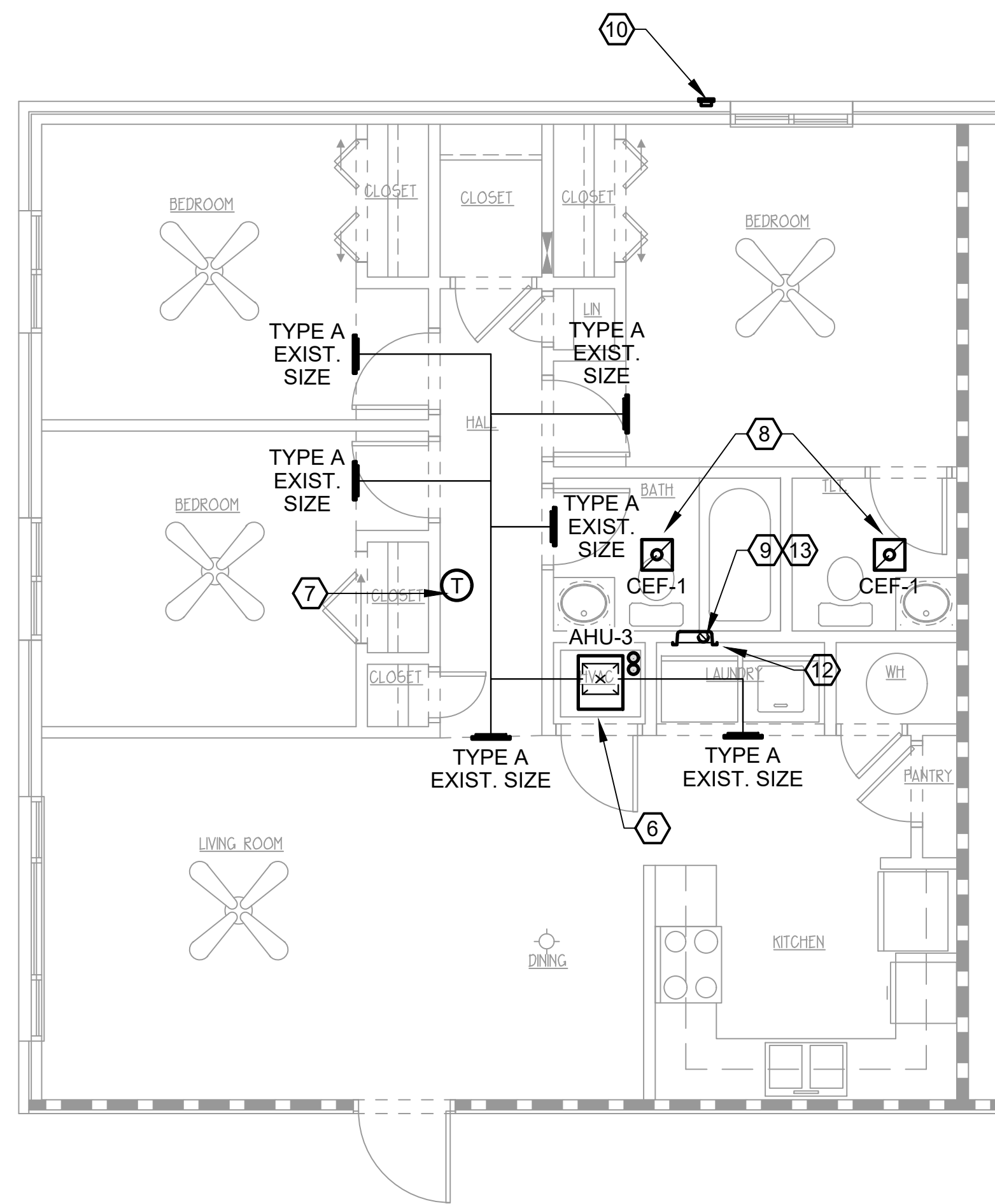
1. REMOVE ALL EXISTING AIR HANDLING UNITS, CONDENSING UNITS, REFRIGERANT LINE SET AND CONDENSATE PIPING, ONE EACH PER APARTMENT. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL EXISTING WALL/CEILING SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
3. REMOVE EXISTING THERMOSTATS, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT.
4. REMOVE ALL EXISTING WALL SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
5. REMOVE EXISTING BATHROOM COMBINATION EXHAUST FAN/LIGHT OR FAN. DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING AS REQUIRED TO MATCH ADJACENT.
6. REMOVE EXISTING KITCHEN EXHAUST FAN, ASSOCIATED DUCTWORK & ACCESS PANELS (IF PRESENT) TO INSIDE OF WALL & CAP OFF IN ORDER TO ACHIEVE A CONTINUOUS SMOOTH WALL FINISH WHERE REMOVED (MAINTAIN FIRE RATING). DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING/WALL TO MATCH ADJACENT.

**NOTES:**

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW & EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING/ATTIC ASSEMBLIES AS SPECIFIED ON SHEETS H0.1, HP0.1 & HP0.2.
2. LOCATION OF EXISTING DUCTWORK, REFRIGERANT PIPING AND CONDENSATE PIPING IS ASSUMED/APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, & CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, & HP0.2.
4. REPLACE ALL AIR DISTRIBUTION DIFFUSERS/GRILLES WITH SAME SIZE AS EXISTING DIFFUSERS. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW DIFFUSERS TO EXISTING DUCTWORK. CONTRACTOR TO FIELD VERIFY EXISTING SIZES.
5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION TO MATCH ADJACENT. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
6. NEW AIR HANDLING UNIT TO BE INSTALLED IN EXISTING MECHANICAL CLOSET. MOUNT ON EXISTING SHELF AND PROVIDE BOTTOM FILTER RACK INSTALLATION. REFER TO DETAILS ON SHEET H5.1. FULL LOUVERED DOOR TO PROVIDE RETURN PATH, REFER TO ARCHITECTURAL DRAWINGS. CONNECT TO EXISTING DUCTWORK. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW AIR HANDLING UNIT TO EXISTING DUCTWORK. REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED LINE SETS ROUTED IN THE SAME LOCATION AS EXISTING. REFER TO PLUMBING DRAWINGS FOR CONDENSATE DISPOSAL.
7. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT IN SAME LOCATION AS EXISTING. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.
8. INSTALL NEW CEILING EXHAUST FAN IN SAME LOCATION AS EXISTING REMOVED. PROVIDE CEILING RADIATION DAMPER AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY. REFER TO SHEETS H2.0 AND H2.1 FOR CONTINUATION.
9. INSTALL NEW 4" DRYER DUCT AS REQUIRED TO CONNECT TO NEW DRYER WALL CAP/VENT. REFER TO SHEETS H2.0 AND H2.1 FOR DISCHARGE LOCATIONS.
10. DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
11. EXISTING DUCTWORK TO REMAIN.

CAD FILE:		DRWN. BY: SA		CHKD. BY: JH	
		APPR. BY: JH		DATE: 6-30-16	
		REVISIONS	0	6/30/16 - INITIAL ISSUE	
<b>WHITE RIVER APARTMENTS</b>		<b>ONE &amp; TWO BEDROOM UNIT PLANS - HVAC</b>		<b>ALLAN ASSOCIATES ARCHITECTS, PLLC</b>	
2800 MARION DRIVE DIAZ, ARKANSAS		KNOXVILLE, TENNESSEE 37912		865 / 689-1302	
5616 WALLWOOD ROAD		SHEET NUMBER		<b>H1.0</b>	





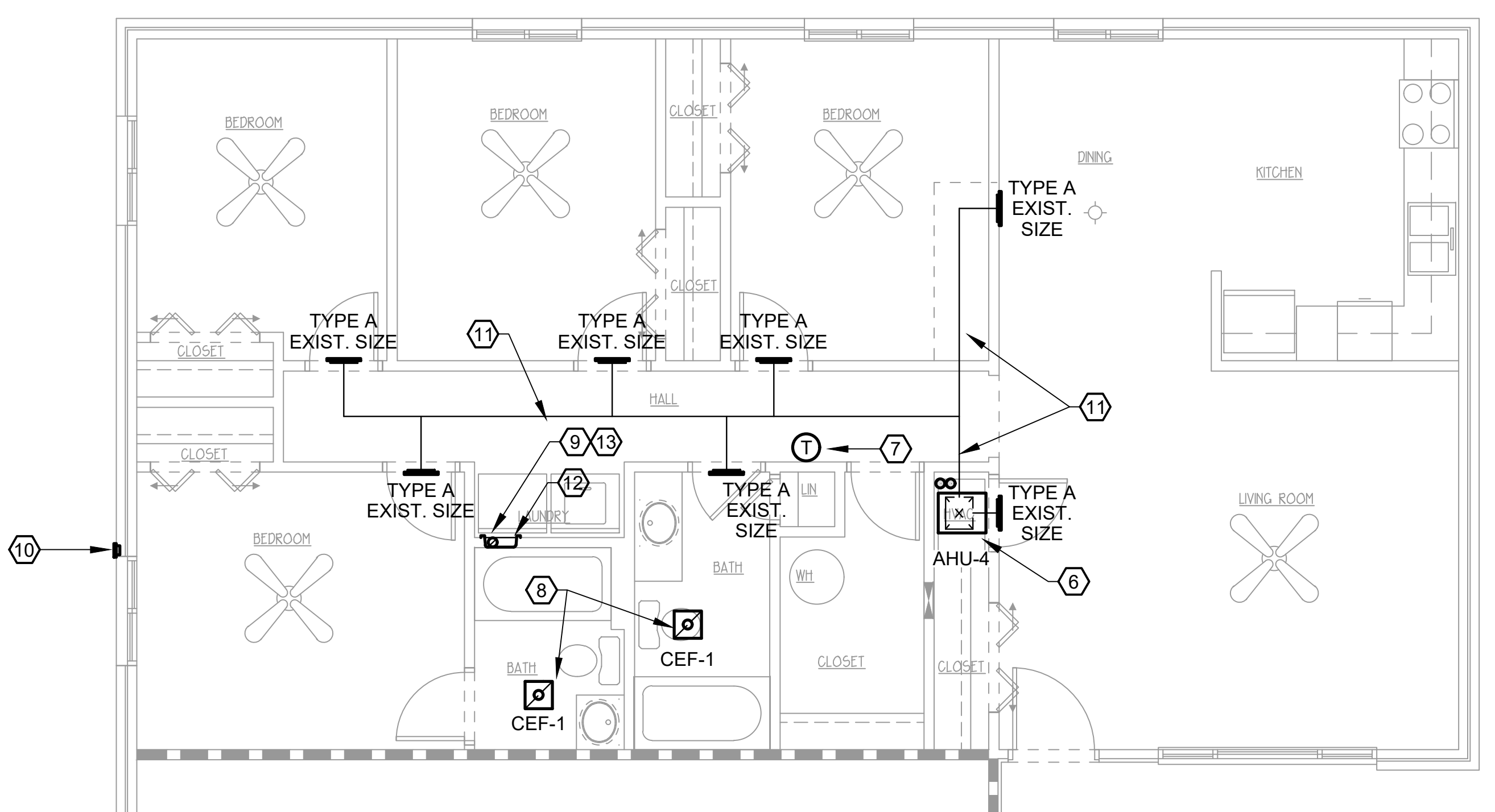
**1** THREE BEDROOM TYPICAL - HVAC  
SCALE: 1/4"=1'-0"

**RETURN PLENUM:**

CONTRACTOR SHALL VISUALLY INSPECT EACH RETURN PLENUM BELOW AIR HANDLER AND SHALL VACUUM CLEAN EACH PLENUM PRIOR TO INSTALLING NEW EQUIPMENT. ALL REATTACHMENTS SHALL BE SEALED, CAULKED, OR OTHERWISE MADE AIRTIGHT AROUND UNIT. ANY HOLES REMAINING FROM PRIOR PENETRATIONS (I.E. REFRIGERANT OR CONDENSATE PIPING) SHALL BE PATCHED, SEALED, AND SIMILARLY MADE AIR TIGHT. PVC CONDENSATE PIPING SHALL NOT BE ROUTED WITHIN RETURN PLENUM. ANY EXISTING OR NEW WIRING/REFRIGERANT PIPING WITHIN THE PLENUM BOX SHALL HAVE A SMOKE DEVELOPED RATING OF 50/25, OR BE OF NON-COMBUSTIBLE MATERIALS, AND BE MATERIALS LISTED AND LABELED FOR INSTALLATION WITHIN A PLENUM AS REQUIRED BY 2012 ARKANSAS MECHANICAL CODE 602.2.1.

**WALL LEGEND**


	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL



**2** FOUR BEDROOM TYPICAL - HVAC  
SCALE: 1/4"=1'-0"

- DEMOLITION NOTES:**
- REMOVE ALL EXISTING AIR HANDLING UNITS, CONDENSING UNITS, REFRIGERANT LINE SET AND CONDENSATE PIPING, ONE EACH PER APARTMENT. DISPOSAL BY CONTRACTOR.
  - REMOVE ALL EXISTING WALL/CEILING SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
  - REMOVE EXISTING THERMOSTATS, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT.
  - REMOVE ALL EXISTING WALL SUPPLY/RETURN GRILLES, DISPOSAL BY CONTRACTOR. REPAIR/PATCH WALL/CEILING AS REQUIRED TO MATCH ADJACENT.
  - REMOVE EXISTING BATHROOM COMBINATION EXHAUST FAN/LIGHT OR FAN. DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING AS REQUIRED TO MATCH ADJACENT
  - REMOVE EXISTING KITCHEN EXHAUST FAN, ASSOCIATED DUCTWORK & ACCESS PANELS (IF PRESENT) TO INSIDE OF WALL & CAP OFF IN ORDER TO ACHIEVE A CONTINUOUS SMOOTH WALL FINISH WHERE REMOVED (MAINTAIN FIRE RATING). DISPOSAL BY CONTRACTOR. REPAIR/PATCH CEILING/WALL TO MATCH ADJACENT.

- NOTES:**
- MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW & EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING/ATTIC ASSEMBLIES AS SPECIFIED ON SHEETS H0.1, HP0.1 & HP0.2.
  - LOCATION OF EXISTING DUCTWORK, REFRIGERANT PIPING AND CONDENSATE PIPING IS ASSUMED/APPROXIMATE BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, & CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, & HP0.2.
  - REPLACE ALL AIR DISTRIBUTION DIFFUSERS/GRILLES WITH SAME SIZE AS EXISTING DIFFUSERS. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW DIFFUSERS TO EXISTING DUCTWORK. CONTRACTOR TO FIELD VERIFY EXISTING SIZES.
  - PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION TO MATCH ADJACENT. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
  - NEW AIR HANDLING UNIT TO BE INSTALLED IN EXISTING MECHANICAL CLOSET. MOUNT ON EXISTING SHELF AND PROVIDE BOTTOM FILTER RACK INSTALLATION. REFER TO DETAILS ON SHEET H5.1. FULL LOUVERED DOOR TO PROVIDE RETURN PATH. REFER TO ARCHITECTURAL DRAWINGS. CONNECT TO EXISTING DUCTWORK. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW AIR HANDLING UNIT TO EXISTING DUCTWORK. REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED LINE SETS ROUTED IN THE SAME LOCATION AS EXISTING. REFER TO PLUMBING DRAWINGS FOR CONDENSATE DISPOSAL.
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  - INSTALL NEW 4" DRYER DUCT AS REQUIRED TO CONNECT TO NEW DRYER WALL CAP/VENT. REFER TO SHEETS H2.0 AND H2.1 FOR DISCHARGE LOCATIONS.
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  - INSTALL NEW RECESSED DRYER VENT BOX (THE DRYERBOX UL RATED) 22 GAUGE ALUMINIZED STEEL. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING TO EXTERIOR WALL CAP/VENT OR THROUGH ATTIC TO EXHAUST VIA A ROOF DRYER VENT CAP. DRYER DUCT IS TO BE LIMITED TO A MAXIMUM LENGTH OF 35 FEET, USING TABLE 504.6.4.1 FROM 2012 INTERNATIONAL MECHANICAL CODE FOR EQUIVALENT FITTING LENGTHS. USE SMOOTH, RIGID ALUMINUM VENT MATERIAL ONLY (FLEXIBLE DUCT IS NOT ACCEPTABLE). THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. DUCT SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT EXHAUST FLOW OR PROTRUDE INTO THE INSIDE OF THE DUCT. REFER TO SHEETS H2.0 AND H2.1 FOR DRYER EXHAUST DUCT ROUTING, ROOF DRYER VENT CAP AND/OR WALL CAP DISCHARGE LOCATIONS. REFER TO DETAILS X ON SHEET HX.X2.
  - EXISTING DRYER EXHAUST DUCT OF LOWER FLOOR APARTMENT IS ASSUMED TO BE ROUTED TO BELOW FLOOR SLAB AND THEN TO GRADE MOUNTED PVC PIPE WITH LOUVERED VENT. THIS ARRANGEMENT IS TO BE DISCONNECTED AND ABANDONED. CAP OFF ALL DUCTWORK/PIPING WITHIN WALL AND/OR BELOW FLOOR SLAB. THE EXTERIOR PIPING/DUCT IS TO BE REMOVED BACK TO WHERE IT EXITS BELOW THE BUILDING PERIMETER AND GROUTED SOLID TO PREVENT PEST/RODENT INTRUSION. REPORT INCOMPATIBILITIES TO ARCHITECT/ENGINEER FOR RESOLUTION.

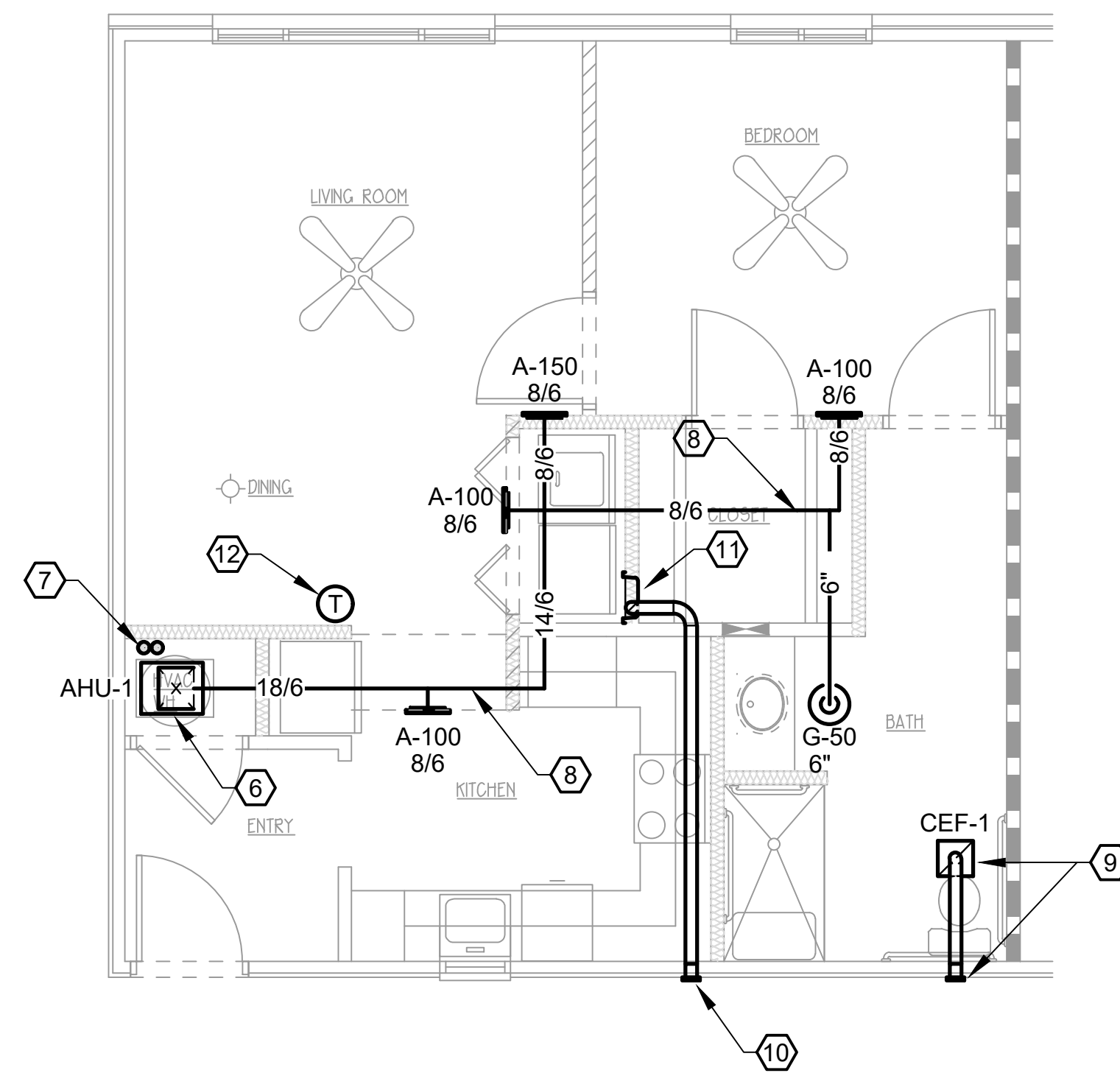
CAD FILE:		DRWN. BY: SA		THREE & FOUR BEDROOM UNIT PLANS - HVAC	
		CHKD. BY: JH		WHITE RIVER APARTMENTS	
		APPR. BY: JH		2900 MARION DRIVE	
		DATE: 6-30-16		DIAZ, ARKANSAS	
		REVISIONS		<b>ALLAN ASSOCIATES ARCHITECTS, PLLC</b>	
		0	6/30/16 - INITIAL ISSUE	5516 WALLWOOD ROAD	KNOXVILLE, TENNESSEE 37912
				865 / 689-1302	
					
				SHEET NUMBER	
				<b>H1.1</b>	

**DEMOLITION NOTES:**

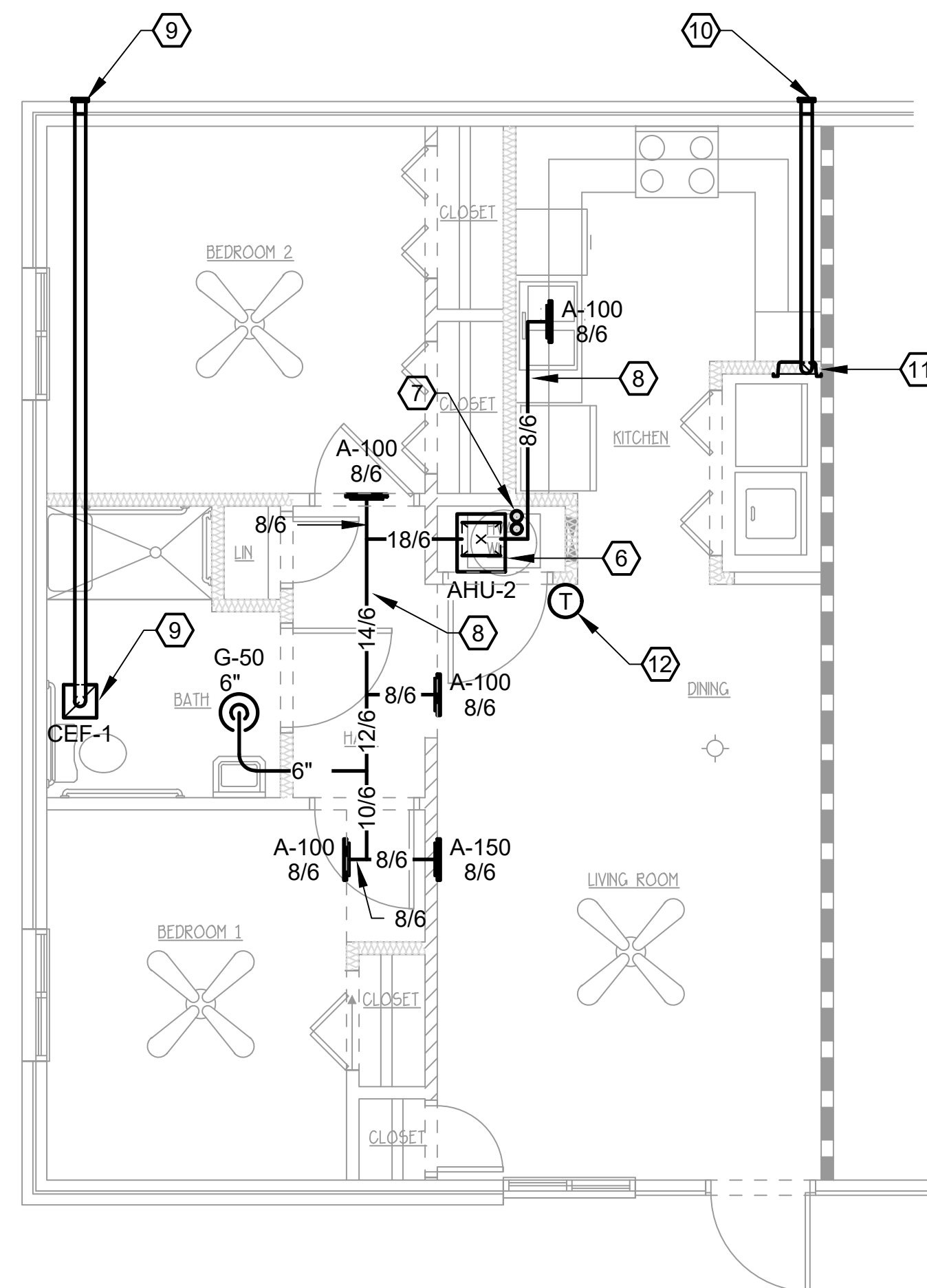
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**NOTES:**

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7. REPLACE EXISTING REFRIGERANT LINE SETS WITH INSULATED (REFER TO SHEET H4.2 FOR INSULATION REQUIREMENTS) LINE SETS ROUTED VIA SAME ROUTE AS EXISTING OR ROUTE NEW REFRIGERANT LINES WITHIN PVC SLEEVE ROUTED FROM NEW CONDENSING UNITS AT REAR/SIDE OF BUILDING (REFER TO SHEETS H2.0 AND H2.1 FOR LOCATIONS) THROUGH EXTERIOR WALL (LOW ON WALL), ROUTE UP TO ABOVE CEILING AND DOWN INTO NEW MECHANICAL CLOSET AS SHOWN. ALL PIPING & WIRING ARE TO BE ROUTED IN A CONCEALED MANNER. USE LONG SWEEP OR MECHANICAL ELBOWS AS REQUIRED.
8. ROUTE NEW INSULATED DUCTWORK ABOVE FURRED DOWN CEILING.
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12. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.



**1 ONE BEDROOM ACCESSIBLE - HVAC**  
SCALE: 1/4"=1'-0"



**2 TWO BEDROOM ACCESSIBLE - HVAC**  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL
	NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

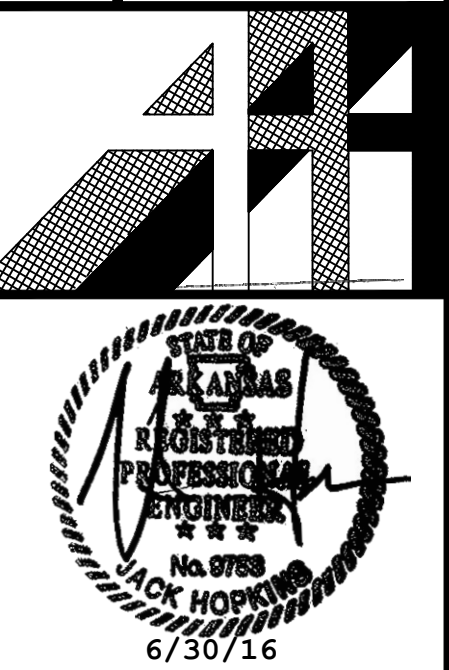
CAD FILE:

DRWN. BY: SA	CHKD. BY: JH	APPR. BY: JH	DATE: 6-30-16	REVISIONS	0	6/30/16 - INITIAL ISSUE
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**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**ONE & TWO BR ACC UNIT PLANS - HVAC**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**



SHEET NUMBER

**H1.2**

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

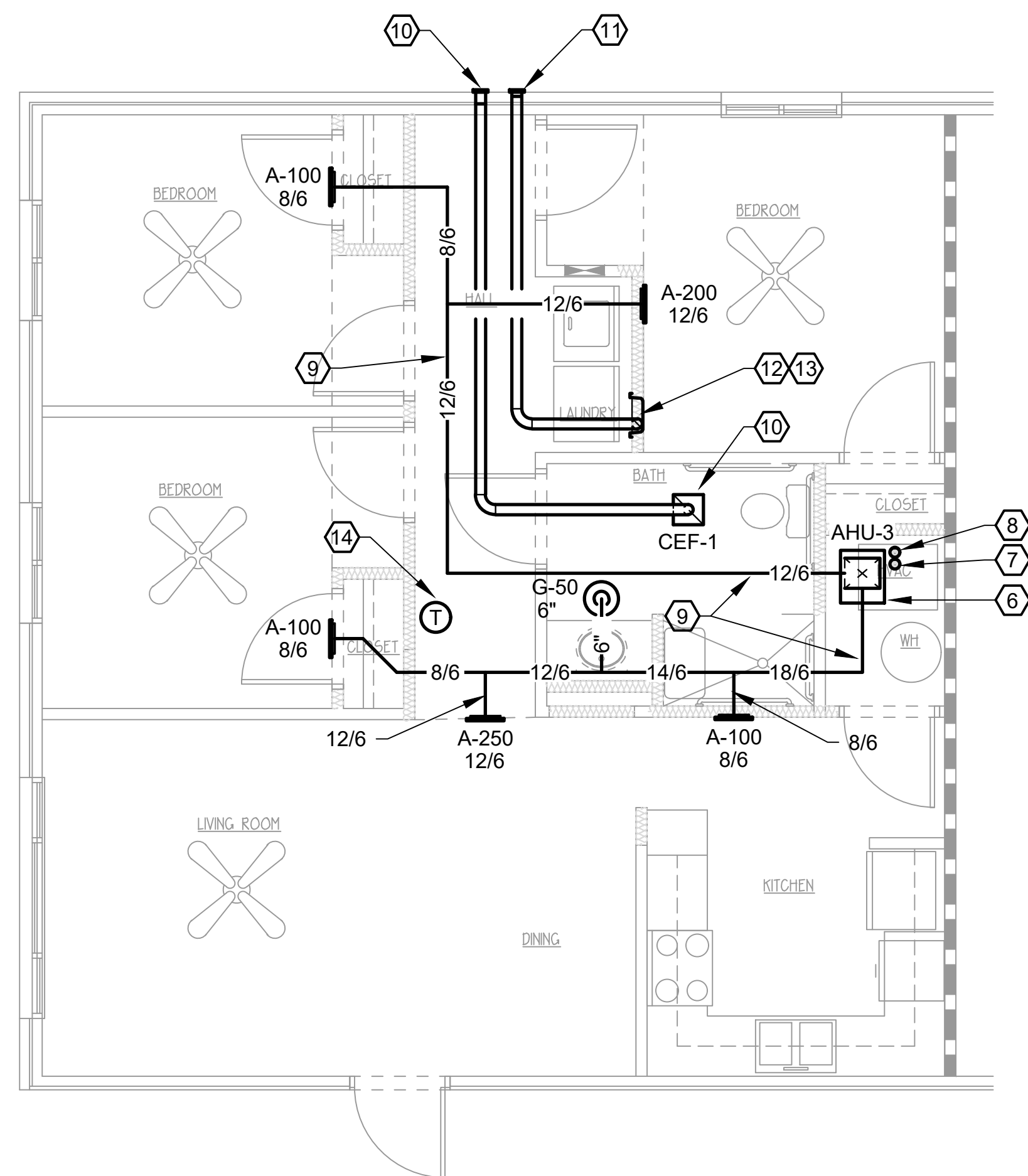
5516 WALLWOOD ROAD

**DEMOLITION NOTES:**

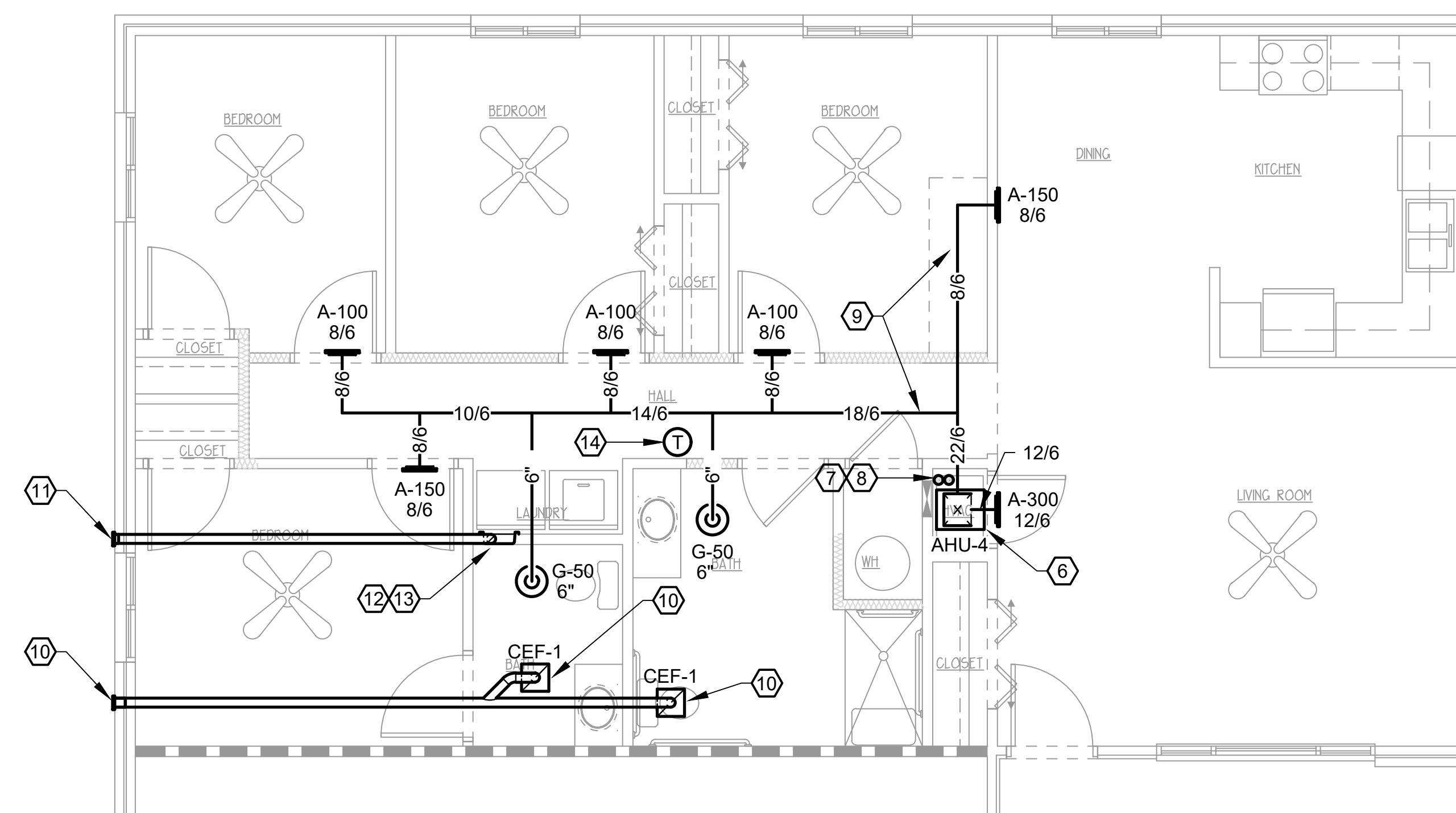
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10. INSTALL NEW CEILING EXHAUST FAN. PROVIDE CEILING RADIATION DAMPER AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY. ROUTE 4" DUCT UP TO ABOVE CEILING AND ROUTE BETWEEN JOISTS TO NEW EXTERIOR WALL CAP. WALL CAP SHALL HAVE GRAVITY DAMPER AND INSECT SCREEN. REFER TO SHEETS H2.0 AND H2.1 FOR CONTINUATION.
11. DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
12. INSTALL NEW RECESSED DRYER VENT BOX (THE DRYERBOX UL RATED) 22 GAUGE ALUMINIZED STEEL. REPAIR/PATCH WALL AS REQUIRED TO MATCH ADJACENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING AND UP BETWEEN JOISTS TO EXTERIOR WALL CAP/VENT OR THROUGH ATTIC TO EXHAUST VIA A ROOF DRYER VENT CAP. DRYER DUCT IS TO BE LIMITED TO A MAXIMUM LENGTH OF 35 FEET, USING TABLE 504.6.4.1 FROM 2012 INTERNATIONAL MECHANICAL CODE FOR EQUIVALENT FITTING LENGTHS. USE SMOOTH, RIGID ALUMINUM VENT MATERIAL ONLY (FLEXIBLE DUCT IS NOT ACCEPTABLE). THE EQUIVALENT LENGTH OF THE EXHAUST DUCT SHALL BE IDENTIFIED ON A PERMANENT LABEL OR TAG. DUCT SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT EXHAUST FLOW OR PROTRUDE INTO THE INSIDE OF THE DUCT. REFER TO SHEETS H2.0 AND H2.1 FOR DRYER EXHAUST ATTIC DUCT ROUTING, ROOF DRYER VENT CAP AND/OR WALL CAP DISCHARGE LOCATIONS. REFER TO DETAILS SHEET H5.2.
13. EXISTING DRYER EXHAUST DUCT IS ASSUMED TO BE ROUTED TO BELOW FLOOR SLAB AND THEN TO GRADE MOUNTED PVC PIPE WITH LOUVERED VENT. THIS ARRANGEMENT IS TO BE DISCONNECTED AND ABANDONED. CAP OFF ALL DUCTWORK/PIPING WITHIN WALL AND/OR BELOW FLOOR SLAB. THE EXTERIOR PIPING/DUCT IS TO BE REMOVED BACK TO WHERE IT EXISTS BELOW THE BUILDING PERIMETER AND GROUTED SOLID TO PREVENT PEST/RODENT INTRUSION. REPORT INCOMPATIBILITIES TO ARCHITECT/ENGINEER FOR RESOLUTION.
14. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR.



**1** THREE BEDROOM ACCESSIBLE - HVAC  
SCALE: 1/4"=1'-0"

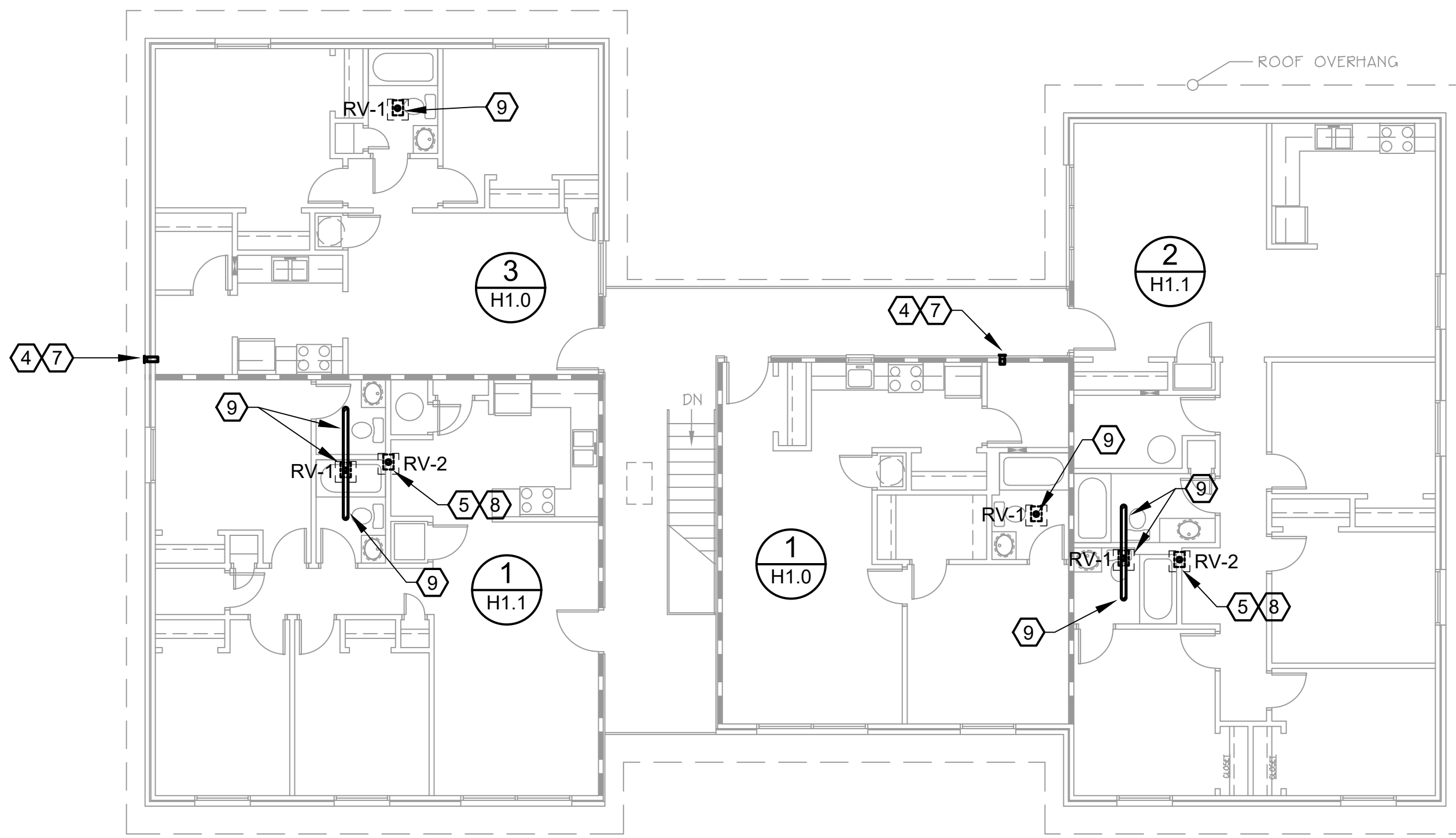


**2** FOUR BEDROOM ACCESSIBLE - HVAC  
SCALE: 1/4"=1'-0"

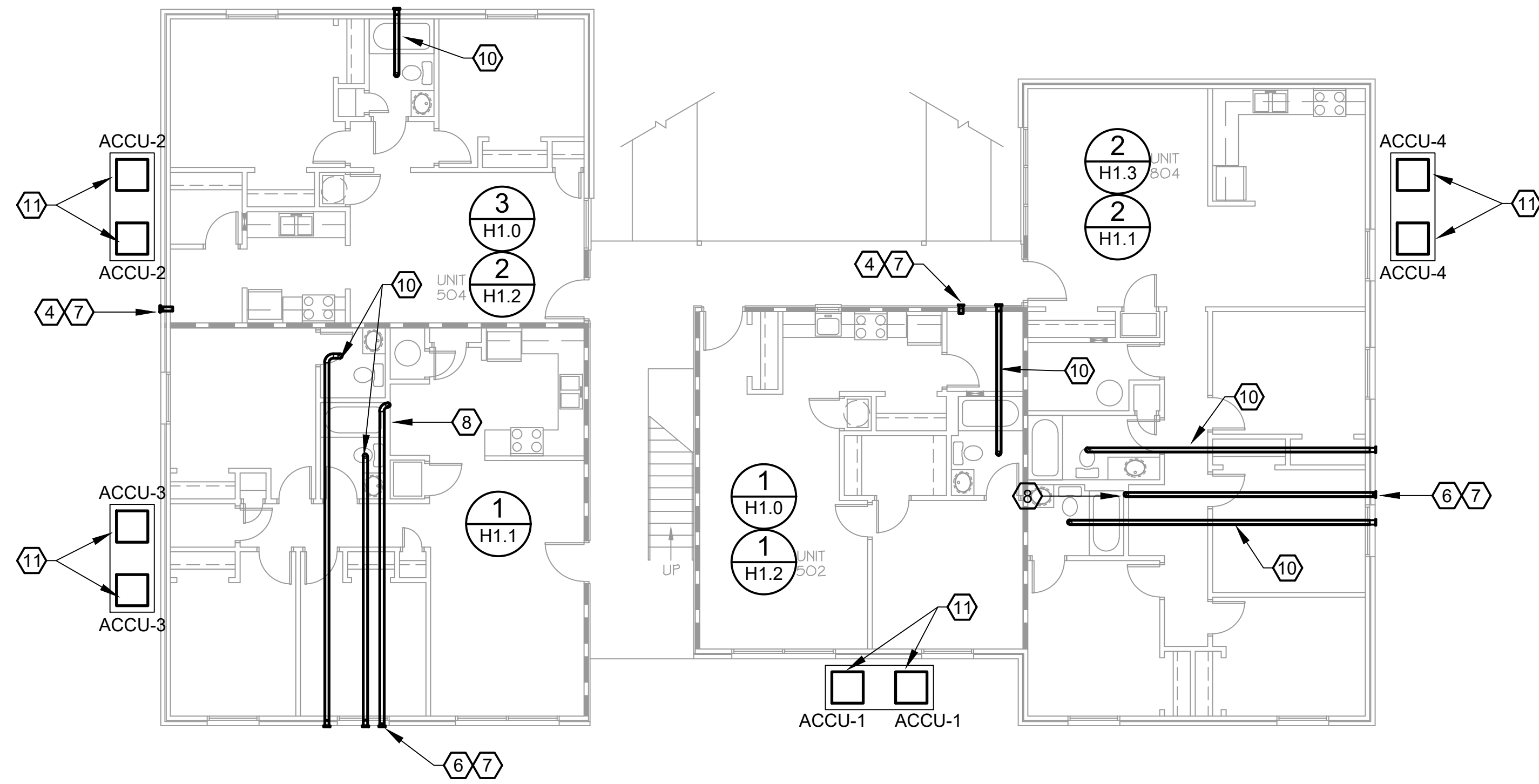
**WALL LEGEND**

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL
	NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

CAD FILE:							
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">DRWN. BY: SA</td> <td style="font-size: 8px;">CHKD. BY: JH</td> </tr> <tr> <td style="font-size: 8px;">APPR. BY: JH</td> <td style="font-size: 8px;">DATE: 6-30-16</td> </tr> <tr> <td style="font-size: 8px;">REVISIONS</td> <td style="font-size: 8px;">0 6/30/16 - INITIAL ISSUE</td> </tr> </table>	DRWN. BY: SA	CHKD. BY: JH	APPR. BY: JH	DATE: 6-30-16	REVISIONS	0 6/30/16 - INITIAL ISSUE	<p style="text-align: center;"><b>THREE &amp; FOUR BR ACC UNIT PLANS - HVAC</b></p> <p style="text-align: center;"><b>ALLAN ASSOCIATES ARCHITECTS, PLLC</b></p> <p style="text-align: center; font-size: 8px;">KNOXVILLE, TENNESSEE 37912</p>
DRWN. BY: SA	CHKD. BY: JH						
APPR. BY: JH	DATE: 6-30-16						
REVISIONS	0 6/30/16 - INITIAL ISSUE						
<p style="text-align: center;"><b>WHITE RIVER APARTMENTS</b></p> <p style="text-align: center; font-size: 8px;">2900 MARION DRIVE DIAZ, ARKANSAS</p>	<p style="text-align: center;">865 / 689-1302</p> <p style="text-align: center;">5516 WALLWOOD ROAD</p>						
<p>SHEET NUMBER</p> <p style="font-size: 24px;"><b>H1.3</b></p>							



2 BLDGS 2,3,5,8  
SECOND FLOOR PLAN - HVAC  
SCALE: 1/8"=1'-0"



1 BLDGS 2,3,5,8  
FIRST FLOOR PLAN - HVAC  
SCALE: 1/8"=1'-0"

**DEMOLITION NOTES:**

1. REMOVE ALL EXISTING CONDENSING UNITS, ONE PER APARTMENT. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL EXISTING BATHROOM WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.
3. REMOVE EXISTING DRYER ROOF CAPS/VENTS, DISPOSAL BY CONTRACTOR.
4. REMOVE ALL EXISTING DRYER WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.

**NOTES:**

1. LOCATION OF EXISTING LOWER FLOOR BATHROOM EXHAUST DUCT IS ASSUMED TO BE ROUTED UP BETWEEN THE JOISTS TO THE EXTERIOR WALL AND IS ESTIMATED BASED ON FIELD OBSERVATION OF EXISTING WALL VENTS AND ASSUMED ORIENTATION OF FLOOR JOISTS. FIELD OBSERVATION OF EXISTING WALL VENTS INDICATES THAT EACH BUILDING AND/OR APARTMENT UNIT EXHAUST DUCT ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS/ROUTING ON RECORD DRAWINGS.
2. BASED ON FIELD OBSERVATION OF A SAMPLING OF INSTANCES, LOCATION OF EXISTING UPPER FLOOR BATHROOM EXHAUST WAS OBSERVED TO BE ROUTED UP AND TERMINATED IN THE ATTIC. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS/ROUTING PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS/ROUTING ON RECORD DRAWINGS.
3. NO NEW BORING OR NOTCHING OF STRUCTURAL MEMBERS ALLOWED WITHOUT OBTAINING APPROVAL OF ARCHITECT. ROUTE DUCTWORK IN EXISTING LOCATIONS OR WITHIN NEW FURRED DOWN CEILING AREA OR PROVIDE NEW BULKHEADS AS APPROVED BY ARCHITECT.
4. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT AN EXTERIOR WALL SHALL BE A DRYER WALL VENT.
5. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF UPPER FLOOR APARTMENTS SHALL BE VIA A ROOF DRYER VENT CAP. INSTALL NEW 4" DRYER DUCT AND ROUTE UP THROUGH ATTIC TO ROOF VENT CAP. REFER TO DETAILS ON SHEET H5.2.
6. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF LOWER FLOOR APARTMENTS SHALL BE A DRYER WALL VENT. INSTALL NEW 4" DRYER DUCT, ROUTE TO ABOVE FURRED DOWN CEILING OR UP BETWEEN FLOOR JOISTS TO EXTERIOR WALL VENT.
7. DRYER WALL VENT SHALL BE BY IN-O-VATE TECHNOLOGIES, INC. MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
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9. EXISTING BATHROOM EXHAUST DUCT TO REMAIN. INSTALL NEW 4" DUCT AND ROUTE FROM EXISTING EXHAUST DUCT UP WITHIN ATTIC SPACE TO NEW ROOF VENT CAP. CONTRACTOR IS RESPONSIBLE FOR NEW DUCTWORK AND/OR FITTINGS NECESSARY TO CONNECT NEW TO EXISTING CONDITION. REFER TO GENERAL NOTE 2 ABOVE.
10. INSTALL NEW 4" BATHROOM EXHAUST DUCT IN SAME LOCATION AS EXISTING OR PROVIDE NEW AS SHOWN. REFER TO GENERAL NOTE 1 ABOVE.
11. LOCATION OF CONDENSING UNITS ARE APPROXIMATE. INSTALL NEW 6" CONCRETE PAD SIZED SO THAT THERE IS A MINIMUM OF 30" BETWEEN UNITS AND WALLS. ADDITIONALLY, INSTALL "PUSH UPS" TO ELEVATE THE CONDENSING UNITS ABOVE THE CONCRETE PAD IN ORDER TO PROVIDE PROTECTION FROM POTENTIAL FUTURE FLOODING.

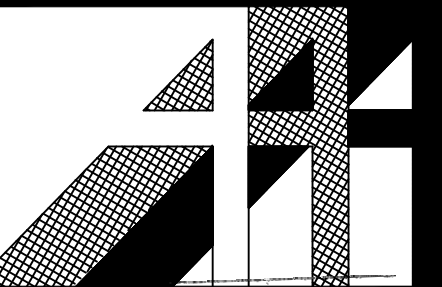
CAD FILE:

DRWN. BY:	SA
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REVISIONS	0 6/30/16 - INITIAL ISSUE

WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

BLDG'S '2','3','5','8' PLANS - HVAC

ALLAN ASSOCIATES ARCHITECTS, PLLC



SHEET NUMBER

H2.0

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



DRWN. BY:	SA
CHKD. BY:	JH
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**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

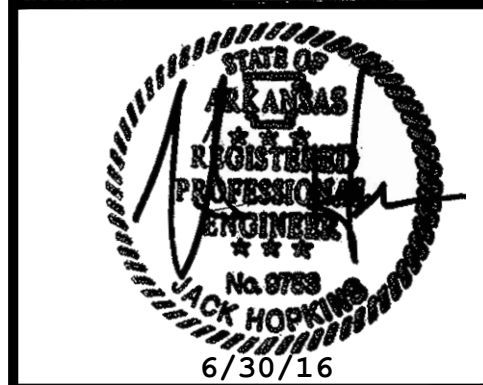
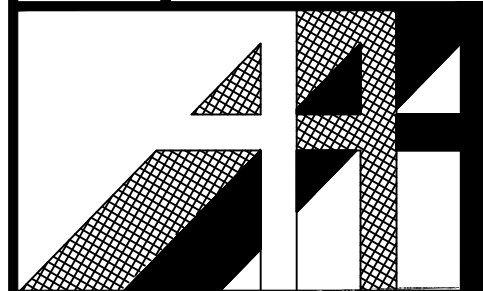
**BLDG'S '1','4','6','7' PLANS - HVAC**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

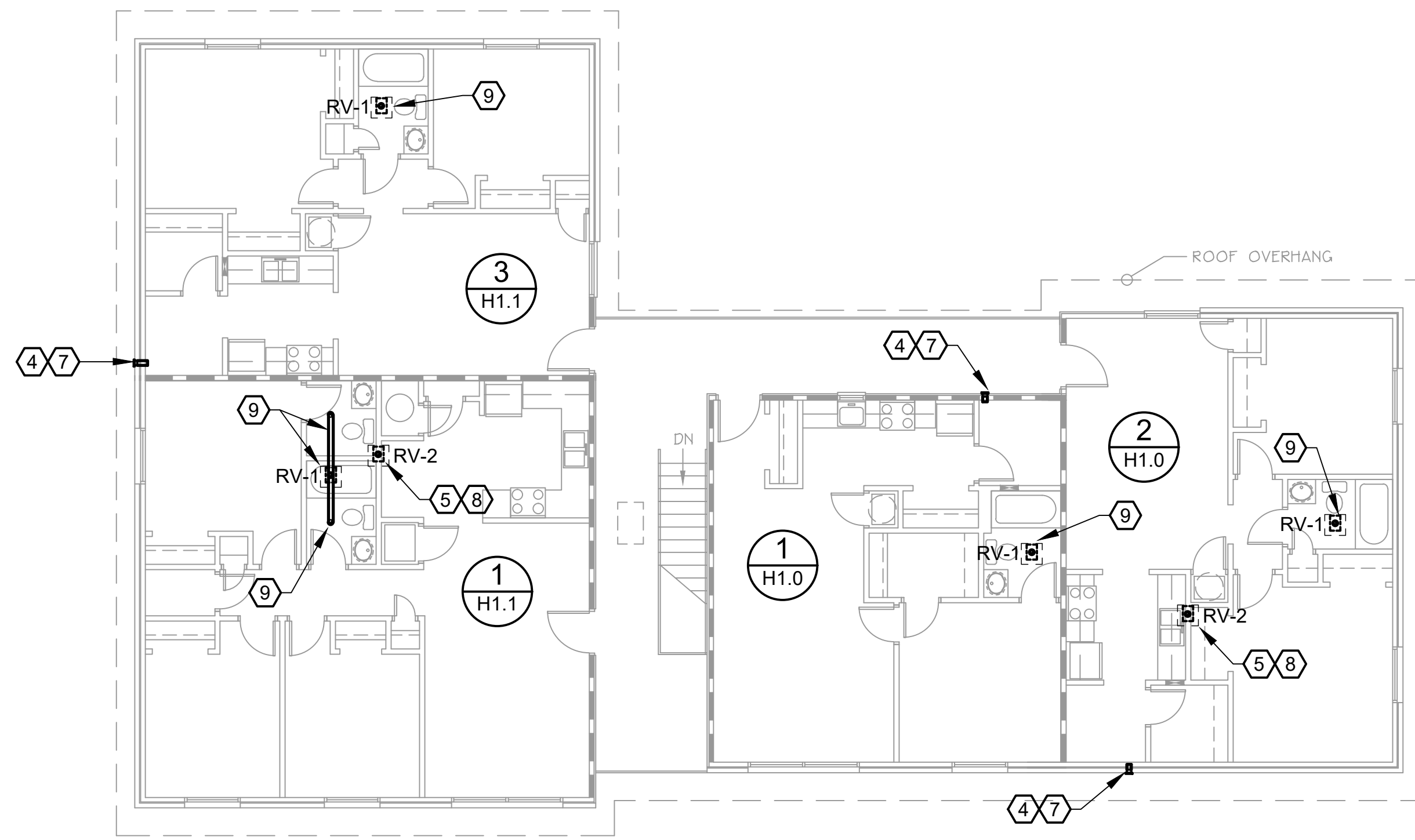
865 / 689-1302

5516 WALLWOOD ROAD

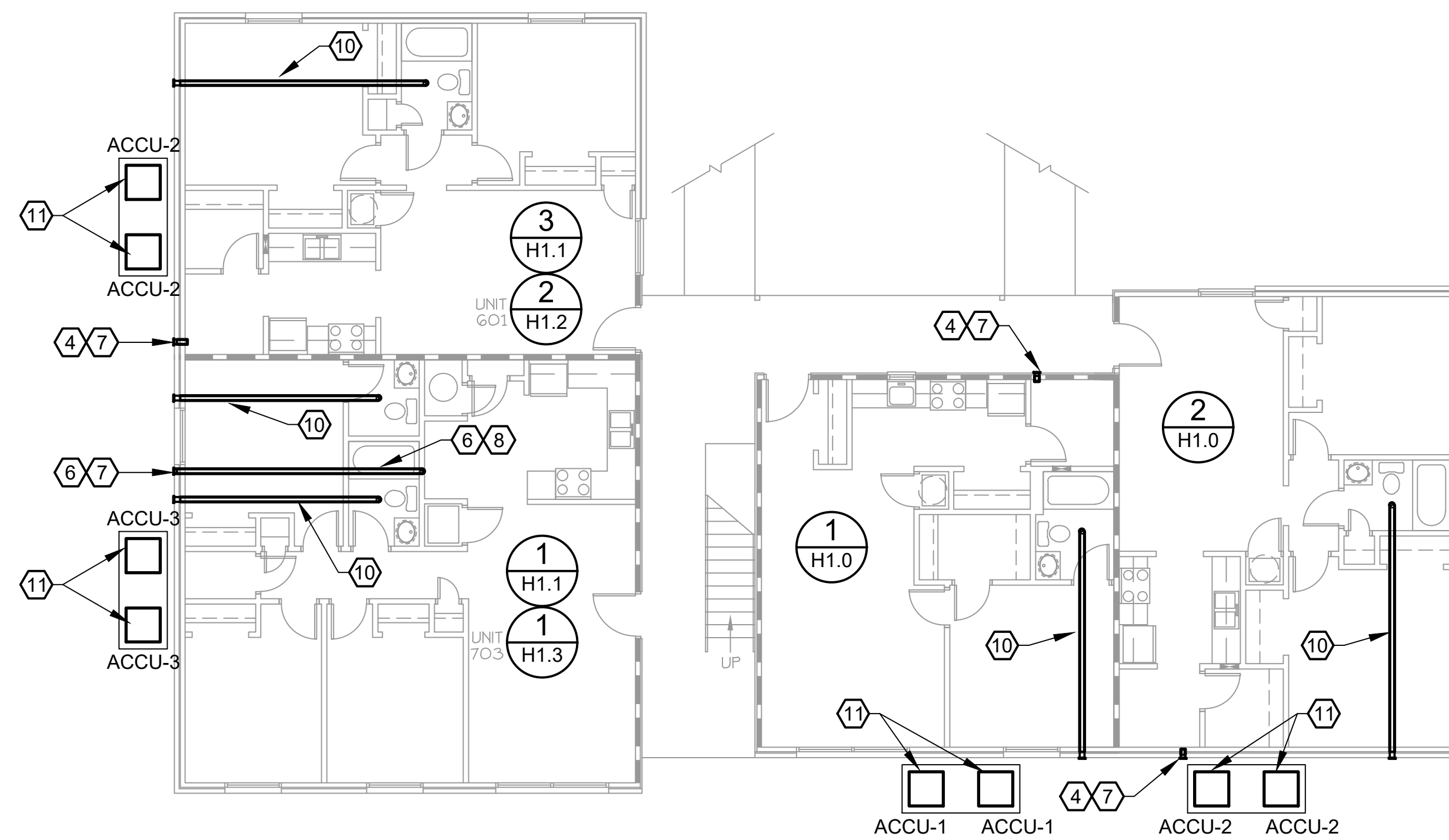


SHEET NUMBER

**H2.1**



**2** BLDGS 1,4,6,7  
SECOND FLOOR PLAN - HVAC  
SCALE: 1/8"=1'-0"



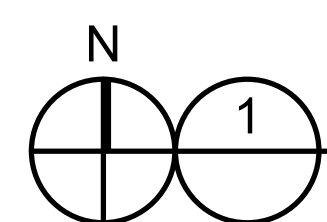
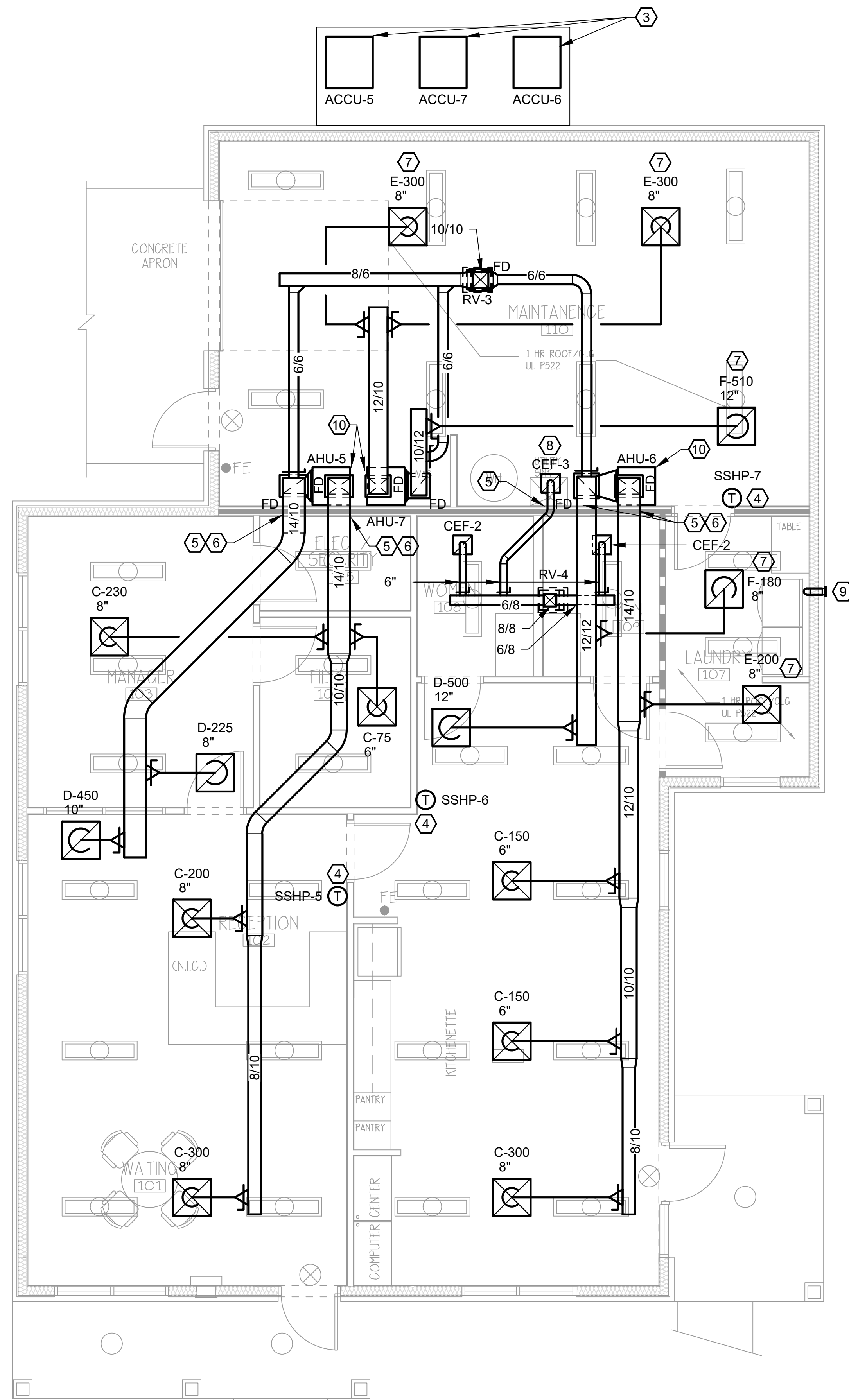
**1** BLDGS 1,4,6,7  
FIRST FLOOR PLAN - HVAC  
SCALE: 1/8"=1'-0"

**DEMOLITION NOTES:**

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4. REMOVE ALL EXISTING DRYER WALL CAPS/VENTS, DISPOSAL BY CONTRACTOR.

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5. DRYER VENT TERMINATION FOR DRYER LOCATIONS AT THE INTERIOR OF UPPER FLOOR APARTMENTS SHALL BE VIA A ROOF DRYER VENT CAP. INSTALL NEW 4" DRYER DUCT AND ROUTE UP THROUGH ATTIC TO ROOF VENT CAP. REFER TO DETAILS ON SHEET H5.2.
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10. INSTALL NEW 4" BATHROOM EXHAUST DUCT IN SAME LOCATION AS EXISTING OR PROVIDE NEW AS SHOWN. REFER TO GENERAL NOTE 1 ABOVE.
11. LOCATION OF CONDENSING UNITS ARE APPROXIMATE. INSTALL NEW 6" CONCRETE PAD SIZED SO THAT THERE IS A MINIMUM OF 30" BETWEEN UNITS AND WALLS. ADDITIONALLY, INSTALL "PUSH UPS" TO ELEVATE THE CONDENSING UNITS ABOVE THE CONCRETE PAD IN ORDER TO PROVIDE PROTECTION FROM POTENTIAL FUTURE FLOODING.



COMMUNITY/OFFICE FLOOR PLAN - HVAC  
SCALE: 1/4" = 1'-0"

- WALL LEGEND**
- INDICATES 1 HR RATED WALL.  
UL# U305
  - TYPICAL INTERIOR PARTITION:  
2x4 WD. STUDS • 16' O.C. W/  
5/8" GYP. BD. EA. SIDE. PROVIDE  
AND INSTALL 3" SOUND BATT W/IN  
ALL STUD CAVITIES
  - INDICATES 1 HR RATED WALL.  
UL# U305 W/ PLYWD. ONE SIDE  
SEE STRUCT. DWG'S.

**NOTES:**

1. COORDINATE DIFFUSER & DUCT LAYOUT WITH OTHER TRADES & CEILING ELEMENTS.
2. ROUTE INSULATED DUCT WITHIN ATTIC SPACE. DUCT DOES NOT PENETRATE RATED WALLS.
3. OUTDOOR CONDENSING UNIT ON NEW 6" CONCRETE PAD SIZED SO THAT THERE IS A MINIMUM OF 30" BETWEEN UNITS AND WALLS. ADDITIONALLY, INSTALL "PUSH UPS" TO ELEVATE THE CONDENSING UNITS ABOVE THE CONCRETE PAD IN ORDER TO PROVIDE PROTECTION FROM POTENTIAL FUTURE FLOODING.
4. PROVIDE NEW WALL MOUNTED WIRED PROGRAMMABLE DIGITAL THERMOSTAT. ALL WIRING IS TO BE CONCEALED. THERMOSTAT SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR. COORDINATE THERMOSTAT LOCATIONS WITH OWNER PRIOR TO INSTALLING.
5. DUCT DOES NOT PENETRATE RATED WALLS.
6. PROVIDE FIRE DAMPER AT CEILING/ATTIC DUCT PENETRATION.
7. DIFFUSER TO BE FIRE RATED WITH ADJUSTABLE FIRE DAMPER & THERMAL BLANKET. SEE AIR DISTRIBUTION SCHEDULE.
8. PROVIDE GREENHECK MODEL CRD AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY.
9. DRYER WALL TERMINATION SHALL BE A DRYER WALL VENT MODEL DWV4 A (BROWN) LOW PROFILE, FLUSH MOUNTED WITH 6-1/2"x6-1/2" FACE, 26 GA. GALVANIZED AND POWDER COATED STEEL BODY MANUFACTURED BY IN-O-VATE TECHNOLOGIES, INC., NO SUBSTITUTES. WALL VENT SHALL HAVE LIGHTWEIGHT DAMPER WITH INTRUSION PREVENTION BALANCED MAGNETS, RUBBER BUMPERS, AND INTEGRAL COLLAR. INCLUDE 4-INCH DIAMETER ALUMINUM PIPE CONNECTOR/DUCT OR AS RECOMMENDED BY MANUFACTURER. BRICK IS TO BE CORE DRILLED TO ACCOMMODATE DUCT/PIPE AND COLLAR AS REQUIRED.
10. ROUTE 1" PVC CONDENSATE PIPE TO HUB DRAIN AS SHOWN ON THE PLUMBING DRAWINGS.

CAD FILE:

DRWN. BY:	SA
CHKD. BY:	JH
APPR. BY:	JH
DATE:	6-30-16
REVISIONS	0
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**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE FLOOR PLAN - HVAC**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**



SHEET NUMBER

**H3.0**

5516 WALLWOOD ROAD

865 / 689-1302

KNOXVILLE, TENNESSEE 37912

CEILING EXHAUST FAN SCHEDULE			
DESIGNATION	CEF-1	CEF-2	CEF-3
PHYSICAL			
DIMENSIONS (WxDxH, IN.)	13x14x4	14x15x7	14x15x7
WEIGHT (LB)	9	10	10
OUTLET DIMENSIONS	4" OVAL	4"	6"
PERFORMANCE			
AIRFLOW (CFM)	50	75	150
EXTERNAL STATIC (IN.)	0.25	0.25	0.25
SONES	1.0	2.5	3.0
ACCESSORIES			
BACKDRAFT DAMPER	YES	YES	YES
UNIT MOUNTED DISCONNECT	YES	YES	YES
SPEED CONTROLLER	YES	YES	YES
STARTER/CONTROL	NOTE 2	NOTE 3	NOTE 3
ELECTRICAL			
VOLTS/PH	120/1	120/1	120/1
INPUT WATTS	36.4	50	129
BASIS OF DESIGN			
MANUFACTURER	BROAN	GREENHECK	GREENHECK
MODEL	LP80	SP-B90	SP-B150
NOTES	1,4,5,6	3,4,5	2,4,5
0. ACCEPTABLE MANUFACTURERS: GREENHECK, COOK, BROAN 1. PROVIDE BROAN MODEL 64W DEDICATED WALL SWITCH FOR FAN/LIGHT CONTROL WITH OFF-DELAY FEATURE (REFER TO ELECTRICAL DRAWINGS). 2. PROVIDE DEDICATED WALL SWITCH WITH OFF TIME DELAY. 3. PROVIDE OCCUPANCY SENSOR WITH OFF TIME DELAY. 4. PROVIDE DECORATIVE PLASTIC GRILLE AT CEILING. 5. MOUNT SPEED CONTROL TO SIDE OF FAN WITHIN SWITCH BOX. 6. PROVIDE FAN WITH LED LIGHT.			

ROOF VENT SCHEDULE				
DESIGNATION	RV-1	RV-2	RV-3	RV-4
PHYSICAL				
TYPE	EXHAUST	DRYER EXH.	INTAKE	EXHAUST
DIMENSIONS (WxLxH)(IN.)	19x14x7	12x12x5	23.5x27.5x9.5	23.5x27.5x9.5
WEIGHT (LBS)	10	3	10	10
ROOF OPENING (IN.)	6x9	5" DIA.	10x10	10x10
PERFORMANCE				
AIRFLOW (CFM)	75	N/A	330	225
STATIC (IN.)	0.017	N/A	0.017	0.017
ACCESSORIES				
BACKDRAFT DAMPER	YES	NO	YES	YES
ROOF FLANGE	YES	YES	YES	YES
INSECT SCREEN	YES	NO	YES	YES
BASIS OF DESIGN				
MANUFACTURER	GREENHECK	DRYERJACK	GREENHECK	GREENHECK
MODEL NO.	RJ-6x9	466	RJ-10x10	RJ-10x10
0. ACCEPTABLE MANUFACTURERS: COOK, BROAN, TWIN CITY				

SPLIT SYSTEM HEAT PUMP SCHEDULE							
DESIGNATION	SSPH-1(AHU-1/ACCU-1)	SSPH-2(AHU-2/ACCU-2)	SSPH-3(AHU-3/ACCU-3)	SSPH-4(AHU-4/ACCU-4)	SSPH-5(AHU-5/ACCU-5)	SSPH-6(AHU-6/ACCU-6)	SSPH-7(AHU-7/ACCU-7)
LOCATION	1 BDRM	2 BDRM	3 BDRM	4 BDRM	OFFICE	COMMUNITY	MAINTENANCE
DIMENSIONAL							
AHU DIMENSIONS (WxDxH)(IN.)	17.5x21x45	17.5x21x45	17.5x21x54	21x21x54	17.5x21.75x50	17.5x21.75x50	17.5x21.75x50
AHU WEIGHT (LBS)	116	116	129	144	120	120	120
ACCU DIMENSIONS (WxDxH)(IN.)	29x29x34.5	29x29x34.5	29x29x34.5	29x29x36.25	30x33x33	30x33x33	30x33x29
ACCU WEIGHT (LBS)	143	143	143	171	222	222	176
AHU FAN							
AIRFLOW (CFM)	500	600	800	1000	800	800	600
OUTSIDE AIR (CFM)	0	0	0	0	120	120	90
EXTERNAL STATIC (IN.)	0.5	0.5	0.5	0.4	0.5	0.5	0.5
MOTOR HP	1/3	1/3	1/3	1/3	1/3	1/3	1/3
COOLING							
TOTAL CAPACITY (BTUH)	18,000	18,000	24,000	30,000	23,600	23,600	18,900
SENSIBLE CAPACITY (BTUH)	18,000	18,000	23,400	28,400	18,100	18,100	14,200
LEAVING AIR (FDB/FWB)	58/TBD	58/TBD	58/TBD	58/TBD	59/57.2	59/57.2	58.7/56.8
ENTERING AIR (FDB/FWB)	80/67	80/67	80/67	80/67	80/67	80/67	80/67
EER/SEER □ ARI CONDITIONS	15.0 SEER	15.0 SEER	15.0 SEER	15.0 SEER	15.0 SEER	15.0 SEER	15.0 SEER
NUMBER COMPRESSORS	1	1	1	1	1	1	1
REFRIGERANT	R-410A	R-410A	R-410A	R-410A	R-410A	R-410A	R-410A
HEATING							
TOTAL CAPACITY (BTUH)	17,200	17,200	13,400	28,000	21,800	21,800	17,200
AMBIENT AIR (FDB/FWB)	47/43	47/43	47/43	47/43	47/43	47/43	47/43
HPSF □ RATED CONDITIONS	8.2	8.2	8.5	8.5	8.5	8.5	8.5
AUXILIARY HEAT (KW)	5.0	5.0	5.0	8.0	7.68	7.68	7.68
FILTERS							
TYPE	1" MERV 8	1" MERV 8	1" MERV 8	1" MERV 8	1" MERV 8	1" MERV 8	1" MERV 8
ELECTRICAL							
AHU (VOLTS/PH)	240/1	240/1	240/1	240/1	240/1	240/1	240/1
AHU MCA/MOCP	31/35	31/35	31/35	47/50	44/45	44/45	44/45
ACCU (VOLTS/PH)	240/1	240/1	240/1	240/1	240/1	240/1	240/1
ACCU MCA/MOCP	12.4/20	12.4/20	14.7/25	17.9/30	12/20	12/20	9/15
BASIS OF DESIGN							
MANUFACTURER	GOODMAN	GOODMAN	GOODMAN	GOODMAN	TRANE	TRANE	TRANE
AHU MODEL NO.	ASPT25B14	ASPT25B14	ASPT29B14	ASPT37C14	GAM5B0A24	GAM5B0A24	GAM5B0A18
ACCU MODEL NO.	GSZ140181	GSZ140181	GSZ140241	GSZ140301	4TWR5024	4TWR5024	4TRWR5018
NOTES:	1, 3, 4, 5	1, 3, 4, 5	1, 3, 4, 5	1, 3, 4, 5	1, 2, 3, 4, 5	1, 2, 3, 4, 5	1, 2, 3, 4, 5
0. ACCEPTABLE MANUFACTURERS: GOODMAN, TRANE, CARRIER & LENNOX 1. PROVIDE HONEYWELL TN2210D1007 OR TH6220D1002 PROGRAMMABLE THERMOSTAT/HUMIDISTAT. 2. PROVIDE LOW AMBIENT COOLING TO 0° F. 3. PROVIDE NON-BLEED THERMAL EXPANSION VALVE. 4. PROVIDE SINGLE POINT ELECTRICAL KIT WHERE NECESSARY. 5. PROVIDE FREEZE PROTECTION KIT.							

WALL CAP VENT SCHEDULE	
DESIGNATION	WC-1
PHYSICAL	
DIMENSIONS (WxH)(IN.)	6-1/2x6-1/2
WALL OPENING (IN.)	4
ACCESSORIES	
BACKDRAFT DAMPER	NO
BIRD/INSECT SCREEN	NO
BASIS OF DESIGN	
MANUFACTURER	DRYER WALL VENT
MODEL NO.	DMV4B
1. NO SUBSTITUTES 2. LOW PROFILE, 26 GA. GALVANIZED, POWDER COATED STEEL BODY WITH MAGNETIC CLOSURE AND RUBBER BUMPERS. 3. CONTRACTOR IS TO VERIFY EXISTING WALL CAP/OPENING SIZE PRIOR TO ORDERING. 4. CONTRACTOR IS TO VERIFY COLOR SELECTION WITH ARCHITECT.	

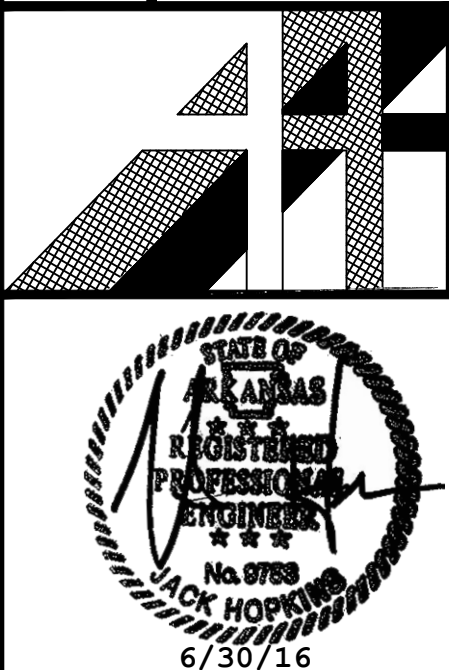
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WHITE RIVER APARTMENTS SCHEDULES - HVAC  
 2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC

665 / 689-1302  
 5516 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912



SHEET NUMBER

H4.1

DRWN. BY: SA	CHKD. BY: JH	APPR. BY: JH	DATE: 6-30-16	REVISIONS	0	6/30/16 - INITIAL ISSUE
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AIR DISTRIBUTION SCHEDULE						
DESIGNATION	SERVICE	DESCRIPTION	MATERIAL AND FINISH	AIR CONTROL	BASIS OF DESIGN	NOTES
A-CFM NECK	SIDEWALL SUPPLY	DOUBLE DEFLECTION VERTICAL FACE BLADES	STEEL/WHITE	OPPOSED BLADE	PRICE SERIES 520D	5,6
B-CFM NECK	SIDEWALL RETURN	45 DEGREE FIXED HORIZ BLADES, 3/4" SPACING	STEEL/WHITE	OPPOSED BLADE	PRICE SERIES 530D	5,6
C-CFM NECK	CEILING SUPPLY	20"x20" OR 22"x22" ROUND NECK PLAQUE FACE	STEEL/WHITE	NONE RADIALLY OPPOSED BLADE VCR-7	PRICE SPD	1,2,3
D-CFM NECK	CEILING RETURN W/ FILTER	22"x22" 1/2" CUBE CORE FACE WITH SQUARE NECK	ALUMINUM/WHITE	OPPOSED BLADE DAMPER NONE	PRICE SERIES 80FF	1,2,3
E-CFM NECK	FIRE-RATED CEILING SUPPLY	22"x22" LOUVERED FACE WITH ROUND NECK	STEEL/WHITE	ADJUST FIRE DAMPER	PRICE SERIES SCD-FR	1,2,3,4,5
F-CFM NECK	FIRE-RATED CEILING RETURN	22"x22" 1/2" CUBE CORE FACE WITH SQUARE NECK	STEEL FRAME & ALUMINUM CORE/WHITE	NONE	PRICE SERIES 80-FR	1,2,3,4,5
G-CFM NECK	CEILING SUPPLY	STEP-DOWN DIFFUSER RINGS WITH ROUND NECK	STEEL/WHITE	# 12 BUTTERFLY DAMPER	HART & COOLEY #16	1,3,4,5

0. ACCEPTABLE MANUFACTURERS: KRUEGER, TITUS  
 1. COORDINATE ALL DEVICE ACCESSORIES WITH ACTUAL CEILING SYSTEM INSTALLED. REFER TO ARCHITECTURAL SHEETS FOR CEILING DETAILS.  
 2. PROVIDE SQUARE-TO-ROUND TRANSITION TO NOTED NECK SIZE WHEN SHOWN ON DRAWINGS.  
 3. WHERE NECESSARY, PROVIDE MOUNTED T-BAR FRAME FOR GYPSUM CEILING INSTALLATION. PROVIDE ALUMINUM FOR NON-RATED CEILINGS, STEEL FOR FIRE RATED CEILINGS.  
 4. PROVIDE GREENHECK MODEL CRD AND RADIATION BLANKET FOR INSTALLATION IN FIRE-RATED CEILING ASSEMBLY.  
 5. COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.  
 6. PROVIDE CLIPS FOR SIDEWALL INSTALLATION.

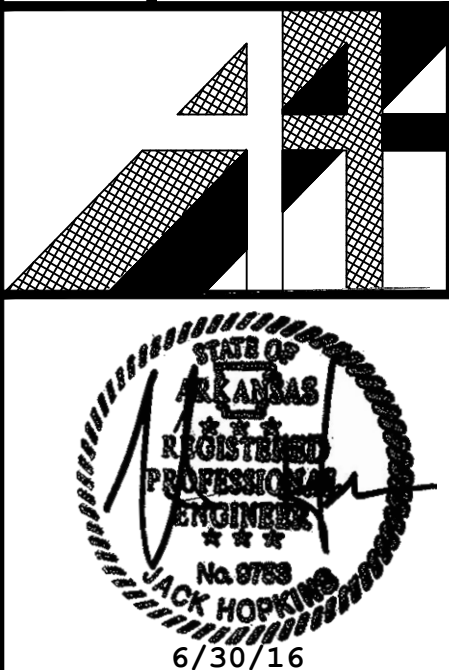
PIPE INSULATION SCHEDULE								
FLUID TYPE	TEMPERATURE RANGE (F)	NOMINAL PIPE OR TUBE SIZE (IN)					INSULATION TYPE	JACKETING TYPE
		1 OR LESS	1 TO 1-1/4	1-1/2 TO 3	4 TO 6	8		
REFRIGERANT LIQUID	VARIES	NOTE 3	N/A	N/A	N/A	N/A	ELASTOMERIC	N/R
REFRIGERANT SUCTION	VARIES	1"	1"	1"	N/A	N/A	ELASTOMERIC	N/R

1. THESE VALUES ARE COMPLIANT WITH THE 2012 INTERNATIONAL ENERGY CODE.  
 2. ELASTOMERIC INSULATION: INSULATE PIPING WITH CLOSED CELL ELASTOMERIC CELLULAR (I.E. ARMAFLEX) INSULATION, HAVING AN ANTI-MICROBIAL AGENT FOR MOLD RESISTANCE.  
 3. REFER TO MANUFACTURER'S RECOMMENDATION.

WHITE RIVER APARTMENTS SCHEDULES - HVAC  
 2900 MARION DRIVE DIAZ, ARKANSAS

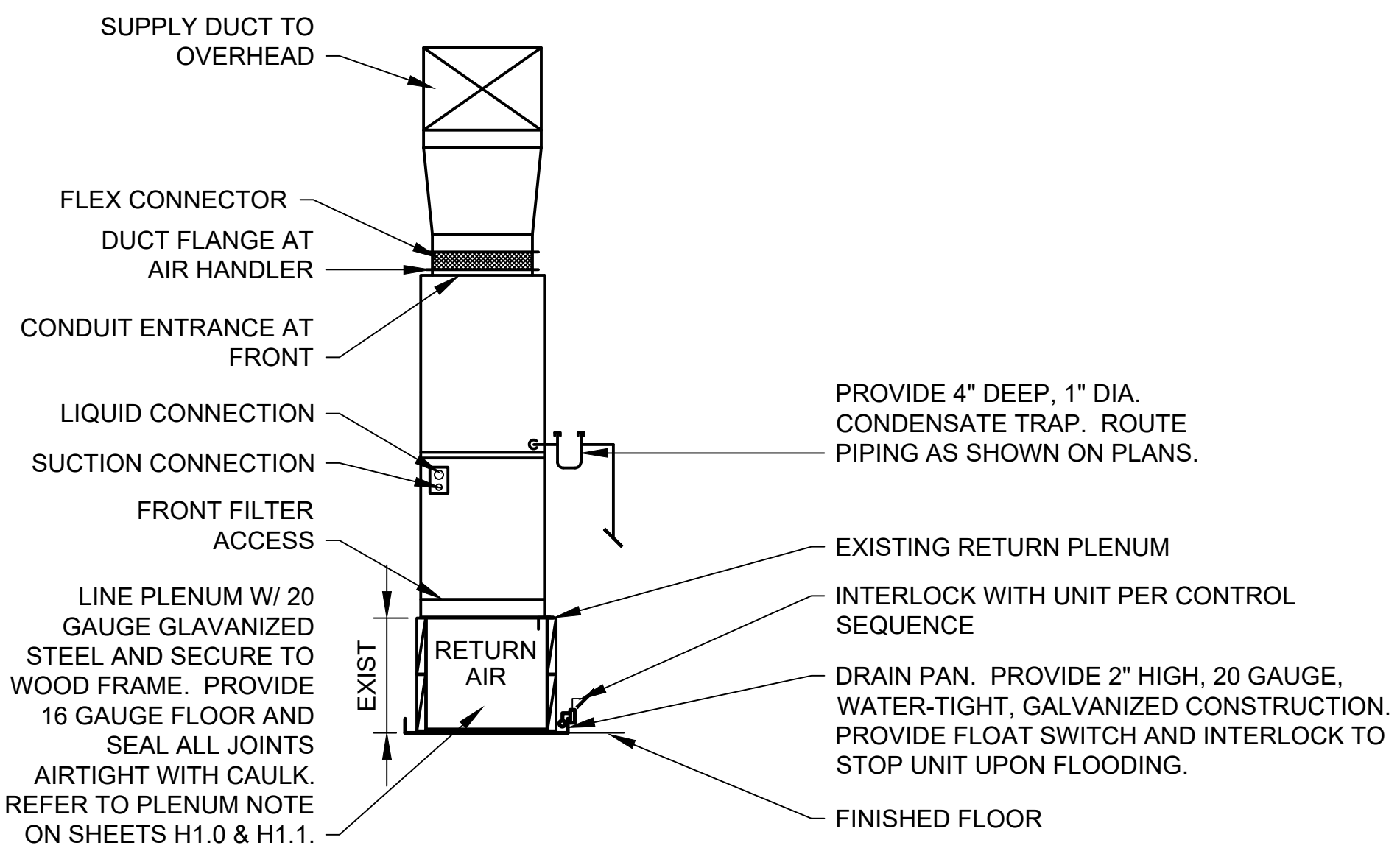
ALLAN ASSOCIATES ARCHITECTS, PLLC

5616 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912  
 865 / 689-1302



DRWN. BY: SA	CHKD. BY: JH	APPR. BY: JH	DATE: 6-30-16	REVISIONS
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				1 9/20/16 - REVISION 2

WHITE RIVER APARTMENTS  
 2900 MARION DRIVE  
 DIAZ, ARKANSAS  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 KNOXVILLE, TENNESSEE 37912  
 865 / 689-1302  
 5516 WALLWOOD ROAD



**1** TYPICAL APARTMENT SPLIT SYSTEM AIR HANDLER - VERTICAL  
NOT TO SCALE

**SPLIT SYSTEM UNIT CONTROL SEQUENCE**

THE SYSTEM SHALL BE CONTROLLED BY A PROGRAMMABLE THERMOSTAT WHICH HAS THE CAPABILITY OF DEFINING OCCUPIED AND UNOCCUPIED PERIODS FOR THE BUILDING. IN ADDITION, THE THERMOSTAT SHALL HAVE THE ABILITY TO CONTROL UNIT HEATING AND COOLING FUNCTIONS SO AS TO PROVIDE CONTROL OF HUMIDITY WITHIN THE SPACE. THERMOSTAT SHALL BE BY HONEYWELL, MODEL T7350D.

**OCCUPIED MODE**

WHEN THE THERMOSTAT CALLS FOR THE UNIT TO BE PLACED IN THE "OCCUPIED" MODE, THE NORMALLY CLOSED FRESH AIR DAMPER SHALL MODULATE OPEN, THE FAN SHALL START AND RUN CONTINUOUSLY, AND THE UNIT CONTROLS SHALL ENERGIZE HEATING, COOLING, AND DEHUMIDIFICATION FUNCTIONS AS DESCRIBED BELOW.

WHEN THE THERMOSTAT CALLS FOR THE UNIT TO BE PLACED IN THE UNOCCUPIED MODE, THE NORMALLY CLOSED FRESH AIR DAMPER SHALL MODULATE CLOSED AND THE FAN SHALL STOP. UNIT HEATING, COOLING, AND DEHUMIDIFICATION FUNCTIONS SHALL BE DISABLED, UNLESS THOSE VALUES REACH SETBACK LIMITS AS DEFINED BY THE THERMOSTAT PROGRAM. IF SETPOINT VALUES REACH SUCH LIMITS, THE UNIT HEATING AND COOLING FUNCTIONS SHALL BE ENABLED FOR SUCH TIME REQUIRED TO RETURN THE BUILDING TO SETBACK LIMITS.

**COOLING**

WHEN THE SPACE TEMPERATURE RISES ABOVE THE PROGRAMMED SETPOINT, THE CONTROLS SHALL ENERGIZE THE UNIT COMPRESSOR(S) AS REQUIRED TO MAINTAIN SETPOINT.

**HEATING**

WHEN THE SPACE TEMPERATURE FALLS BELOW THE PROGRAMMED SETPOINT, THE UNIT CONTROLS SHALL ENERGIZE THE UNIT HEATING STAGE(S) AS REQUIRED TO MAINTAIN SETPOINT.

**DEHUMIDIFICATION**

WHEN THE SPACE HUMIDITY RISES ABOVE THE PROGRAMMED SETPOINT, THE UNIT COMPRESSORS SHALL CONTINUE TO RUN REGARDLESS OF A CALL FOR COOLING. THE UNIT THERMOSTAT SHALL THEN ENERGIZE THE UNIT HEATING STAGE(S) AS REQUIRED TO MAINTAIN TEMPERATURE SETPOINT.

**SAFETIES**

UPON DETECTION OF CONDENSATE IN THE DRAIN PAN, THE FLOAT SWITCH SHALL CAUSE THE UNIT TO STOP UNTIL SUCH TIME THAT CONDENSATE DRAIN STOPPAGE IS RREPAIRED.

**SPLIT SYSTEM UNIT CONTROL SEQUENCE**

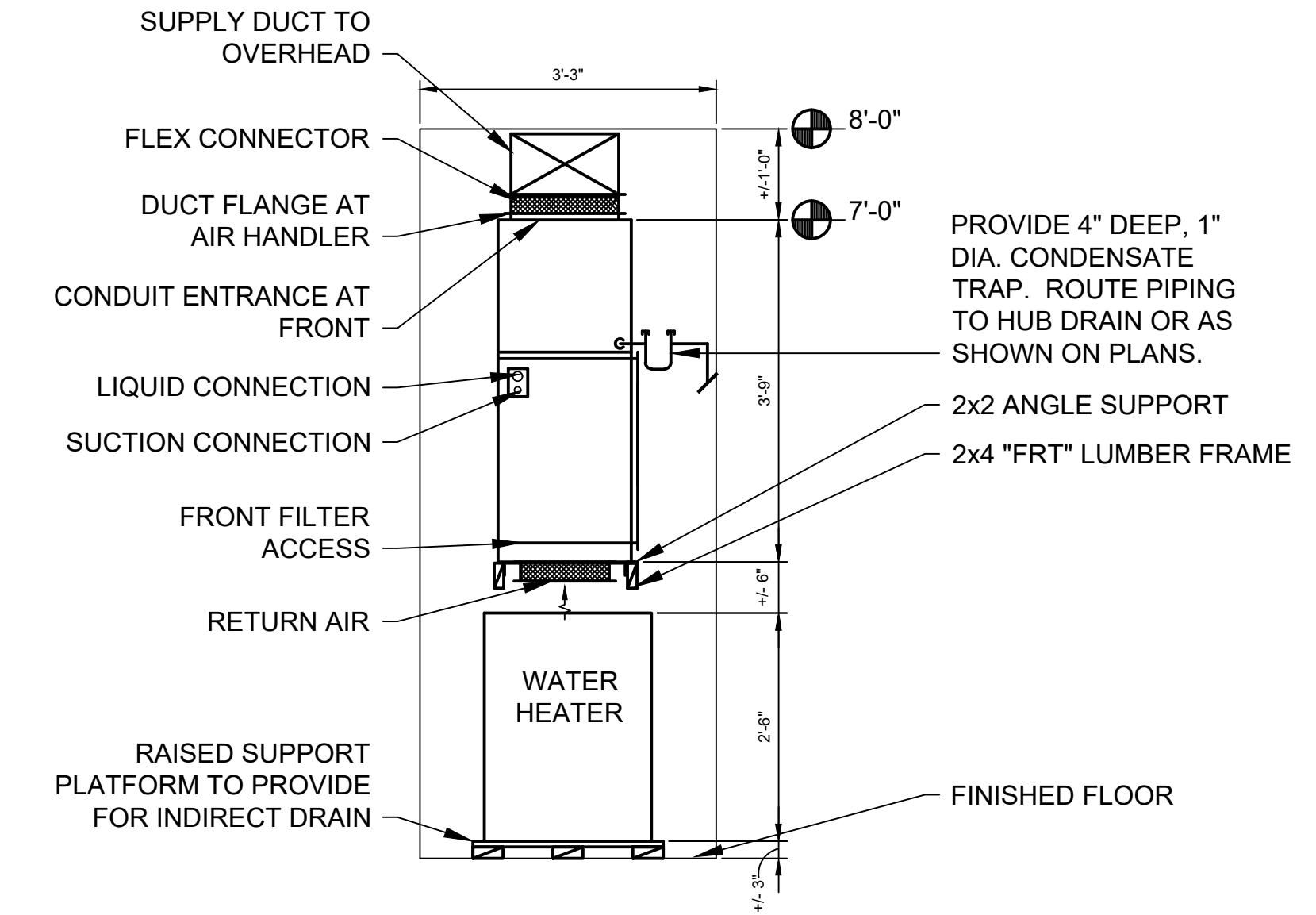
**COOLING**

WHEN THE SPACE TEMPERATURE RISES ABOVE THE PROGRAMMED SETPOINT, THE CONTROLS SHALL ENERGIZE THE UNIT COMPRESSOR(S) AS REQUIRED TO MAINTAIN SETPOINT.

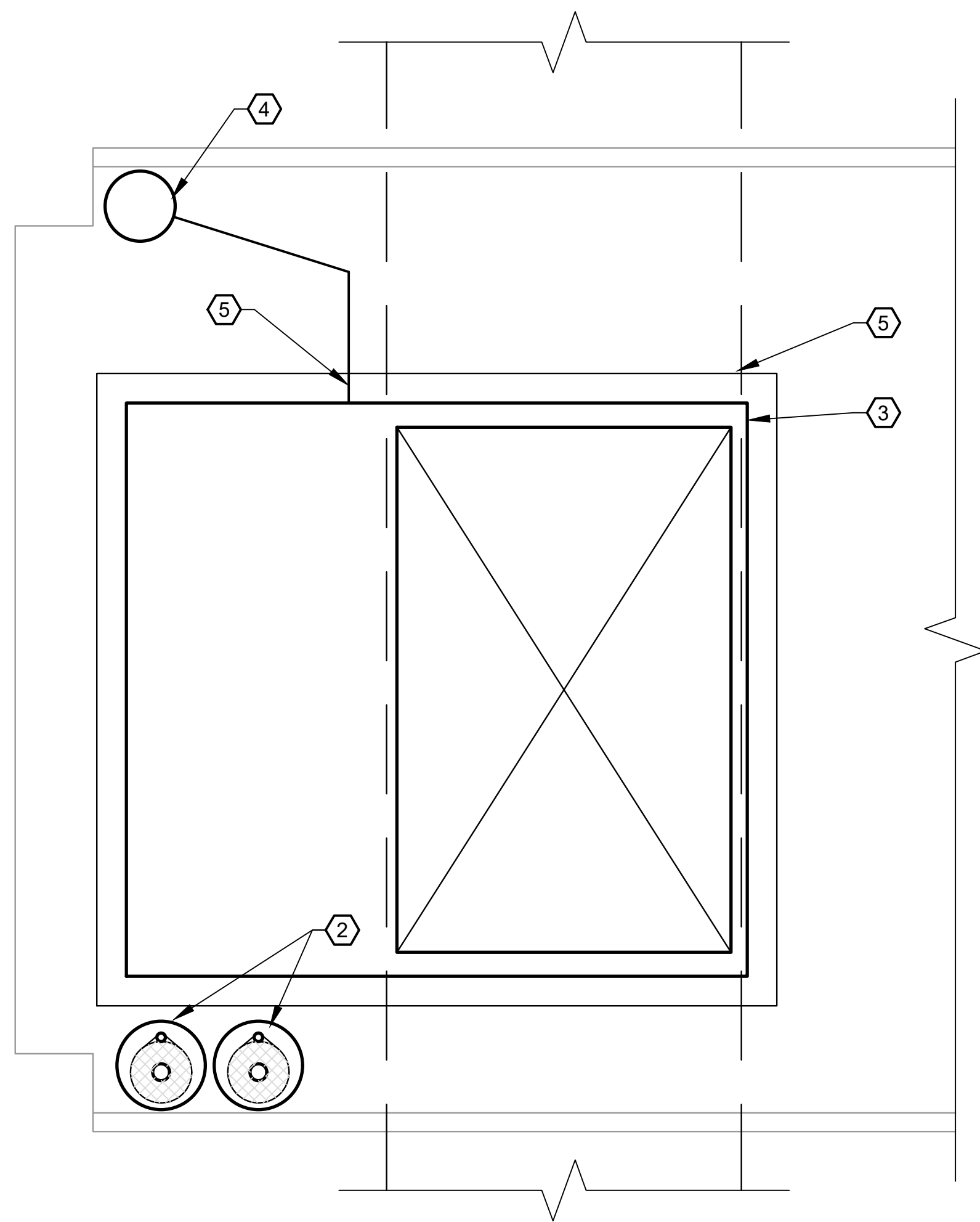
**HEATING**

WHEN THE SPACE TEMPERATURE FALLS BELOW THE PROGRAMMED SETPOINT, THE UNIT CONTROLS SHALL ENERGIZE THE UNIT HEATING STAGE(S) AS REQUIRED TO MAINTAIN SETPOINT.

UPON DETECTION OF CONDENSATE IN THE DRAIN PAN, THE FLOAT SWITCH SHALL CAUSE THE UNIT TO STOP UNTIL SUCH TIME THAT CONDENSATE DRAIN STOPPAGE IS REPAIRED.

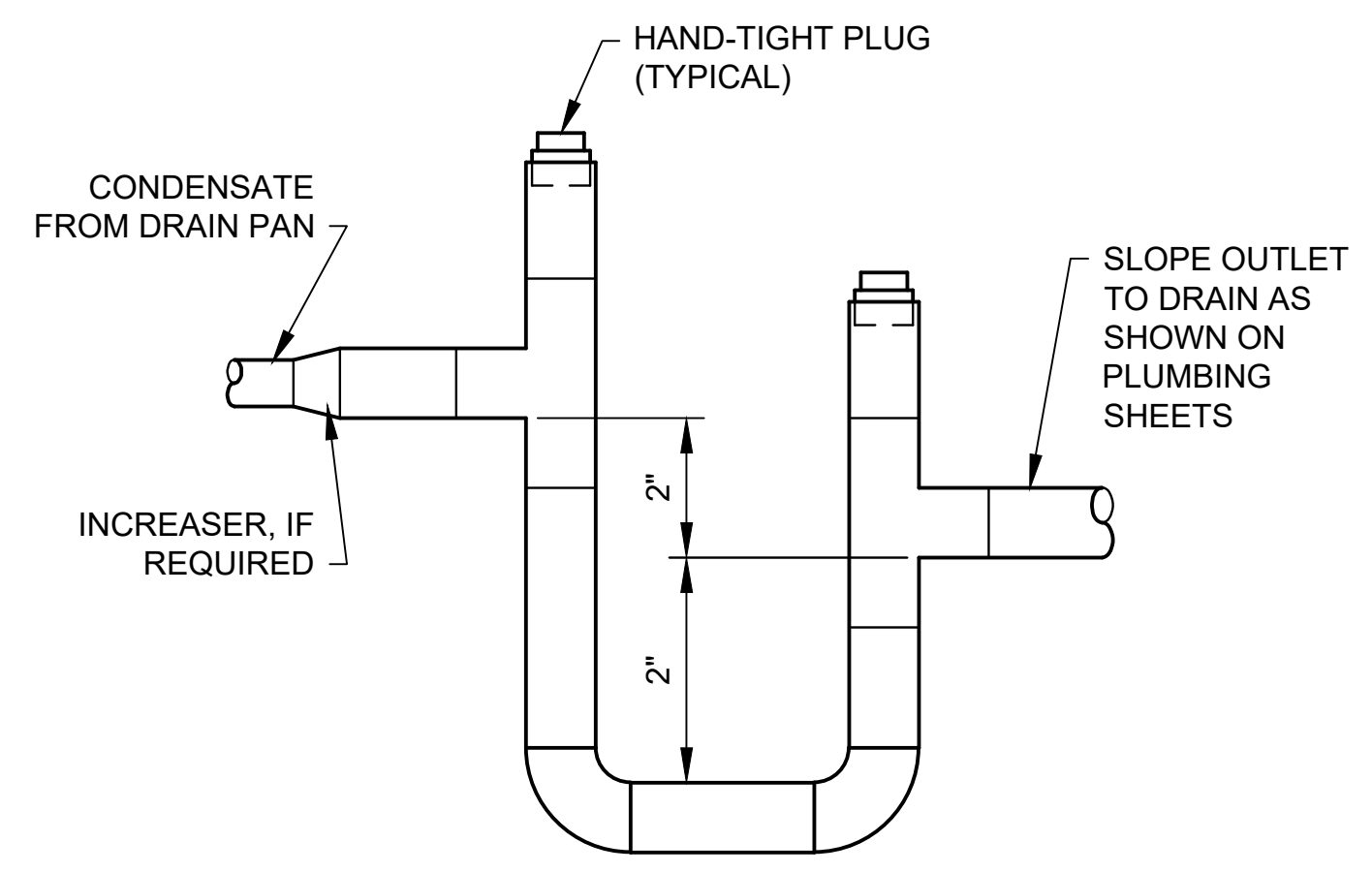


**2** STACKED INSTALLATION APARTMENT SPLIT SYSTEM AIR HANDLER DETAIL  
NOT TO SCALE



**3** ENLARGED TYP. UNIT MECHANICAL CLOSET PLAN  
NOT TO SCALE

- NOTES:**
- REFER TO DRAWING H0.1 FOR GENERAL NOTES AND SYMBOL LEGENDS.
  - REFRIGERANT LIQUID AND SUCTION LINES FROM AIR HANDLING UNIT TO CONDENSING UNIT AT GRADE (TYPICAL FOR ALL UNITS).
  - AIR HANDLING UNIT. PROVIDE PLENUM RETURN BOX BELOW UNIT. REFER TO PLENUM NOTE ON SHEETS H1.0 & H1.1.
  - ROUTE CONDENSATE DRAIN INDIRECT TO FLOOR DRAIN. REFER TO PLUMBING SHEETS FOR WASTE PIPE ROUTING.
  - MAIN SUPPLY TRUNK DUCT ABOVE.

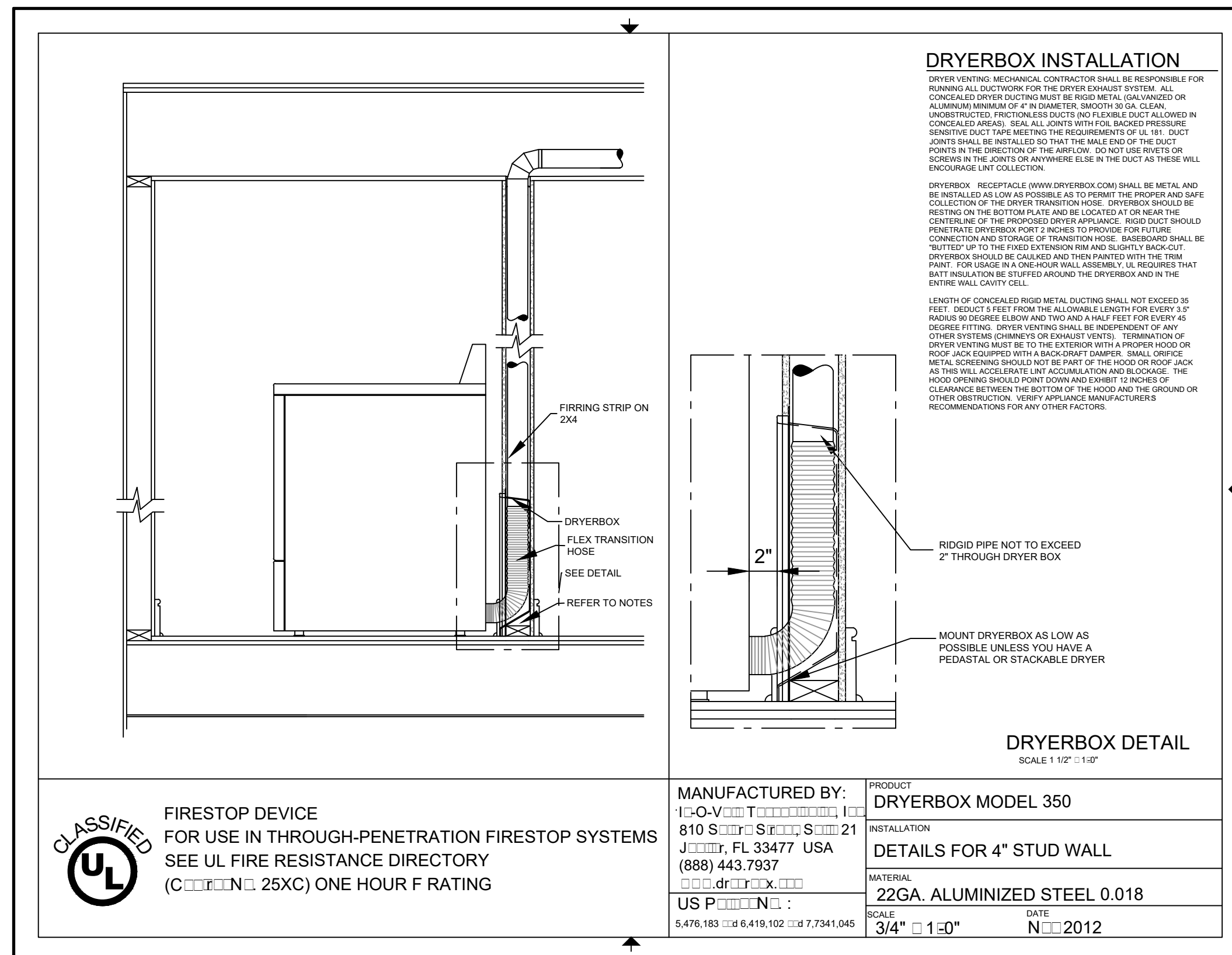


- PIPE SIZE SHALL BE 1" FOR UNITS UP TO FIVE TONS, 1-1/2" FOR UNITS THROUGH 20 TONS.
- CONDENSATE DRAIN LINES SHALL BE DWV PVC UNLESS LOCATED IN A RETURN AIR PLENUM. WHEN LOCATED IN A RETURN AIR PLENUM, PIPING SHALL BE DWV COPPER DRAINAGE TUBE.

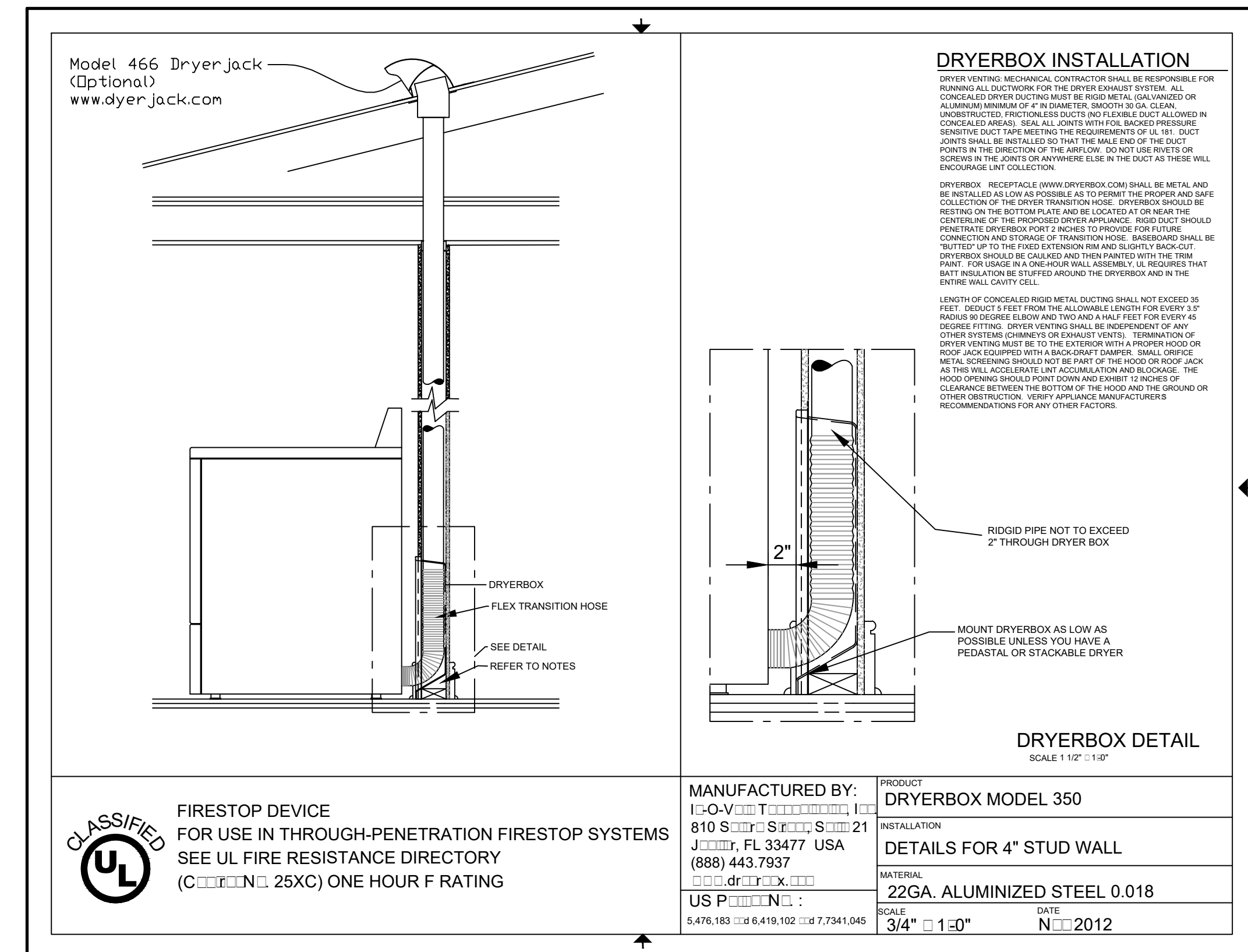
**4** TYPICAL CONDENSATE TRAP  
NOT TO SCALE



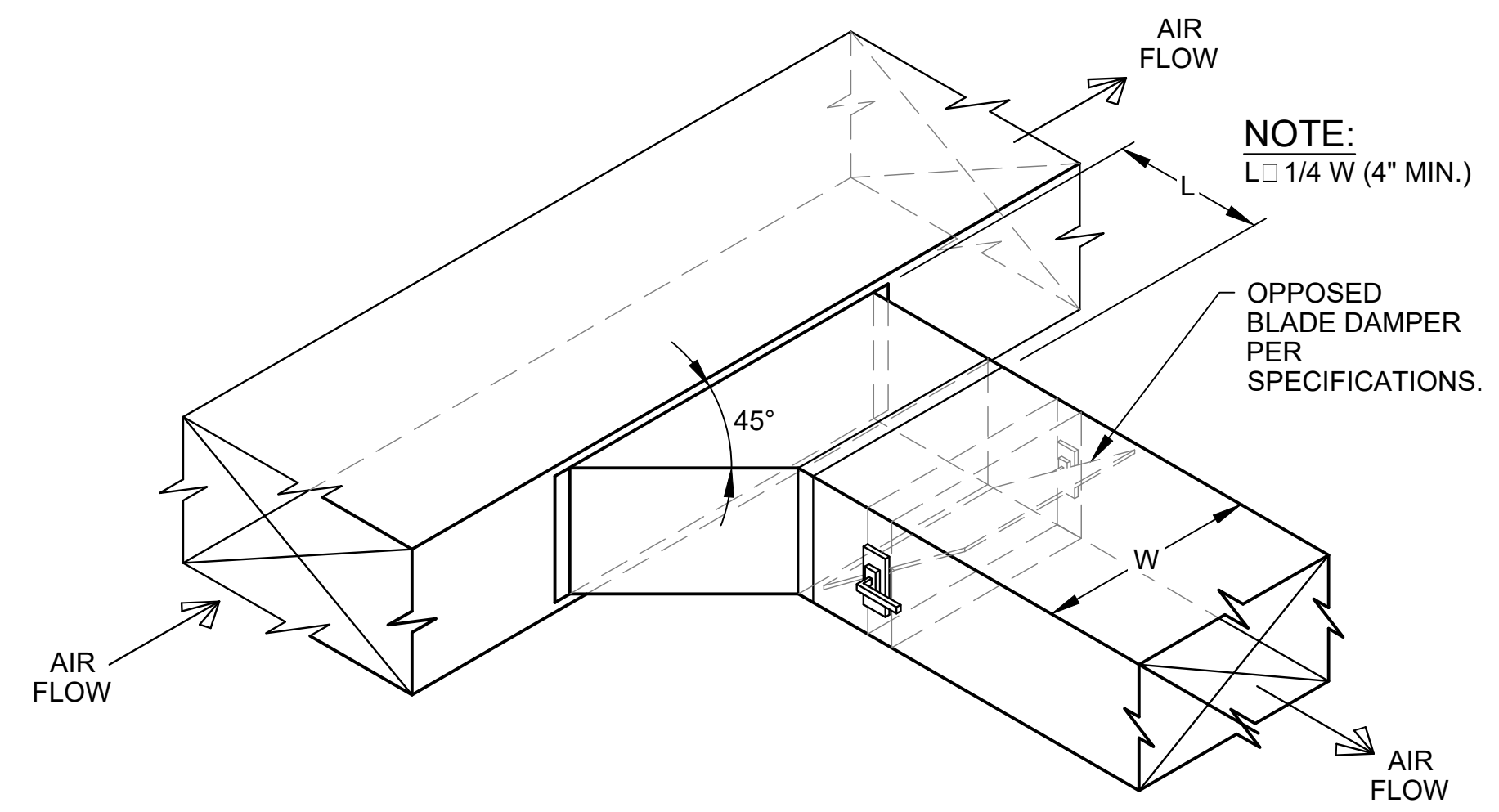
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1 EXTERIOR WALL DRYER DUCT ROUTING  
 SCALE: 3/4" = 1'-0"



2 ATTIC DRYER DUCT ROUTING  
 SCALE: 3/4" = 1'-0"



3 BRANCH DUCT TAKE-OFF MAIN SUPPLY DETAIL  
 NOT TO SCALE

WHITE RIVER APARTMENTS  
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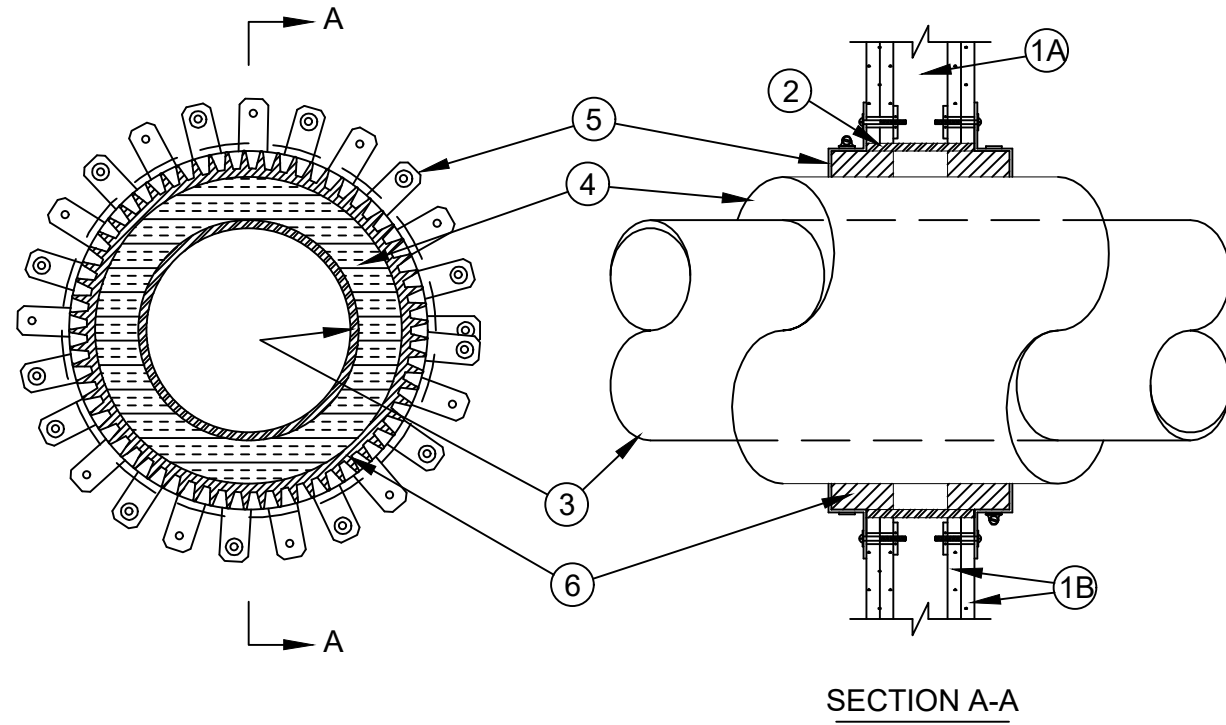
**DETAILS - HVAC**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**



SHEET NUMBER  
**H5.2**

System No. W-L-5025  
 F Ratings - 1 and 2 Hr (See Items 1 and 6)  
 T Ratings - 0 and 3/4 Hr (See Item 1)  
 L Rating At Ambient - 4 CFM/Sq Ft  
 L Rating At 400 F - Less Than 1 CFM/Sq Ft



- Wall Assembly - The 1 or 2 hr fire-rated gypsum wallboard/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300 or U400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
  - Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC.
  - Gypsum Board\* - 5/8 in. thick, 4 ft wide with square or tapered edges. The gypsum wallboard type, number of layers, fastener type and sheet orientation shall be as specified in the individual Wall and Partition Design. Max diam of opening is 14-1/2 in. for wood stud walls and 18 in. for steel stud walls. The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed. The T Ratings are 0 and 3/4 hr when installed in 1 and 2 hr rated walls, respectively.



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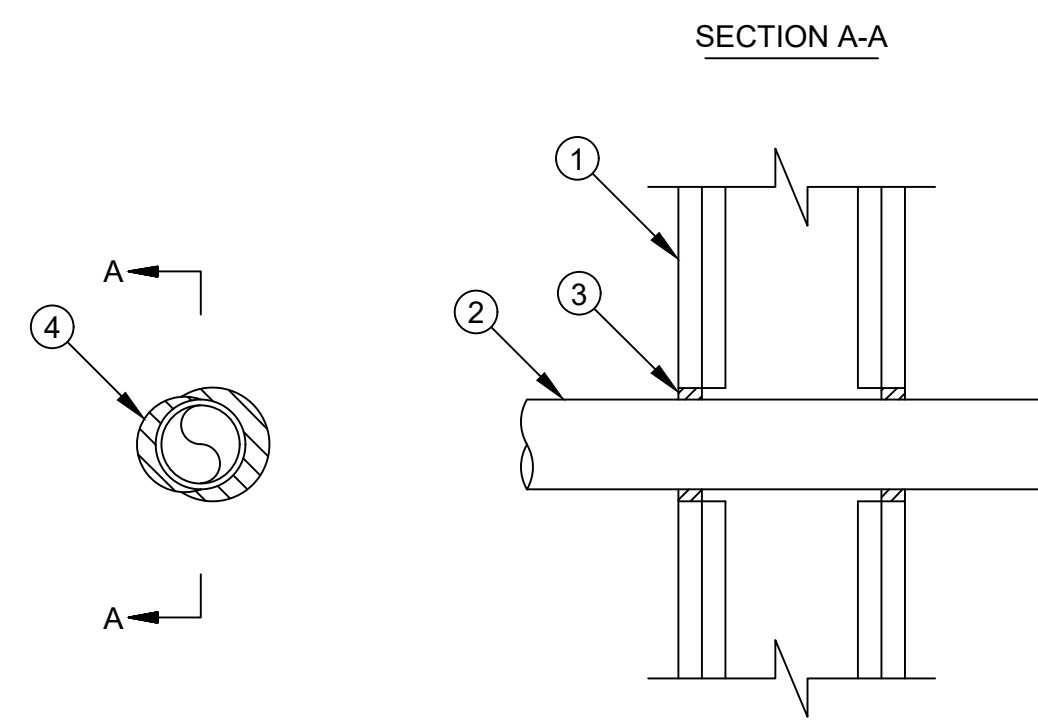
System No. W-L-5025  
 F Ratings - 1 and 2 Hr (See Items 1 and 6)  
 T Ratings - 0 and 3/4 Hr (See Item 1)  
 L Rating At Ambient - 4 CFM/Sq Ft  
 L Rating At 400 F - Less Than 1 CFM/Sq Ft

- Metallic Sleeve - (Optional) - Nom 18 in. diam (or smaller) Schedule 40 (or thinner) steel pipe cast into wall assembly with joint compound and installed flush with wall surfaces.
- Through-Penetrants - One metallic pipe or tubing to be centered within the firestop system. Pipe or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes or tubing may be used:
  - Steel Pipe - Nom 10 in. diam (or smaller) Schedule 10 (or heavier) steel pipe.
  - Copper Tubing - Nom 4 in. diam (or smaller) Type L (or heavier) copper tubing.
  - Copper Pipe - Nom 4 in. diam (or smaller) Regular (or heavier) copper pipe.
- Pipe Covering\* - Nom 2 in. thick hollow cylindrical heavy density (min 3.5 pcf) glass fiber units jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Transverse joints secured with metal fasteners or with butt tape supplied with the product. A nom annular space of 1-1/8 in. is required within the firestop system. See Pipe and Equipment Covering - Materials (BRGU) category in the Building Material Directory for the names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.
- Steel Collar - Collar fabricated from precut 0.017 in. thick (28 MSG) galv sheet steel available from the sealant manufacturer. Collar shall be nom 2 in. deep with min 1-1/4 in. wide by 2 in. long anchor tabs for securement to wall surface. Retainer tabs, 1/4 in. wide by 3/4 in. long and located opposite the anchor tabs are folded 90 degrees toward pipe surface to maintain the annular space around the pipe and to retain the fill material. Collar secured to surface of wall with 1/4 in. toggle bolts. A nom 1/2 in. wide stainless steel hose clamp was secured to each of the collars at mid-depth.
- Fill, Void or Cavity Material\* - Sealant - In 1 hr fire rated assemblies, min 5/8 in. thickness of fill material applied within the annulus. In 2 hr fire rated assemblies, min 1-1/4 in. thickness of fill material applied within the annulus. Additional fill material applied to completely fill the collars. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-One Sealant \*Bearing the UL Classification Mark



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System No. W-L-2474  
 F Ratings - 1 and 2 Hr (See Item 1)  
 T Rating - 0 Hr  
 L Rating At Ambient - Less Than 1 CFM/Sq Ft  
 L Rating at 400 F - 4 CFM/Sq Ft



Page: 1 of 2

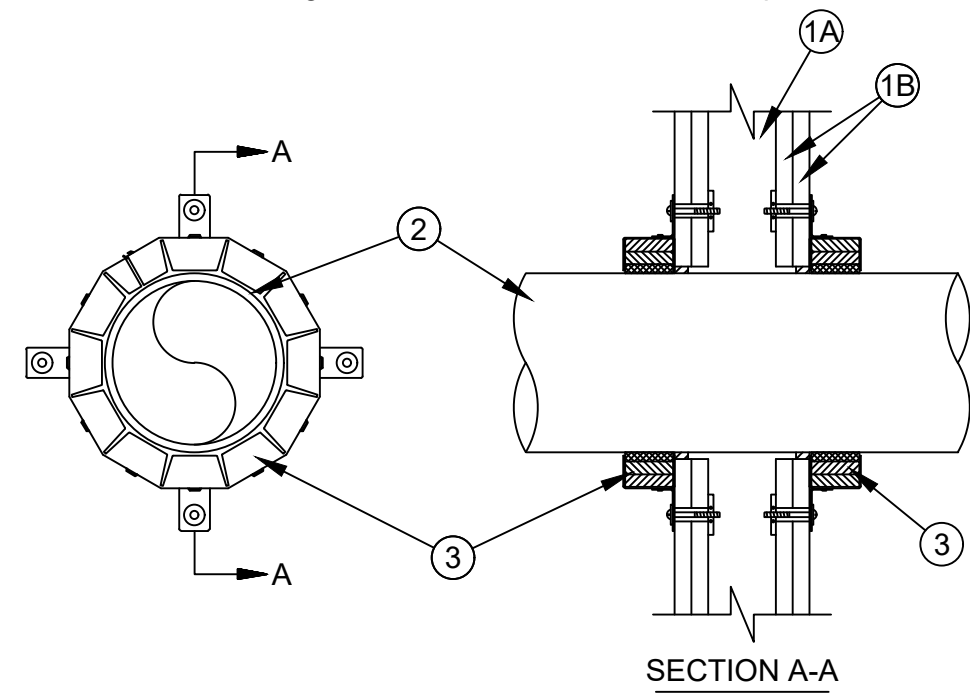
System No. W-L-2474  
 F Ratings - 1 and 2 Hr (See Item 1)  
 T Rating - 0 Hr  
 L Rating At Ambient - Less Than 1 CFM/Sq Ft  
 L Rating at 400 F - 4 CFM/Sq Ft

- Wall Assembly - The fire-rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300, U400 or V400 Series Wall and Partition Designs in the UL fire Resistance Directory and shall include the construction features noted below:
  - Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced max 16 in. (406 mm) OC. Steel studs to be min 2-1/2 in. (64 mm) wide and spaced max 24 in. (610 mm) OC.
  - Gypsum Board\* - Nom 5/8 in. (16 mm) thick gypsum board, as specified in the individual Wall and Partition Design. Max diam of opening is 3 in. (76 mm). The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.
- Through Penetrants - One nonmetallic pipe to be installed either concentrically or eccentrically within the firestop system. The annular space between pipe and the periphery of the opening shall be min 0 in. (point contact) to a max 1/2 in. (13 mm). The following types and sizes of nonmetallic pipes may be used:
  - Polyvinyl Chloride (PVC) Pipe - Nom 2 in. (51 mm) diam (or smaller) cellular or solid core Schedule 40 (or heavier) pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
  - Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 2 in. (51 mm) diam (or smaller) SDR 13.5 CPVC pipe for use in closed (process or supply) piping systems.
  - Crosslinked Polyethylene (PEX) Tubing - Nom 2 in. (51 mm) diam (or smaller) SDR 9 PEX tubing for use in closed (process or supply) piping systems.
  - Rigid Nonmetallic Conduit (RNC)\* - Nom 2 in. diam (or smaller) Schedule 40 PVC conduit installed in accordance with the National Electrical Code (NFPA No. 70).
- Fill, Void or Cavity Material\* - Sealant - Min 5/8 in. (16 mm) thickness of fill material applied within annulus, flush with both surfaces of wall. At point contact location, a min 1/2 in. (13 mm) diam bead of fill material shall be applied to the wall/penetrant interface on both surfaces of the wall. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-ONE Sealant \*Bearing the UL Classification Mark



Page: 2 of 2

System No. W-L-2078  
 F Ratings - 1 and 2 Hr (See Item 1)  
 T Ratings - 0, 1 and 2 Hr (See Items 2 and 3)  
 L Rating At Ambient - 3 CFM/sq ft  
 L Rating At 400 F - Less Than 1 CFM/sq ft



- Wall Assembly - The fire-rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300, U400 or V400 Series Wall and Partition Designs in the UL fire Resistance Directory and shall include the construction features noted below:
  - Studs - Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. lumber spaced max 16 in. OC. Steel studs to be min 2-1/2 in. wide and spaced max 24 in. OC.
  - Gypsum Board\* - Nom 5/8 in. thick gypsum board, as specified in the individual Wall and Partition Design. Max diam of opening is 11-1/2 in. The hourly F Rating of the firestop system is equal to the hourly fire rating of the wall assembly in which it is installed.



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System No. W-L-2078  
 F Ratings - 1 and 2 Hr (See Item 1)  
 T Ratings - 0, 1 and 2 Hr (See Items 2 and 3)  
 L Rating At Ambient - 3 CFM/sq ft  
 L Rating At 400 F - Less Than 1 CFM/sq ft

- Through-Penetrants - One nonmetallic pipe, conduit or tubing to be installed within the firestop system. The annular space between pipe and periphery of opening shall be min 0 in. (point contact) to max 1/2 in. Pipe or conduit to be rigidly supported on both sides of the wall assembly. The following types and sizes of nonmetallic pipes may be used:
  - Polyvinyl Chloride (PVC) Pipe - Nom 10 in. diam (or smaller) Schedule 40 solid-core or cellular core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system.
  - Chlorinated Polyvinyl Chloride (CPVC) Pipe - Nom 10 in. diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems.
  - Acrylonitrile Butadiene Styrene (ABS) Pipe - Nom 6 in. diam (or smaller) Schedule 40 solid-core or cellular core ABS pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
  - Flame Retardant Polypropylene (FRPP) Pipe - Nom 6 in. diam (or smaller) Schedule 40 FRPP pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system.
  - Polyvinylidene Fluoride (PVDF) Pipe - Nom 4 in. diam (or smaller) PVDF pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system. When max 6 in. diam pipe is used, T Rating is equal to the hourly fire rating of the wall. When nom 8 in. or 10 in. diam pipe is used, T Rating is 0 hr.
- Firestop Device\* - Firestop Collar - Firestop collar shall be installed in accordance with the accompanying installation instructions. Collar to be installed and latched around the pipe and secured to both sides of the wall using the anchor hooks provided with the collar. (Minimum two anchor hooks for 1-1/2 and 2 in. diam pipes, three anchor hooks for 3 and 4 in. diam pipes, four anchor hooks for 6 in. diam pipes, ten anchor hooks for 8 in. diam pipes and twelve anchor hooks for 10 in. diam pipes). The anchor hooks are to be secured to the surface of wall with 3/16 in. diam by 2-1/2 in. long steel toggle bolts along with washers. As an alternate for pipe sizes of nom 4 in. diam or less, min No. 10 by 1-1/2 in. long drywall or laminate screws with min 3/4 in. steel washers may be used. When the drywall or laminate screw is used, T Rating shall not exceed 1 hr. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - CP 643 501/51N, CP 643 63/2N, CP 643 90/3N, CP 643 110/4N, CP 643 160/6N, CP 644 200/8\* and CP 644 250/10\* Firestop Collars
- Fill, Void or Cavity Material\* - Sealant - (Not Shown) - Min 1/2 in. thickness of sealant applied within the annular space for nom 8 in. and 10 in. diam pipes, flush with each side of wall. Sealant in annular space is optional for max 6 in. diam pipes. A min 1/4 in. thickness of sealant is required within the annular space, flush with each side of wall, to attain the L Ratings for max 6 in. diam pipes. HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC - FS-One Sealant \*Bearing the UL Classification Mark



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### FIRESTOPPING SCHEDULE - GYPSUM PENETRATIONS

PENETRANT / PIPE MATERIAL	F-RATING (HOURS)	MAXIMUM DIAMETER (IN.)	INSULATION THICKNESS, MAX. (IN.)	UL APPROVED SYSTEM DETAIL
INSULATED METALLIC PIPE				
COPPER, TYPE L	2	4	2.0	W-L-5025
BARE PLASTIC PIPE				
PVC/CPVC, SCHEDULE 40	2	2	N/A	W-L-2474
PVC/CPVC, SCHEDULE 40	2	10	N/A	W-L-2078

- WHERE THE NOTATION "N/A" (NOT APPLICABLE) EXISTS, AN APPROVED FIRE PENETRATION SYSTEM DOES NOT EXIST FOR THAT SPECIFIC CONDITION. AVOID PENETRATIONS OF THIS TYPE. IF SUCH A PENETRATION PRESENTS ITSELF IN THE FIELD, CONTACT ENGINEER FOR RESOLUTION.
- INSULATED PLASTIC PIPE SHALL PENETRATE WITHOUT INSULATION WHERE THIS CONDITION OCCURS. USE PENETRATION DETAIL FOR BARE PLASTIC PIPE.

### FIRESTOPPING SCOPE OF WORK

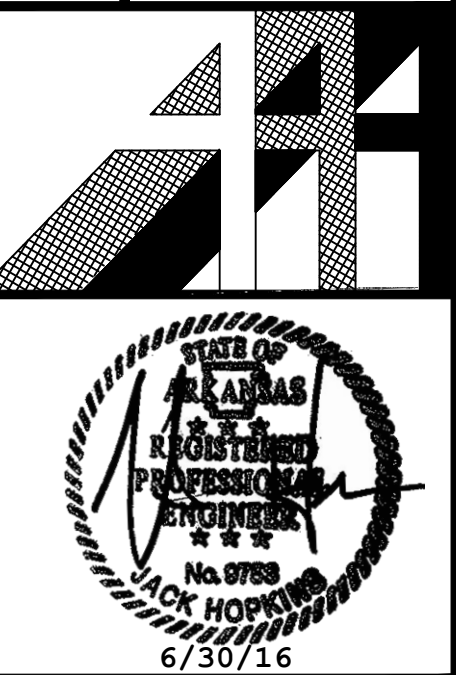
DETAILS SHOWN ON SHEETS LABELED "HP" ARE APPLICABLE TO ALL HVAC AND PLUMBING WORK WITHIN THESE CONTRACT DOCUMENTS.

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DRWN. BY:	SA
CHKD. BY:	JH
APPR. BY:	JH
DATE:	6-30-16
REVISIONS:	
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WHITE RIVER APARTMENTS  
 DIAZ, ARKANSAS  
 2600 MARION DRIVE

ALLAN ASSOCIATES ARCHITECTS, PLLC  
 5516 WALLWOOD ROAD  
 KNOXVILLE, TENNESSEE 37912



SHEET NUMBER

HP0.1

DRWN. BY:	SA
CHKD. BY:	JH
APPR. BY:	JH
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	6/30/16 - INITIAL ISSUE

**FIRE PENETRATION SCHEDULE & DETAILS**

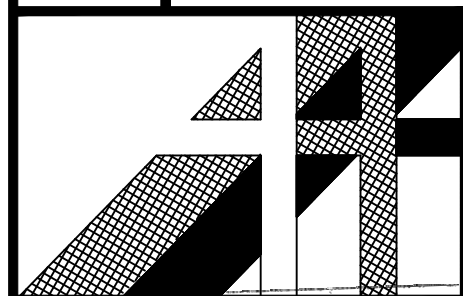
**WHITE RIVER APARTMENTS**  
DIAZ, ARKANSAS  
2800 MARION DRIVE

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

**HP0.2**

**System No. C-AJ-5091**  
F Rating — 2 Hr  
T Ratings — 0 and 1 Hr (See Items 2 and 4)  
L Rating At Ambient — 4 CFM/Sq Ft  
L Rating At 400 F — Less Than 1 CFM/Sq Ft

**SECTION A-A**

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete. Wall may also be constructed of any UL Classified Concrete Blocks\*. Max diam of opening is 19-1/2 in. (495 mm). See Concrete Blocks (CAZT) category in the Fire Resistance directory for names of manufacturers.
- Metallic Sleeve — (Optional) — Nom 20 in. (508 mm) diam (or smaller) Schedule 10 (or heavier) steel sleeve cast or grouted into floor or wall assembly, flush with floor or wall surfaces or extending a max of 3 in. (76 mm) above floor or beyond both surfaces of wall. If the steel sleeve extends beyond the top surface of the floor or both surfaces of the wall, the T Rating of the firestop system is 0 hr.
- Sheet Metal Sleeve — (Optional) - Max 6 in. (152 mm) diam, min 26 ga galv steel provided with a 26 ga galv steel square flange spot welded to the sleeve at approximately mid-height, or flush with bottom of sleeve in floors, and sized to be a min of 2 in. (51 mm) larger than the sleeve diam. The sleeve is to be cast in place flush with bottom surface of floor and may extend a max of 1 in. (25 mm) above the top surface of the floor.
- Sheet Metal Sleeve — (Optional) - Max 12 in. (305 mm) diam, min 24 ga galv steel provided with a 24 ga galv steel square flange spot welded to the sleeve at approximately mid-height, or flush with bottom of sleeve in floors, and sized to be a min of 2 in. (51 mm) larger than the sleeve diam. The sleeve is to be cast in place flush with bottom surface of floor and may extend a max of 1 in. (25 mm) above the top surface of the floor.

**HILTI** FIRESTOP SYSTEMS **CLASSIFIED** UL US **Page: 1 of 2**

**System No. C-AJ-5091**  
F Rating — 2 Hr  
T Ratings — 0 and 1 Hr (See Items 2 and 4)  
L Rating At Ambient — 4 CFM/Sq Ft  
L Rating At 400 F — Less Than 1 CFM/Sq Ft

- Through Penetrants — One metallic pipe or tubing to be installed either concentrically or eccentrically within the firestop system. Pipe or tubing to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes or tubing may be used:
  - A. Steel Pipe — Nom 12 in. (305 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
  - B. Iron Pipe — Nom 12 in. (305 mm) diam (or smaller) cast or ductile iron pipe.
  - C. Copper Pipe — Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe.
  - D. Copper Tubing — Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing.
- Pipe Covering — Min 1/2 in. (13 mm) to max 2 in. (51 mm) thick hollow cylindrical heavy density (min 3.5 pcf or 56 kg/m3) glass fiber units jacketed on the outside with an all-service jacket. Longitudinal joints sealed with metal fasteners or factory-applied, self-sealing lap tape. Transverse joints secured with metal fasteners or with butt tape supplied with the product. The annular space between the insulated pipe and the edge of the periphery of the opening shall be min 1/2 in. (13 mm) to a max 2-1/4 in. (57 mm). When thickness of pipe covering is less than 2 in. (51 mm), the T Rating for the firestop system is 0 hr. See Pipe Equipment Covering — Materials — (BRGU) category in the Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.
- Pipe Covering — (Not Shown) — As an alternate to Item 4, max 2 in. (51 mm) thick cylindrical calcium silicate (min 14 pcf) units sized to the outside diam of the pipe or tube may be used. Pipe insulation secured with stainless steel bands or min 8 AWG stainless steel wire spaced max 12 in. (305 mm) OC. The annular space shall be min 1/2 in. (13 mm) to max 2-1/4 in. (57 mm).
- Firestop System — The firestop system shall consist of the following:
  - A. Packing Material — Min 4 in. (102 mm) thickness of min 4 pcf (64 kg/m3) mineral wool batt insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of fill material.
  - B. Fill, Void or Cavity Material — Sealant — Min 1/2 in. (13 mm) thickness of fill material applied within the annulus, flush with top surface of floor or with both surfaces of wall.

**HILTI** FIRESTOP SYSTEMS **CLASSIFIED** UL US **Page: 2 of 2**

**System No. C-AJ-2109**  
F Ratings — 2 and 3 Hr (See Item 3)  
T Ratings — 0, 2 and 3 Hr (See Items 2 and 3)  
W Rating - Class 1 (See Items 2, 3 and 4)

**SECTION A-A**

- Floor or Wall Assembly — Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete. Wall may also be constructed of any UL Classified Concrete Blocks\*. Max diam of opening is 12 in. (305 mm). See Concrete Blocks (CAZT) category in the Fire Resistance Directory for names of manufacturers.
- Steel Sleeve — (Optional) - Nom 12 in. (305 mm) diam (or smaller) Schedule 40 (or heavier) steel pipe cast or grouted into floor or wall assembly, flush with floor or wall surfaces a max of 3 in. (76 mm) above the floor. If the steel sleeve extends above the floor, the T Rating of the firestop system is 0 Hr and a min 1/2 in. (13 mm) annular space is required between the through penetrant (Item 3) and the periphery of the opening. The W Rating does not apply when the steel sleeve is used.

**HILTI** FIRESTOP SYSTEMS **CLASSIFIED** UL US **Page: 1 of 2**

**System No. C-AJ-2109**  
F Ratings — 2 and 3 Hr (See Item 3)  
T Ratings — 0, 2 and 3 Hr (See Items 2 and 3)  
W Rating - Class 1 (See Items 2, 3 and 4)

- Through Penetrants — One nonmetallic pipe to be installed either concentrically or eccentrically within the firestop system. For max 6 in. (152 mm) diam pipes, the annular space between the pipe and the periphery of opening shall be min 0 in. (0 mm, point contact) to max 1/2 in. (13 mm). For nom 8 in. (203 mm) and 10 in. (254 mm) diam pipes, the annular space between the pipe and the periphery of opening shall be min 0 in. (0 mm, point contact) to max 1-1/4 in. (32 mm). If the steel sleeve extends above the floor (Item 2), a min 1/2 in. (13 mm) annular space is required between the through penetrant (Item 3) and the periphery of the opening. Pipe to be rigidly supported on both sides of floor or wall assembly. For systems with a W Rating, the max annular space is 1/2 in. (13 mm). The T Ratings are dependent on the size and/or type of pipe as shown in the table below. The following types and sizes of nonmetallic pipes may be used:
  - A. Polyvinyl Chloride (PVC) Pipe — Nom 10 in. (254 mm) diam (or smaller) Schedule 40 solid core or cellular core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems. For systems with a W Rating, the nom diam of pipe shall not exceed 6 in. (152 mm).
  - B. Chlorinated Polyvinyl Chloride (CPVC) Pipe — Nom 10 in. (254 mm) diam (or smaller) SDR13.5 CPVC pipe for use in closed (process or supply) piping systems. For systems with a W Rating, the nom diam of pipe shall not exceed 6 in. (152 mm).
  - C. Acrylonitrile Butadiene Styrene (ABS) Pipe — Nom 6 in. (152 mm) diam (or smaller) Schedule 40 solid-core or cellular core ABS pipe for use in closed (process or supply) or vented (drain, waste or vent) piping system.
  - D. Flame Retardant Polypropylene (FRPP) Pipe — Nom 6 in. (152 mm) diam (or smaller) Schedule 40 FRPP pipe for use in closed (process or supply) or vented (drain,

Pipe Type	Nom Pipe Diam, In. (mm)	F Rating Hr
PVC, CPVC	Greater than 6 (152)	2
PVC, CPVC, ABS, FRPP	6 (152) or smaller	3
Pipe Type	Nom Pipe Diam, In. (mm)	T Rating Hr
PVC, CPVC, ABS, FRPP	1-1/2, 2, 3 (38, 51, 76)	2
PVC, CPVC, ABS, FRPP	4 (102)	3
PVC, CPVC, ABS+, FRPP	6 (152)	3
PVC, CPVC	Greater than 6 (152)	0
ABS++	6 (152)	0

**HILTI** FIRESTOP SYSTEMS **CLASSIFIED** UL US **Page: 2 of 2**

**System No. C-AJ-5265**  
F Rating - 2 Hr  
T Rating - 0 and 1/2 Hr (See Item 4)

**SECTION A-A**

- Floor or Wall Assembly - Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete floor. Min 5 in. (127 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete wall. Wall may also be constructed of any UL Classified Concrete Blocks\*. Max diam of opening is 12 in. (305 mm).
- Steel Sleeve - (optional) - Nom 12 in. (305 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe cast or grouted into floor or wall assembly, flush with floor or wall surfaces.
- Through-Penetrant - One metallic pipe, tube or conduit to be installed within the opening. The following types and sizes of metallic penetrants may be used:
  - A. Steel Pipe - Nom 6 in. (152 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
  - B. Iron Pipe - Nom 6 in. (152 mm) diam (or smaller) cast or ductile iron pipe.
  - C. Copper Pipe - Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe.
  - D. Copper Tubing - Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing.
- Pipe Covering\* - Nom 2 in. (51 mm) thick (or thinner) hollow cylindrical heavy density glass fiber units jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Transverse joints secured with metal fasteners or with butt tape supplied with the product. The annular space between the pipe covering and periphery of opening shall be min 1/4 in. (6 mm) to max 1-5/8 in. (41 mm). See Pipe and Equipment Covering - Materials (BRGU) category in the Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used. The T Rating is 0 Hr when pipe covering is less than nom 2 in. (51 mm) thick.
- Firestop System - The firestop system shall consist of the following:
  - A. Packing Material - Min 4 in. (102 mm) thickness of 4 pcf (64 kg/m3) mineral wool batt insulation tightly packed into the opening as a permanent form. Packing material to be recessed from top surface of floor to accommodate the required thickness of fill material.
  - B. Fill, Void or Cavity Material - Sealant\* - Min 1/2 in. (6 mm) thickness of fill material applied within the annulus flush with the top surface of the floor or both surfaces of the wall.

**HILTI** FIRESTOP SYSTEMS **CLASSIFIED** UL US **Page: 1 of 1**

**FIRESTOPPING SCHEDULE - MASONRY PENETRATIONS**

PENETRANT / PIPE MATERIAL	F-RATING (HOURS)	MAXIMUM DIAMETER (IN.)	INSULATION THICKNESS, MAX. (IN.)	UL APPROVED SYSTEM DETAIL
<b>INSULATED METALLIC PIPE</b>				
COPPER, TYPE L	1/2	6	2.0	C-AJ-5265
COPPER, TYPE L	1/2	6	2.0	C-AJ-5091
<b>BARE PLASTIC PIPE</b>				
PVC/CPVC, SCHEDULE 40	1/2	2	N/A	C-AJ-2109
PVC/CPVC, SCHEDULE 40	2/3	6	N/A	C-AJ-2109

- WHERE THE NOTATION "N/A" (NOT APPLICABLE) EXISTS, AN APPROVED FIRE PENETRATION SYSTEM DOES NOT EXIST FOR THAT SPECIFIC CONDITION. AVOID PENETRATIONS OF THIS TYPE. IF SUCH A PENETRATION PRESENTS ITSELF IN THE FIELD, CONTACT ENGINEER FOR RESOLUTION.
- INSULATED PLASTIC PIPE SHALL PENETRATE WITHOUT INSULATION WHERE THIS CONDITON OCCURS. USE PENETRATION DETAIL FOR BARE PLASTIC PIPE.

**FIRESTOPPING SCOPE OF WORK**

DETAILS SHOWN ON SHEETS LABELED "HP" ARE APPLICABLE TO ALL HVAC AND PLUMBING WORK WITHIN THESE CONTRACT DOCUMENTS.



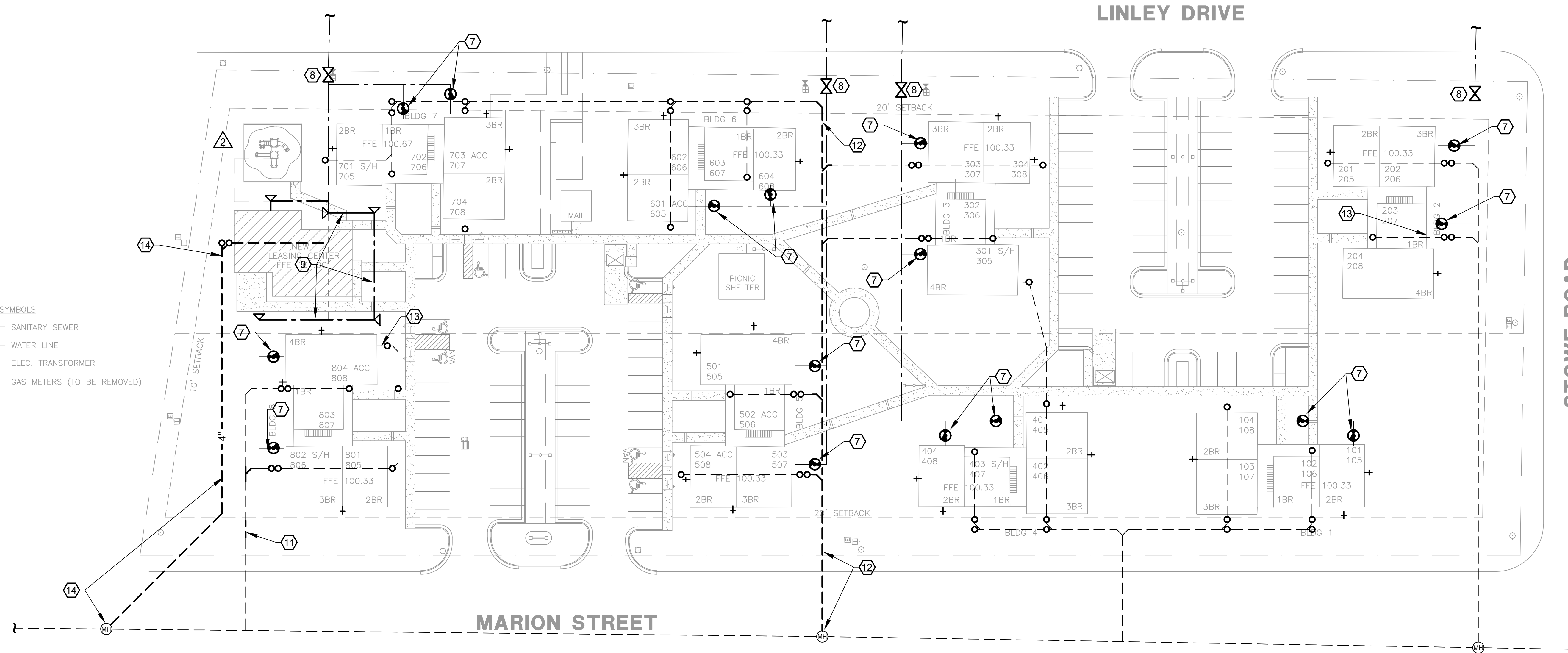
NOTES:

1. EXISTING WASTE PIPING TO BE REPLACED AND/OR REPAIRED IS BASED ON DUE DILIGENCE RECOMMENDATIONS BY ENVIRONMENTAL DRAIN & PLUMBING AFTER EVALUATION OF EXISTING CONDITIONS. REFER TO REPORT BY ENVIRONMENTAL DRAIN & PLUMBING FOR SPECIFIC OBSERVATIONS & RECOMMENDATIONS AND AS NOTED BELOW.
2. ALL EXISTING SANITARY SEWER MAINS TO BE CLEANED BY HYDROJET TO REMOVE GREASE, SCALE AND OTHER DEBRIS.
3. DIG AND FULLY EXPOSE ALL CAPPED PVC PIPES, SOME OF WHICH MAY BE WATER SHUT OFF VALVES. MARK ALL EXISTING LOCATIONS AND SERVICE/UTILITY ACCESSED BY PIPES ON RECORD DRAWINGS.
4. ALL SANITARY SEWER AND WATER PIPING LOCATIONS ARE ASSUMED AND ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. NUMEROUS CLEAN OUTS/CAPPED PVC PIPES WERE OBSERVED (ONLY CONFIRMED SANITARY CLEAN OUTS SHOWN), SOME OF WHICH MAY BE WATER SHUT OFF VALVES (CONTRACTOR IS TO FIELD VERIFY EACH INSTANCE). CONTRACTOR IS TO REPLACE ALL SANITARY CLEANOUTS. NO EXISTING BUILDING WATER SERVICE SHUT OFF VALVE BOXES WERE OBSERVED, THEREFORE ALL WATER SERVICE PIPING LOCATION IS ESTIMATED BASED ON ASSUMED ROUTING OF WATER PIPE FROM EXISTING WATER METERS AND INPUT FROM PROPERTY MAINTENANCE STAFF. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
5. INSTALL NEW TWO-WAY EXTERIOR CLEANOUT AT BUILDING DRAIN AT EACH BUILDING APPROXIMATELY 5'-0" (OR EXISTING LOCATION) ALONG LINE WHERE MAIN BUILDING DRAIN EXITS BUILDING. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING SANITARY SEWER AND/OR CLEAN OUTS AND INSTALLATION OF NEW. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW TO EXISTING (LOCATIONS ASSUMED, CONTRACTOR TO FIELD VERIFY).

6. INSTALL NEW EXTERIOR CLEANOUT UPSTREAM END OF BUILDING DRAIN APPROXIMATELY 5'-0" (OR EXISTING LOCATION) AT EXTERIOR OF BUILDING. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING SANITARY SEWER AND/OR CLEAN OUTS AND INSTALLATION OF NEW. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW TO EXISTING (LOCATION ASSUMED, CONTRACTOR TO FIELD VERIFY).
7. INSTALL NEW BUILDING WATER SHUT OFF VALVES AT EACH EXISTING WATER SERVICE ENTRANCE OR INSTALL NEW TO PROVIDE A SHUT OFF ON BOTH SIDES OF BREEZEWAY. INSTALL NEW VALVE BOX SO THAT THE LID IS FLUSH WITH THE GRADE. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING LINE AND NEW INSTALLATION OF VALVE/VALVE BOX. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW VALVE AND VALVE BOX TO EXISTING WATER LINE (LOCATIONS ASSUMED, CONTRACTOR TO FIELD VERIFY). MARK ALL EXISTING AND NEW LOCATIONS AS SUCH ON RECORD DRAWINGS.
8. INSTALL NEW SITE WATER SHUT OFF VALVES (FOUR TOTAL, FIELD VERIFY) IN SAME LOCATION AS EXISTING OR IN A NEW VALVE BOX DOWNSTREAM OF EXISTING WATER METER. EXISTING WATER SHUT OFF IS ASSUMED TO BE IN EXISTING WATER METER BOX. INSTALL NEW VALVE BOX SO THAT THE LID IS FLUSH WITH THE GRADE. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING LINE AND NEW INSTALLATION OF VALVE/VALVE BOX. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW VALVE AND VALVE BOX TO EXISTING WATER LINE. EXISTING WATER PIPE IS 2" PER SITE SURVEY AND DIAZ WATER SUPERINTENDENT.
9. REROUTE EXISTING 2" WATER LINE AS REQUIRED TO ACCOMMODATE NEW OFFICE/COMMUNITY BUILDING LOCATION. PROVIDE THRUST BLOCKS, REFER TO DETAILS AND SCHEDULE ON SHEET P5.2.
10. REPLACE ALL EXISTING HOSE BIBS. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING HOSE BIB LOCATIONS AND THOSE WHERE IT APPEARED THEY HAD BEEN REMOVED AND/OR CAPPED OFF IN THE PAST. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.

11. "THERE IS A ROOT INTRUSION AND A POSSIBLE BROKEN FITTING IN MAIN LINE DOWNLINE OF BUILDING 8. IT IS LOCATED 89' FROM CLEAN OUT BEHIND UNIT 803. MORE SPECIFICALLY APPROXIMATELY 20 FT FROM BACK OF WALL AND 6 FT OFF SIDE WALL." CONTRACTOR IS TO REPLACE SECTION OF PIPING WITH BROKEN FITTING AND WHERE THERE IS ROOT INTRUSION, REFILL GRADE (REFER TO SHEET P5.2 FOR BURIED PIPING DETAIL) AND LANDSCAPE AS REQUIRED BY ARCHITECTURAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING SANITARY SEWER AND ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW TO EXISTING.
12. "MAIN LINE FROM BY WATER METER AT CORNER OF BUILDING 6 (NEAR LINDLEY DRIVE) ALL THE WAY TO MANHOLE ON OPPOSITE SIDE OF MARION DRIVE WAS HOLDING WATER.....THE LEVEL OF GREASE BUILD AND THE AMOUNT OF WATER IT IS HOLDING INDICATES IT HAS A LARGE SWAG THAT NEEDS TO BE REPAIRED. IT MAY BE MORE PRACTICAL TO JUST REPLACE THE ENTIRE SECTION OF PIPING (APPROXIMATELY @ 250' OF PVC)." CONTRACTOR IS TO REPLACE ENTIRE LENGTH OF SANITARY SEWER PIPE (6" ASSUMED SIZE) DESCRIBED BY ENVIRONMENTAL DRAIN & PLUMBING (REFER TO SHEET P5.2 FOR BURIED PIPING DETAIL). REFILL GRADE AND LANDSCAPE AS REQUIRED BY ARCHITECTURAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING SANITARY SEWER AND ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW TO EXISTING. COORDINATE WITH LOCAL UTILITY.
13. REMOVE SECTION OF BROKEN CABLE IN SEWER PIPE AND/OR BUILDING DRAIN.
14. INSTALL NEW 4" SANITARY SEWER LINE FROM NEW OFFICE/COMMUNITY BUILDING TO CITY SANITARY MAIN AND TIE IN AT EXISTING MANHOLE. MAINTAIN A MINIMUM OF 1/8" PER FOOT SLOPE FOR GRAVITY DRAINAGE. 54" MINIMUM INVERT AT MANHOLE TIE IN. COORDINATE TAP FEE AND TAP SIZE REQUIREMENTS WITH CITY AND/OR LOCAL UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIGGING/EXCAVATION/BACKFILL NECESSARY FOR LOCATING SANITARY SEWER AND ALL NEW PIPING AND/OR FITTINGS REQUIRED TO CONNECT NEW TO EXISTING. REFILL GRADE AND LANDSCAPE AS REQUIRED BY ARCHITECTURAL DRAWINGS.

SITE SYMBOLS  
 -SS- SANITARY SEWER  
 -W- WATER LINE  
 [E] ELEC. TRANSFORMER  
 [G] GAS METERS (TO BE REMOVED)



1 SITE PLAN - PLUMBING  
 SCALE: 1"= 30'-0"

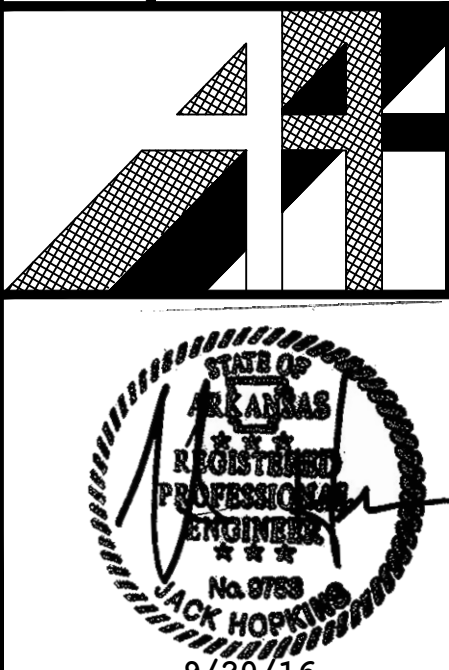
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APPR. BY: JH	1 6/30/16 - INITIAL ISSUE
	2 7/22/16 - ADDENDUM 1
	3 9/20/16 - REVISION 2

WHITE RIVER APARTMENTS  
 2800 MARION DRIVE  
 DIAZ, ARKANSAS

**SITE PLAN - PLUMBING**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 5616 WALLWOOD ROAD  
 685 / 689-1302  
 KNOXVILLE, TENNESSEE 37912



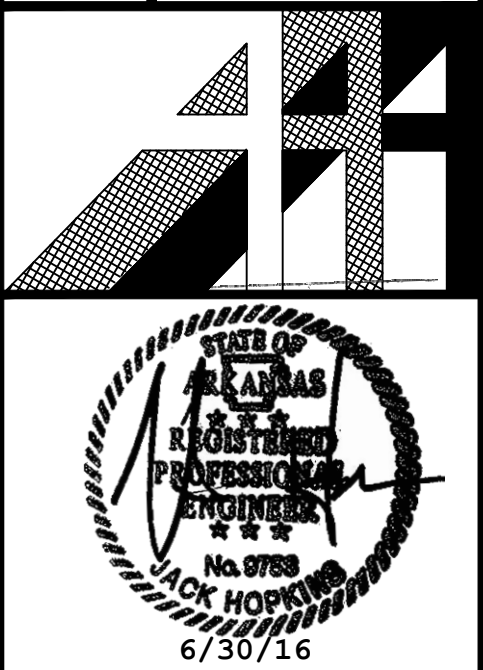
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	6/30/16 - INITIAL ISSUE

WHITE RIVER APARTMENTS  
 2900 MARION DRIVE  
 DIAZ, ARKANSAS

**LEAD SHEET - PLUMBING**  
**ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912  
 865 / 689-1302  
 5516 WALLWOOD ROAD



SHEET NUMBER

P0.1

PLUMBING LEGEND	
-----	DOMESTIC COLD WATER
-----	DOMESTIC HOT WATER
----- R -----	DOMESTIC HOT WATER - RETURN
-----115-----	DOMESTIC HOT WATER - TEMPERED
----- SS -----	SANITARY SEWER
----- GW -----	GREASY WASTE
-----	PLUMBING VENT
----- PRWL -----	PRIMARY RAIN WATER LEADER
----- SRWL -----	SECONDARY RAIN WATER LEADER
----- SD -----	STORM DRAIN
----- C -----	COOLING CONDENSATE
----- A -----	COMPRESSED AIR
----- NG -----	NATURAL GAS
----- LP -----	PROPANE
	BACKFLOW PREVENTER
	WATER HAMMER ARRESTOR
	PLUMBING FIXTURE CONNECTION
	EXPOSED CLEANOUT
	CLEANOUT IN FLOOR
	CLEANOUT IN RISE
	PIPE TURNING DOWN
	PIPE TURNING UP
	GATE VALVE
	BUTTERFLY VALVE
	BALL VALVE
	GLOBE VALVE
	CALIBRATED BALANCING VALVE
	GAS VALVE, AGA APPROVED
	CHECK VALVE
	STRAINER
	UNION
	PRESSURE REGULATING VALVE
	PRESSURE RELIEF VALVE
	GAGE W/ GAGE COCK
	THERMOMETER IN PIPING WELL
	ONE-HOUR RATED FIRE WALL

**GENERAL NOTES/SPECIFICATIONS**

1.0 GENERAL

1.1 SCOPE: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL PLUMBING WORK AS SHOWN ON THESE DRAWINGS AND SPECIFIED HEREIN.

1.2 PERMITS: OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS THAT ARE REQUIRED FOR THIS WORK. RETAIN CERTIFICATES OF INSPECTIONS AND SUBMIT WHEN WORK IS COMPLETE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES ADOPTED BY CITY, COUNTY, AND/OR STATE AUTHORITIES.

1.3 SUBMITTALS: SUBMIT SCHEDULED EQUIPMENT FOR APPROVAL BY THE ENGINEER. SUBMIT A MINIMUM OF SIX COPIES, INCLUDING TWO THAT WILL BE RETAINED BY THE ARCHITECT AND ENGINEER.

1.4 INSTRUCTION: INSTRUCT THE OWNER'S REPRESENTATIVE ABOUT THE PROPER OPERATION OF ALL EQUIPMENT. PROVIDE TO THE OWNER TWO SETS AND CD OF OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL PLUMBING EQUIPMENT AT THE COMPLETION OF WORK. NEATLY ORGANIZE ALL INFORMATION WITHIN THREE-RING BINDERS AND CD.

1.5 RECORD DRAWINGS: MAINTAIN A SET OF DRAWINGS AT THE PROJECT SITE AND RECORD ANY AND ALL SIGNIFICANT CHANGES OF EQUIPMENT AND/OR FIXTURE LOCATIONS, AND PIPING ROUTING, AND OTHER INFORMATION THAT WOULD BE BENEFICIAL TO THE OWNER AFTER CONSTRUCTION IS COMPLETE. TURN RECORD DRAWINGS OVER TO THE ARCHITECT, ENGINEER, OR OWNER AT SUBSTANTIAL COMPLETION OF WORK.

1.6 WARRANTY: PROVIDE A ONE-YEAR PARTS AND LABOR WARRANTY ON ALL WORK PERFORMED. WARRANTY SHALL COMMENCE UPON SUBSTANTIAL COMPLETION AIA G704 ISSUED BY ARCHITECT.

1.7 2014 LEAD FREE SAFE WATER DRINKING ACT: THE "REDUCTION IN LEAD IN DRINKING WATER ACT" REQUIRES MATERIALS AND FIXTURES USED FOR DELIVERY OF POTABLE WATER TO CONTAIN LESS THAN 0.2% LEAD FOR SOLDER AND FLUX, AND NOT MORE THAN A WEIGHTED AVERAGE OF 0.25% LEAD FOR PIPES, FITTINGS AND FIXTURES. EXCLUDED FROM THIS ACT ARE TOILETS, BIDETS, URINALS, FLUSH VALVES, TUB FILLERS, SHOWER VALVES. IT IS THE INTENT OF THIS PROJECT TO CONFORM WITH THE REQUIREMENTS OF THE 2014 LEAD FREE ACT. EVERY EFFORT HAS BEEN MADE TO CALL FOR FIXTURES THAT COMPLY WITH THE ACT. EVEN SO, IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO INSTALL PRODUCTS THAT COMPLY WITH THE 2014 LEAD FREE SAFE WATER DRINKING ACT

2.0 PRODUCTS

2.1 MATERIALS: ALL MATERIALS SHALL BE NEW, COMPLYING WITH THE LATEST ASTM SPECIFICATIONS AND STANDARDS RELATING TO SUCH MATERIALS.

2.2 FIXTURES: USE PLUMBING FIXTURES AS SCHEDULED ON THE DRAWINGS AND AS NOTED ON THE PLANS. PROVIDE ALL ROUGH-INS, BLOCKING, TRAPS, AND SUPPLIES AS REQUIRED FOR A COMPLETE, FUNCTIONAL INSTALLATION.

2.3 CAULKING: PROVIDE CAULKING AT WALL/FLOOR/SURFACE INTERFACE WHERE APPROPRIATE FOR WATER SEAL. SPECIFICALLY CAULK ALL WATER CLOSETS AT FLOOR, URINALS AT WALL, AND CHINA LAVATORIES AT SURFACE. USE SILICON CAULK WITH COLOR TO MATCH FIXTURE COLOR.

2.4 GROUTING: ALL BATHTUBS AND SHOWER FIXTURES SHALL BE INSTALLED WITH A MASONRY GROUT BASE TO PROVIDE A SOLID FOOTING FOR FIXTURE USER.

2.5 PIPING: USE MATERIALS AS SCHEDULED ON THE DRAWINGS FOR EACH SERVICE. DIELECTRIC BRASS ADAPTERS, BRASS UNIONS, OR BRASS BUSHING SHALL BE USED WHEREVER DISSIMILAR METALS SUBJECT TO GALVANIC ACTIVITY ARE JOINED TOGETHER, SUCH AS EQUIPMENT CONNECTIONS, TANK CONNECTION, ETC.

2.6 VALVES: SHUTOFF VALVES SHALL BE BALL VALVES FOR SIZES 2" AND SMALLER AND BUTTERFLY VALVES FOR SIZES 2-1/2" AND LARGER. VALVES SHALL BE DESIGNED FOR THE SERVICE INDICATED, INCLUDING ALL TEMPERATURE AND PRESSURE RATINGS.

2.7 ESCUTCHEON PLATES: PROVIDE CHROME PLATED ESCUTCHEON PLATES WHERE EXPOSED PIPE PASSES THROUGH WALLS, FLOORS, OR CEILINGS AND INTO FINISHED AREAS.

2.8 PIPE INSULATION: INSULATE PIPING AS SCHEDULED ON THE DRAWINGS FOR EACH PIPING SERVICE. INSTALL ALL INSULATING MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. DO NOT APPLY INSULATION UNTIL LEAK TESTING HAS BEEN SATISFACTORILY COMPLETED.

2.9 PIPE HANGERS: USE ADJUSTABLE CLEVIS TYPE HANGERS OR PIPE SADDLE SUPPORTS FOR HORIZONTAL PIPING. USE TWO-BOLT RISER CLAMPS FOR VERTICAL PIPING SUPPORTS. USE CONCRETE INSERTS, C-CLAMPS, AND/OR STEEL BRACKETS FOR ATTACHMENT TO BUILDING STRUCTURE. USE PROTECTION SHIELDS FOR INSULATED PIPING SUPPORT WITH HANGERS.

3.0 EXECUTION

3.1 THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE LOCATION OF EQUIPMENT, PIPING, AND FIXTURES. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.

3.2 THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR CONNECTIONS TO ALL UTILITY LINES AND PAY FEES AND COSTS FOR CONNECTIONS TO THOSE SERVICES.

3.3 COORDINATE FIXTURE LOCATIONS WITH THE ARCHITECTURAL DRAWINGS AND THE ACTUAL AS-BUILT FRAMING LAYOUT OF THE BUILDING.

3.4 PIPING AT FIXTURES IN HANDICAPPED ACCESSIBLE AREAS SHALL BE INSULATED TO PROTECT AGAINST BURNS.

3.5 PLUMBING FIXTURES SHALL BE RIGIDLY CONNECTED TO THE BUILDING AND SHALL BE CLEANED AND FUNCTIONAL. PROVIDE CAULKING AS DESCRIBED IN SECTION 2.0.

3.6 ALL PIPING SHALL BE RUN IN CONCEALED LOCATIONS EXCEPT WHERE NOTED.

3.7 PITCH DOMESTIC WATER LINES TOWARD DRAINS. INSTALL WASTE AND VENT PIPING WITH MINIMUM SLOPES OF 1/4" PER FOOT FOR LINES UP TO 2-1/2" AND 1/8" PER FOOT FOR LINES 3" AND LARGER.

3.8 INSTALL FIRE STOP MATERIAL IN ACCORDANCE WITH UL LISTING AT ALL RATED PENETRATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND RATINGS OF FIRE WALLS AND FLOOR/CEILING ASSEMBLIES.

3.9 ESCUTCHEON PLATES: INSTALL ESCUTCHEON PLATES SO AS TO COMPLETELY COVER WALL, MILLWORK, AND/OR CEILING PENETRATIONS.

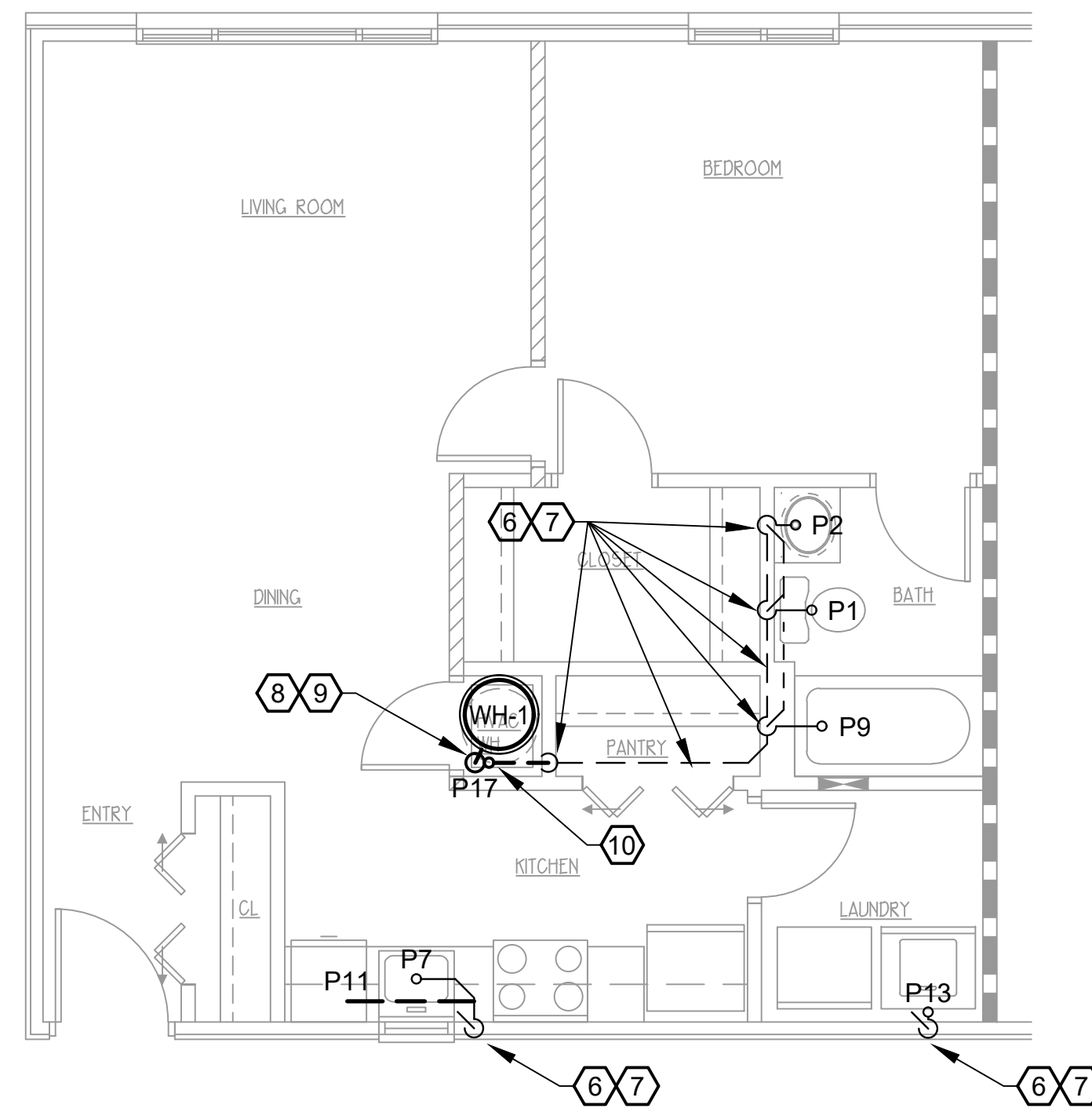
3.10 ALL BURIED PIPING SHALL BE BEDDED AND COVERED IN SAND, GRAVEL, OR CRUSHED STONE.

3.11 INSTALL WATER HEATERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

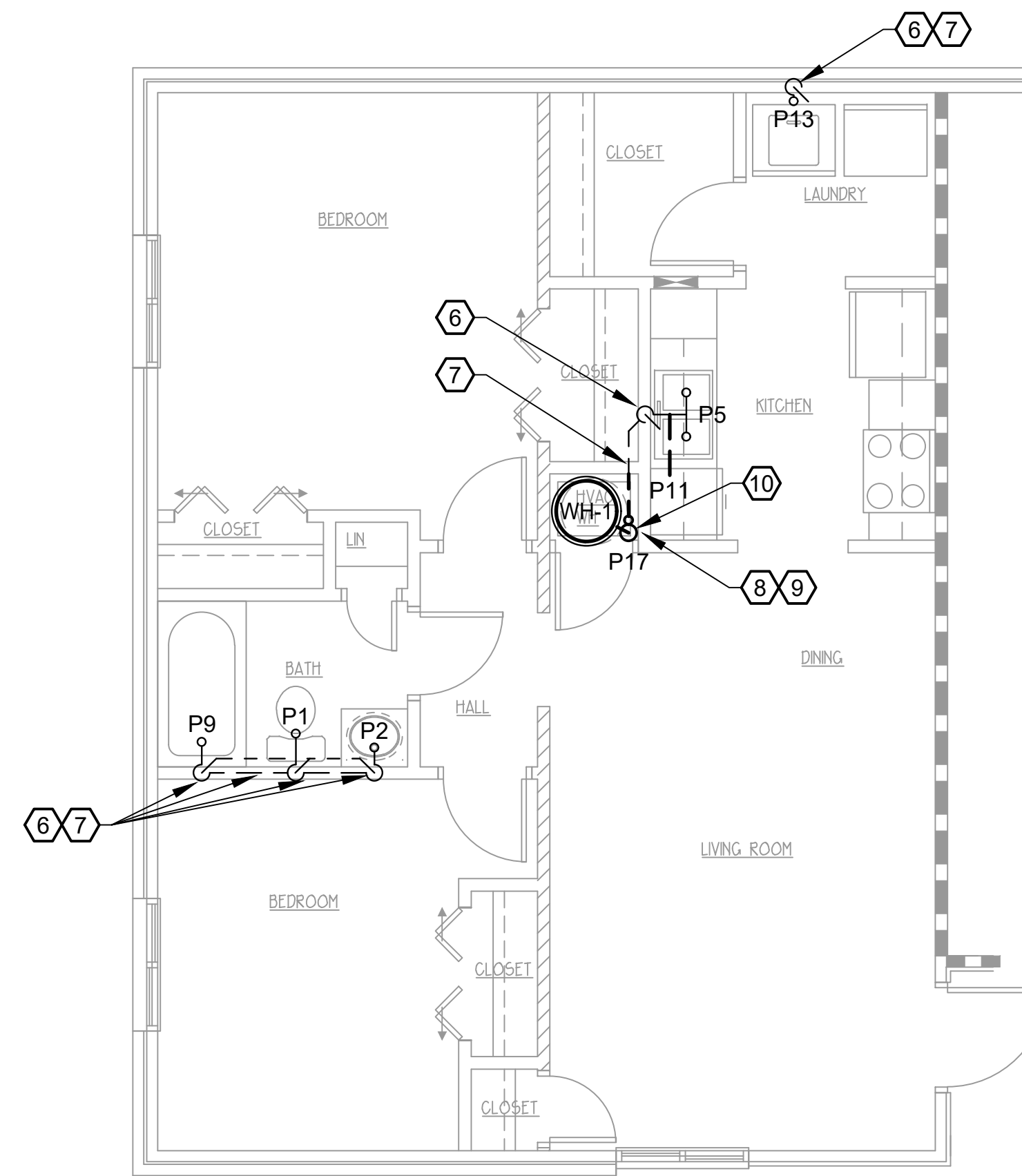
3.12 PRESSURE TEST DOMESTIC WATER PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION. IN THE ABSENCE OF A LOCALLY PRESCRIBED METHOD, TEST THE SYSTEM IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL PLUMBING CODE.

3.13 PRESSURE TEST WASTE AND VENT PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION. IN THE ABSENCE OF A LOCALLY PRESCRIBED METHOD, TEST THE SYSTEM IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL PLUMBING CODE.

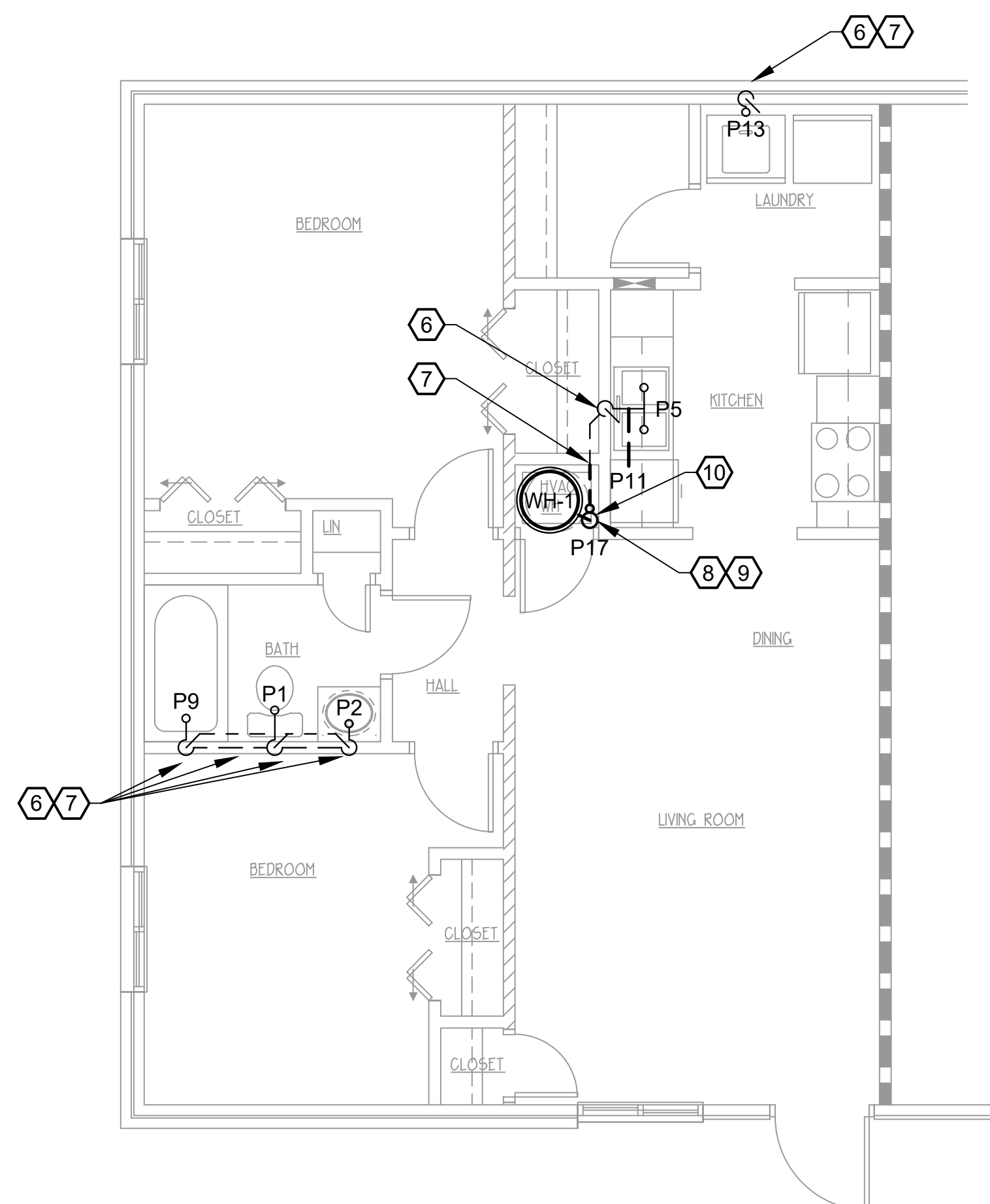
3.14 STERILIZE POTABLE WATER PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION. IN THE ABSENCE OF A LOCALLY PRESCRIBED METHOD, TEST THE SYSTEM IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL PLUMBING CODE.



**1 ONE BEDROOM TYPICAL - WASTE & VENT**  
SCALE: 1/4"=1'-0"



**2 TWO BEDROOM TYPICAL - WASTE & VENT**  
SCALE: 1/4"=1'-0"



**3 TWO BEDROOM TYPICAL - WASTE & VENT**  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL

**DEMOLITION NOTES:**

- REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVED ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
- REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR..

**NOTES:**

- MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW AND EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
  - LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
  - CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
  - CONNECT NEW FIXTURES TO EXISTING WASTE/VENT PIPING IN EXISTING RATED CHASE/WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WATER SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING PIPING.
  - PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
- EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.
  - EXISTING BUILDING DRAIN TO REMAIN.
  - ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN.
  - PROVIDE WATER HEATER PLATFORM TO RAISE ENOUGH FOR INDIRECT DRAIN. ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM WATER HEATER PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
  - INSTALL NEW FLOOR DRAIN, ROUTE TO AND TIE INTO EXISTING PIPING.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION AND/OR POURING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

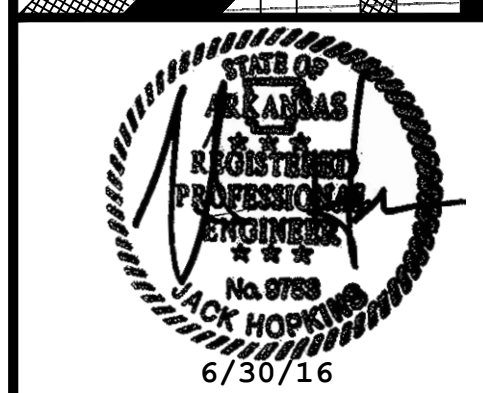
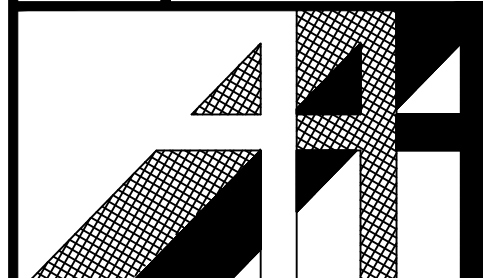
**ONE & TWO BDRM UNIT PLNS - WASTE & VENT**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

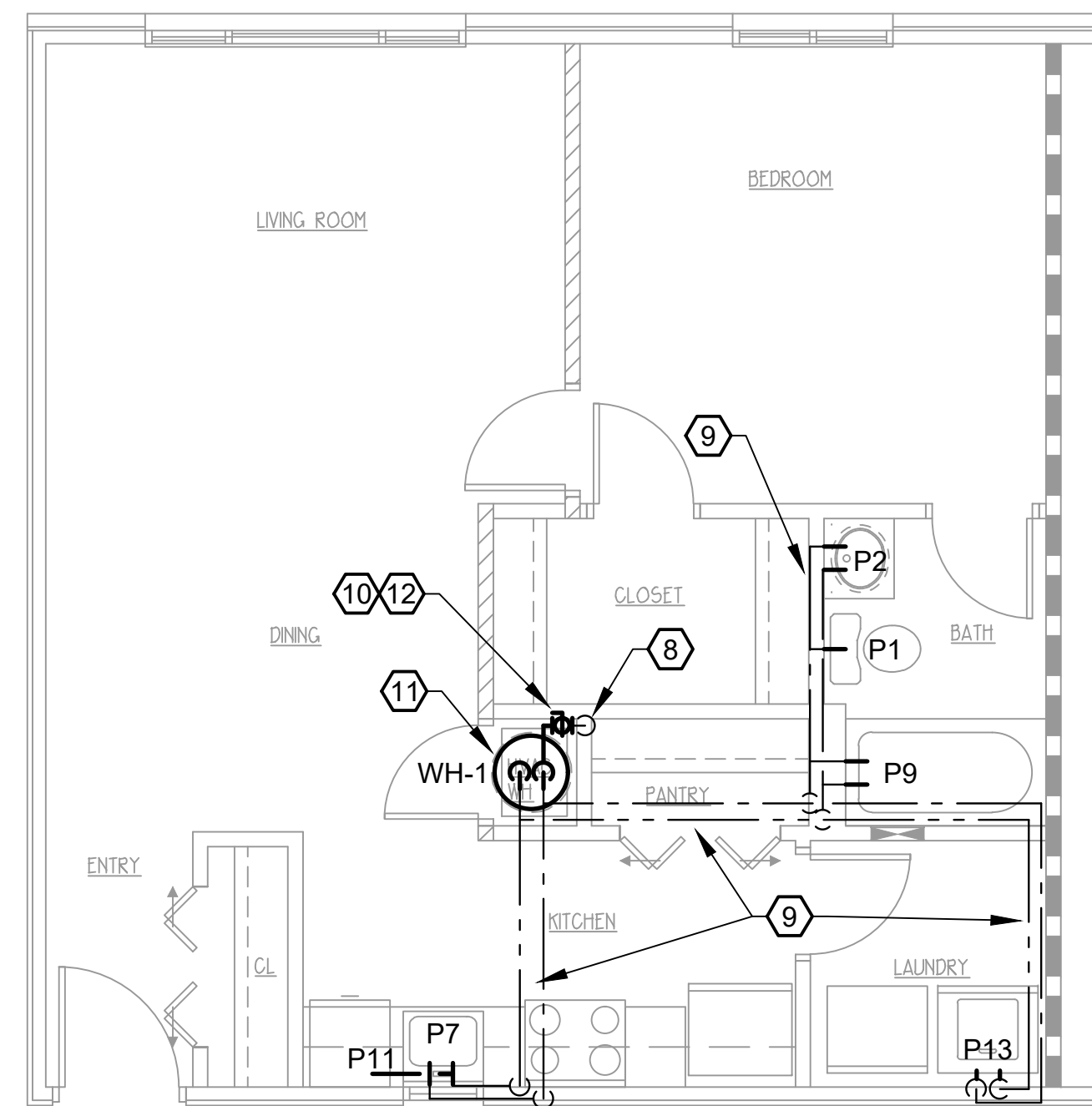
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5516 WALLWOOD ROAD

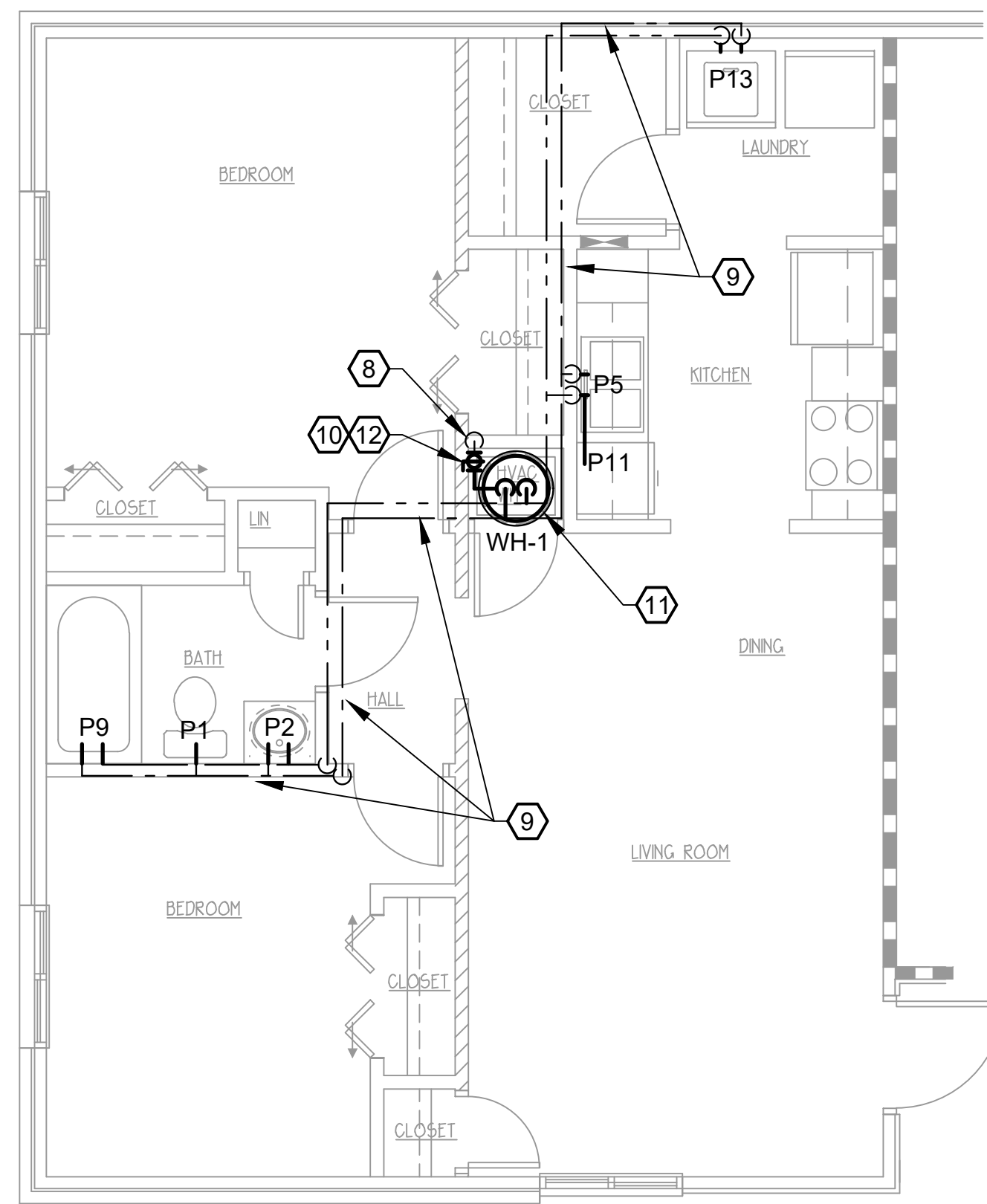


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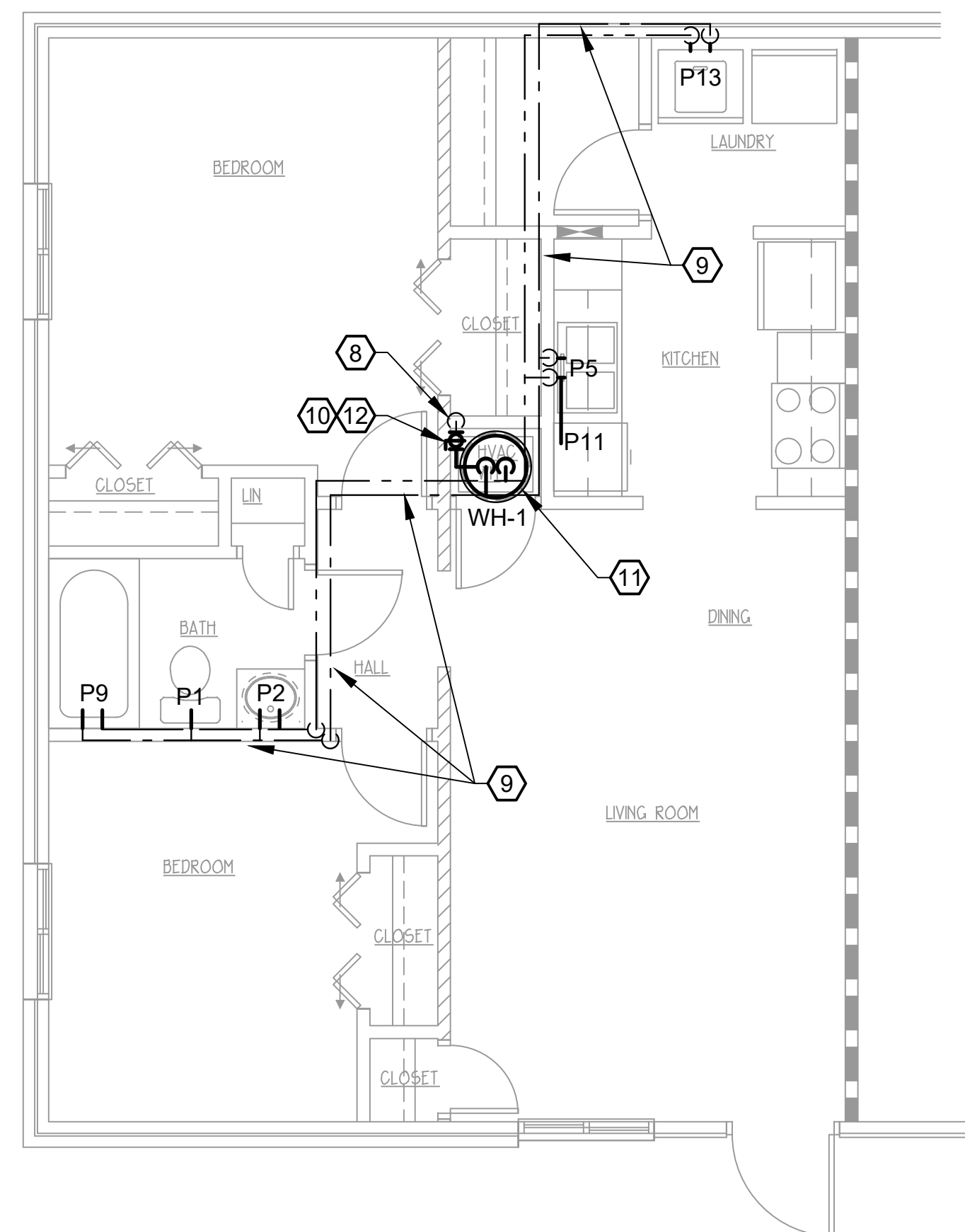
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**1 ONE BEDROOM TYPICAL - SERVICES**  
SCALE: 1/4"=1'-0"



**2 TWO BEDROOM TYPICAL - SERVICES**  
SCALE: 1/4"=1'-0"



**3 TWO BEDROOM TYPICAL - SERVICES**  
SCALE: 1/4"=1'-0"

**WALL LEGEND**  
 - - - EXISTING 1 HR RATED  
 - - - EXISTING INT. PARTITION TO REMAIN  
 - - - PARTITION TO BE DEMO'D  
 - - - ASSUMED EXISTING LOAD BEARING WALL

**DEMOLITION NOTES:**

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVE ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

**NOTES:**

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
2. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
3. LOCATION OF EXISTING WATER SERVICE RISERS AND HORIZONTAL PIPING IS ASSUMED BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
4. CONTRACTOR IS TO FIELD VERIFY AND INSPECT EXISTING PIPING PENETRATIONS THROUGH RATED ASSEMBLIES AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS IN RATED WALLS, FLOORS AND CEILING AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
5. CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING IN EXISTING WALL/CHASE. REROUTE/REWORK ASSOCIATED PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT.
6. ANY EXISTING CW/HW PIPING TO REMAIN THAT IS EXPOSED DURING RENOVATION AND ALL NEW CW/HW PIPING SHALL BE INSULATED, REFER TO SHEET P4.2.
7. CONTRACTOR IS TO COORDINATE ALL EXISTING SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR ALL NEW PIPING AND FITTINGS NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING.

- ⑧ EXISTING COLD WATER RISER TO REMAIN.
- ⑨ EXISTING WATER SERVICE PIPING TO REMAIN.
- ⑩ INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN MECHANICAL CLOSET.
- ⑪ INSTALL NEW WATER HEATER. CONNECT TO EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
- ⑫ COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION AND PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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	6/30/16 - INITIAL ISSUE

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**ONE & TWO BEDROOM UNIT PLANS - SERVICES**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**



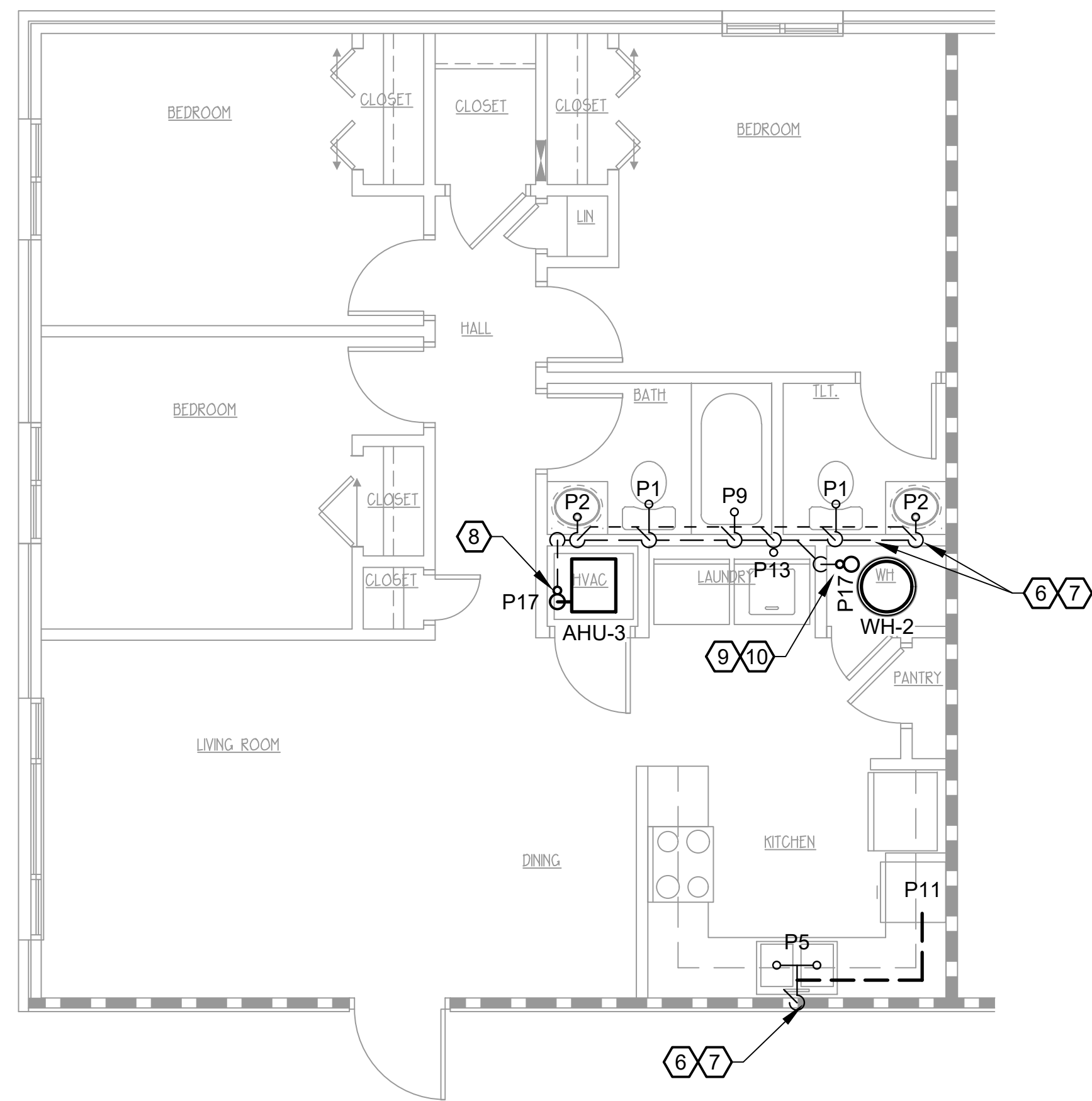
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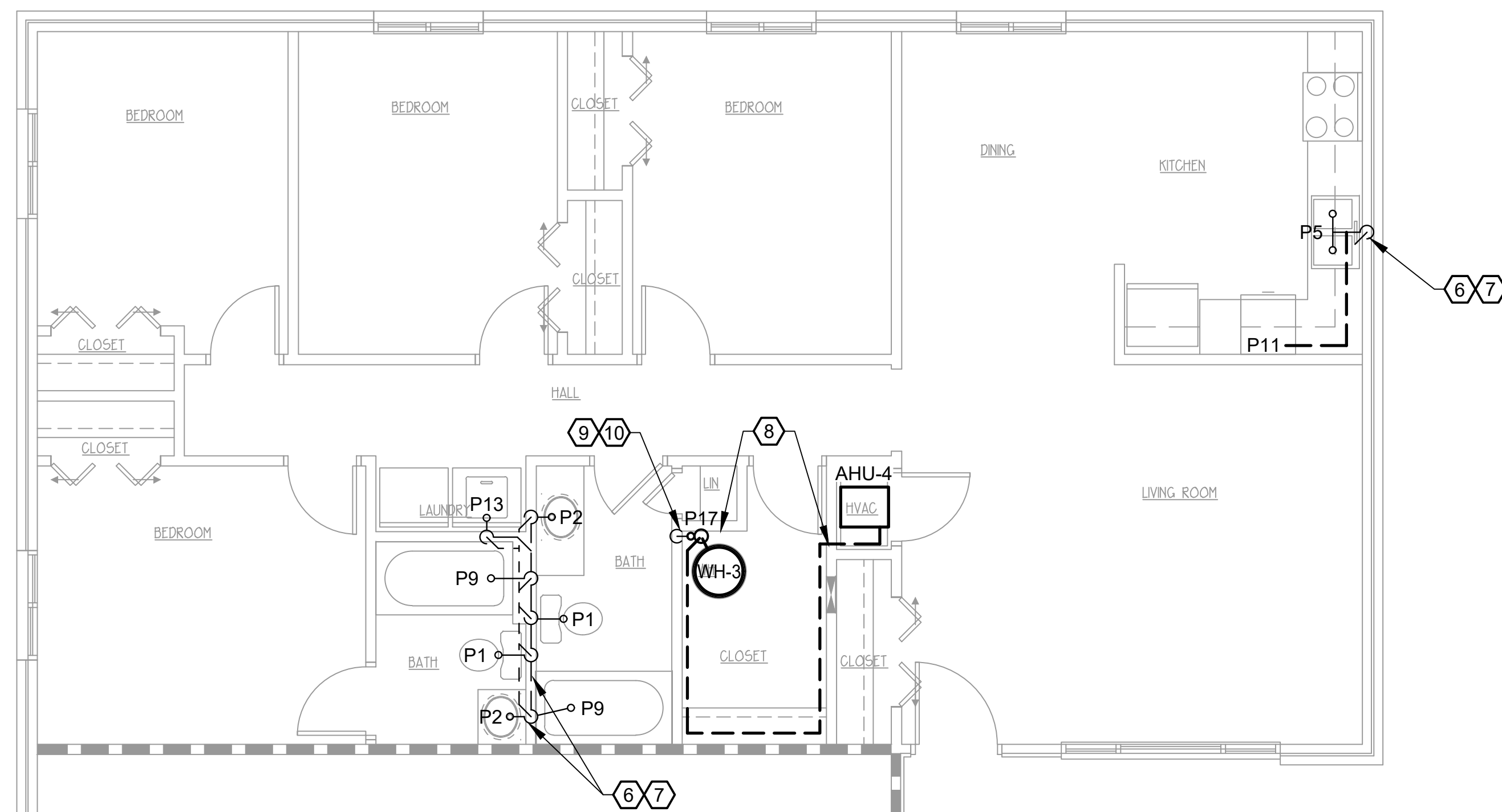
5516 WALLWOOD ROAD



**1** THREE BEDROOM TYPICAL - WASTE & VENT  
SCALE: 1/4"=1'-0"

WALL LEGEND

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL



**2** FOUR BEDROOM TYPICAL - WASTE & VENT  
SCALE: 1/4"=1'-0"

**DEMOLITION NOTES:**

- REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVED ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
- REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

**NOTES:**

- MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW AND EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
  - LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
  - CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
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  - PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
- 6** EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.
  - 7** EXISTING BUILDING DRAIN TO REMAIN.
  - 8** ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN.
  - 9** PROVIDE WATER HEATER PLATFORM TO RAISE ENOUGH FOR INDIRECT DRAIN. ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM WATER HEATER PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
  - 10** INSTALL NEW FLOOR DRAIN, ROUTE TO AND TIE INTO EXISTING PIPING. IF NONE EXISTING, INSTALL NEW 2" RISER IN WALL IN LOCATION SHOWN AS EXISTING. REFER TO SHEET P2.0 FOR FURTHER INFORMATION.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION OR PORING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

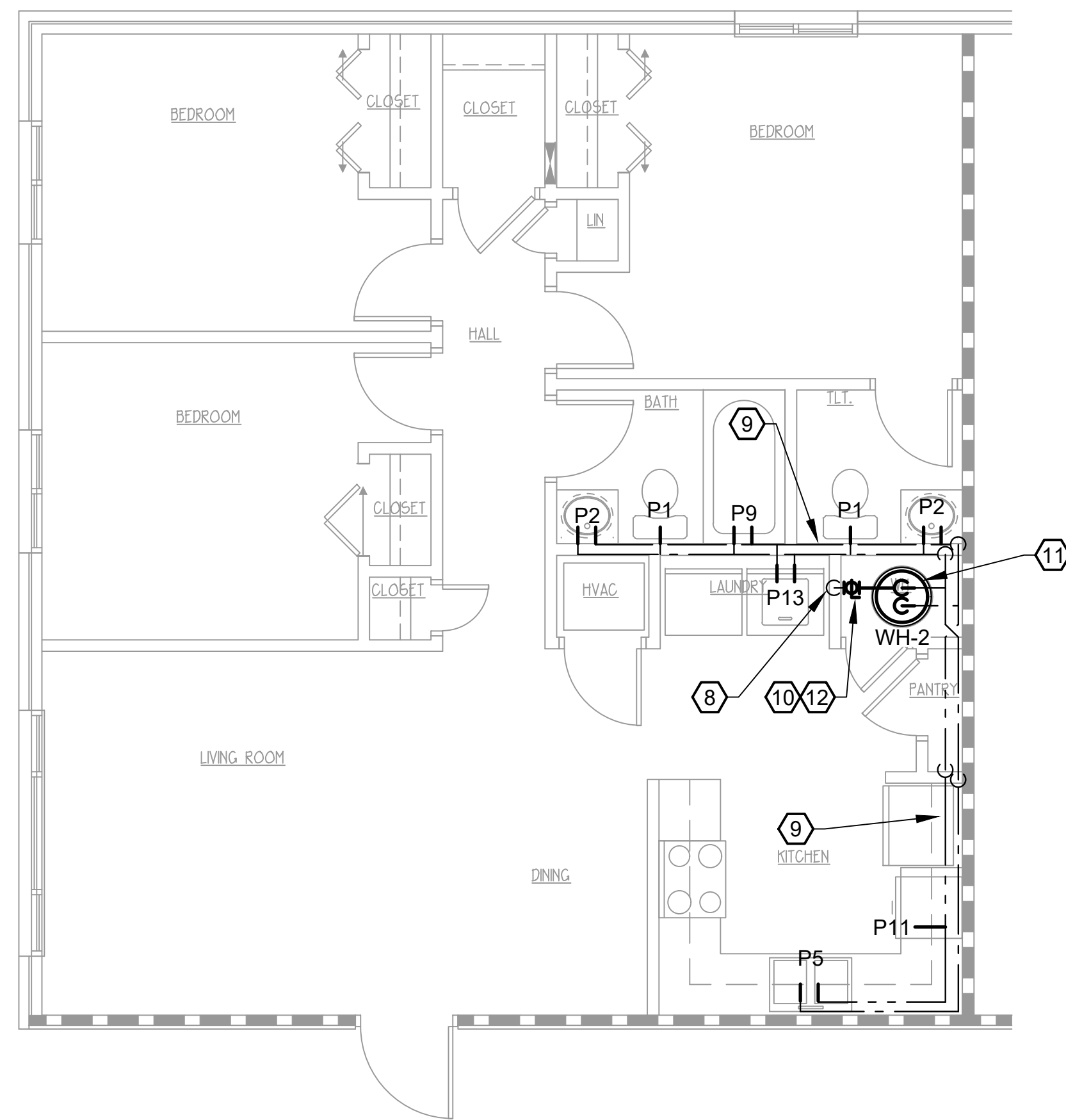
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CHKD. BY: JH	REVISIONS: 0
APPR. BY: JH	1
	6/30/16 - INITIAL ISSUE
	7/22/16 - ADDENDUM 1

WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

THREE & FOUR BDRM UNIT PLNS - WASTE & VENT  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

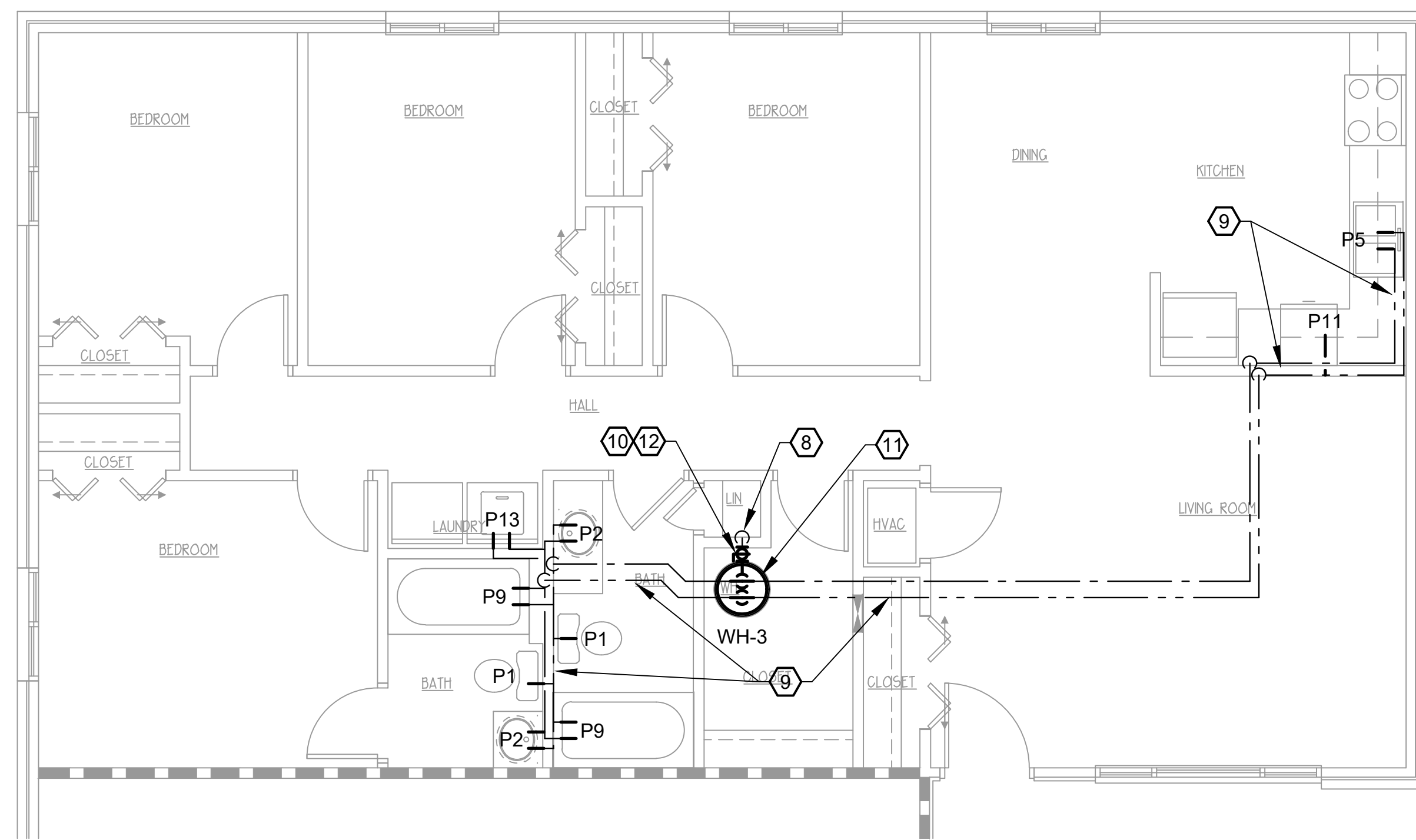
5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912  
865 / 689-1302





**1** THREE BEDROOM TYPICAL - SERVICES  
SCALE: 1/4"=1'-0"

**WALL LEGEND**  
 [Thick solid line] EXISTING 1 HR RATED  
 [Thin solid line] EXISTING INT. PARTITION TO REMAIN  
 [Dashed line] PARTITION TO BE DEMO'D  
 [Hatched area] ASSUMED EXISTING LOAD BEARING WALL



**2** FOUR BEDROOM TYPICAL - SERVICES  
SCALE: 1/4"=1'-0"

**DEMOLITION NOTES:**

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVE ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.

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  5. CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING IN EXISTING WALL/CHASE. REROUTE/REWORK ASSOCIATED PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT.
  6. ANY EXISTING CW/HW PIPING TO REMAIN THAT IS EXPOSED DURING RENOVATION AND ALL NEW CW/HW PIPING SHALL BE INSULATED, REFER TO SHEET P4.2.
  7. CONTRACTOR IS TO COORDINATE ALL EXISTING SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR ALL NEW PIPING AND FITTINGS NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING.
- (8) EXISTING COLD WATER RISER TO REMAIN.
  - (9) EXISTING WATER SERVICE PIPING TO REMAIN.
  - (10) INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN MECHANICAL CLOSET.
  - (11) INSTALL NEW WATER HEATER. CONNECT TO EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
  - (12) COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION AND PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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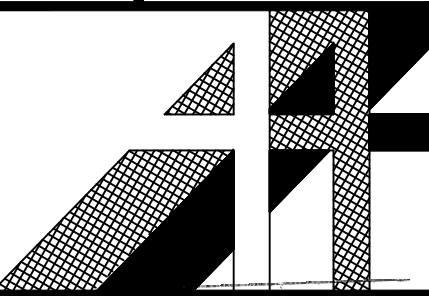
THREE & FOUR BEDROOM UNIT PLANS - SERVICES

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SHEET NUMBER

P1.1B

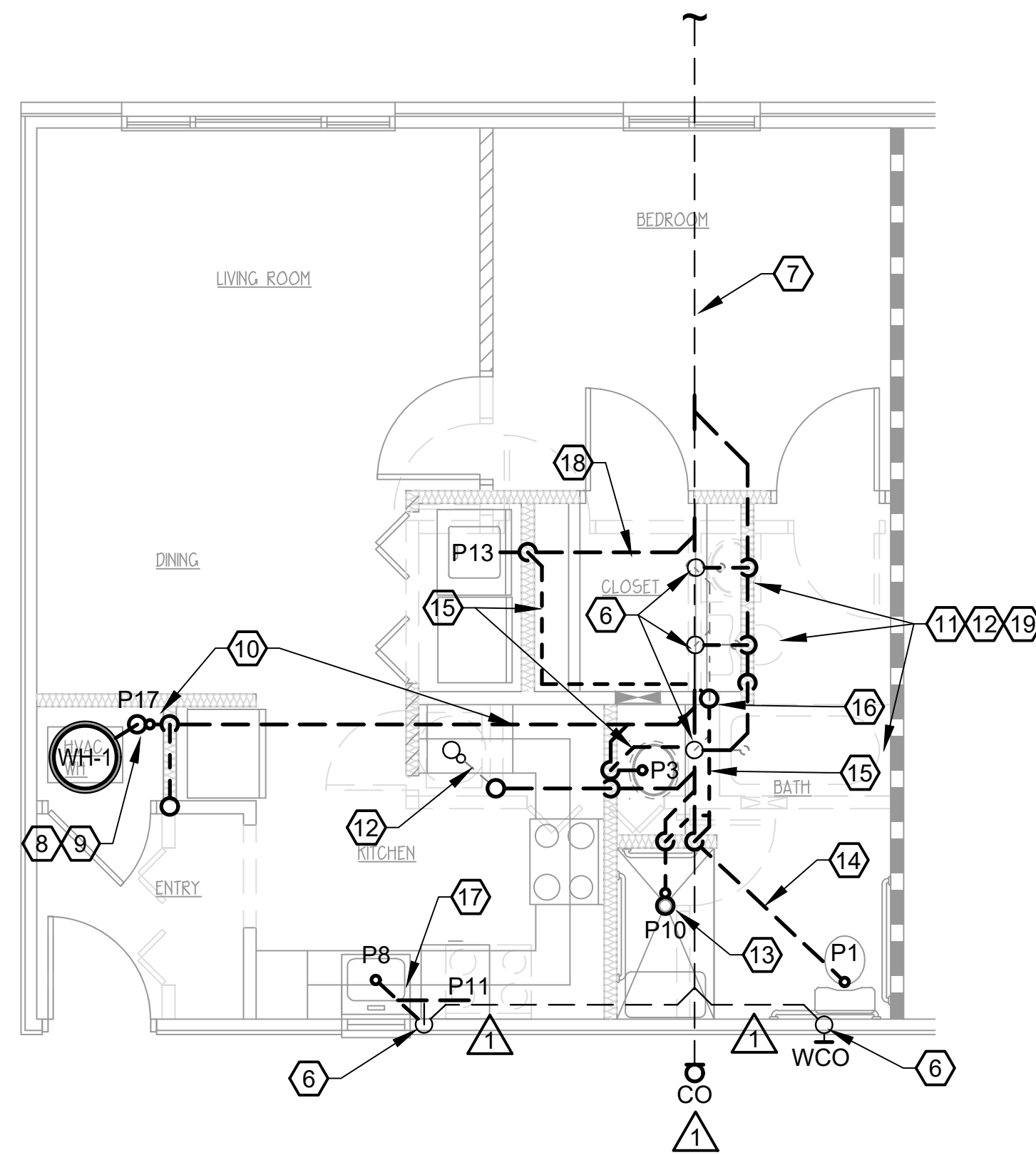
**DEMOLITION NOTES:**

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVED ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR..

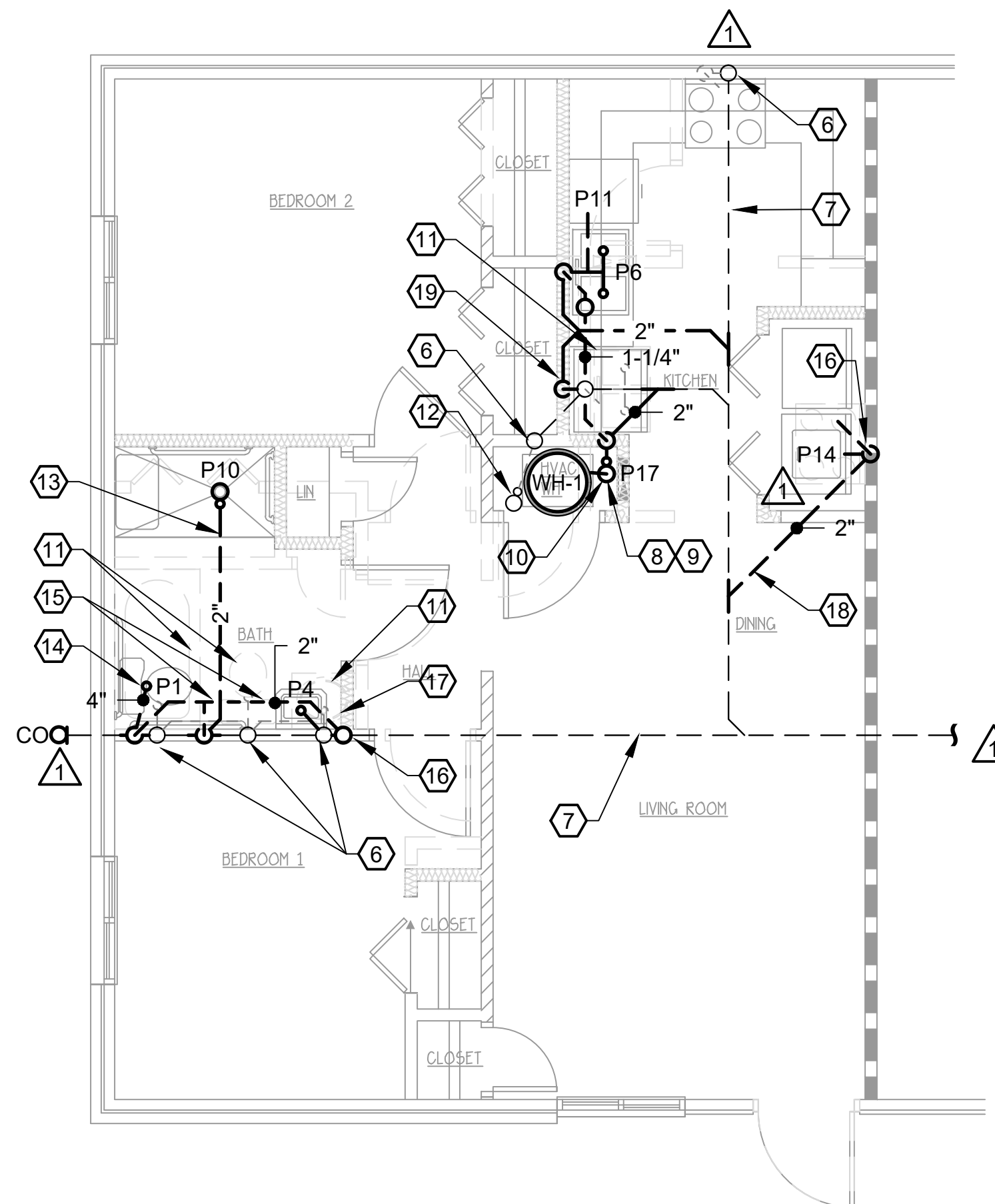
UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION AND/OR PORING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

**NOTES:**

1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL NEW AND EXISTING PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
2. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
4. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT PIPING IN EXISTING RATED CHASE/WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WATER SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING PIPING.
5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
6. EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.
7. EXISTING BUILDING DRAIN TO REMAIN.
8. ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR/HUB DRAIN.
9. ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
10. INSTALL NEW FLOOR DRAIN. ROUTE NEW 2" WASTE BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
11. REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING. CAP ALL PLUMBING PIPING AND PATCH WALL/FLOOR AS REQUIRED.
12. REMOVE EXISTING WASTE AND VENT PIPING WITHIN WALL AND BELOW FLOOR SLAB. CAP OFF CONNECTIONS TO EXISTING TO REMAIN AS REQUIRED.
13. INSTALL NEW SHOWER IN 1/2" RECESSED BEDDING/OPENING CREATED BY NEW CERAMIC TILE INSTALLATION (REFER TO ARCHITECTURAL DRAWINGS). ROUTE NEW 2" WASTE TO BELOW FLOOR SLAB TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
14. ROUTE NEW 4" WASTE TO BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
15. INSTALL NEW VENT, ROUTE TO ABOVE NEW FURRED DOWN CEILING AND CONNECT TO NEW 2" VENT STACK.
16. INSTALL NEW 2" VENT STACK TO ABOVE. ROUTE THROUGH WALL IN APARTMENT ABOVE AND TIE INTO EXISTING VENT SYSTEM IN ATTIC.
17. CONNECT NEW LAVATORY/SINK TO EXISTING NEARBY WASTE/VENT PIPING. REWORK/REROUTE AS REQUIRED TO CONNECT TO EXISTING PIPING.
18. ROUTE NEW 2" WASTE FROM NEW WASHING MACHINE OUTLET BOX TO BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
19. REROUTE EXISTING WASTE PIPING FROM ABOVE, ABOVE NEW FURRED DOWN CEILING TO NEW WALL AND RECONNECT TO EXISTING WASTE BELOW FLOOR SLAB AS REQUIRED.



**1 ONE BEDROOM ACCESSIBLE - WASTE & VENT**  
SCALE: 1/4"=1'-0"



**2 TWO BEDROOM ACCESSIBLE - WASTE & VENT**  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL
	NEW PARTITION 2x4 STUDS
	16" O.C. W/5/8" SHEETROCK

CAD FILE:

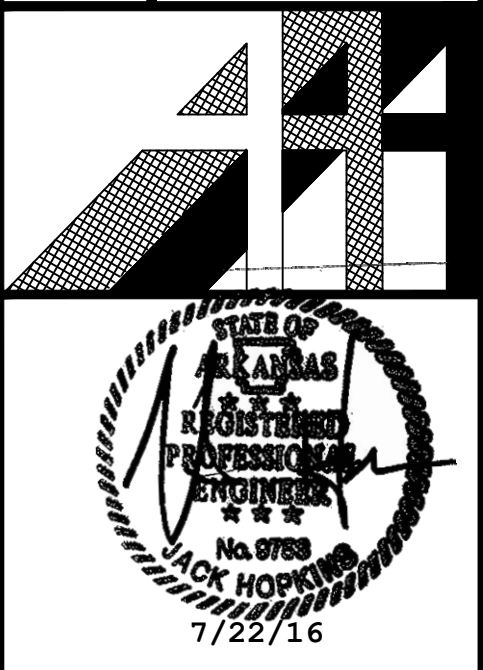
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APPR. BY: JH	DATE: 6-30-16
REVISIONS	0 6/30/16 - INITIAL ISSUE
	1 7/22/16 - ADDENDUM 1

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**ONE & TWO BR ACC UNIT PLNS - WASTE & VENT**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912

865 / 689-1302  
5516 WALLWOOD ROAD



SHEET NUMBER  
**P1.2A**

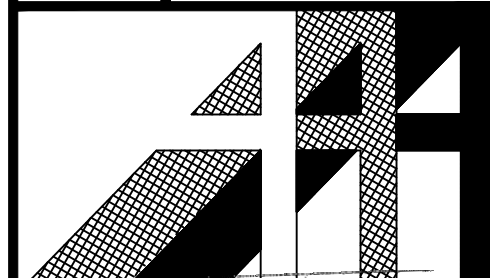
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CHKD. BY:	JH
APPR. BY:	JH
DATE:	6-30-16
REVISIONS	0 6/30/16 - INITIAL ISSUE
	1 7/22/16 - ADDENDUM 1

WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

ONE & TWO BR ACC UNIT PLANS - SERVICES

ALLAN ASSOCIATES ARCHITECTS, PLLC

665 / 689-1302  
5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912



SHEET NUMBER

P1.2B

**DEMOLITION NOTES:**

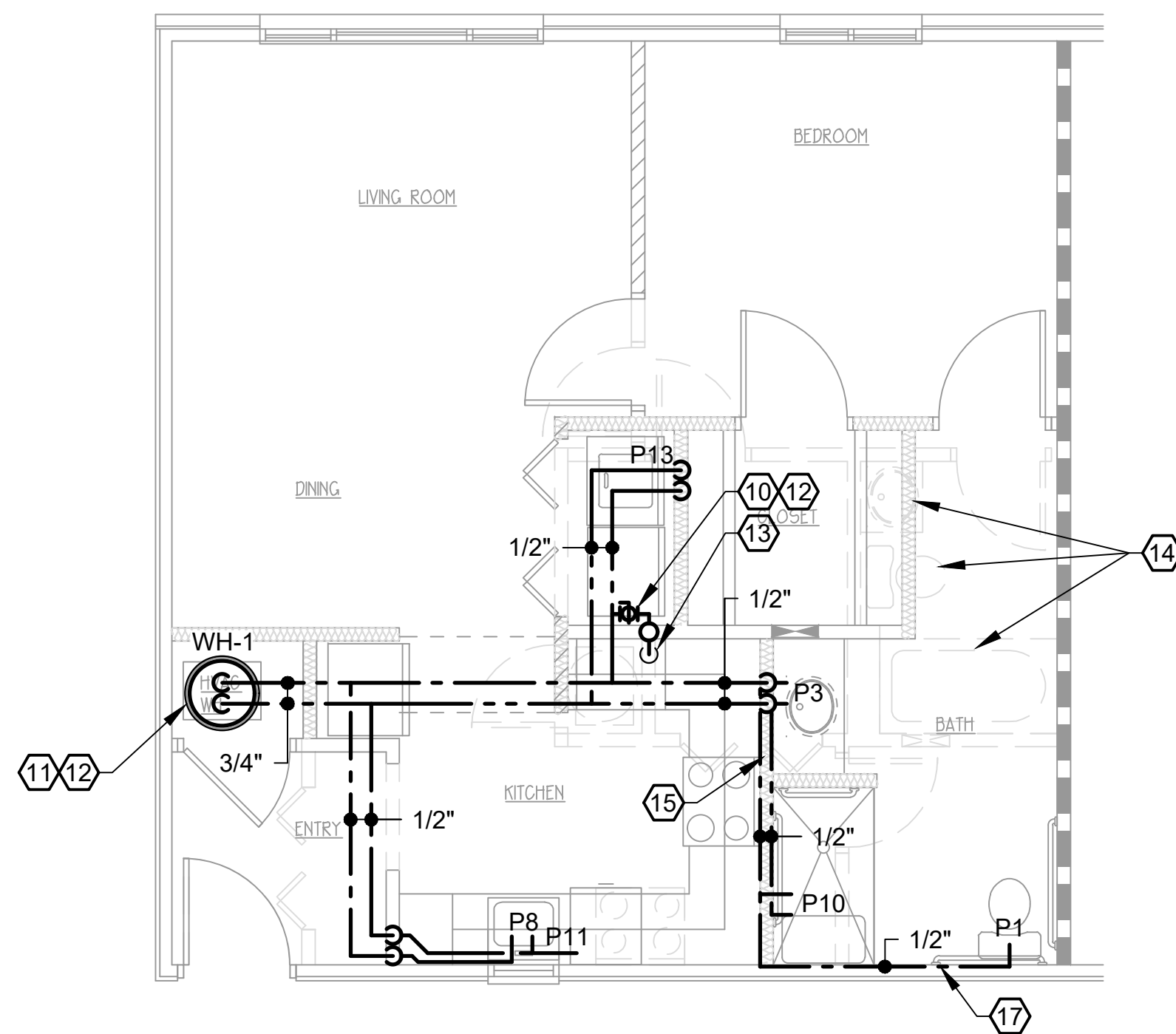
1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVE ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.
3. REMOVE EXISTING CW/HW PIPING UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.

**NOTES:**

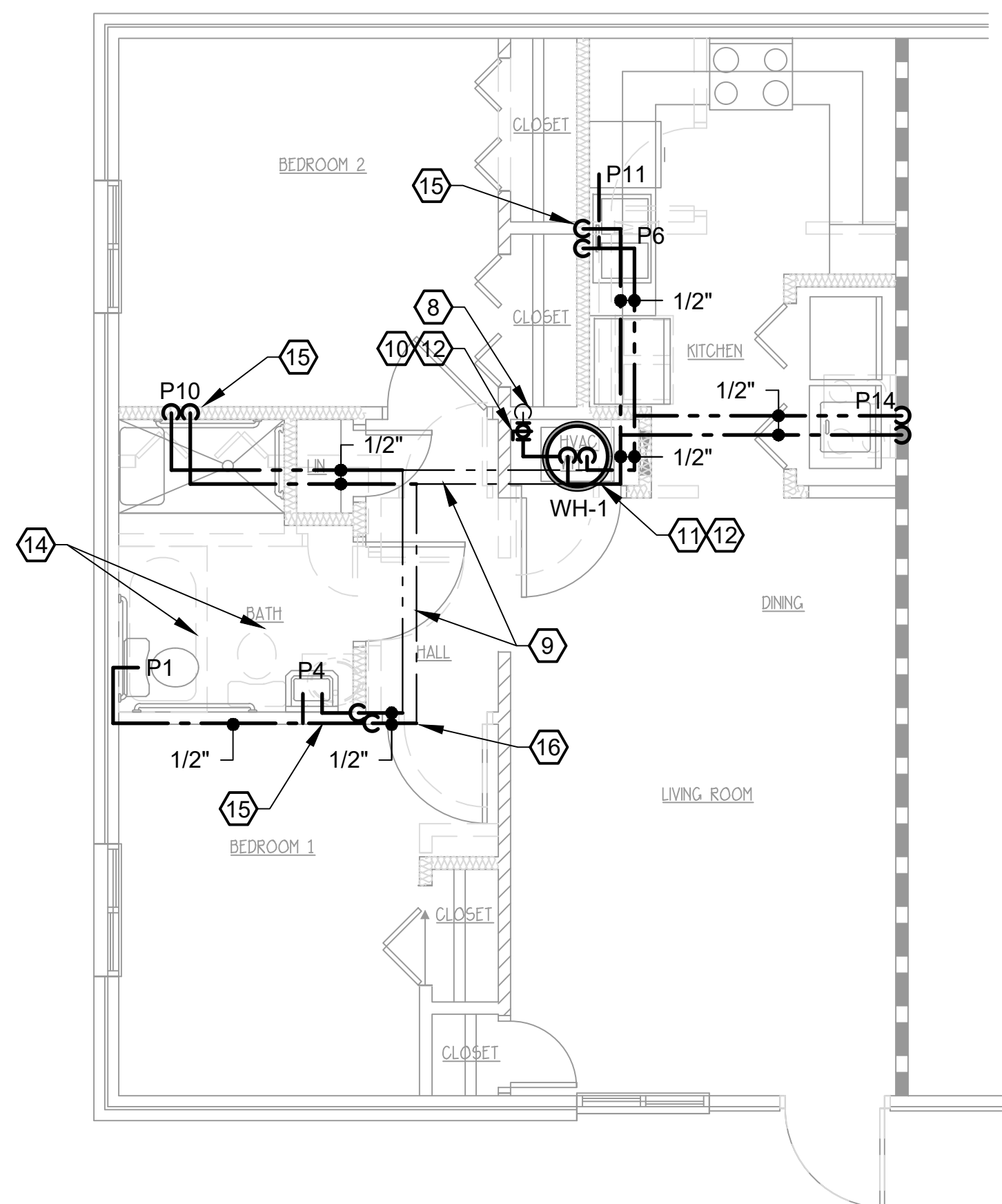
1. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
2. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
3. LOCATION OF EXISTING WATER SERVICE RISERS AND HORIZONTAL PIPING IS ASSUMED BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
4. CONTRACTOR IS TO FIELD VERIFY AND INSPECT EXISTING PIPING PENETRATIONS THROUGH RATED ASSEMBLIES AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS IN RATED WALLS, FLOORS AND CEILING AS SPECIFIED ON SHEETS P0.1, HP0.1 AND HP0.2.
5. CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING IN EXISTING WALL/CHASE. REROUTE/REWORK ASSOCIATED PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT.
6. ANY EXISTING CW/HW PIPING TO REMAIN THAT IS EXPOSED DURING RENOVATION AND ALL NEW CW/HW PIPING SHALL BE INSULATED, REFER TO SHEET P4.2.
7. CONTRACTOR IS TO COORDINATE ALL EXISTING SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES AND/OR CASEWORK. CONTRACTOR IS RESPONSIBLE FOR ALL NEW PIPING AND FITTINGS NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING.

- ⑧ EXISTING COLD WATER RISER TO REMAIN.
- ⑨ EXISTING WATER SERVICE PIPING TO REMAIN.
- ⚠️ ⑩ INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN CLOSET. PROVIDE ACCESS PANEL.
- ⑪ INSTALL NEW WATER HEATER. CONNECT TO NEW/EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
- ⑫ COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.
- ⑬ REROUTE EXISTING COLD WATER RISER FROM BELOW FLOOR SLAB TO NEW WALL. NEW RISER TO CONTINUE TO APARTMENT ABOVE.
- ⑭ REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING.
- ⑮ ROUTE NEW INSULATED CW/HW PIPING WITHIN NEW/EXISTING WALL TO NEW FIXTURE LOCATIONS.
- ⑯ TIE NEW INSULATED CW/HW PIPING INTO EXISTING PIPING.
- ⑰ ROUTE NEW INSULATED CW PIPING WITHIN EXISTING WALL. INSTALL INSULATION BETWEEN NEW PIPING AND EXTERIOR WALL EXPOSURE.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION OR PORING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.



1 ONE BEDROOM ACCESSIBLE - SERVICES  
SCALE: 1/4"=1'-0"



2 TWO BEDROOM ACCESSIBLE - SERVICES  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL
	NEW PARTITION 2x4 STUDS
	16" O.C. W/5/8" SHEETROCK



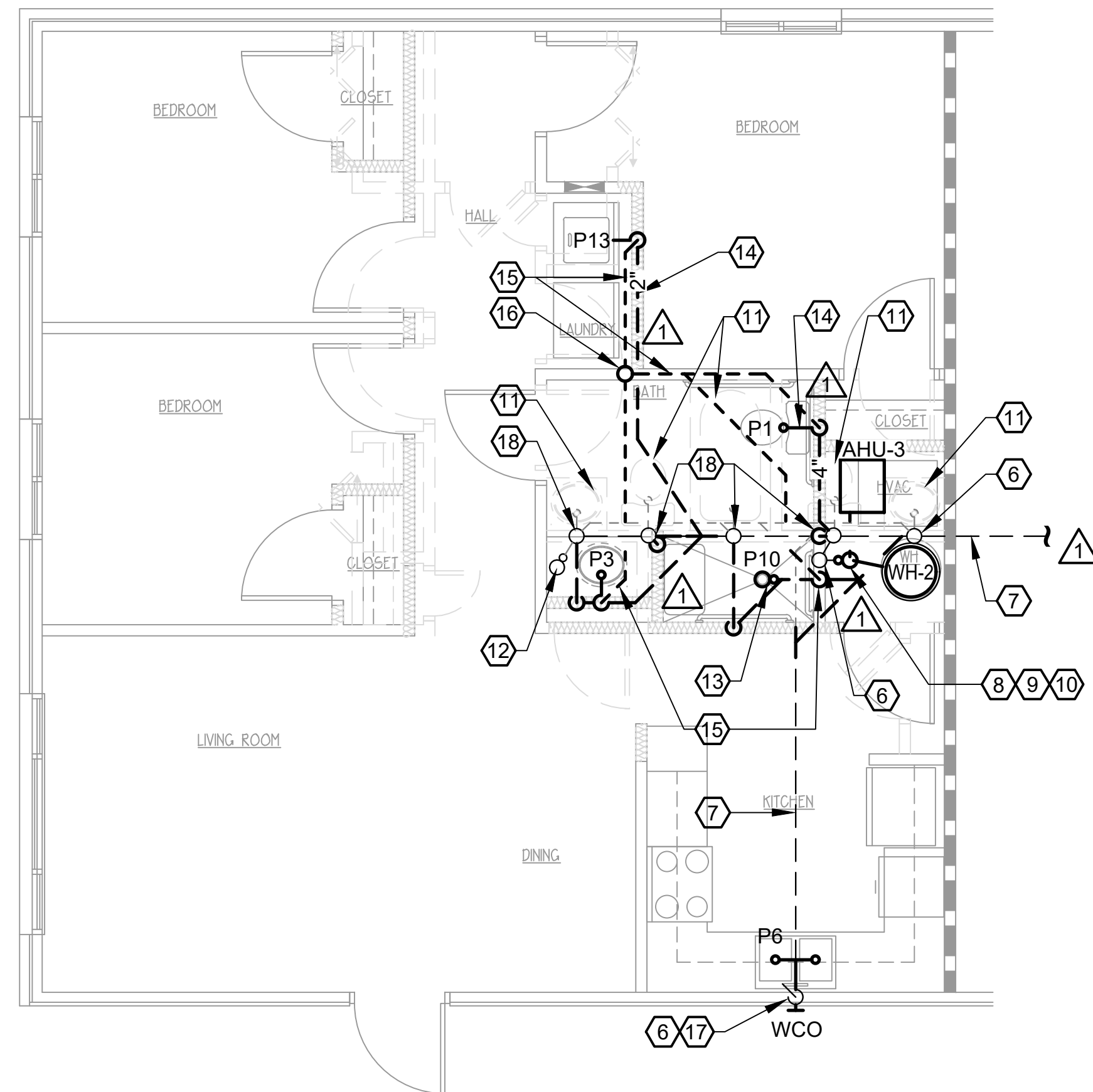
**DEMOLITION NOTES:**

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. REMOVED ALL ASSOCIATED PIPING. DISPOSAL BY CONTRACTOR.
2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR..

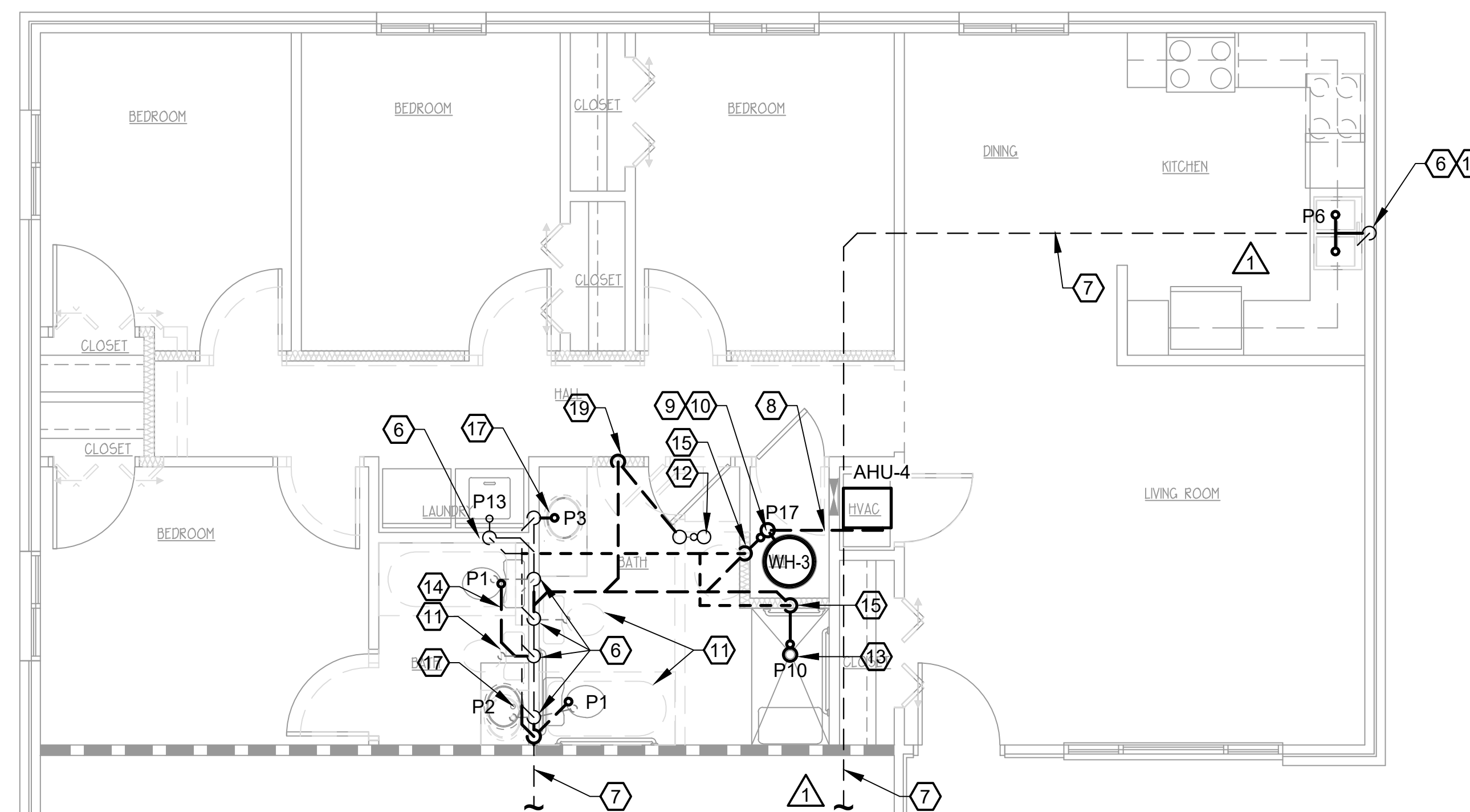
UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION AND/OR PAVING SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

**NOTES:**

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  2. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
  3. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH RATED WALLS, FLOORS, AND CEILINGS (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND, IF NOT PRESENT IN EXISTING INSTALLATION, PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
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  5. PATCH WALLS/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
- (6) EXISTING WASTE/VENT STACK AND/OR PIPE TO REMAIN.  
 (7) EXISTING BUILDING DRAIN TO REMAIN.  
 (8) ROUTE AIR CONDITIONING UNIT 1" CONDENSATE LINE TO DRAIN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR/HUB DRAIN.  
 (9) ROUTE WATER HEATER T/P OVERFLOW INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. ROUTE DRAIN FROM PAN INDIRECT (2-DIAMETER AIR GAP) TO NEW FLOOR DRAIN. REFER TO SHEETS P2.0 AND P2.1 FOR FURTHER INFORMATION.
- (10) INSTALL NEW FLOOR DRAIN IN SAME LOCATION AS EXISTING OR AS SHOWN, ROUTE NEW 2" WASTE BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
  - (11) REMOVE EXISTING PLUMBING FIXTURES AND ASSOCIATED PIPING. CAP ALL PLUMBING PIPING AND PATCH WALL/FLOOR AS REQUIRED.
  - (12) REMOVE EXISTING WASTE AND VENT PIPING WITHIN WALL AND BELOW FLOOR SLAB. CAP OFF CONNECTIONS TO EXISTING TO REMAIN AS REQUIRED.
  - (13) INSTALL NEW SHOWER IN 1/2" RECESSED BEDDING/OPENING CREATED BY NEW CERAMIC TILE INSTALLATION (REFER TO ARCHITECTURAL DRAWINGS). ROUTE NEW 2" WASTE TO BELOW FLOOR SLAB TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
  - (14) ROUTE NEW WASTE TO BELOW SLAB AND TIE INTO EXISTING BUILDING DRAIN AS REQUIRED.
  - (15) INSTALL NEW VENT, ROUTE TO ABOVE NEW FURRED DOWN CEILING AND CONNECT TO NEW 2" VENT STACK OR EXISTING VENT SYSTEM.
  - (16) INSTALL NEW 2" VENT STACK TO ABOVE. ROUTE THROUGH WALL IN APARTMENT ABOVE AND TIE INTO EXISTING VENT SYSTEM IN ATTIC.
  - (17) CONNECT NEW LAVATORY/SINK TO EXISTING NEARBY WASTE/VENT PIPING. REWORK/REROUTE AS REQUIRED TO CONNECT TO EXISTING PIPING.
  - (18) REROUTE EXISTING WASTE PIPING FROM ABOVE, ABOVE NEW FURRED DOWN CEILING TO NEW WALL AND RECONNECT TO EXISTING WASTE BELOW FLOOR SLAB AS REQUIRED.



**1** THREE BEDROOM ACCESSIBLE - WASTE & VENT  
SCALE: 1/4"=1'-0"



**2** FOUR BEDROOM ACCESSIBLE - WASTE & VENT  
SCALE: 1/4"=1'-0"

- WALL LEGEND**
- EXISTING 1 HR RATED
  - EXISTING INT. PARTITION TO REMAIN
  - PARTITION TO BE DEMO'D
  - ASSUMED EXISTING LOAD BEARING WALL
  - NEW PARTITION 2x4 STUDS
  - 16" O.C. W/5/8" SHEETROCK

CAD FILE:

DRWN. BY: SA	CHKD. BY: JH	APPR. BY: JH	DATE: 6-30-16	REVISIONS	0	6/30/16 - INITIAL ISSUE	1	7/22/16 - ADDENDUM 1
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WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

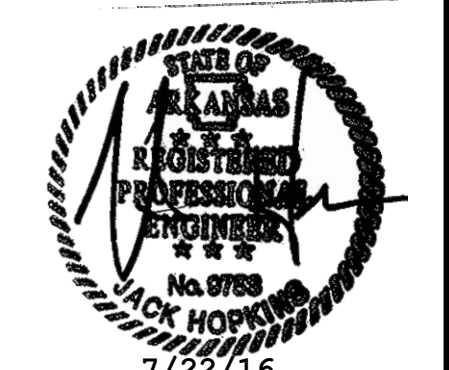
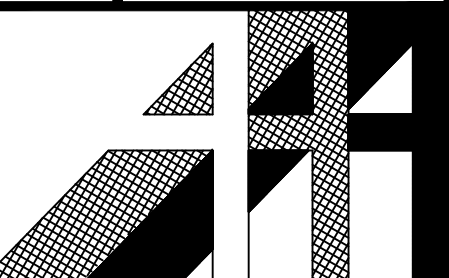
THREE & FOUR BR ACC UNIT PLNS - WASTE & VENT

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5516 WALLWOOD ROAD

KNOXVILLE, TENNESSEE 37912



SHEET NUMBER

P1.3A

**DEMOLITION NOTES:**

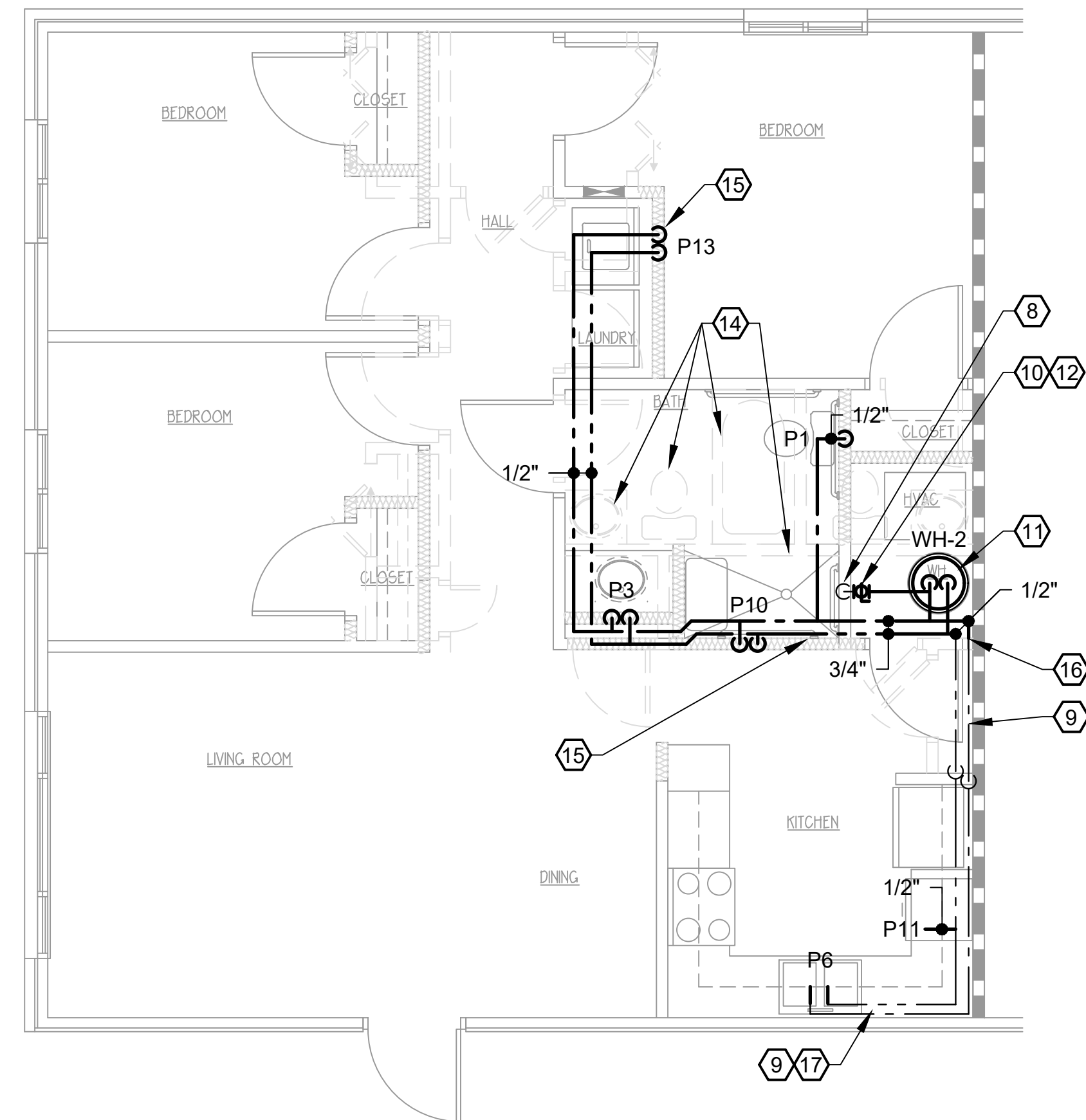
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2. REMOVE EXISTING WATER HEATERS. DISPOSAL BY CONTRACTOR.
3. REMOVE EXISTING CW/HW PIPING UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.

**NOTES:**

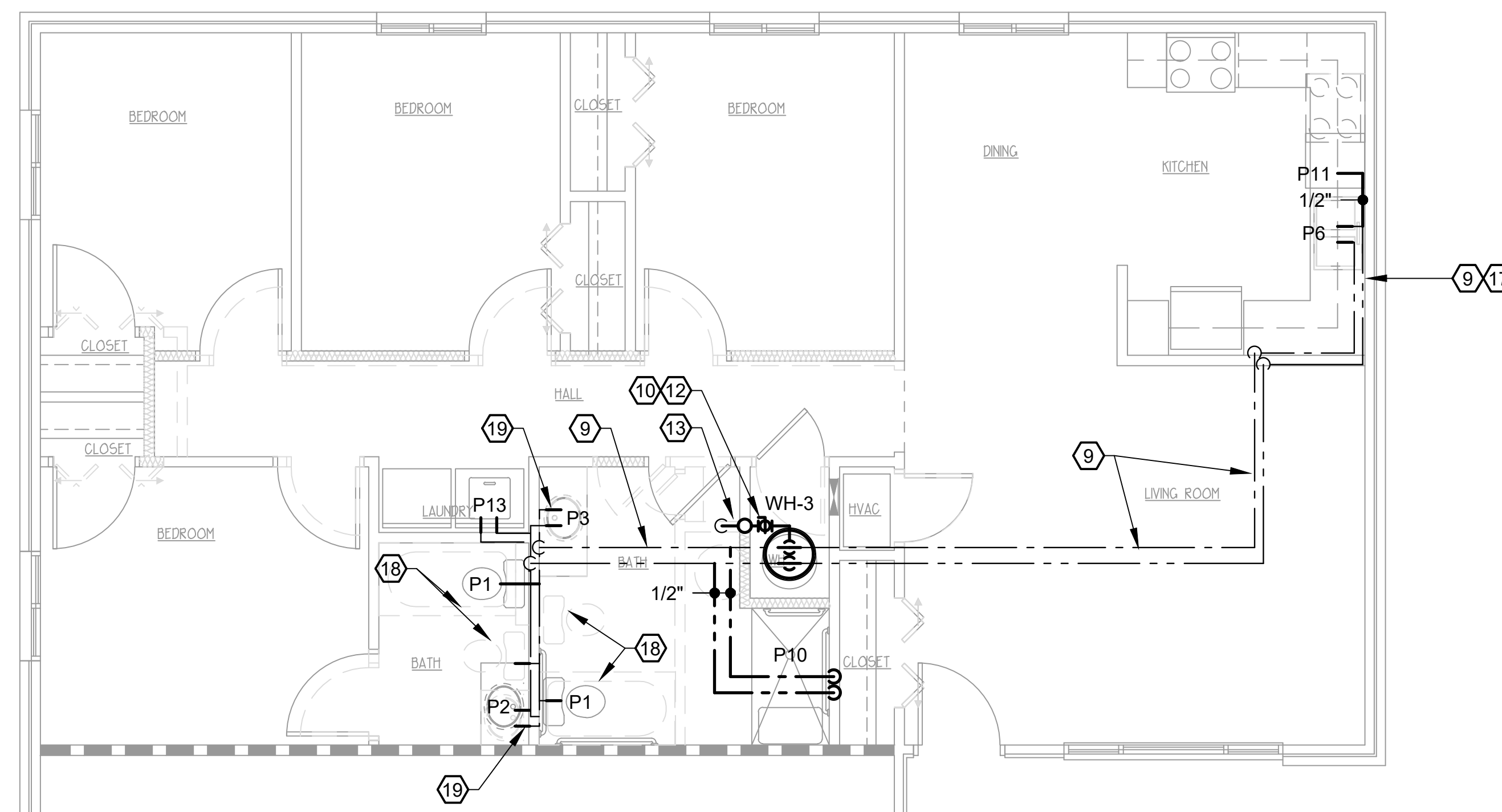
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  3. LOCATION OF EXISTING WATER SERVICE RISERS AND HORIZONTAL PIPING IS ASSUMED BASED ON FIELD OBSERVATION. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
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  5. CONNECT NEW FIXTURES TO EXISTING WATER SERVICE PIPING IN EXISTING WALL/CHASE. REROUTE/REWORK ASSOCIATED PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT.
  6. ANY EXISTING CW/HW PIPING TO REMAIN THAT IS EXPOSED DURING RENOVATION AND ALL NEW CW/HW PIPING SHALL BE INSULATED, REFER TO SHEET P4.2.
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- (8) EXISTING COLD WATER RISER TO REMAIN.  
 (9) EXISTING WATER SERVICE PIPING TO REMAIN.  
 (10) INSTALL NEW SHUT OFF VALVE AT EACH APARTMENT CONNECTION TO RISER WITHIN MECHANICAL CLOSET.

- (11) INSTALL NEW WATER HEATER. CONNECT TO NEW/EXISTING CW/HW PIPING. TO PROVIDE A RIGID CONNECTION AT THE WATER HEATER AND ALLOW FOR EXPANSION, USE COPPER PIPING FOR A MINIMUM OF 6". CONTRACTOR IS TO SET LEAVING WATER TEMPERATURE NOT TO EXCEED 120 DEGREES F.
- (12) COLD WATER SERVICE PIPING FROM MAIN WATER RISER TO WATER HEATER CONNECTION SHALL BE COPPER FOR ELECTRICAL GROUNDING REQUIREMENTS.
- (13) REROUTE EXISTING COLD WATER RISER FROM BELOW FLOOR SLAB TO NEW WALL. NEW RISER TO CONTINUE TO APARTMENT ABOVE.
- (14) REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING.
- (15) ROUTE NEW INSULATED CW/HW PIPING WITHIN NEW/EXISTING WALL TO NEW FIXTURE LOCATIONS.
- (16) TIE NEW INSULATED CW/HW PIPING INTO EXISTING PIPING.
- (17) INSULATED CW/HW PIPING WITHIN EXISTING WALL. INSTALL INSULATION BETWEEN NEW PIPING AND EXTERIOR WALL EXPOSURE.
- (18) REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING. CAP OFF PLUMBING PIPING WITHIN WALL. PATCH WALL TO MATCH ADJACENT.
- (19) REMOVE EXISTING PLUMBING FIXTURE & REROUTE ASSOCIATED PIPING TO NEW NEARBY FIXTURE. PATCH WALL TO MATCH ADJACENT.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.



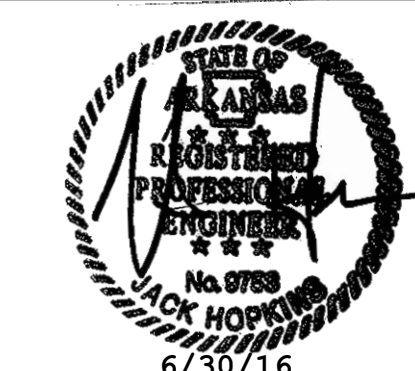
**1 THREE BEDROOM ACCESSIBLE - SERVICES**  
SCALE: 1/4"=1'-0"



**2 FOUR BEDROOM ACCESSIBLE - SERVICES**  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

	EXISTING 1 HR RATED
	EXISTING INT. PARTITION TO REMAIN
	PARTITION TO BE DEMO'D
	ASSUMED EXISTING LOAD BEARING WALL
	NEW PARTITION 2x4 STUDS
	16" O.C. W/5/8" SHEETROCK

CAD FILE:		DRWN. BY: SA		CHKD. BY: JH	
		APPR. BY: JH		DATE: 6-30-16	
		REVISIONS	0	6/30/16 - INITIAL ISSUE	
WHITE RIVER APARTMENTS 2900 MARION DRIVE DIAZ, ARKANSAS	THREE & FOUR BR ACC UNIT PLANS - SERVICES	<b>ALLAN ASSOCIATES ARCHITECTS, PLLC</b>			
		5516 WALLWOOD ROAD	KNOXVILLE, TENNESSEE 37912	865 / 689-1302	
		SHEET NUMBER			
<b>P1.3B</b>					

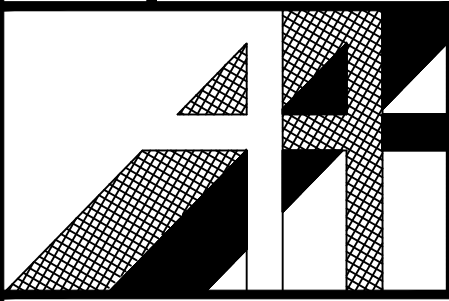
DRWN. BY:	SA
CHKD. BY:	JH
APPR. BY:	JH
DATE:	6-30-16
REVISIONS	0 6/30/16 - INITIAL ISSUE
	1 7/22/16 - ADDENDUM 1

WHITE RIVER APARTMENTS BLDG'S '2','3','5','8' PLANS - PLUMBING

2000 MARION DRIVE DIAZ, ARKANSAS

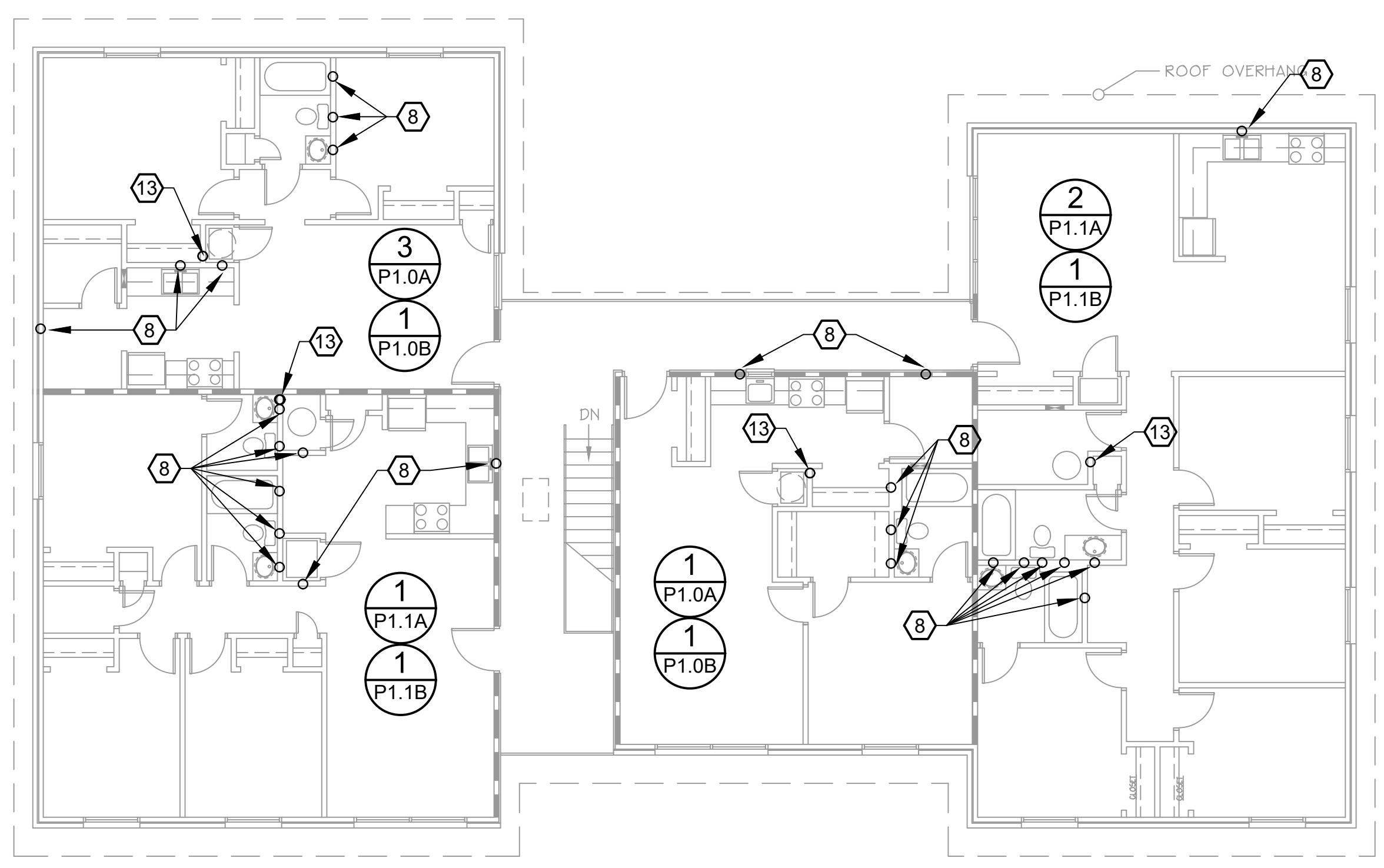
ALLAN ASSOCIATES ARCHITECTS, PLLC

5516 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912 865 / 689-1302



SHEET NUMBER

P2.0



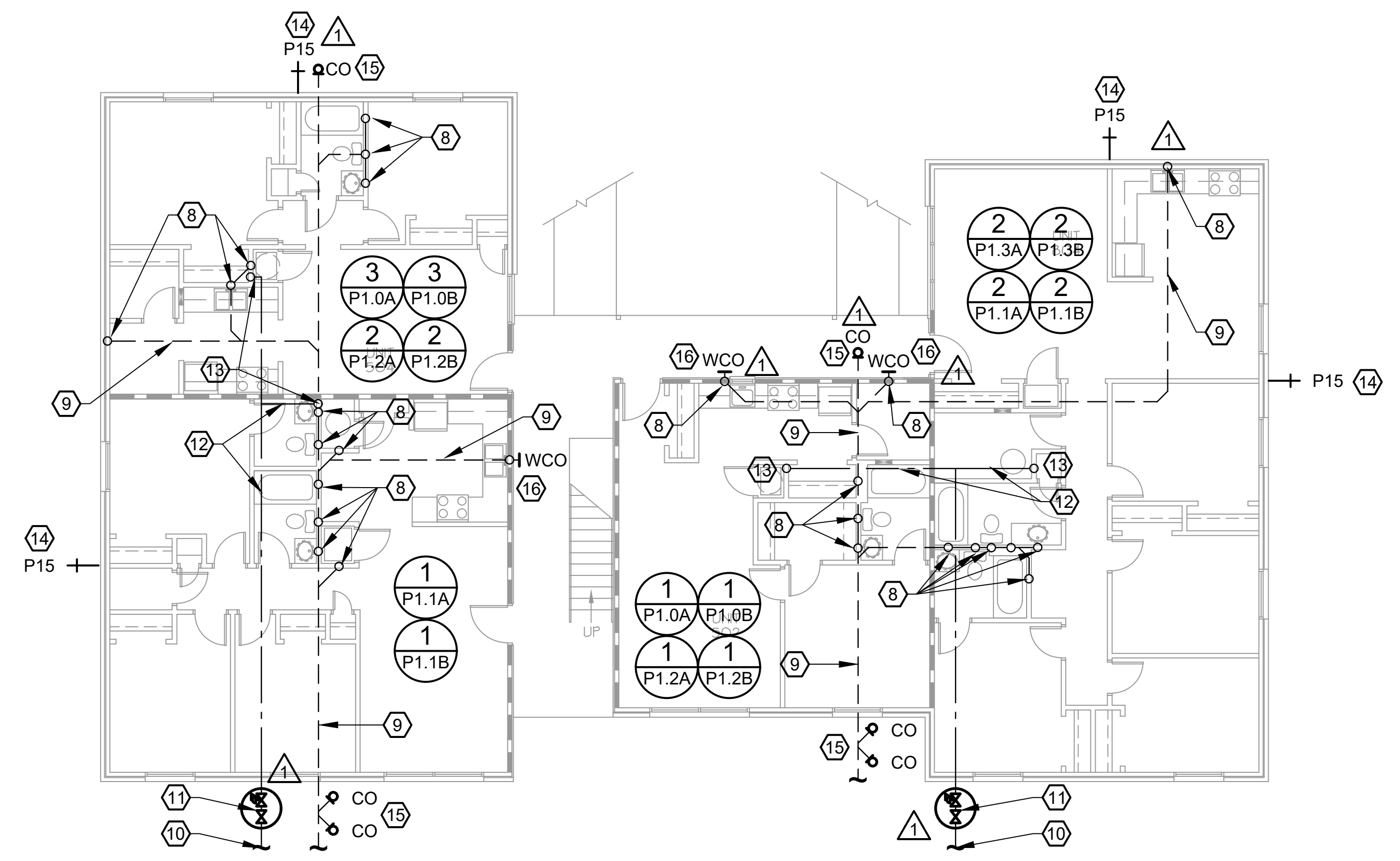
2 BLDG'S '2','3','5','8'  
SECOND FLOOR PLAN - PLUMBING  
SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

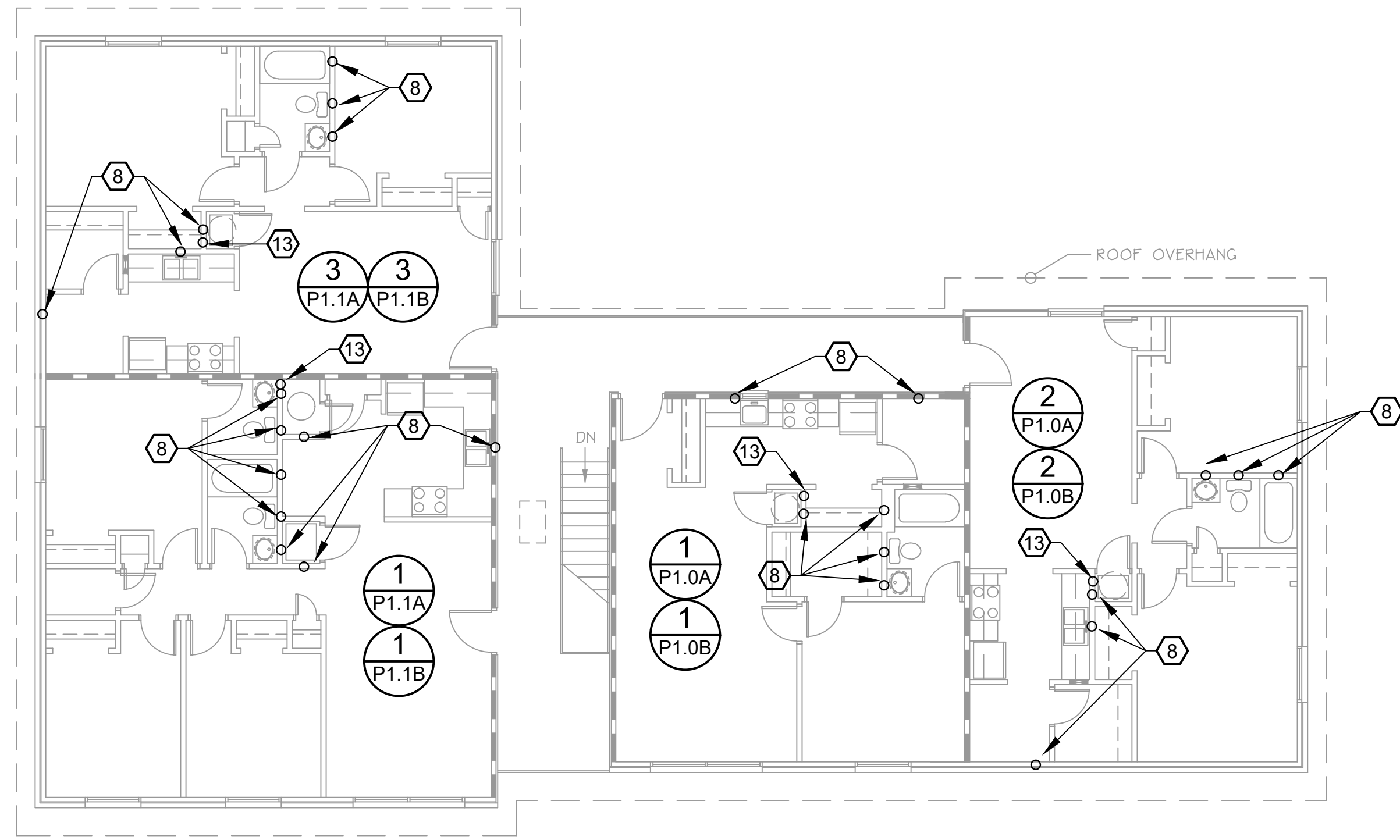
1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL ABANDONED PIPING, DISPOSAL BY CONTRACTOR.
3. REFER TO SHEET SP1.0 FOR EXISTING PLUMBING PIPING TO BE REPLACED AND/OR REPAIRED BASED ON RECOMMENDATIONS OF ENVIRONMENTAL DRAIN & PLUMBING EVALUATION PERFORMED BY OTHERS.

NOTES:

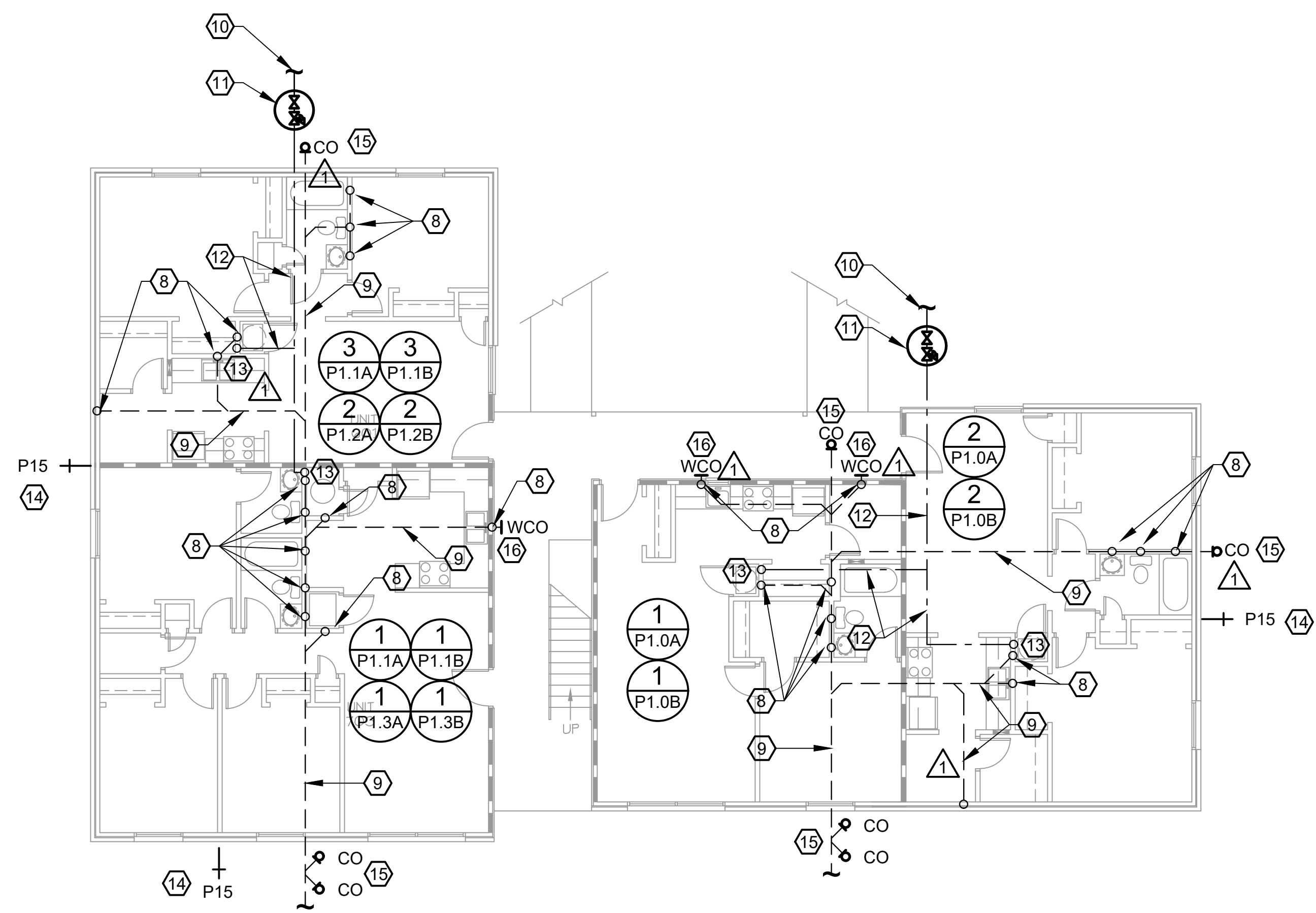
1. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING IN EXISTING WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WASTE/VENT/SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING.
  2. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
  3. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
  4. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH EXPOSED RATED ASSEMBLIES (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
  5. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. NO EXISTING BUILDING WATER SERVICE SHUT OFFS OR VALVE BOXES WERE OBSERVED, THEREFORE ALL WATER SERVICE PIPING LOCATION IS ESTIMATED BASED ON ASSUMED ROUTING OF WATER PIPE FROM EXISTING WATER METERS AND INPUT FROM PROPERTY MAINTENANCE STAFF. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
  6. ALL EXISTING SANITARY WASTE STACKS AND BUILDING DRAINS ARE TO BE CLEANED BY HYDROJET TO REMOVE GREASE, SCALE AND OTHER DEBRIS.
  7. ENSURE ALL EXPOSED WATER SERVICE PIPING (EXISTING AND NEW) IS INSULATED PER PIPING INSULATION SCHEDULE ON SHEET P4.2.
- 8 EXISTING SANITARY WASTE/ VENT STACK TO REMAIN UNLESS NOTED OTHERWISE.
- 9 EXISTING BUILDING DRAIN TO REMAIN UNLESS NOTED OTHERWISE.
- 10 EXISTING COLD WATER SUPPLY TO BUILDING TO REMAIN UNLESS NOTED OTHERWISE.
- 11 INSTALL NEW BUILDING SHUT OFF VALVE AND PRESSURE REDUCING VALVE IN NEW VALVE BOX. LOCATION SHOWN IS SHOWN ONLY TO INDICATE EACH BUILDING IS TO RECEIVE NEW SHUT OFF VALVE(S) AND PRV(S). REFER TO SHEET SP1.0 FOR PROBABLE LOCATIONS.
- 12 EXISTING WATER SERVICE BELOW SLAB TO REMAIN UNLESS NOTED OTHERWISE.
- 13 EXISTING WATER SERVICE RISERS TO REMAIN UNLESS NOTED OTHERWISE.
- 14 REPLACE ALL EXISTING HOSE BIBS. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING HOSE BIB LOCATIONS AND THOSE WHERE IT APPEARED THEY HAD BEEN REMOVED AND/OR CAPPED OFF IN THE PAST. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.
- 15 INSTALL NEW TWO-WAY EXTERIOR CLEAN OUT DOWNSTREAM OF BUILDING DRAIN LINE EXITING BUILDING OR NEW CLEAN OUT AT END OF BUILDING DRAIN LINE. LOCATIONS SHOWN ARE BASED ON FIELD OBSERVATION OF EXISTING CLEAN OUTS AT SOME BUILDINGS (LOCATIONS DIFFER FOR EACH BUILDING, REFER TO SHEET SP1.0 FOR EACH BUILDING'S OBSERVED CLEAN OUTS). CONTRACTOR IS TO FIELD VERIFY PRIOR TO BEGINNING WORK. INSTALL CLEAN OUTS IN SAME/SIMILAR LOCATION AS EXISTING.
- 16 INSTALL NEW EXTERIOR WALL CLEAN OUT. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING CLEAN OUTS. CONTRACTOR IS TO FIELD VERIFY PRIOR TO BEGINNING WORK.



1 BLDG'S '2','3','5','8'  
FIRST FLOOR PLAN - PLUMBING  
SCALE: 1/8"=1'-0"



**2** BLDG'S '1','4','6','7'  
SECOND FLOOR PLAN - PLUMBING  
SCALE: 1/8"=1'-0"



**1** BLDG'S '1','4','6','7'  
FIRST FLOOR PLAN - PLUMBING  
SCALE: 1/8"=1'-0"

**DEMOLITION NOTES:**

1. REMOVE ALL EXISTING PLUMBING FIXTURES TO BE REPLACED BY FIXTURES LISTED IN PLUMBING FIXTURE SCHEDULE (REFER TO SHEET P4.1), UNLESS NOTED OTHERWISE. DISPOSAL BY CONTRACTOR.
2. REMOVE ALL ABANDONED PIPING, DISPOSAL BY CONTRACTOR.
3. REFER TO SHEET SP1.0 FOR EXISTING PLUMBING PIPING TO BE REPLACED AND/OR REPAIRED BASED ON RECOMMENDATIONS OF ENVIRONMENTAL DRAIN & PLUMBING EVALUATION PERFORMED BY OTHERS.

**NOTES:**

1. CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING IN EXISTING WALL. CONTRACTOR IS TO COORDINATE ALL EXISTING WASTE/VENT/SERVICE CONNECTION LOCATIONS WITH ASSOCIATED NEW FIXTURES TO ENSURE THERE IS NO CONFLICT PRIOR TO ORDERING FIXTURES. CONTRACTOR IS RESPONSIBLE FOR NEW PIPING NECESSARY TO CONNECT NEW FIXTURES TO EXISTING WASTE/VENT/SERVICE PIPING.
  2. MAINTAIN FIRE RATING AS SHOWN ON ARCHITECTURAL DRAWINGS. SEAL ALL PENETRATIONS IN RATED WALL/FLOOR/CEILING ASSEMBLIES AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
  3. PATCH WALL/CEILING/FLOOR DAMAGED DURING DEMOLITION AND/OR INSTALLATION, REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER INSTRUCTION.
  4. CONTRACTOR IS TO INSPECT EXISTING PIPE PENETRATIONS THROUGH EXPOSED RATED ASSEMBLIES (AS SHOWN ON ARCHITECTURAL DRAWINGS) AND PROVIDE PROPER FIRE STOPPING. SEAL ALL PENETRATIONS AS SPECIFIED ON SHEETS P0.1, HP0.1, AND HP0.2.
  5. LOCATION OF EXISTING WASTE/VENT RISERS/STACKS AND HORIZONTAL PIPING IS ASSUMED AND IS ESTIMATED BASED ON FIELD OBSERVATION AND INPUT FROM ENVIRONMENTAL DRAIN AND PLUMBING'S FIELD OBSERVATIONS. BASED ON THE LOCATIONS OF NUMEROUS CLEAN OUTS, IT IS ASSUMED THAT EACH BUILDING AND/OR APARTMENT UNIT BUILDING DRAIN ROUTING MAY VARY FROM WHAT IS SHOWN. NO EXISTING BUILDING WATER SERVICE SHUT OFFS OR VALVE BOXES WERE OBSERVED, THEREFORE ALL WATER SERVICE PIPING LOCATION IS ESTIMATED BASED ON ASSUMED ROUTING OF WATER PIPE FROM EXISTING WATER METERS AND INPUT FROM PROPERTY MAINTENANCE STAFF. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK. MARK ALL EXISTING LOCATIONS ON RECORD DRAWINGS.
  6. ALL EXISTING SANITARY WASTE STACKS AND BUILDING DRAINS ARE TO BE CLEANED BY HYDROJET TO REMOVE GREASE, SCALE AND OTHER DEBRIS.
  7. ENSURE ALL EXPOSED WATER SERVICE PIPING (EXISTING AND NEW) IS INSULATED PER PIPING INSULATION SCHEDULE ON SHEET P4.2.
- (8) EXISTING SANITARY WASTE/ VENT STACK TO REMAIN UNLESS NOTED OTHERWISE.  
 (9) EXISTING BUILDING DRAIN TO REMAIN UNLESS NOTED OTHERWISE.  
 (10) EXISTING COLD WATER SUPPLY TO BUILDING TO REMAIN UNLESS NOTED OTHERWISE.  
 (11) INSTALL NEW BUILDING SHUT OFF VALVE AND PRESSURE REDUCING VALVE IN NEW VALVE BOX. LOCATION SHOWN IS SHOWN ONLY TO INDICATE EACH BUILDING IS TO RECEIVE NEW SHUT OFF VALVE(S) AND PRV(S). REFER TO SHEET SP1.0 FOR PROBABLE LOCATIONS.  
 (12) EXISTING WATER SERVICE BELOW SLAB TO REMAIN UNLESS NOTED OTHERWISE.  
 (13) EXISTING WATER SERVICE RISERS TO REMAIN UNLESS NOTED OTHERWISE.  
 (14) REPLACE ALL EXISTING HOSE BIBS. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING HOSE BIB LOCATIONS AND THOSE WHERE IT APPEARED THEY HAD BEEN REMOVED AND/OR CAPPED OFF IN THE PAST. CONTRACTOR IS TO FIELD VERIFY ACTUAL LOCATIONS PRIOR TO BEGINNING WORK.  
 (15) INSTALL NEW TWO-WAY EXTERIOR CLEAN OUT DOWNSTREAM OF BUILDING DRAIN LINE EXITING BUILDING OR NEW CLEAN OUT AT END OF BUILDING DRAIN LINE. LOCATIONS SHOWN ARE BASED ON FIELD OBSERVATION OF EXISTING CLEAN OUTS AT SOME BUILDINGS (LOCATIONS DIFFER FOR EACH BUILDING, REFER TO SHEET SP1.0 FOR EACH BUILDING'S OBSERVED CLEAN OUTS). CONTRACTOR IS TO FIELD VERIFY PRIOR TO BEGINNING WORK. INSTALL CLEAN OUTS IN SAME LOCATION AS EXISTING.  
 (16) INSTALL NEW EXTERIOR WALL CLEAN OUT. LOCATIONS ARE BASED ON FIELD OBSERVATION OF EXISTING CLEAN OUTS. CONTRACTOR IS TO FIELD VERIFY PRIOR TO BEGINNING WORK.

CAD FILE:

DRWN. BY: SA	DATE: 6-30-16
CHKD. BY: JH	REVISIONS: 0
APPR. BY: JH	6/30/16 - INITIAL ISSUE
	7/22/16 - ADDENDUM 1

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**BLDG'S '1','4','6','7' PLANS - PLUMBING**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912

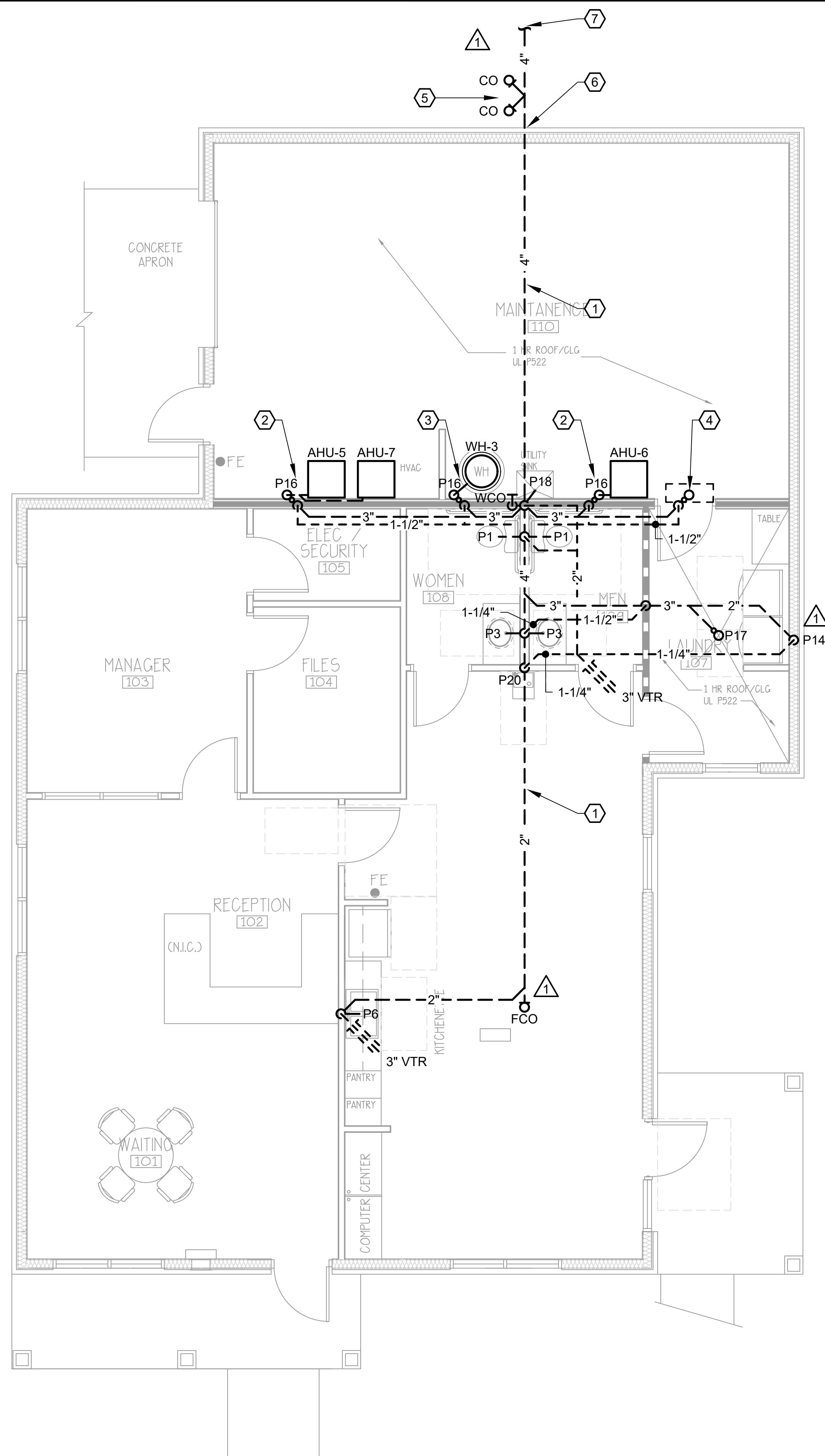
865 / 689-1302

5516 WALLWOOD ROAD



SHEET NUMBER

**P2.1**



1 COMMUNITY/OFFICE FLOOR PLAN - WASTE & VENT  
SCALE: 1/4"=1'-0"

**WALL LEGEND**

INDICATES 1 HR RATED WALL.  
UL# U305

TYPICAL INTERIOR PARTITION:  
2x4 WD. STUDS • 16' O.C. W/  
5/8" GYP. BD. EA. SIDE. PROVIDE  
AND INSTALL 3" SOUND BATT W/IN  
ALL STUD CAVITIES

INDICATES 1 HR RATED WALL.  
UL# U305 W/ PLYWD. ONE SIDE  
SEE STRUCT. DWG'S.

**DEMOLITION NOTES:**

- REMOVE ALL EXISTING SANITARY SEWER/BUILDING DRAIN, IF PRESENT, THAT SERVED DEMOLISHED OUT BUILDINGS. DISPOSAL BY CONTRACTOR.

**NOTES:**

- NEW BUILDING DRAIN. DIRECTION OF FLOW ASSUMED BASED ON EXISTING SANITARY SEWER/MANHOLE LOCATIONS FROM ENVIRONMENTAL DRAIN & PLUMBING'S FIELD OBSERVATIONS. CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
- ROUTE AIR HANDLING UNIT 1" CONDENSATE LINE TO NEW HUB DRAIN INDIRECT (MAINTAIN 2-DIAMETER AIR GAP).
- ROUTE WATER HEATER OVERFLOW INDIRECT (MAINTAIN 2-DIAMETER AIR GAP) TO WATER HEATER DRAIN PAN. ROUTE DRAIN FROM DRAIN PAN INDIRECT (MAINTAIN 2-DIAMETER AIR GAP) TO NEW HUB DRAIN.
- ROUTE DRAIN FROM BACKFLOW PREVENTOR INDIRECT (MAIN 2-DIAMETER AIR GAP) TO NEW HUB DRAIN.
- INSTALL NEW TWO-WAY EXTERIOR CLEAN OUT 5'-0" DOWNSTREAM OF BUILDING DRAIN LINE EXITING BUILDING. REFER TO DETAILS ON SHEET P5.2.
- MIN. INVERT ELEV. APPROX. 24" B.F.F. - COORDINATE WITH FOOTING DEPTH & SITE SANITARY SEWER LINE. MAINTAIN A MINIMUM OF 12" BELOW BOTTOM OF FOOTING.
- REFER TO SHEET SP1.0 FOR CONTINUATION.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION OR PORING THE SLAB, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.

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CHKD. BY: JH	
APPR. BY: JH	
DATE: 6-30-16	
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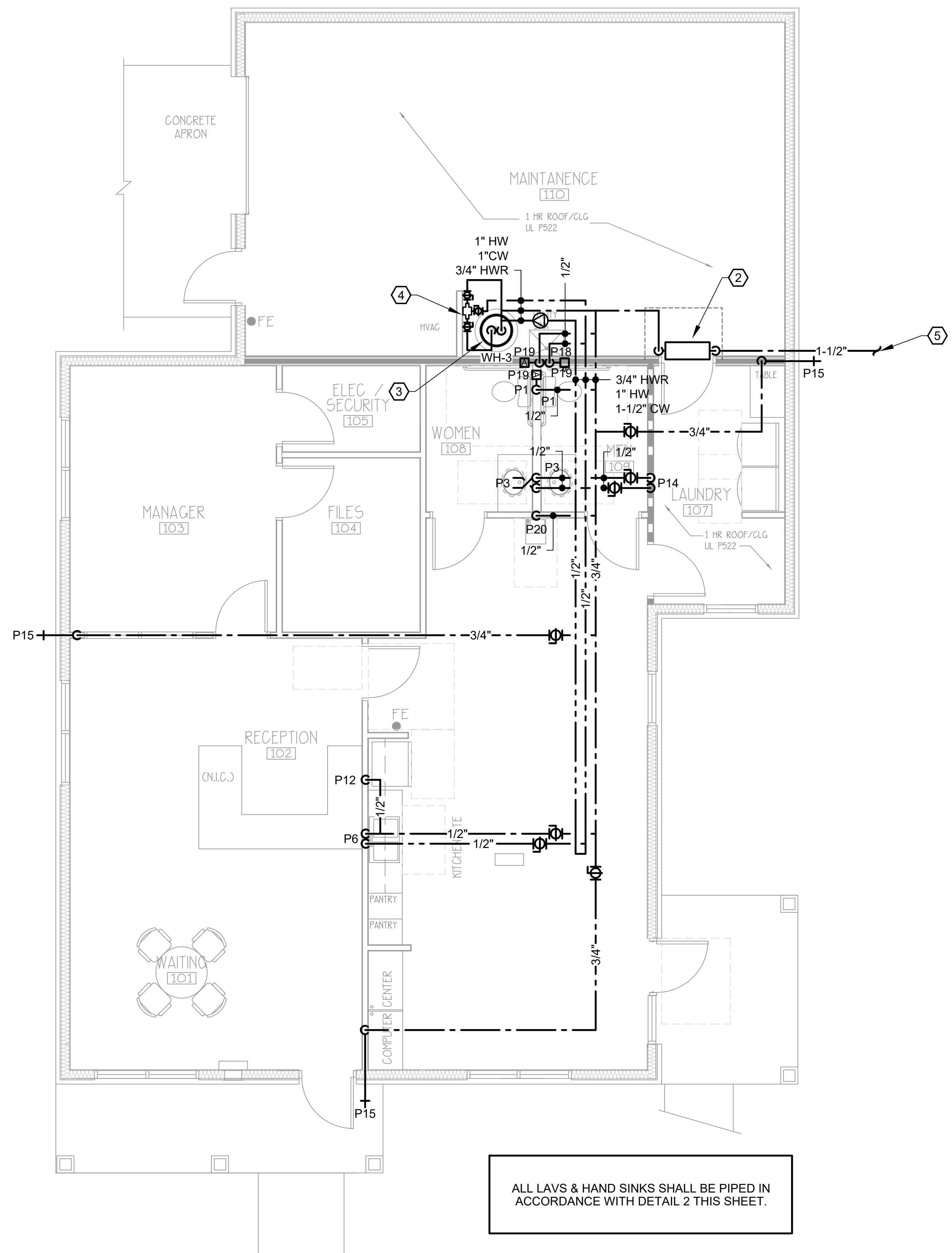
**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE FLOOR PLAN - WASTE & VENT**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912

865 / 689-1302  
5516 WALLWOOD ROAD





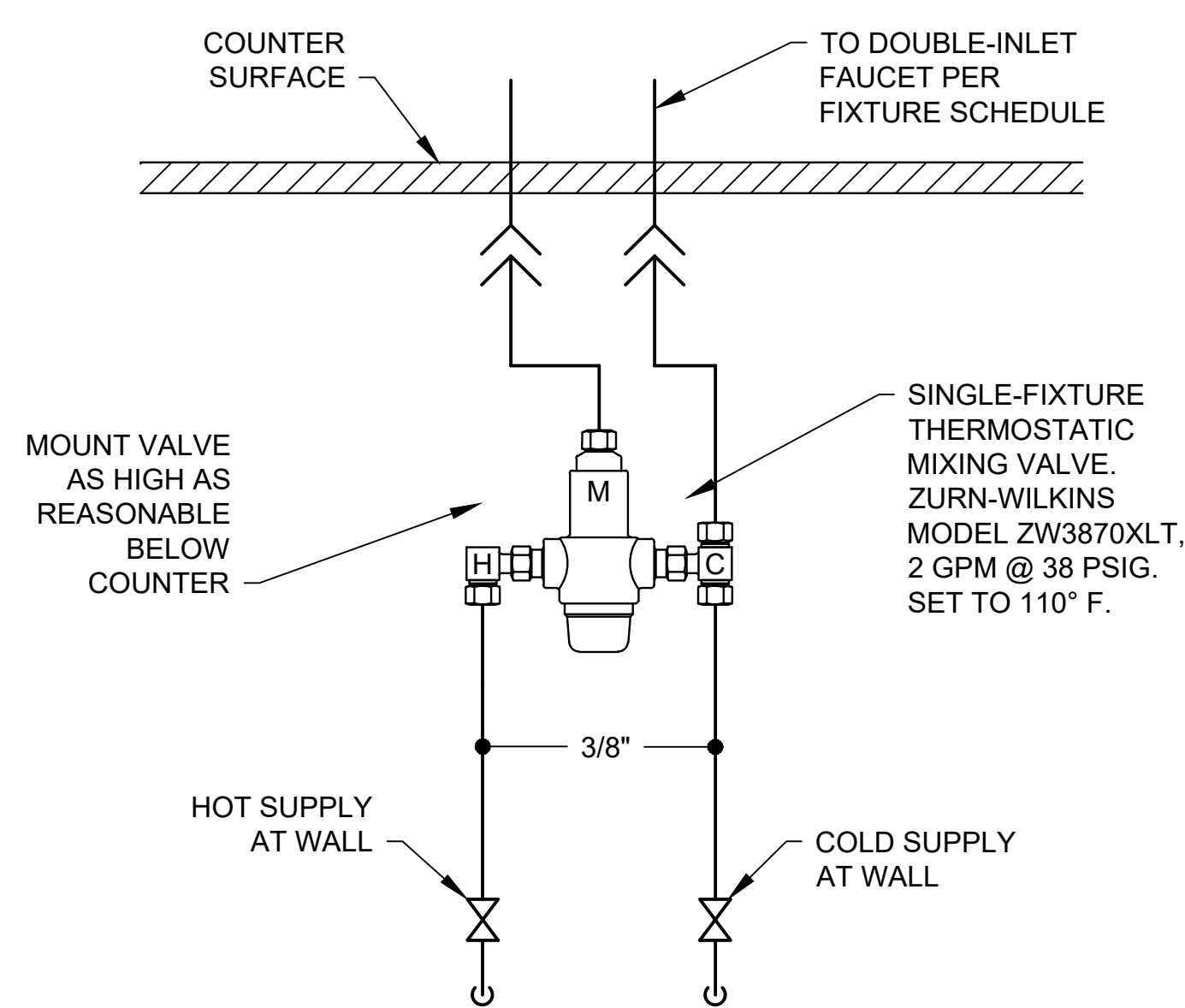
**DEMOLITION NOTES:**

- REMOVE ALL EXISTING WATER SERVICE PIPING, IF PRESENT, THAT SERVED DEMOLISHED OUT BUILDINGS. DISPOSAL BY CONTRACTOR.

**NOTES:**

- WATER PIPING ROUTED WITHIN ATTIC SPACE SHALL BE INSTALLED & INSULATED AS SCHEDULED ON SHEET P5.2. INSTALL ATTIC INSULATION AS SHOWN IN DETAIL 2 THIS SHEET. CONTRACTOR IS TO PRESSURE TEST PIPING PRIOR TO INSTALLING INSULATION.
- WATER SERVICE ENTRANCE. 1-1/2" SERVICE TO BUILDING, SIZE METER FOR 20 GPM. REFER TO DETAILS ON SHEET P5.1.
- NEW ELECTRIC WATER HEATER. REFER TO DETAILS ON SHEET P5.1.
- 140° TO 115° MIXING VALVE.
- 1-1/2" DOMESTIC WATER. CONTRACTOR TO FIELD VERIFY LOCATION OF SITE WATER PIPING FROM UTILITY AND TIE INTO.

UPON COMPLETION OF PLUMBING PIPING INSTALLATION & PRIOR TO DRYWALL INSTALLATION, THE GENERAL CONTRACTOR SHALL PROVIDE DIGITAL PHOTOGRAPHS TO THE ARCHITECT/ENGINEER. PROVIDE ADEQUATE NUMBER OF PHOTOS FROM MULTIPLE ANGLES TO SHOW INSTALLATION FULLY.



**NOTES:**

- TO BE INSTALLED AT ALL FIXTURES REQUIRING TEMPERED WATER IN ACCORDANCE WITH IPC 2012 SECTIONS 4 & 6.

**2** PIPING AT DOUBLE-INLET FAUCET  
NOT TO SCALE

**WALL LEGEND**

- INDICATES 1 HR RATED WALL. UL# U305
- TYPICAL INTERIOR PARTITION: 2x4 WD. STUDS • 16' O.C. W/ 5/8" GYP. BD. EA. SIDE. PROVIDE AND INSTALL 3" SOUND BATT W/IN ALL STUD CAVITIES
- INDICATES 1 HR RATED WALL. UL# U305 W/ PLYWD. ONE SIDE SEE STRUCT. DWG'S.

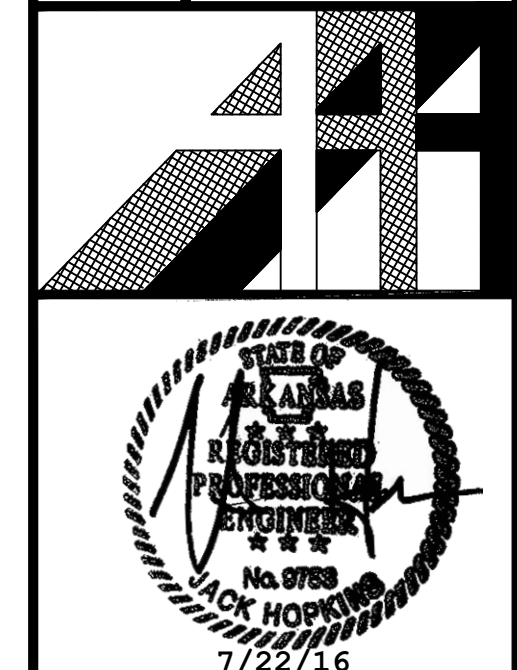
**1** COMMUNITY/OFFICE FLOOR PLAN - SERVICES  
SCALE: 1/4"=1'-0"

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APPR. BY: JH	
DATE: 6-30-16	
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1 7/22/16 - ADDENDUM 1	

**WHITE RIVER APARTMENTS**  
2900 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE FLOOR PLAN - SERVICES**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912  
865 / 689-1302  
5516 WALLWOOD ROAD



PLUMBING FIXTURE SCHEDULE

P1 - WATER CLOSET, FLOOR-MOUNT, FLUSH TANK, STANDARD & ADA \*\*  
1/2" CW, 4" WASTE

- FIXTURE: AMERICAN STANDARD CADET 3 FLOWISE, RIGHT HEIGHT, VITREOUS CHINA, WHITE, ELONGATED, 1.28 GPF, 16-1/2" RIM, ADA COMPLIANT
- TRAPWAY: 2-1/8" FULLY GLAZED
- SEAT: MOLDED WOOD, WHITE, ELONGATED, SS HINGE, WITH COVER
- STOP: 1/2"x3/8", WITH SUPPLY
- FLUSH HANDLE SHALL BE ON OPEN SIDE OF FIXTURE

P2 - LAVATORY, INTEGRAL CULTURED MARBLE \*\*  
1/2" CW, 1/2" HW, 1-1/4" WASTE

- FIXTURE: INTEGRAL CULTURED MARBLE PROVIDED BY OTHERS
- FAUCET: SYMMONS ORIGINS S-9612-1.5, SINGLE CONTROL HANDLE, 1.5 GPM FLOW RESTRICTOR, POLISHED CHROME
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: POP-UP DRAIN, CAST BRASS GRID DRAIN AND TAILPIECE
- TRAP: PVC W/CLEANOUT PLUG

P3 - LAVATORY, INTEGRAL CULTURED MARBLE, ADA \*\*  
1/2" CW, 1/2" HW, 1-1/4" WASTE

- FIXTURE: INTEGRAL CULTURED MARBLE PROVIDED BY OTHERS, ADA COMPLIANT
- FAUCET: SYMMONS ORIGINS S-9612-1.5, SINGLE CONTROL HANDLE, 1.5 GPM FLOW RESTRICTOR, POLISHED CHROME
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: POP-UP DRAIN, CAST BRASS GRID DRAIN AND TAILPIECE
- TRAP: PVC W/CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES
- THERMOSTATIC MIXING VALVE: ZURN-WILKINS MODEL ZW3870XLT, 2 GPM @ 38 PSIG, SET TP 110° F (NOT REQUIRED IN RESIDENTIAL ONLY APARTMENTS)

P4 - LAVATORY, WALL-HUNG, ADA \*\*  
1/2" CW, 1/2" HW, 1-1/4" WASTE

- FIXTURE: AMERICAN STANDARD, LUCERNE, WALL-HUNG, 20"x18", VITREOUS CHINA, WHITE, ADA COMPLIANT
- FAUCET: AMERICAN STANDARD 7385.000 RELIANT, SINGLE CONTROL HANDLE, 1.5 GPM FLOW RESTRICTOR, POLISHED CHROME
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8743-PC, CAST BRASS GRID DRAIN AND TAILPIECE
- TRAP: ZURN Z8700-PC, CAST BRASS, W/ CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES
- CARRIER: S-9 HANGER, CONCEALED ARMS W/ ESCUTCHEONS

P5 - DOUBLE-BOWL SINK \*\*  
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY CR3322, COUNTER MOUNT, 33"x22" DOUBLE-BOWL, STAINLESS STEEL
- FAUCET: SYMMONS S-23-3, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- CONTINUOUS WASTE: ZURN Z8751, CAST BRASS
- TRAP: PVC W/ CLEANOUT PLUG

P6 - DOUBLE-BOWL SINK, ADA \*\*  
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY GE3322, COUNTER MOUNT, 33"x22" DOUBLE-BOWL, STAINLESS STEEL, BACK DRAIN LOCATION
- FAUCET: SYMMONS S-23-3-1.5, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- CONTINUOUS WASTE: ZURN Z8751, CAST BRASS
- TRAP: PVC, W/CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES

P7 - SINGLE-BOWL SINK \*\*  
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY CR2522, COUNTER MOUNT, 25"x22" SINGLE-BOWL, STAINLESS STEEL
- FAUCET: SYMMONS S-23-3-1.5, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- TRAP: PVC W/ CLEANOUT PLUG
- GARBAGE DISPOSAL: INSINKERATOR BADGER 5, 1/2 HP, 120V/1PH, 6.9 AMP, 1725 RPM

P8 - SINGLE-BOWL SINK, ADA \*\*  
1/2" CW, 1/2" HW, 1-1/2" WASTE

- FIXTURE: ELKAY GE12522, COUNTER MOUNT, 25"x22" SINGLE-BOWL, STAINLESS STEEL, BACK CENTER DRAIN LOCATION
- FAUCET: SYMMONS S-23-3-1.5, SINGLE-HANDLE, POLISHED CHROME, 8-1/2" SWING SPOUT, 8" CENTERS, 1.5 GPM
- STOPS: ZURN Z8804RLK-PC, 1/2"x3/8", W/SUPPLIES
- DRAIN: ZURN Z8740-PC, BASKET STRAINER, DRAIN, AND TAILPIECE
- TRAP: PVC W/ CLEANOUT PLUG
- TRAP PROTECTOR: ZURN Z8946-1-NT, TRAP AND TWO SUPPLIES

P9 - TUB/SHOWER \*\*  
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: AMERICAN STANDARD PRINCETON RECESS BATH 2390/2391, 60"x30" BATH, VERIFY RIGHT HAND OUTLET/LEFT HAND OUTLET, PORCELAIN FINISH, STEEL/AMERICAST, END DRAIN OUTLET, INTEGRAL OVERFLOW OUTLET. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- SURROUND: SWANSTONE SS-60-5 TUB, SWANSTONE TK-6072 & TK-105 WALL PANEL TRIM KITS (FIELD VERIFY LEFT/RIGHT). COORDINATE WITH ARCHITECTURAL DRAWINGS, PROVIDE COLOR SELECTION CHART
- SHOWER FIXTURE: SYMMONS SYMMETRIX S-2002-1.5, POLISHED CHROME, 1.5 GPM
- PROVIDE 1.5 GPM FLOW RATE RESTRICTOR
- PRESSURE BALANCED MIXING VALVE
- SHOWER HEAD AND FLANGE
- INTEGRAL SERVICE STOPS
- VOLUME CONTROL ON HEAD
- BATHTUB DRAIN: POLISHED CHROME LEVER TYPE

P10 - ROLL-IN SHOWER SYSTEM, ADA \*\*  
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: SWANSTONE SHOWER FLOOR SBF-3060, 1/2" MAXIMUM THRESHOLD WITH RECESSED BEDDING/OPENING PROVIDED, PROVIDE COLLAPSIBLE DAM WITH END CAPS (RADIUS OR SQUARE END WALL TYPE), COLOR TO BE SELECTED BY ARCHITECT; THIS UNIT COMPLIES WITH ICC/ANSI A117.1-2009
- SURROUND: SWANSTONE WALL PANEL KIT SK-326072.010 & TRIM KIT TK-6072, COLOR TO BE SELECTED BY ARCHITECT.
- SHOWER FIXTURE: SYMMONS SAFETYMIX 1-117-FS, SHOWER SYSTEM WITH HAND SPRAY, POLISHED CHROME
- PROVIDE 1.5 GPM FLOW RATE RESTRICTOR
- PRESSURE BALANCED MIXING VALVE
- INTEGRAL SERVICE STOPS
- VOLUME CONTROL ON HEAD
- VACUUM BREAKER
- FLOW DIVERTER
- WALL/HAND SHOWER W/ 60" FLEXIBLE METAL HOSE, WALL CONNECTION AND FLANGE W/ 30" SLIDE BAR FOR MOUNTING HAND SHOWER
- GRAB BARS, SHOWER CURTAIN ROD & SEAT BY OTHERS (COORDINATE WITH ARCHITECTURAL DRAWINGS)
- DRAIN: KOHLER K9132

P11 - DISHWASHER  
1/2" HW, 3/4" WASTE (VERIFY)

- TIE INTO ADJACENT SINK DRAIN
- USE BRANCH STYLE TAILPIECE, DEARBORN BRASS OR EQUAL
- 1-1/2"x6" W/ 3/4" BRANCH
- VERIFY ALL SIZES & CONDITIONS

P12 - ICE MAKER CONNECTION  
1/2" CW

- FIXTURE: OATEY 39152 (LOW LEAD)
- QUARTER-TURN VALVES AND MOUNTED HAMMER ARRESTER

P13 - WASHING MACHINE OUTLET BOX  
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: OATEY 38655
- QUARTER-TURN VALVES AND MOUNTED HAMMER ARRESTER
- WASTE HOSE RECEPTOR

P14 - FIRE-RATED WASHING MACHINE OUTLET BOX  
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: OATEY 38478, FIRE-RATED
- QUARTER-TURN VALVES AND MOUNTED HAMMER ARRESTER
- WASTE HOSE RECEPTOR

P15 - WALL HYDRANT, NON-FREEZE  
3/4" CW

- FIXTURE: ZURN Z1320-NB
- ENCASED, BRONZE CASING
- NON-FREEZE, ANTI-SIPHON, AUTOMATIC DRAINING
- LOOSE KEY OPERATION

P16 - HUB DRAIN W/ TRAP SEAL  
2" WASTE

- FIXTURE: PROSET SYSTEMS TG23HD
- 2"x2" TRAP GUARD HUB DRAIN
- PROVIDE TRAP SEAL
- PROVIDE PROVIDE 6" TRANSITION FUNNEL FOR LARGER RECEPTACLE

P17 - FLOOR DRAIN WITH TRAP SEAL  
2" OR 3" WASTE (REFER TO PLANS)

- FIXTURE: ZURN Z415B
- PROSET SYSTEMS 3" FLEXIBLE INSERT, TG-33-Z
- POLISHED NICKEL BRONZE STRAINER
- CAST IRON BODY, BOTTOM OUTLET
- MEMBRANE CLAMP W/ ADJUSTABLE COLLAR

P18 - UTILITY SINK, COMPOSITE BASIN  
1/2" CW, 1/2" HW, 2" WASTE

- FIXTURE: ZURN MS2620, 26"x24" MOLDED COMPOSITE BASIN, COATED STEEL SELF-LEVELING LEGS
- DRAIN BODY TO MATCH WASTE PIPING
- FAUCET: ZURN Z843RC, 8" CENTERS, ADJUSTABLE, VACUUM BREAKER, SPOUT W/ HOSE TREAD OUTLET, PAIL HOOK AND WALL BRACE
- TRAP: PVC, W/CLEANOUT PLUG

P19 - WATER HAMMER ARRESTER  
SIZE PER PLANS

- FIXTURE: ZURN Z-1250
- PDI UNITS - AS NOTED
- STAINLESS STEEL
- BRASS RESIDENTIAL

P20 - WATER COOLER, SINGLE STATION, ADA  
1/2" CW, 1-1/4" WASTE

- FIXTURE: ELKAY EZS8, SINGLE-STATION, WALL-MOUNTED
- ADA COMPLIANT WHEN MOUNTED AT PROPER HEIGHT
- PUSH-BUTTON OPERATION
- SUPPLY: ZURN Z8806LK-PC, 1/2"x3/8"

P21 - SHOWER (TRENCH) DRAIN  
2" WASTE

- FIXTURE: ZURN Z890, 60"x7", 7" WIDE REVEAL TRENCH CHANNEL, 16 GA. STAINLESS STEEL
- 1.04% BUILT-IN SLOPE
- LOCKDOWN GRATE
- GRATE: 6" WIDE REVEAL PERFORATED STAINLESS STEEL GRATE
- PROVIDE END CAPS AND BOTTOM OUTLET

FCO - FLOOR CLEANOUT  
4" WASTE

- FIXTURE: ZURN Z1400-ZN
- CAST IRON BODY
- BRONZE PLUG, TAPERED THREAD
- POLISHED NICKEL BRONZE TOP

WCO - WALL CLEANOUT  
4" WASTE

- FIXTURE: ZURN Z1441-BP
- CAST IRON BODY
- BRONZE PLUG, TAPERED THREAD
- STAINLESS STEEL COVER, ROUND

BFP - REDUCED FLOW BACKFLOW PREVENTER  
SIZE PER PLANS

- FIXTURE: ZURN-WILKINS 975XL

BFP - REDUCED FLOW BACKFLOW PREVENTER  
SIZE PER PLANS

- FIXTURE: ZURN-WILKINS 375

PRV - PRESSURE REDUCING VALVE  
SIZE PER PLANS

- FIXTURE: ZURN-WILKINS 500

\* ACCEPTABLE MANUFACTURERS: KOHLER, MANSFIELD, AMERICAN STANDARD, ZURN, SWANSTONE, BRADLEY, AQUARIUS, SYMMONS, DELTA, MOEN, OATEY, ELKAY, WOODFORD, AQUARIUS, MUSTEE, BRIGGS & BOOTZ

\*\* WATER SENSE AND/OR WATER EFFICIENT PRODUCT THAT MEETS EPA & GREEN COMMUNITIES CRITERIA.

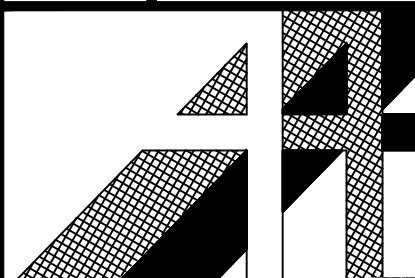
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WHITE RIVER APARTMENTS SCHEDULES - PLUMBING

2800 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC



SHEET NUMBER

P4.1

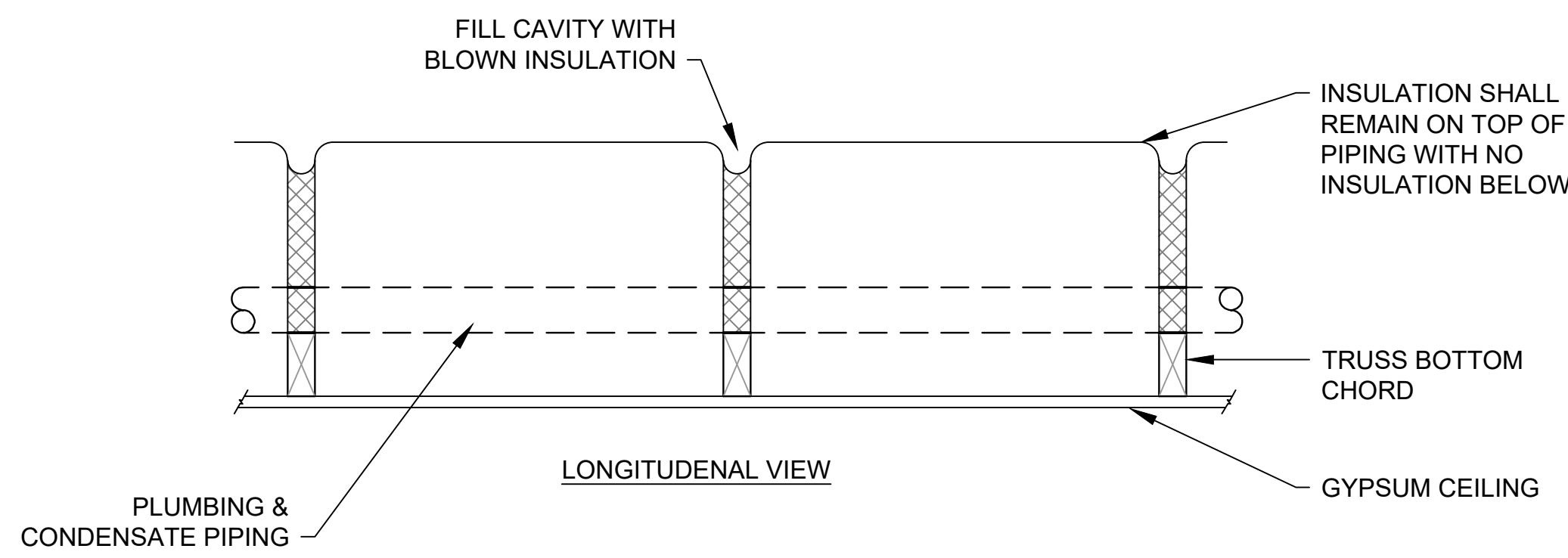
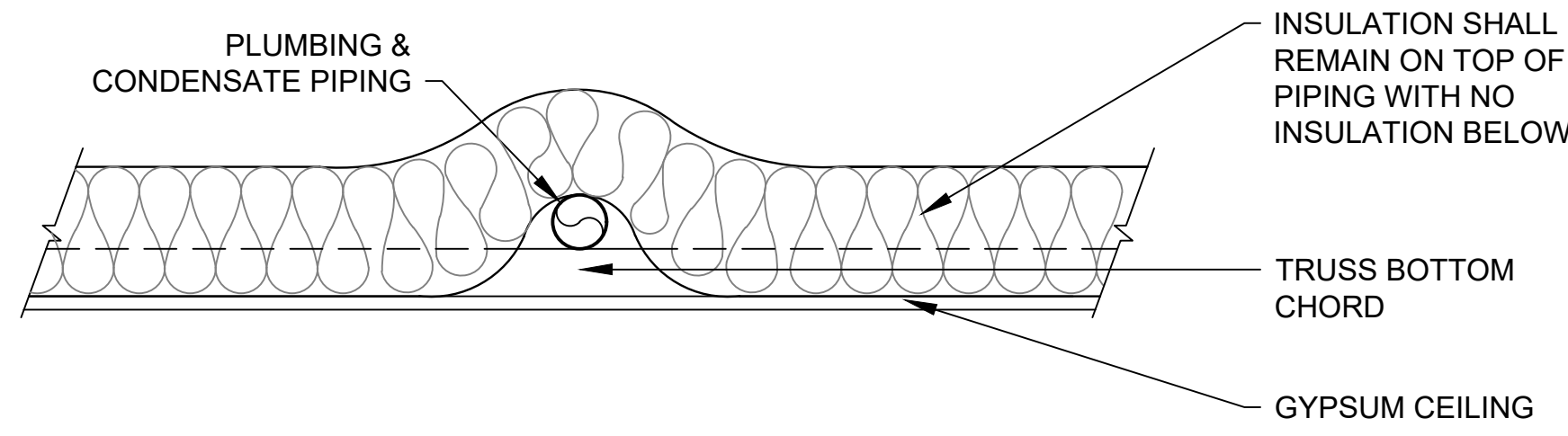
KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5616 WALLWOOD ROAD

ELECTRIC WATER HEATER SCHEDULE			
DESIGNATION	WH-1	WH-2	WH-3
PHYSICAL			
DIMENSIONS (DIA. x H)(IN.)	22x30	20x61.25	21x61.25
WEIGHT (DRY)	96	118	131
WEIGHT (WET)	330	450	550
PERFORMANCE			
CAPACITY (GAL)	28	40	50
KW (PER ELEMENT)	4.5	4.5	4.5
NUMBER OF ELEMENTS	2	2	2
KW (TOTAL)	4.5	4.5	4.5
RECOVERY (GPH), 90 DEG. RISE	21	21	21
ENERGY FACTOR	0.95	0.95	0.95
ELECTRICAL			
VOLTS/PH/Hz	240/1	240/1	240/1
BASIS OF DESIGN			
MANUFACTURER	STATE	STATE	STATE
MODEL NO.	EN6 30 DOLBS	EN6 40 DORT	EN6 50 DOBT
NOTES	1,2	1,2	1,2
1. ACCEPTABLE ALTERNATE MANUFACTURERS: A.O.SMITH, BRADFORD WHITE. 2. ELEMENTS SHALL BE NON-SIMULTANEOUS OPERATION.			

PIPING MATERIAL SCHEDULE									
SERVICE DESCRIPTION				PIPING				NOTES	
SERVICE DESCRIPTION	TEMP. (F) OPER. MAX	PRESSURE (PSI) OPER. MAX		PIPE SIZES (IN.)	PIPE MATERIAL	CONNECTION TYPE	FITTING TYPE		
CONCEALED POTABLE WATER (FINAL LENGTH TO FIXTURE)	50-160	180	40-80	100 PSI □ 180 DEG F	1/2-1	CROSS LINKED POLYETHYLENE ASTM F876/877	COPPER CRIMP	MOLDED POLYMER	ACCEPTABLE MANUFACTURERS: ZURN, UPONOR
INTERIOR POTABLE WATER (ABOVE GROUND)	50-160	180	40-80	200	1/2-2-1/2	COPPER ASTM B88 TYPE "L"	SOLDER JOINT	WROUGHT COPPER	
EXTERIOR WATER SERVICE (BELOW GROUND)	AMBIENT	140	40-100	200	3/4-2-1/2	PVC SCHEDULE 40 ASTM D-1785	SOLVENT JOINT	PVC SOCKET	
WASTE AND VENT (ABOVE GROUND)	AMBIENT	-	-	-	1-1/2-8	PVC-DWV ASTM D-2261 SCHEDULE 40	SOLVENT JOINT	PVC-DWV SOCKET	
BUILDING DRAIN (BELOW GROUND)	AMBIENT	-	-	-	2-6	PVC-DWV SCHEDULE 40 ASTM D-2261	SOLVENT JOINT	PVC-DWV SOCKET	
SITE SEWER	AMBIENT	-	-	-	8-12	ASTM D-3034 TYPE PSM SDR-35	RUBBER GASKET	-	
RAIN LEADERS AND CONDUCTORS (ABOVE GROUND)	AMBIENT	-	-	-	2-8	PVC-DWV SCHEDULE 40 ASTM D-2261	SOLVENT JOINT	PVC-DWV SOCKET	USE PREMOLDED PVC FOR FITTINGS
STORM DRAIN (BELOW GROUND)	AMBIENT	-	-	-	2-8	PVC-DWV SCHEDULE 40 ASTM D-2261	SOLVENT JOINT	PVC-DWV SOCKET	



1 ATTIC PIPING INSULATION DETAIL  
NOT TO SCALE

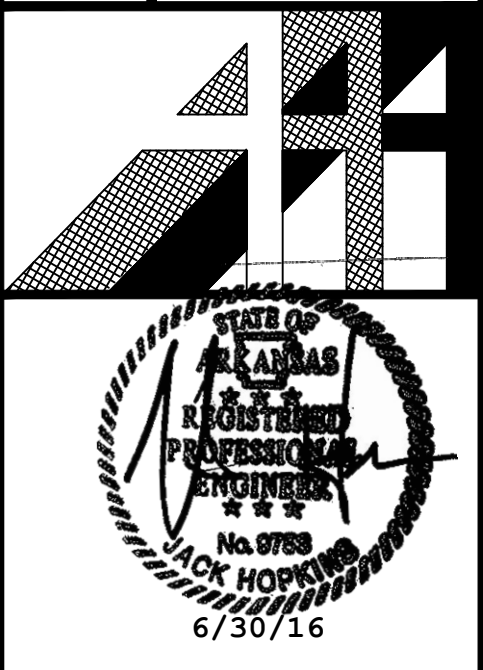
PIPE INSULATION SCHEDULE								
FLUID TYPE	TEMPERATURE RANGE (F)	NOMINAL PIPE OR TUBE SIZE (IN)					INSULATION TYPE	JACKETING TYPE
		1 OR LESS	1 TO 1-1/4	1-1/2 TO 3	4 TO 6	8		
DOMESTIC HOT WATER	110-140	1	1	1.5	1.5	1.5	ELASTOMERIC	N/R
DOMESTIC COLD WATER	40-80	.5	.5	1	1	1	ELASTOMERIC	N/R
COIL OR COLD CONDENSATE (NOTE 2)	40-60	.5	.5	1	1	1	ELASTOMERIC	N/R
REFRIGERANT LIQUID	VARIABLES	1"	1"	1"	N/A	N/A	ELASTOMERIC	N/R
REFRIGERANT SUCTION	VARIABLES	1"	1"	1"	N/A	N/A	ELASTOMERIC	N/R

1. THESE VALUES ARE COMPLIANT WITH THE 2012 INTERNATIONAL ENERGY CODE.  
 2. INSULATE EXPOSED SANITARY PIPING THAT CARRIES COLD CONDENSATE (I.E. AN ICE MACHINE) FOR 10-FOOT DISTANCE FROM FLOOR OR HUB DRAIN.  
 2. ELASTOMERIC INSULATION: INSULATE PIPING WITH CLOSED CELL ELASTOMERIC CELLULAR (I.E. ARMAFLEX) INSULATION, HAVING AN ANTI-MICROBIAL AGENT FOR MOLD RESISTANCE.

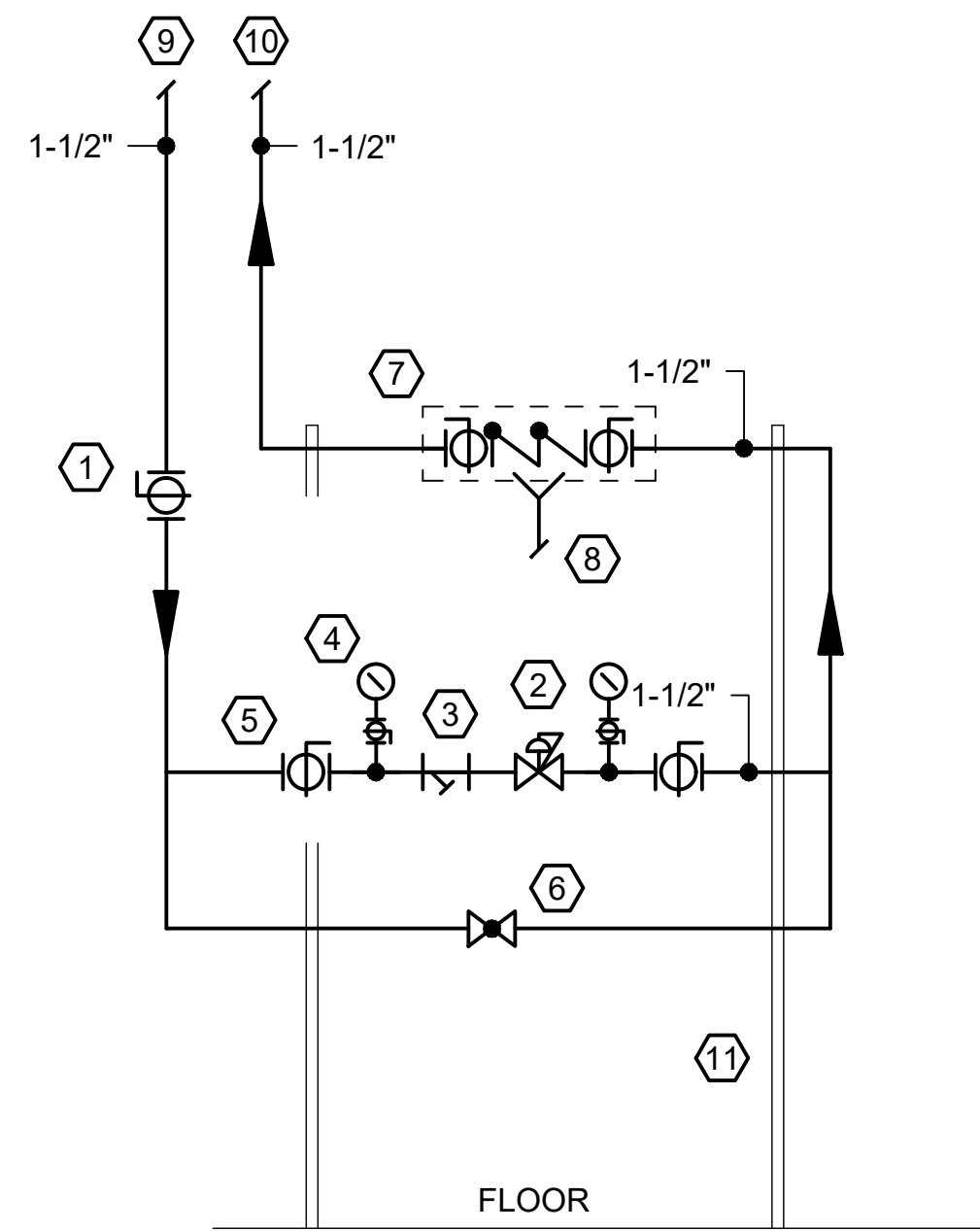
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WHITE RIVER APARTMENTS SCHEDULES & DETAILS - PLUMBING  
 2900 MARION DRIVE DIAZ, ARKANSAS

ALLAN ASSOCIATES ARCHITECTS, PLLC  
 5616 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912  
 865 / 689-1302

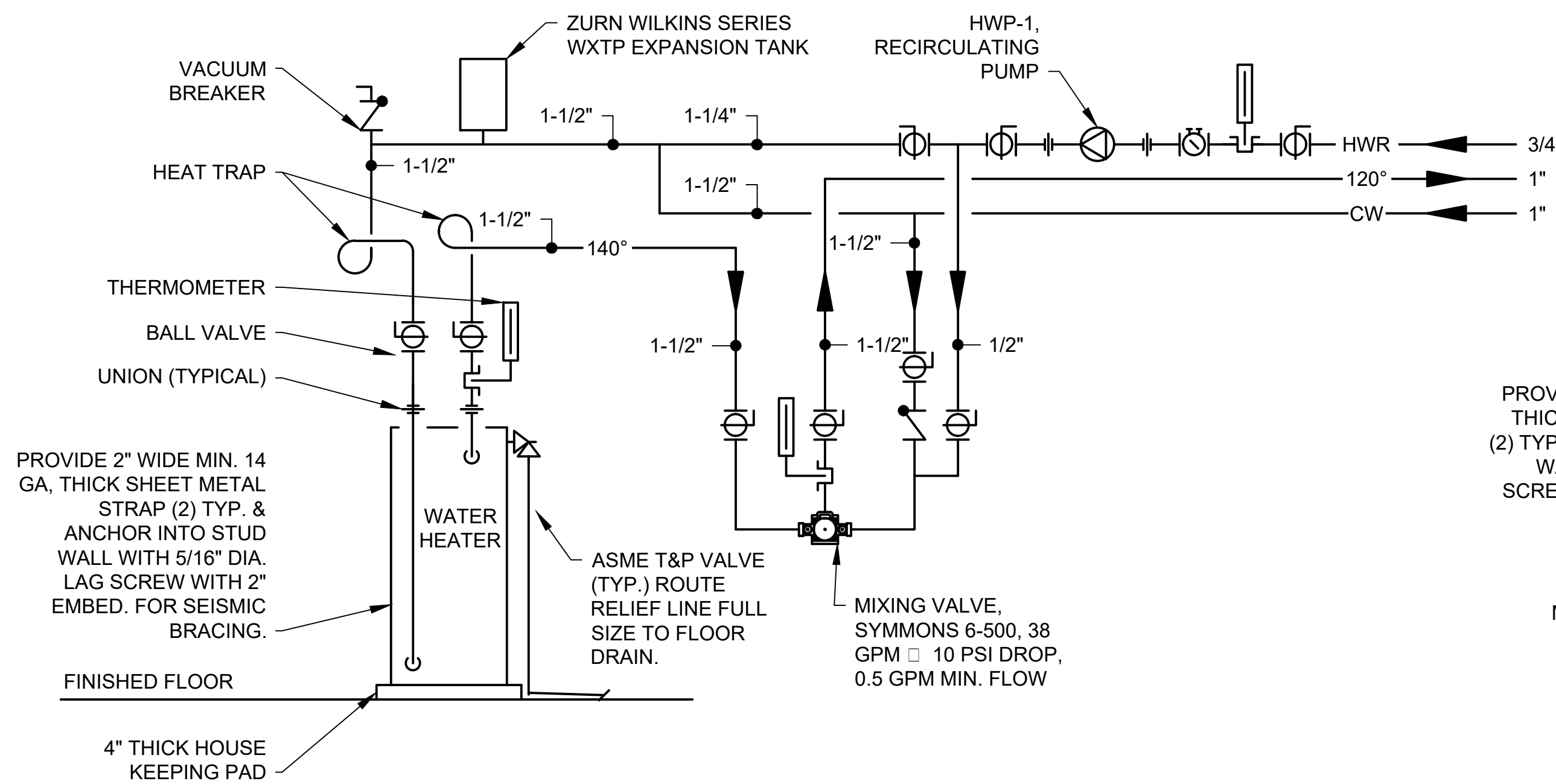




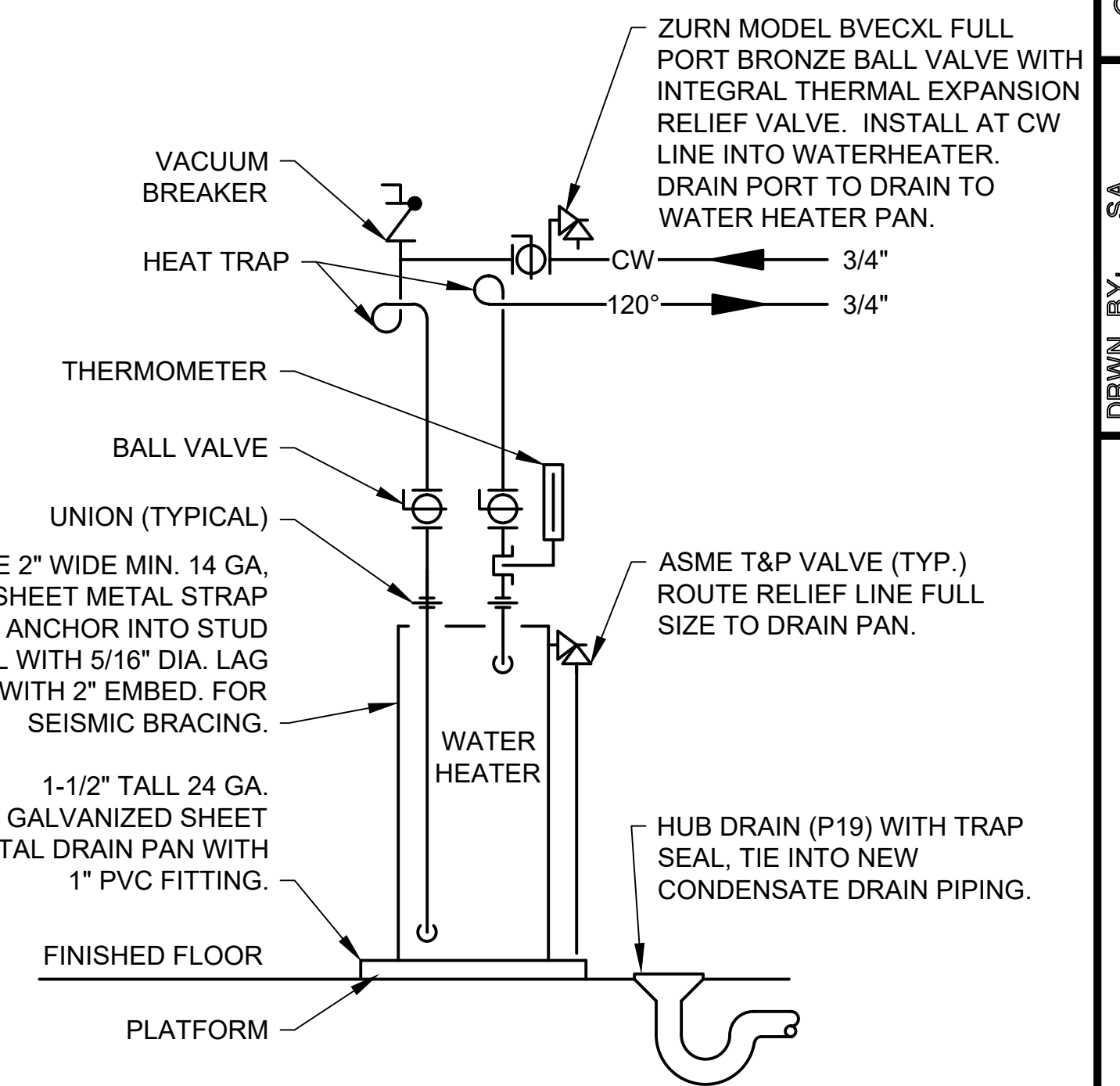


- ① ISOLATION VALVE. USE BALL OR BUTTERFLY VALVES.
- ② PRESSURE REDUCING VALVE.
- ③ STRAINER, PER PLUMBING CODE.
- ④ PRESSURE GAGE (TYPICAL).
- ⑤ ISOLATION VALVE. USE BALL OR BUTTERFLY VALVES.
- ⑥ NORMALLY CLOSED GLOBE VALVE BYPASS.
- ⑦ REDUCED PRESSURE BACKFLOW PREVENTER WITH ISOLATION VALVES.
- ⑧ DRAIN WITH AIR GAP, MIN. 4" DRAIN. VERIFY WITH AUTHORITY HAVING JURISDICTION. ROUTE DISCHARGE TO FLOOR DRAIN.
- ⑨ UNREGULATED COLD WATER SUPPLY FROM WATER METER/UTILITY.
- ⑩ REGULATED COLD WATER SUPPLY TO BUILDING.
- ⑪ ANGLE AND/OR UNISTRUT SUPPORT AS REQUIRED FROM FLOOR/WALL.

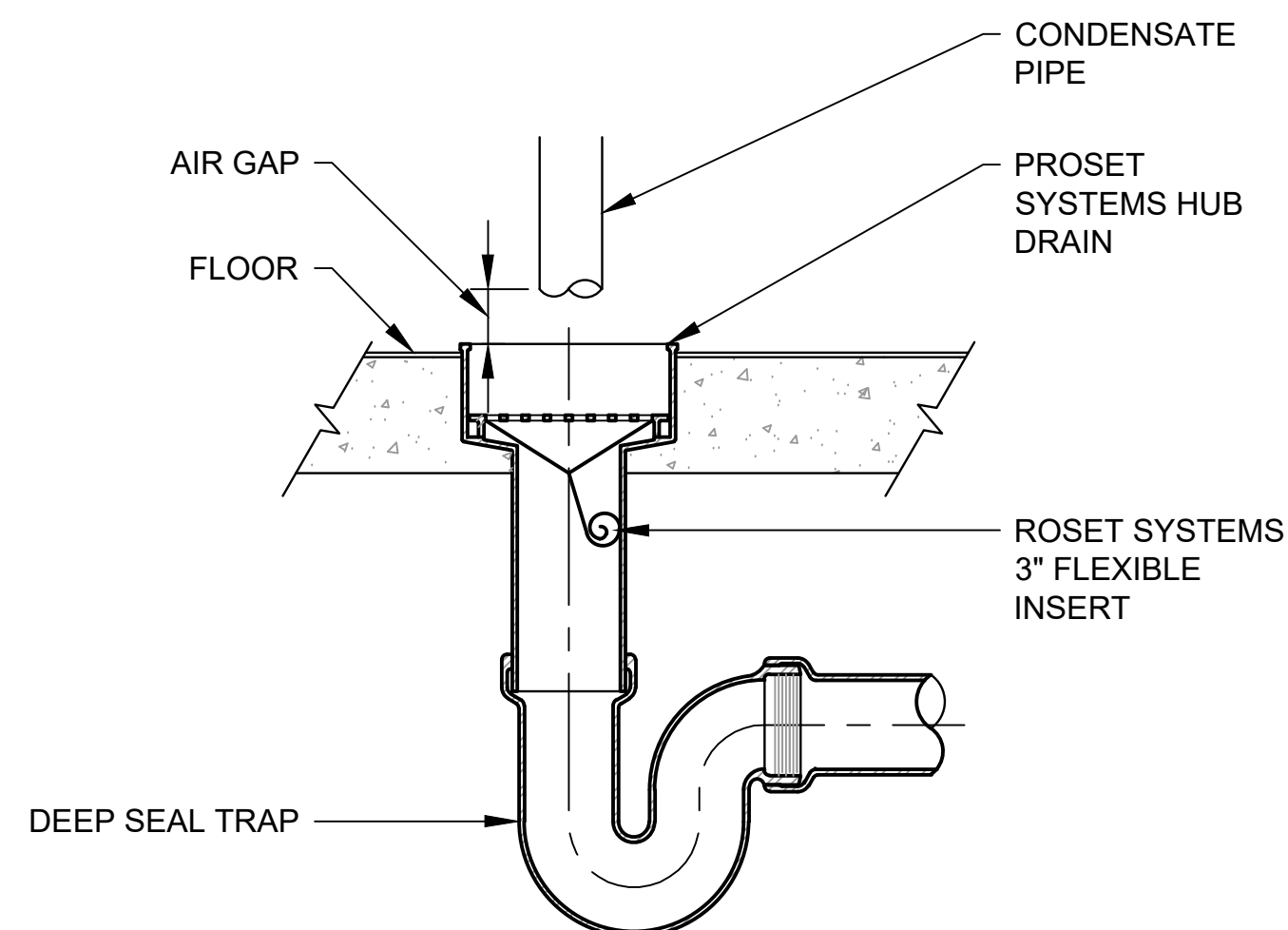
1 WATER SERVICE DETAIL  
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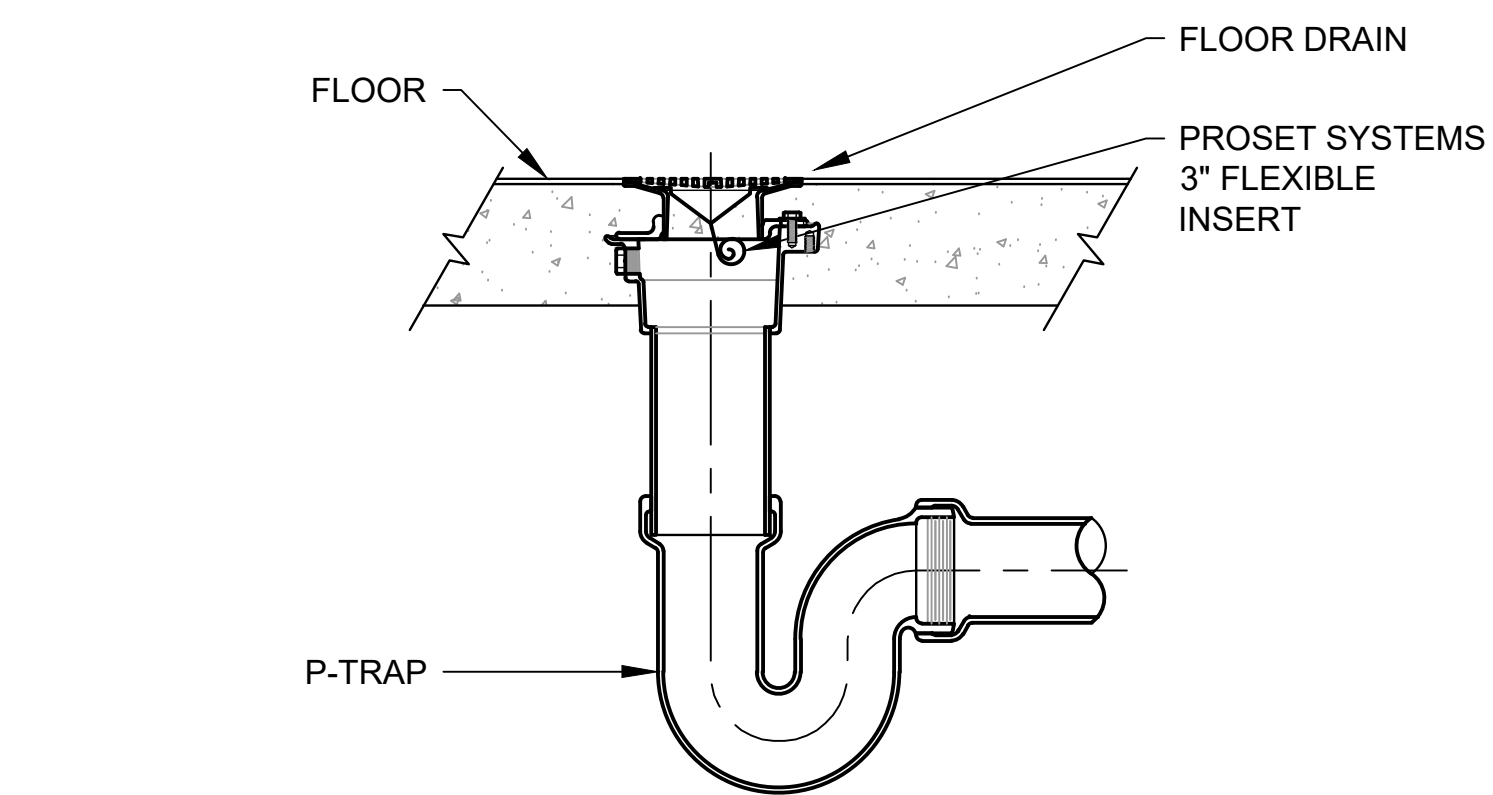
2 WATER HEATER (WH-3) COMMUNITY BUILDING PIPING  
NOT TO SCALE



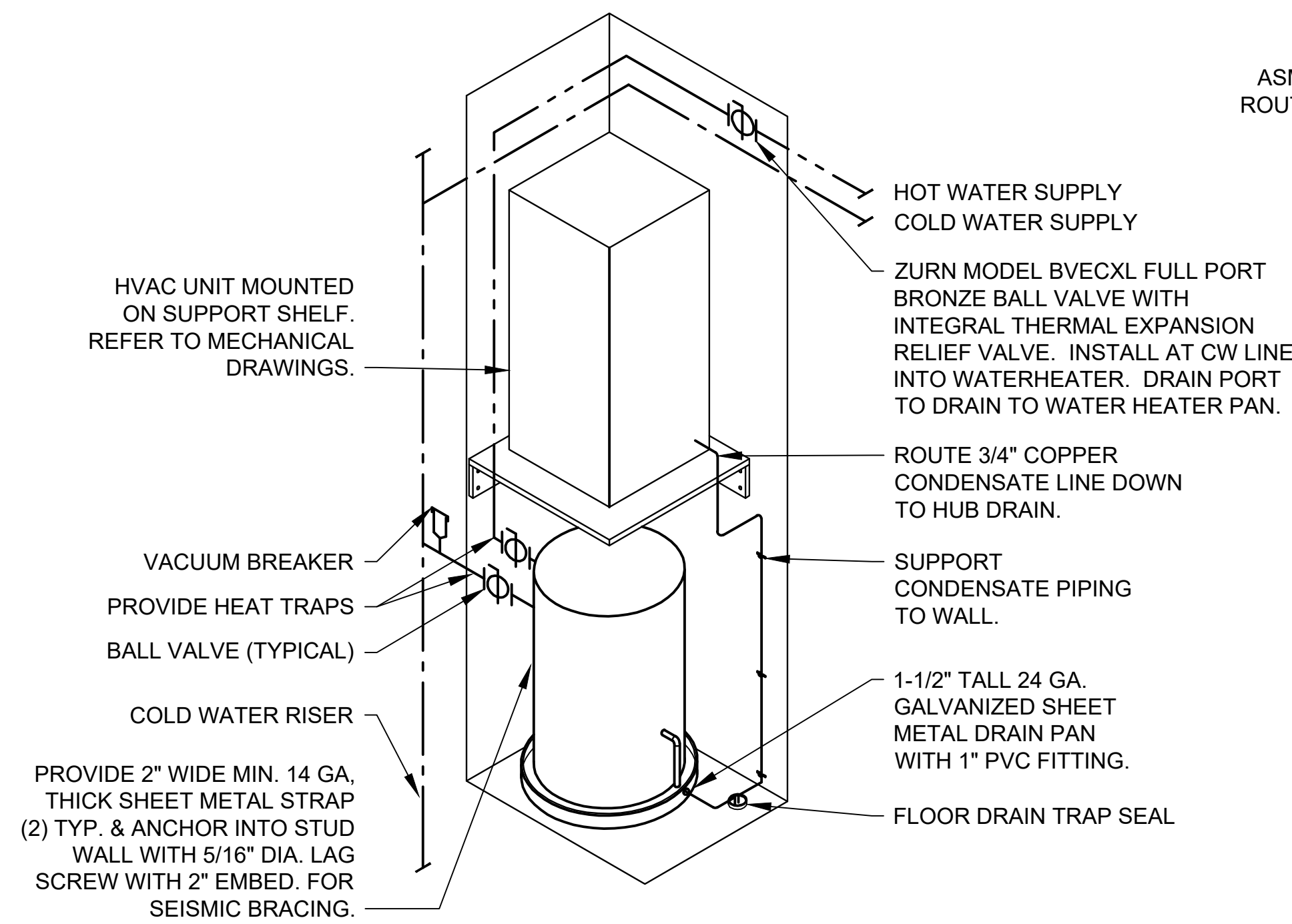
3 WATER HEATER (WH-2/WH-3) APARTMENT PIPING DETAIL  
NOT TO SCALE



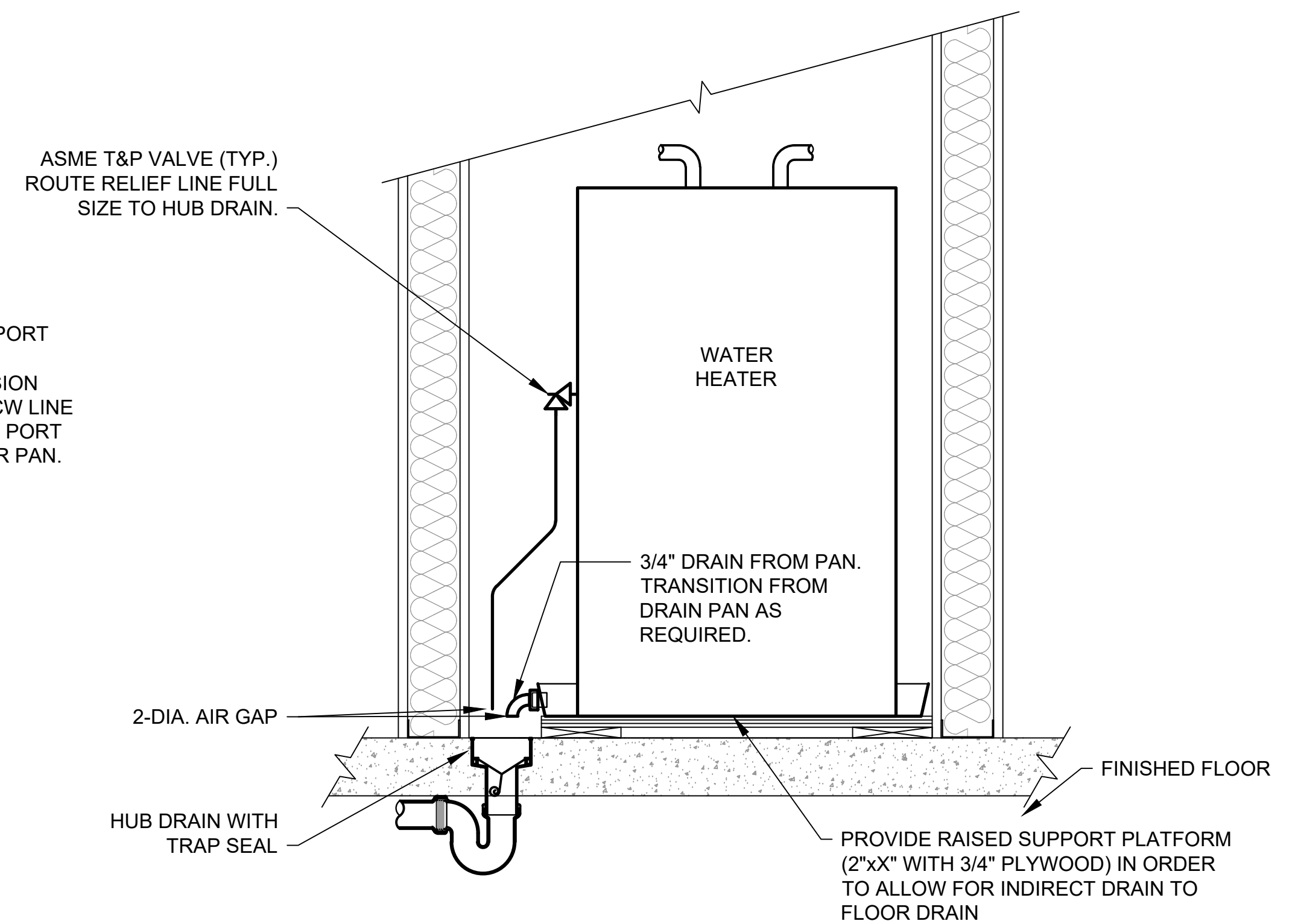
4 HUB DRAIN DETAIL  
NOT TO SCALE



5 FLOOR DRAIN W/ TRAP SEAL DETAIL  
NOT TO SCALE



6 WATER HEATER (WH-1) PIPING DETAIL  
NOT TO SCALE



7 WATER HEATER DRAIN/T&P VALVE DETAIL  
NOT TO SCALE

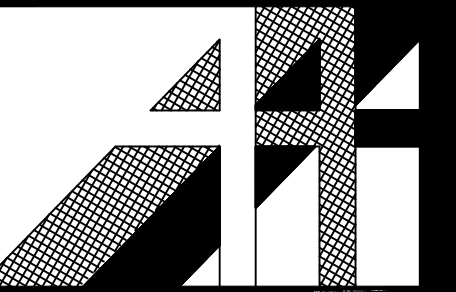
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WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

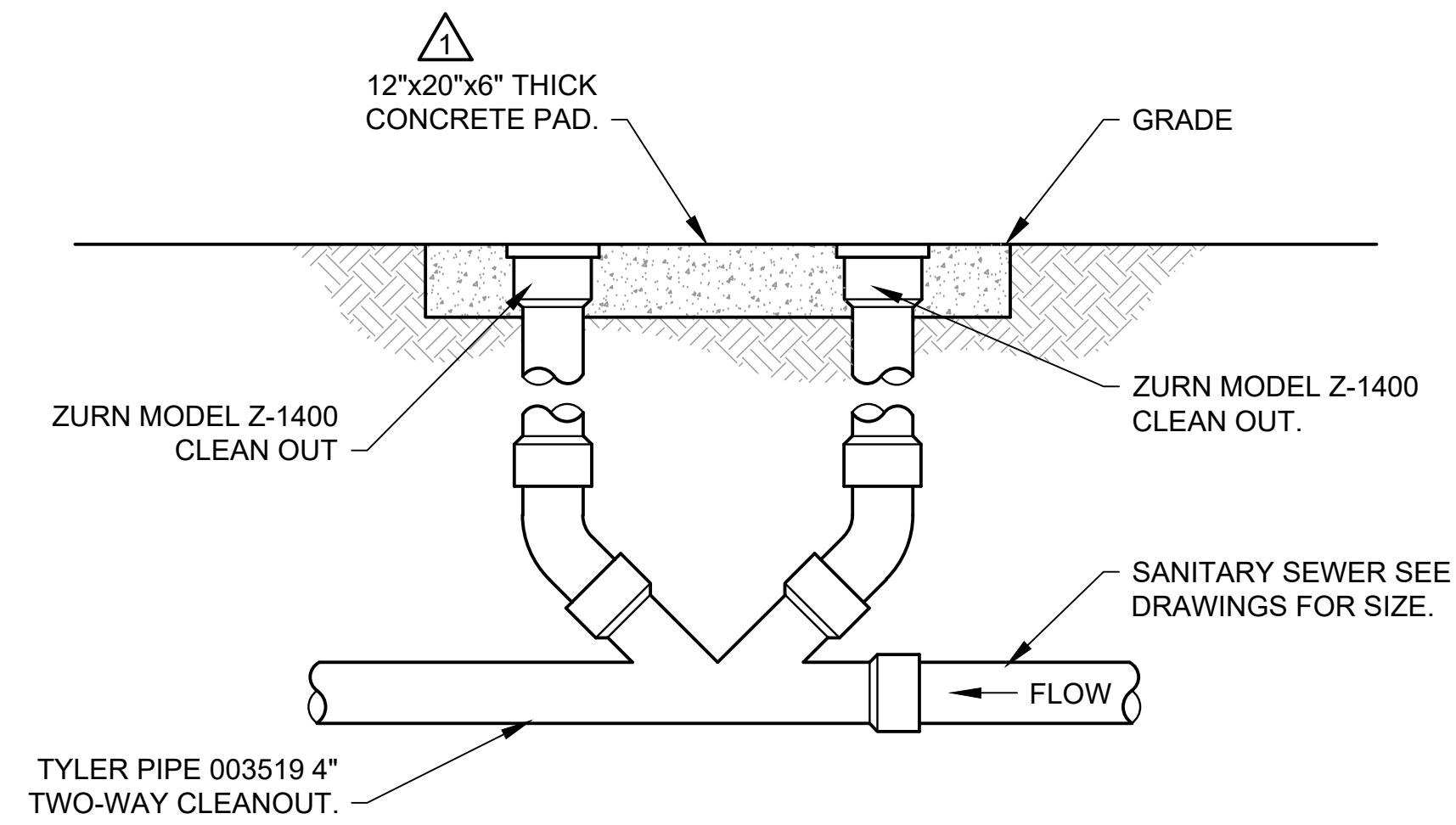
DETAILS - PLUMBING  
ALLAN ASSOCIATES ARCHITECTS, PLLC

5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912  
865 / 689-1302

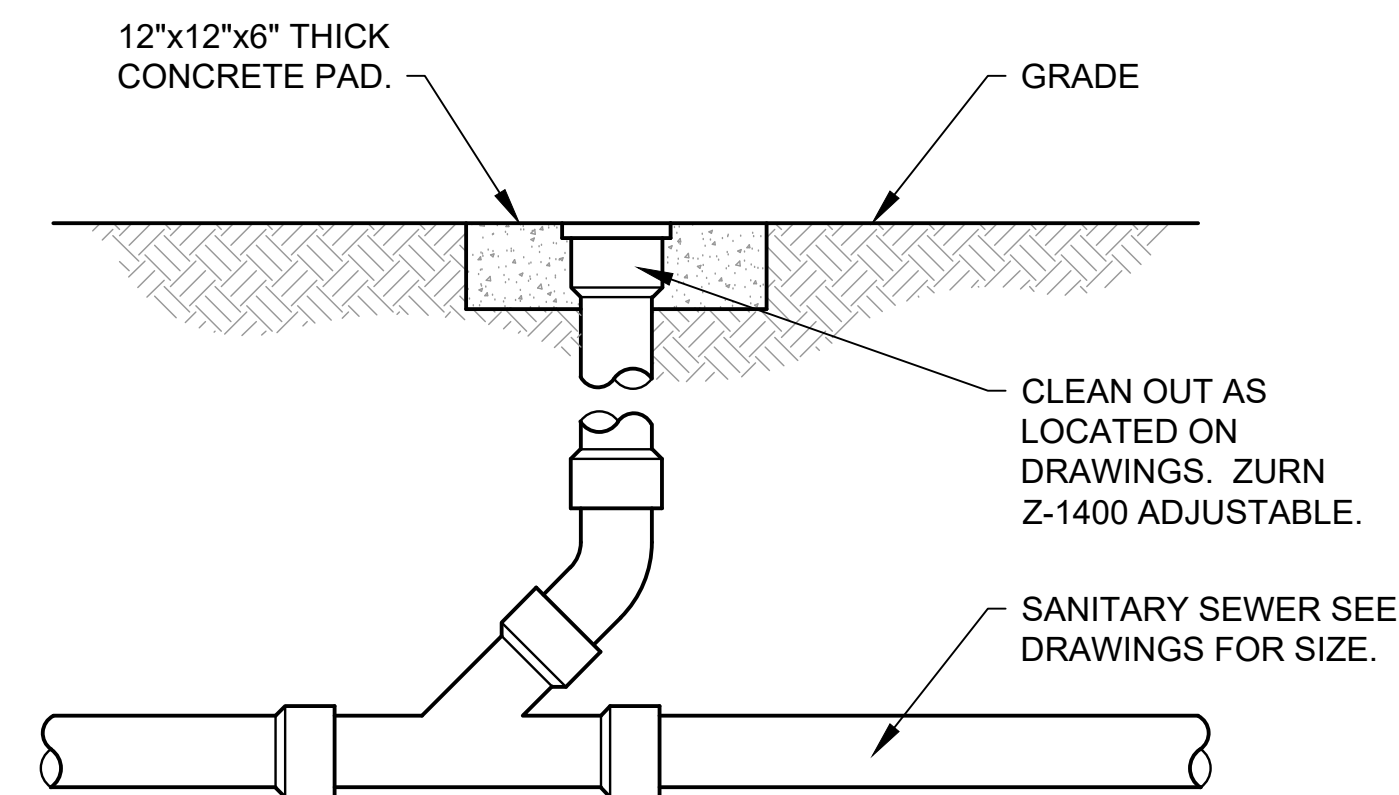


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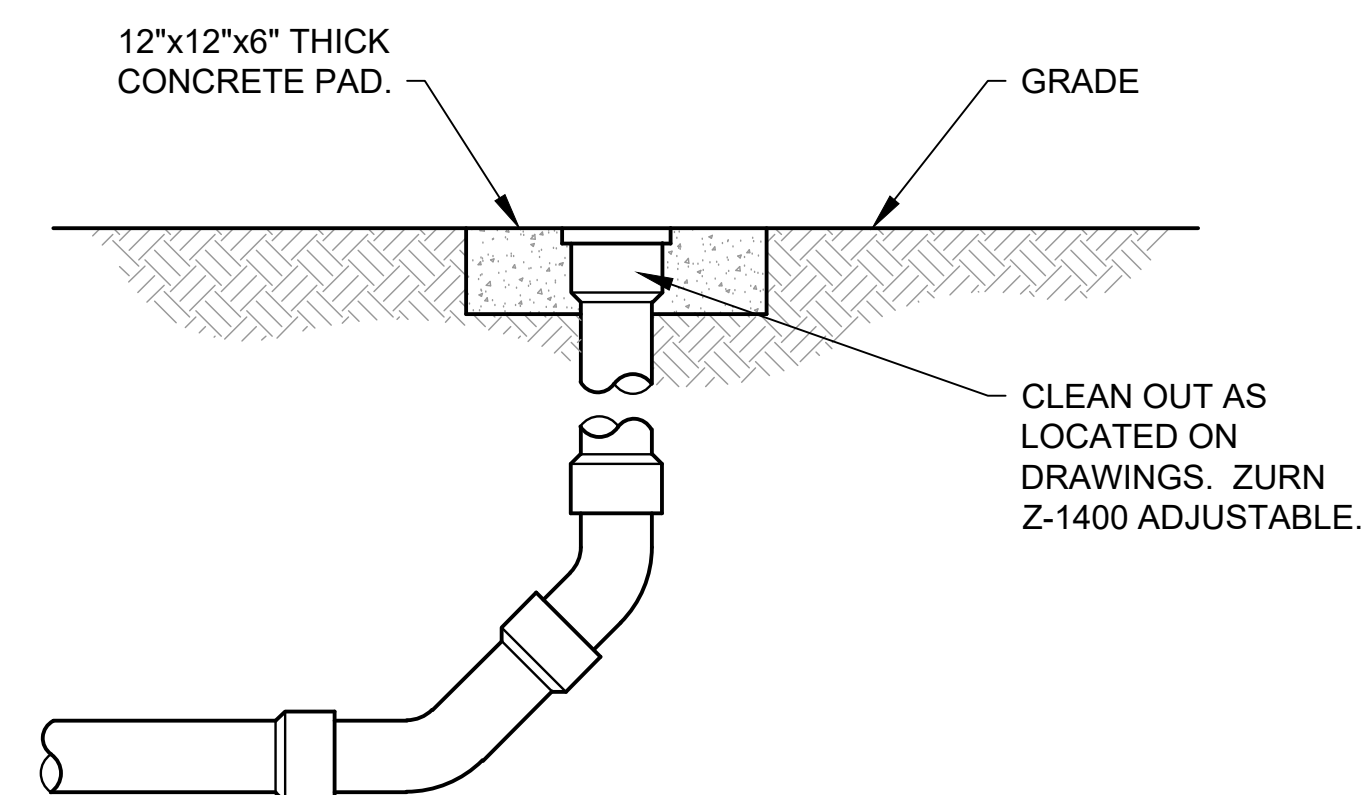
P5.1



1 EXTERIOR CLEANOUT DETAIL  
NOT TO SCALE

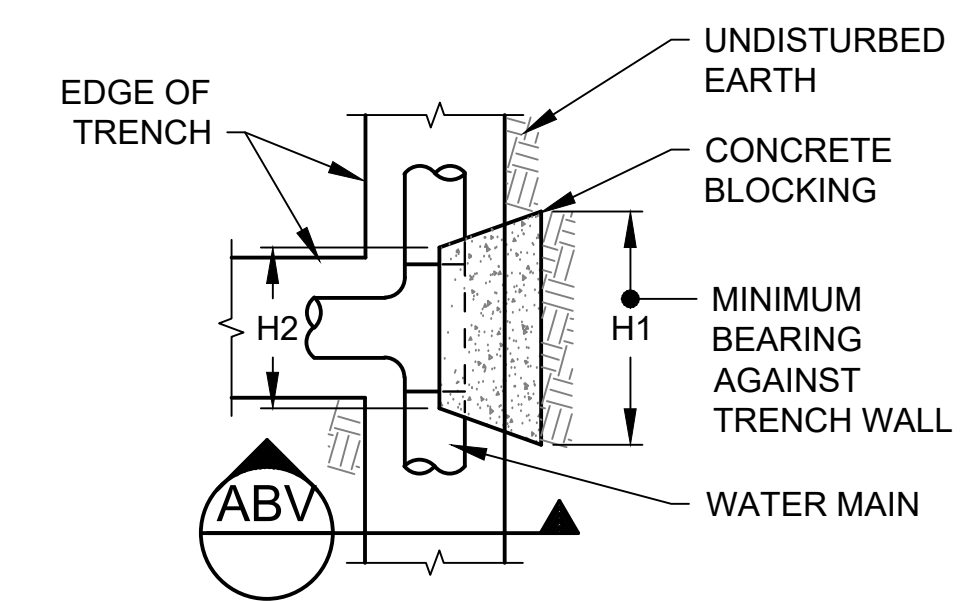
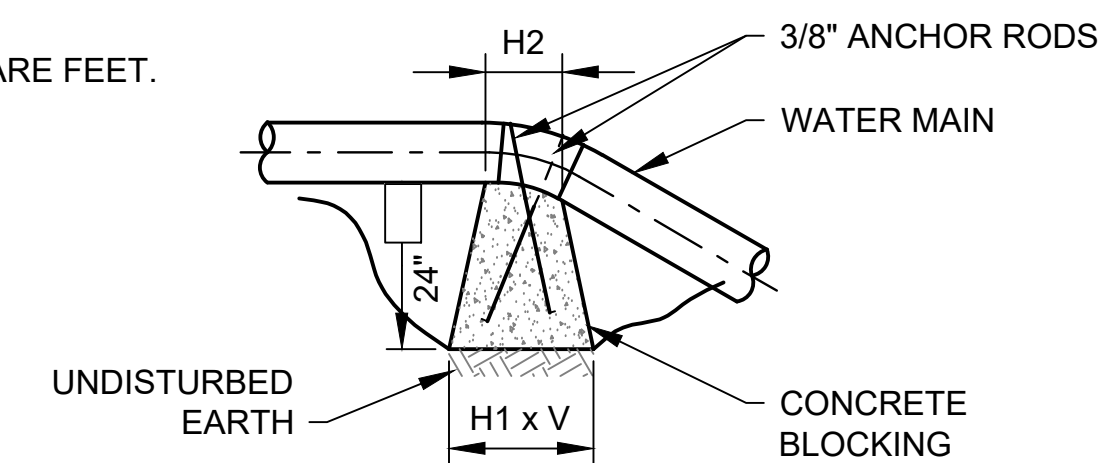
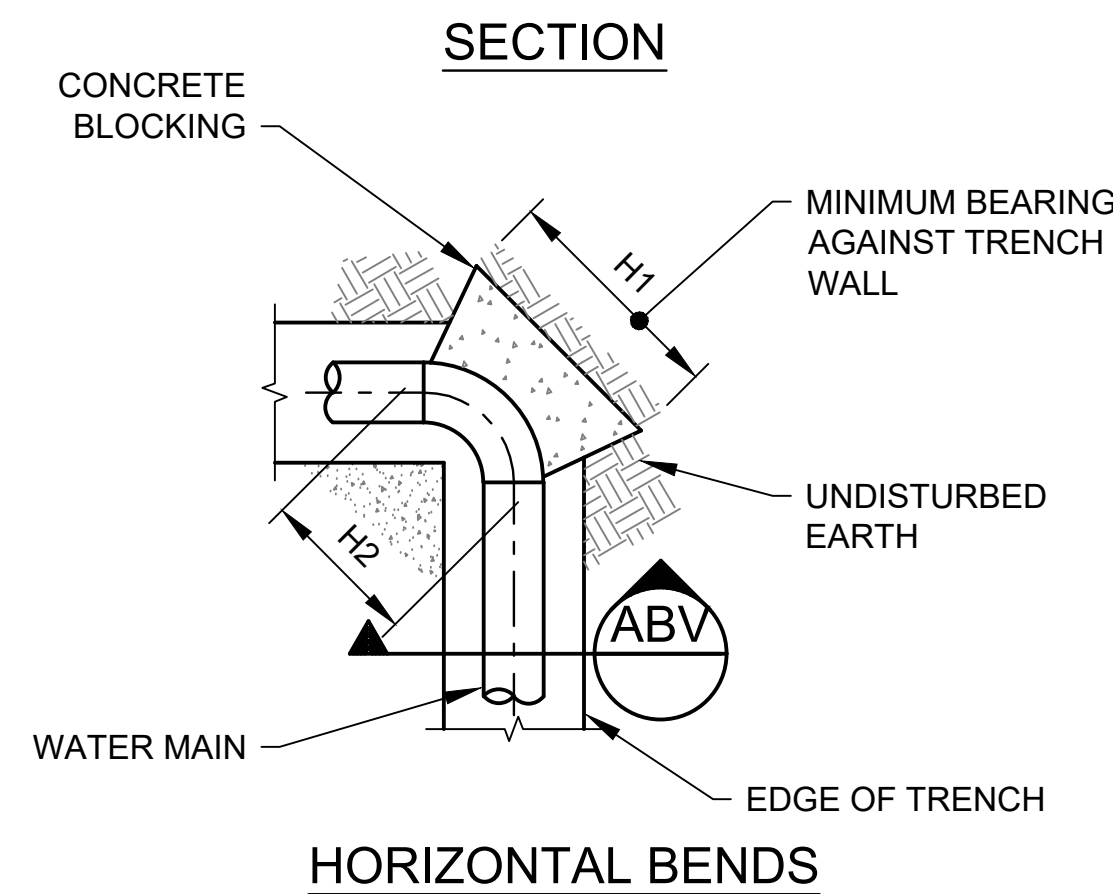
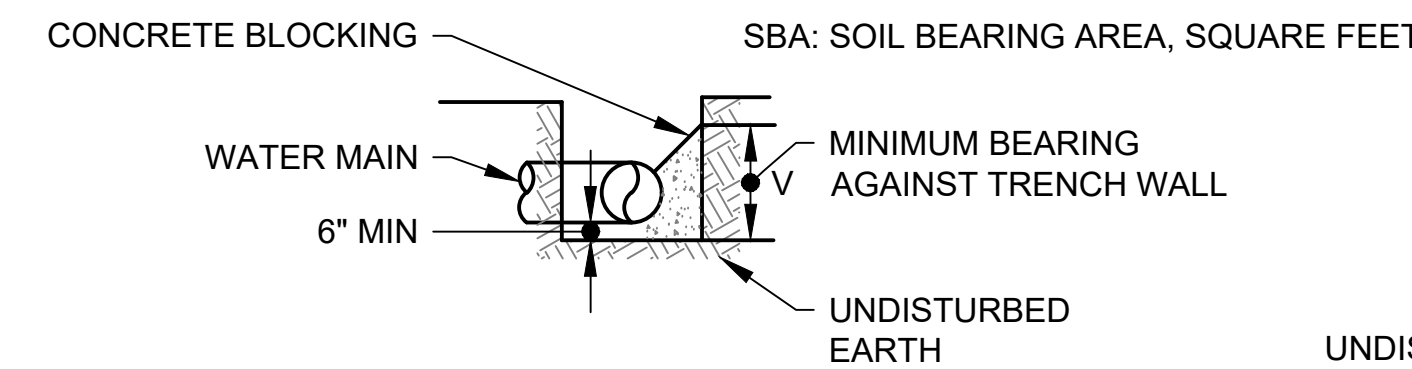


2 EXTERIOR CLEANOUT DETAIL  
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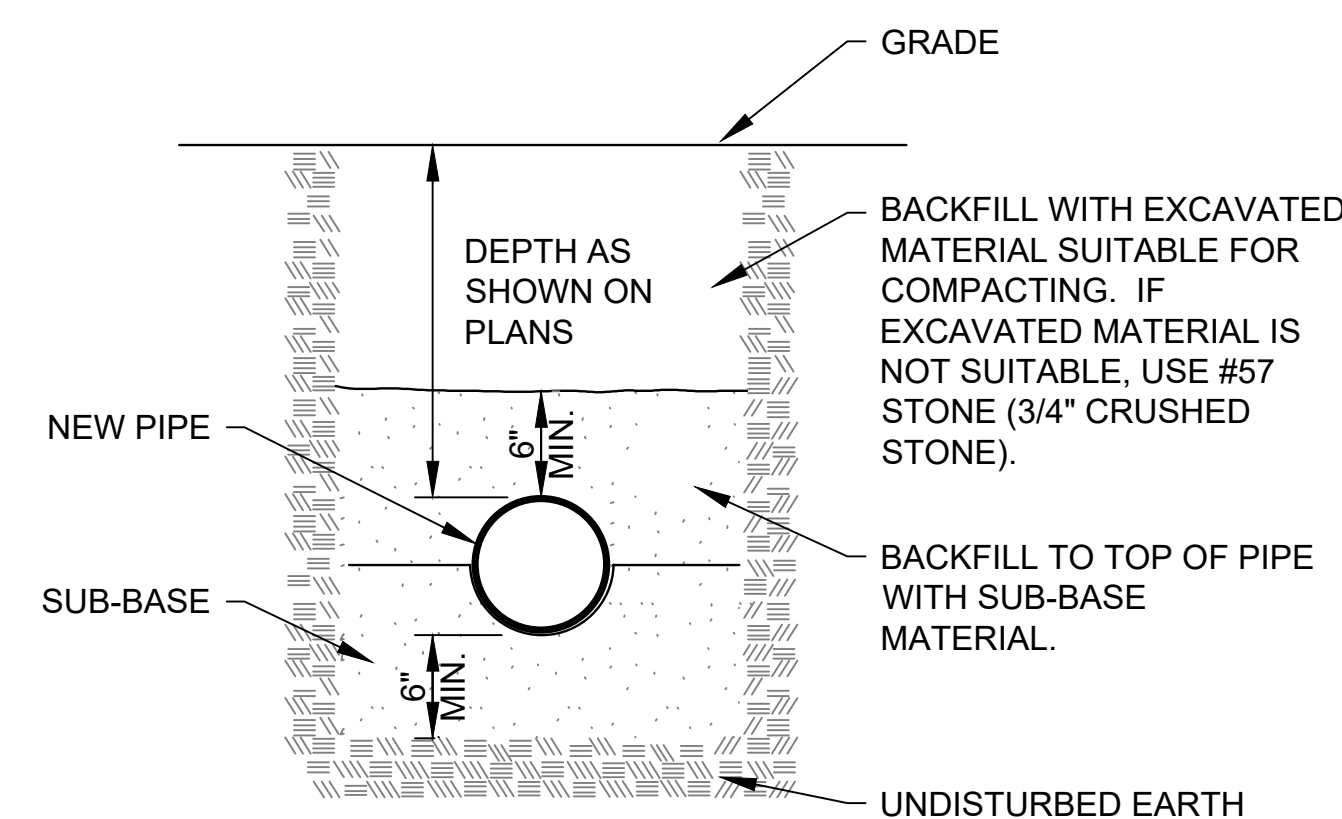


3 EXTERIOR CLEANOUT DETAIL  
NOT TO SCALE

THRUST BLOCK DIMENSION SCHEDULE																				
PIPE SIZE	TEES AND CROSSES				90° BENDS				45° BENDS				22° BENDS				11° BENDS			
	H1	H2	V	SBA	H1	H2	V	SBA	H1	H2	V	SBA	H1	H2	V	SBA	H1	H2	V	SBA
UP TO 2-1/2"	16"	10"	12"	1.32	22"	14"	12"	1.8	14"	10"	12"	1.1	14"	10"	12"	1.1	14"	10"	12"	1.1
3" & 4"	20"	14"	12"	1.6	24"	16"	14"	2.3	16"	10"	12"	1.3	16"	10"	12"	1.3	16"	10"	12"	1.3
6"	30"	22"	14"	2.9	34"	26"	18"	4.2	22"	16"	14"	2.1	22"	16"	14"	2.1	22"	16"	14"	2.1
8"	32"	24"	16"	3.5	36"	28"	20"	5.0	24"	18"	16"	2.7	24"	18"	16"	2.7	24"	18"	16"	2.7
10"	36"	28"	20"	5.0	42"	32"	24"	7.0	32"	24"	18"	4.0	32"	24"	18"	4.0	32"	24"	18"	4.0



4 THRUST BLOCK DETAILS AND SCHEDULE  
NOT TO SCALE



NOTES:

1. SUB-BASE MATERIAL SHALL BE WELL GRADED SAND, GRAVEL, OR CRUSHED STONE WITH 100% PASSING A 3/8" SIEVE. PREFORM SUB-BASE FOR CYLINDRICAL PIPE, ENSURING UNIFORM, CONTINUOUS SUPPORT.
2. COORDINATE WITH LOCAL UTILITY AND MEET ALL REQUIREMENTS FOR PIPE BEDDING.

5 PIPE BEDDING DETAIL  
NOT TO SCALE

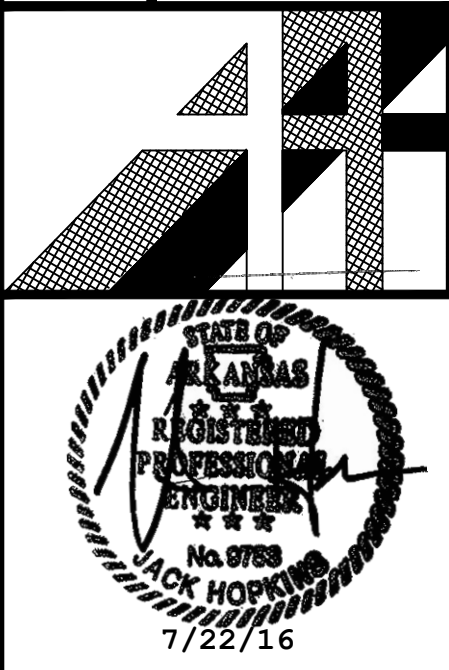
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WHITE RIVER APARTMENTS  
2900 MARION DRIVE  
DIAZ, ARKANSAS

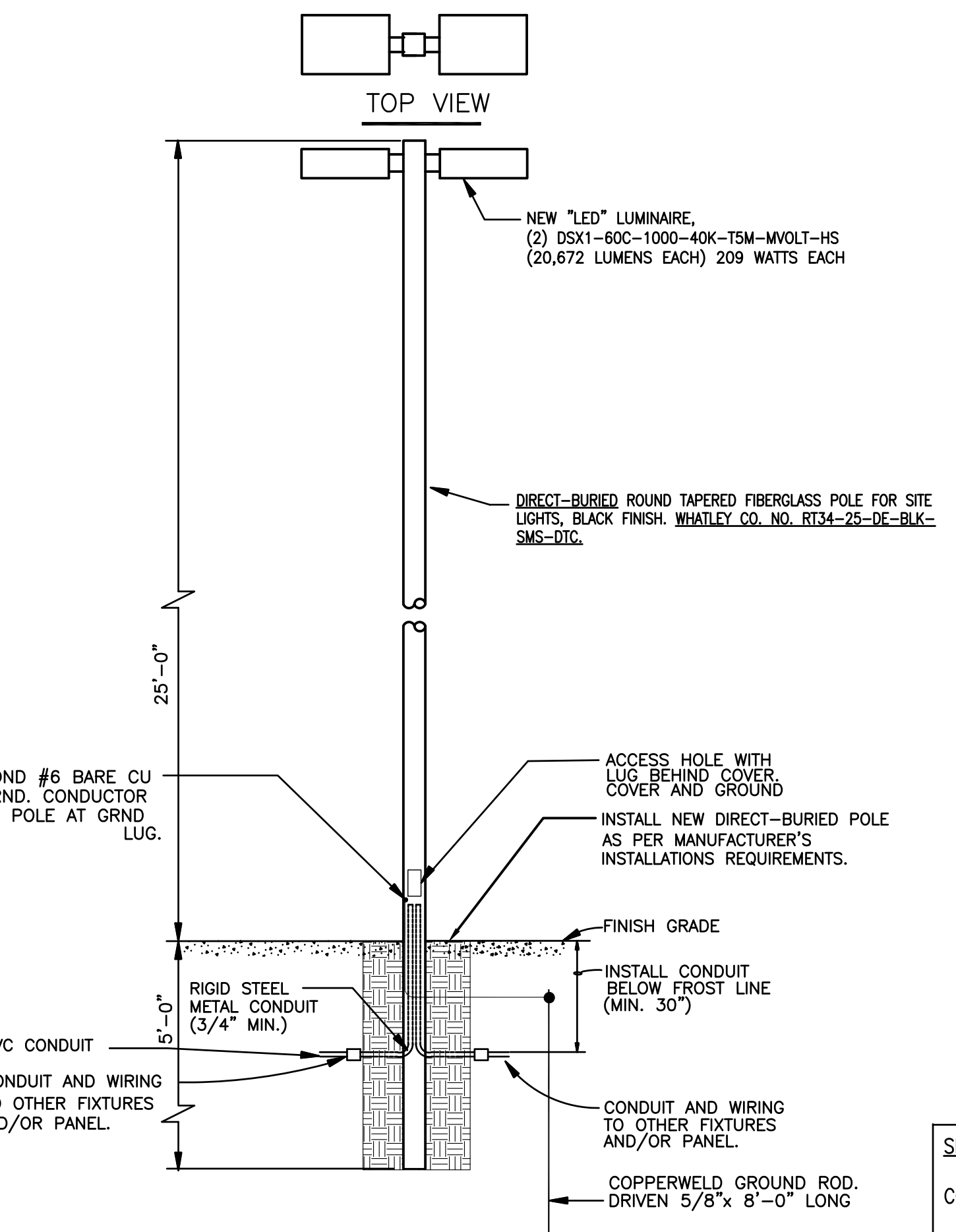
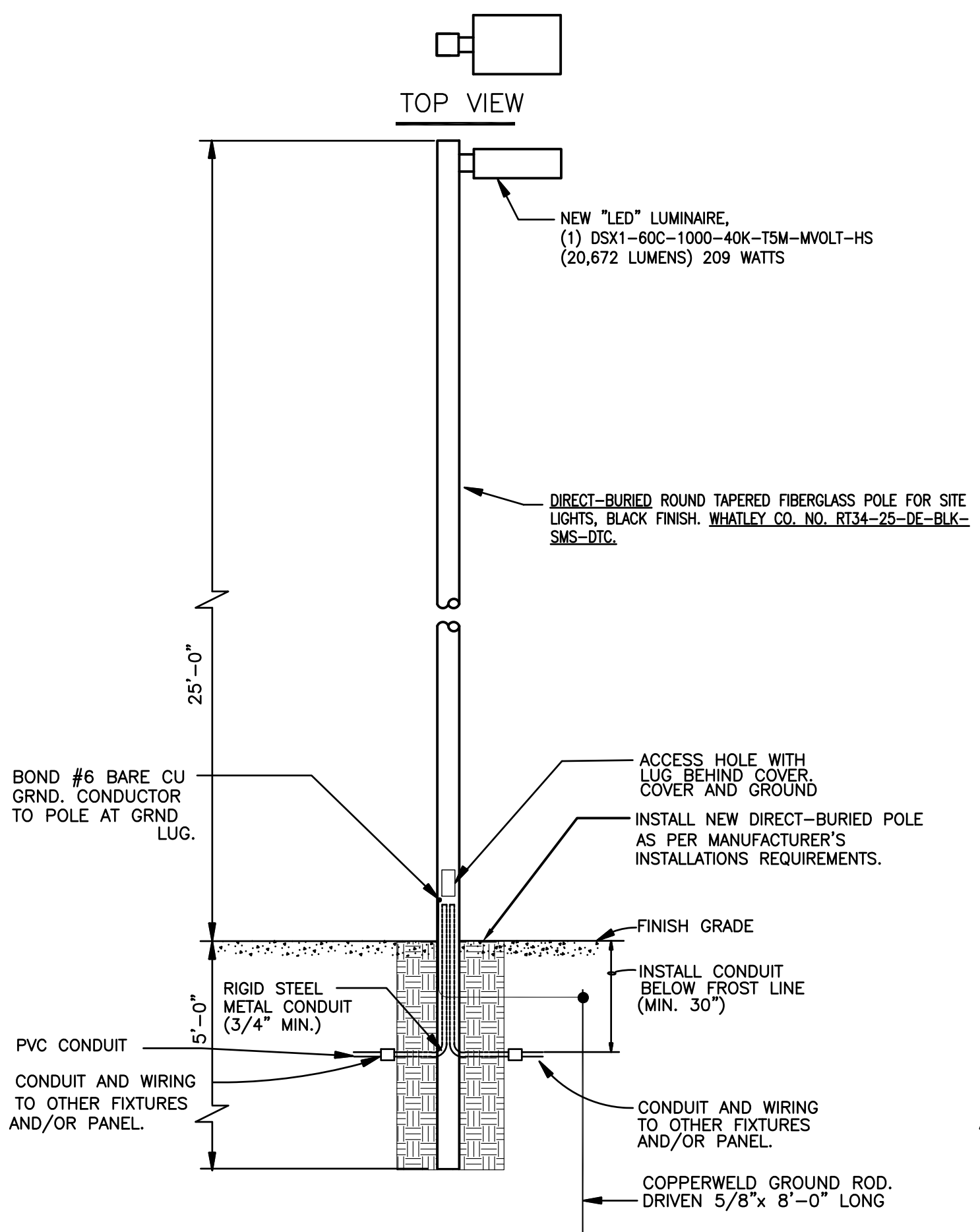
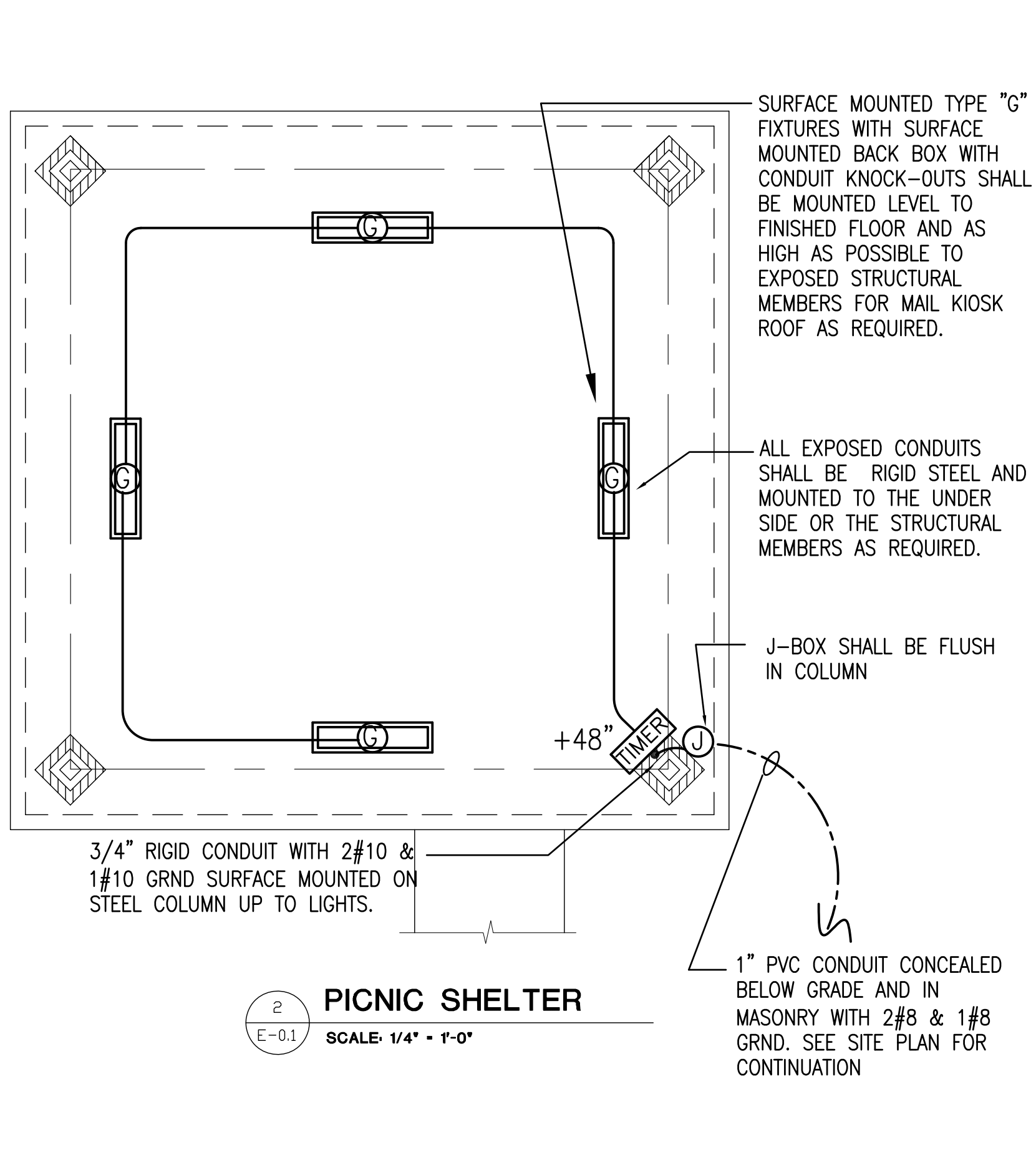
DETAILS - PLUMBING  
ALLAN ASSOCIATES ARCHITECTS, PLLC

5616 WALLWOOD ROAD  
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865 / 689-1302



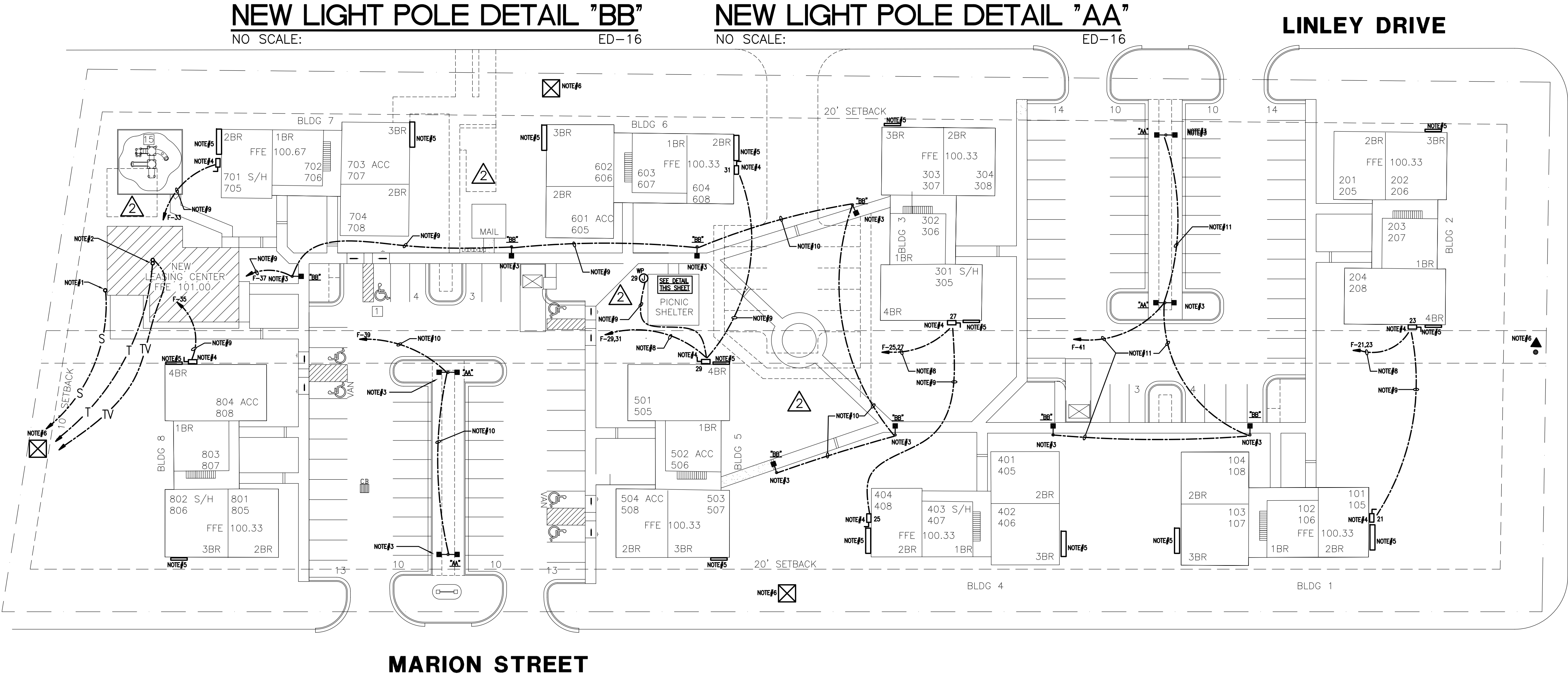
SHEET NUMBER

P5.2



SITE LEGEND	
SYMBOL	DESCRIPTION
— S —	SECONDARY UNDERGROUND ELECTRIC SERVICE, RUN 30" BELOW GRADE, SEE ELECTRIC FEEDER DIAGRAM FOR SIZE.
— T —	TELEPHONE UNDERGROUND CONDUIT, 4" PVC, EXTEND 30" BELOW GRADE TO A POINT AS DIRECTED BY TELEPHONE COMPANY.
— TV —	TELEVISION UNDERGROUND CONDUIT, EXTEND 4" PVC CONDUIT, 30" BELOW GRADE TO A POINT AS DIRECTED BY CABLE TELEVISION COMPANY.
---	UNDERGROUND LIGHTING OR POWER CIRCUIT; 2#10 AND 1#10 GRND. CONDUCTORS IN 3/4" PVC CONDUIT UNLESS NOTED LARGER. RUN 24" BELOW GRADE.
☐	LIGHTING FIXTURE, SEE SCHEDULE.
⊠	PAD-MOUNTED TRANSFORMER, PROVIDE CONCRETE PAD AS REQUIRED BY ELECTRIC UTILITY COMPANY, PAY ALL FEES.
▲	POLE MOUNTED TRANSFORMERS, PROVIDED AND INSTALLED BY UTILITY COMPANY.

- SITE ELECTRICAL NOTES:**
- NEW EXTERIOR ELECTRIC METER AND DISCONNECT FOR NEW OFFICE BUILDING, SEE FEEDER DIAGRAM.
  - NEW TELEPHONE AND TV/INTERNET SERVICE TO NEW OFFICE BUILDING.
  - NEW "LED" POLE LIGHTS, SEE DETAIL.
  - PROVIDE AND INSTALL A 20/1 WEATHERPROOF NON-AUTOMATIC DISCONNECT SWITCH FOR NEW EXTERIOR BREEZEWAY LIGHTS FOR EACH BUILDING, LOCATED DISCONNECT SWITCH ON EXTERIOR WALL NEXT TO EXISTING ELECTRICAL METER CENTER AS REQUIRED. LABEL DISCONNECT SWITCH "HOUSE LIGHTS - CONNECTED TO PANEL IN OFFICE".
  - EXISTING ELECTRICAL METER CENTER TO REMAIN.
  - EXISTING PAD-MOUNTED TRANSFORMER (120/240 VOLTS, 1-PHASE, 3-WIRE) TO REMAIN.
  - EXISTING POLE-MOUNTED TRANSFORMER (120/240 VOLTS, 1-PHASE, 3-WIRE) TO REMAIN.
  - 1" x 4#6 & 1#6 GRND.
  - 1" x 2#6 & 1#6 GRND.
  - 1" x 2#8 & 1#8 GRND.
  - 1" x 2#4 & 1#4 GRND.
- SITE LIGHTING DEMO NOTES:**
- CONTRACTOR SHALL "REMOVE" ALL EXISTING "EX" LIGHT POLES AND CONCRETE BASES AS REQUIRED.



**SITE ELECTRICAL PLAN**  
SCALE: 1"=30'-0"

KEVIN E. NORRIS  
ELECTRICAL ENGINEER  
5616 WALLWOOD ROAD  
KNOXVILLE, TN 37912  
PHONE: (865) 584-3063



SHEET NUMBER  
**E-0.1**

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
KNOXVILLE, TENNESSEE 37912

865 / 669-1302

LOCATE J-BOXES IN ATTIC SPACE WITH-IN 5'-0" OF ATTIC ACCESS HATCH. MOUNTED TO ROOF TRUSSES, 24" ABOVE CEILING.

NEW BUILDING MOUNTED SECURITY CAMERA'S, SEE "SAFERPLACES" SECURITY CAMERA DRAWINGS FOR NUMBER, LOCATIONS AND WIRING REQUIREMENTS.

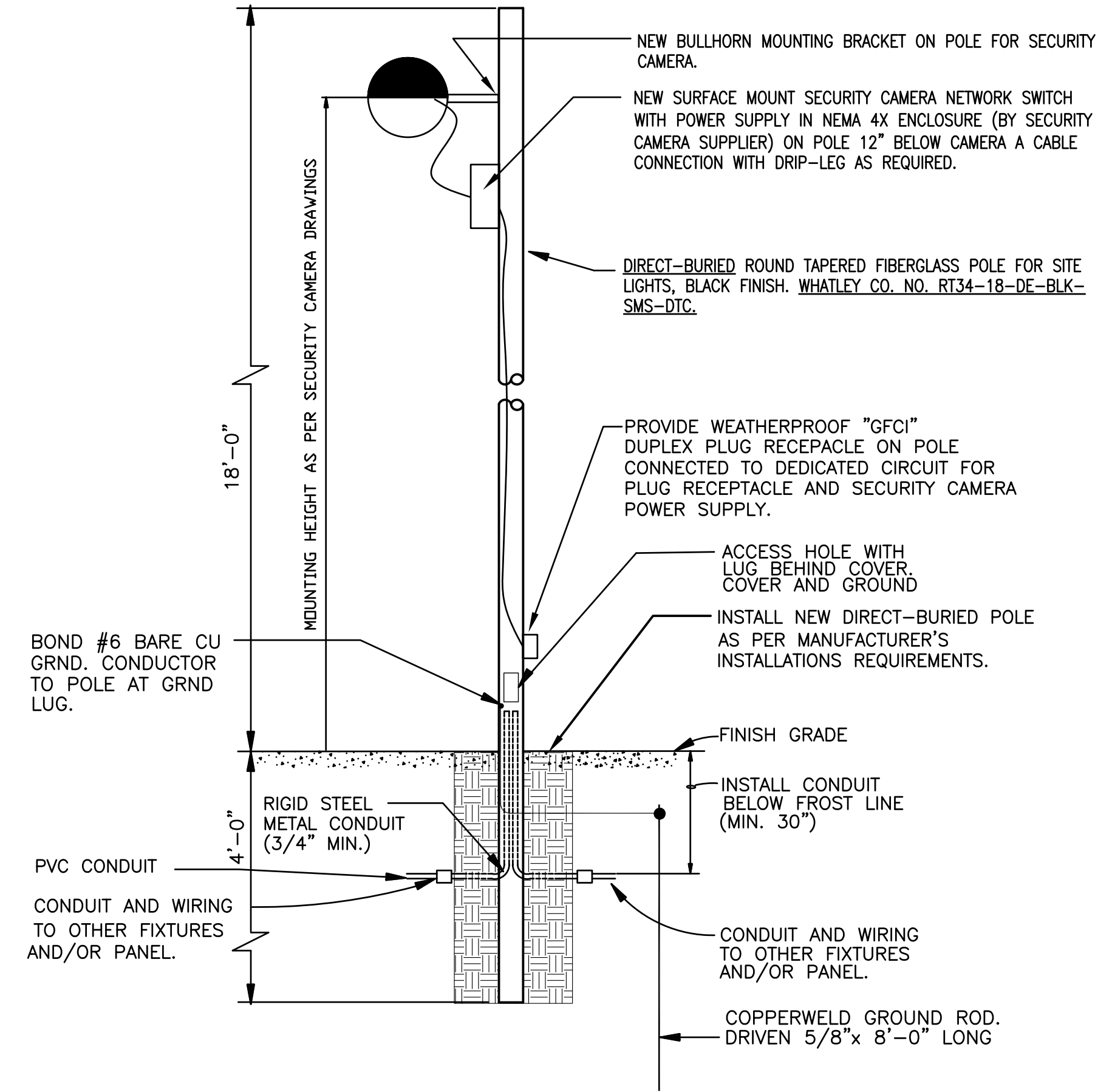
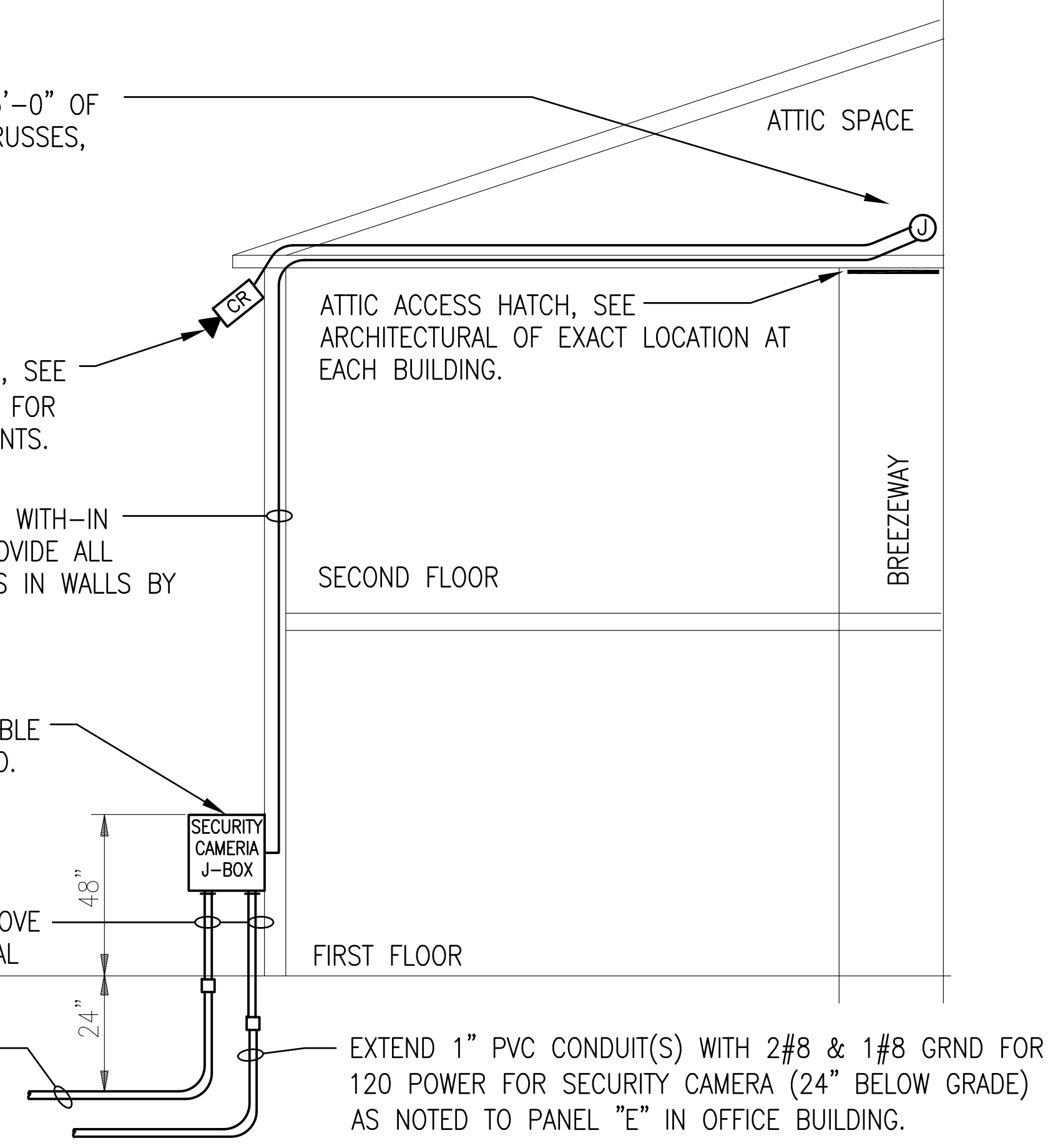
CONCEAL ALL NEW SECURITY CAMERA WIRING WITH-IN EXISTING EXTERIOR WALLS AS REQUIRED. PROVIDE ALL NECESSARY PROTECTION AGAINST FROM NAILS IN WALLS BY TENANTS.

PROVIDE AND INSTALL A GASKET AND LOCKABLE ENCLOSURE, NEMA12, HOFFMAN COMPANY CO. A242406LP 24"x24"x 6", 16 GA. STEEL.

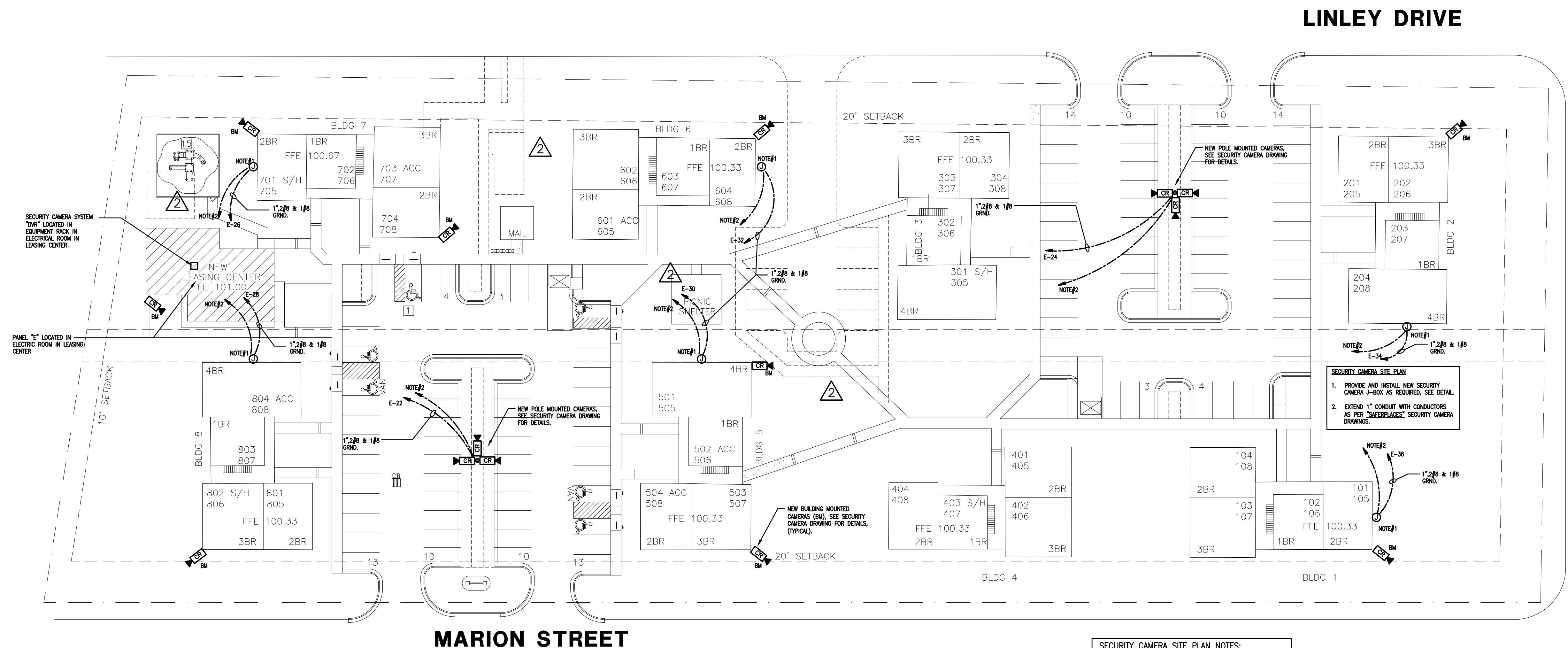
1" RIGID STEEL CONDUITS STUB-UP OUT ABOVE GRADE AS REQUIRED BY NATIONAL ELECTRICAL CODE.

EXTEND 1" PVC CONDUIT(S) WITH LOW-VOLTAGE CONDUCTORS (24" BELOW GRADE) AS NOTED TO "DVR" IN OFFICE BUILDING.

1 SECURITY CAMERA WIRING DETAIL  
E-0.2 NO SCALE.



SECURITY CAMERA POLE DETAIL  
NO SCALE: ED-16



SECURITY CAMERA SITE PLAN  
SCALE: 1"=30'-0"  
NEW SHEET

- SECURITY CAMERA SITE PLAN NOTES:
1. PROVIDE AND INSTALL NEW SECURITY CAMERA J-BOX AS REQUIRED, SEE DETAIL.
  2. EXTEND 1" CONDUIT WITH CONDUCTORS AS PER "SAFERPLACES" SECURITY CAMERA DRAWINGS.

KEVIN E. NORRIS  
ELECTRICAL ENGINEER  
5516 WALLWOOD ROAD  
KNOXVILLE, TN 37912  
PHONE: (865) 584-3063



SHEET NUMBER  
E-0.2

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CHKD. BY: MDA	
APPR. BY: KN	
DATE: 06-30-16	
REVISIONS	
ADDENDUM#1 07/22/16	
06-20-16	

WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

SECURITY CAMERA SITE PLAN

ALLAN ASSOCIATES ARCHITECTS, PLLC  
KNOXVILLE, TENNESSEE 37912

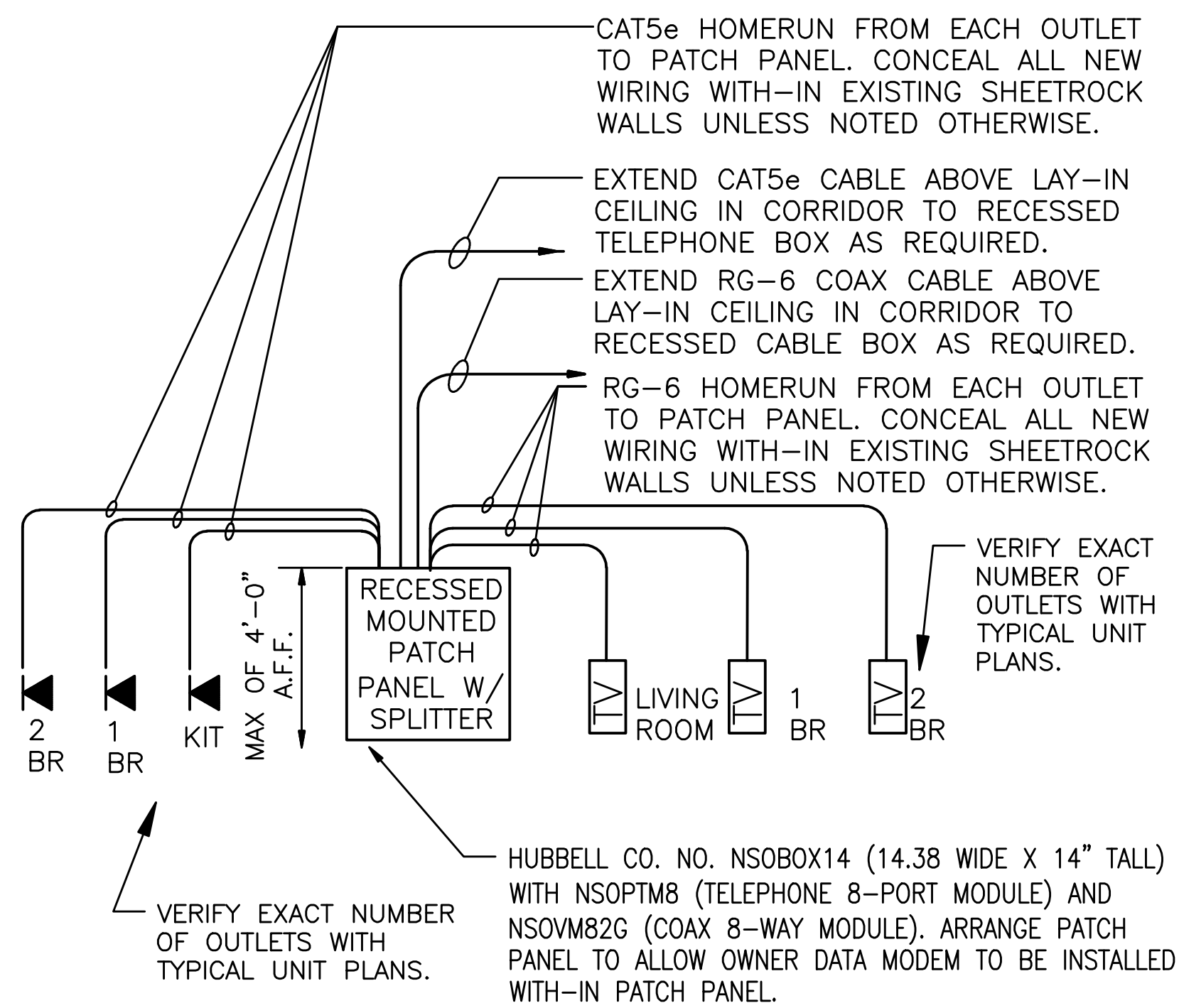
LINLEY DRIVE

STOWE ROAD

865 / 669-1302

5516 WALLWOOD ROAD

Z:\DataStation\_1\Norris-Files\16 Projects\16028-WhiteRiverApartments\16028E01.dwg, 10/7/2016 2:43:57 PM, Adobe PDF, 1:1

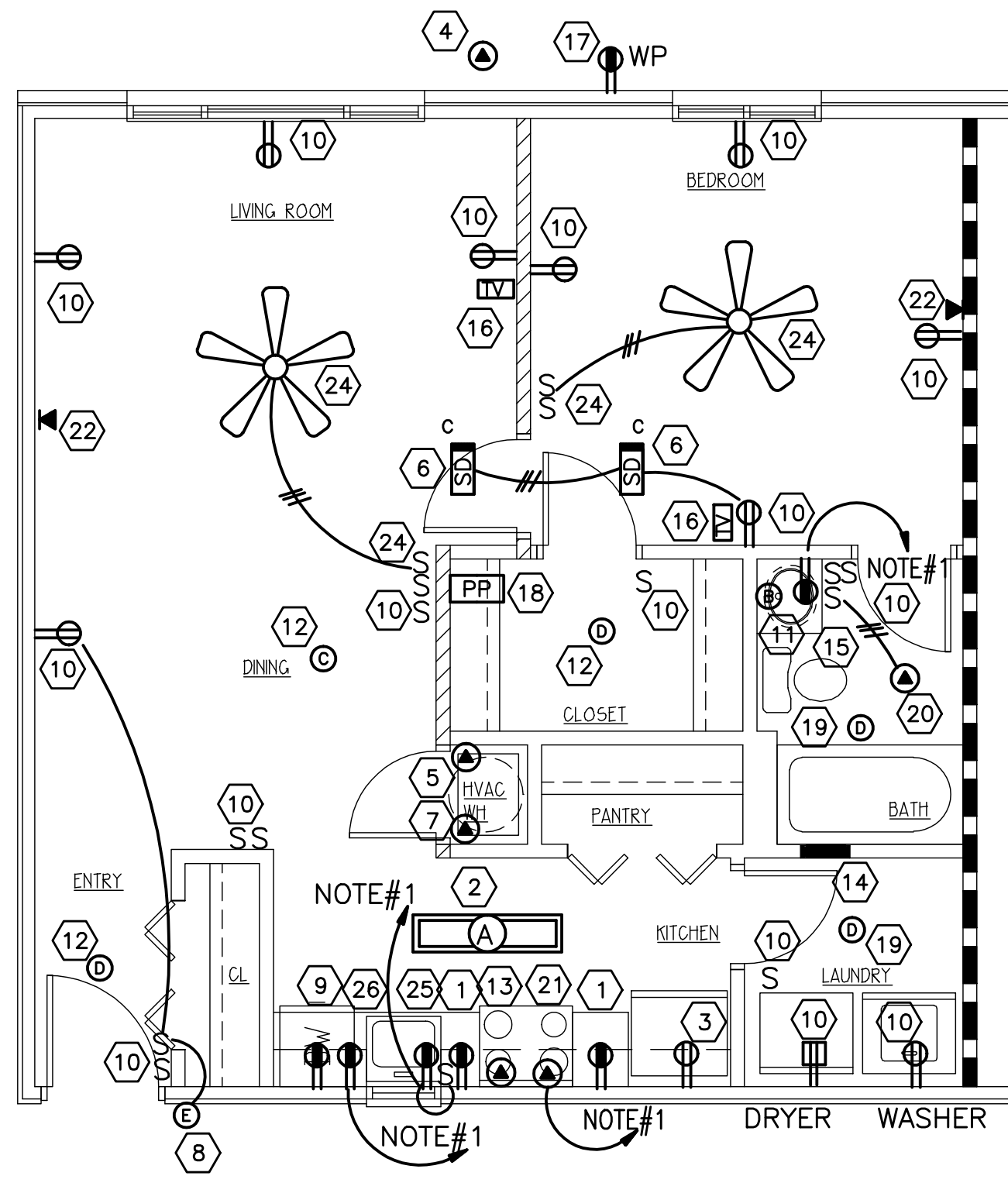


### TYPICAL TELEPHONE / TELEVISION DIAGRAM

NO SCALE SYMBOL: [PP]

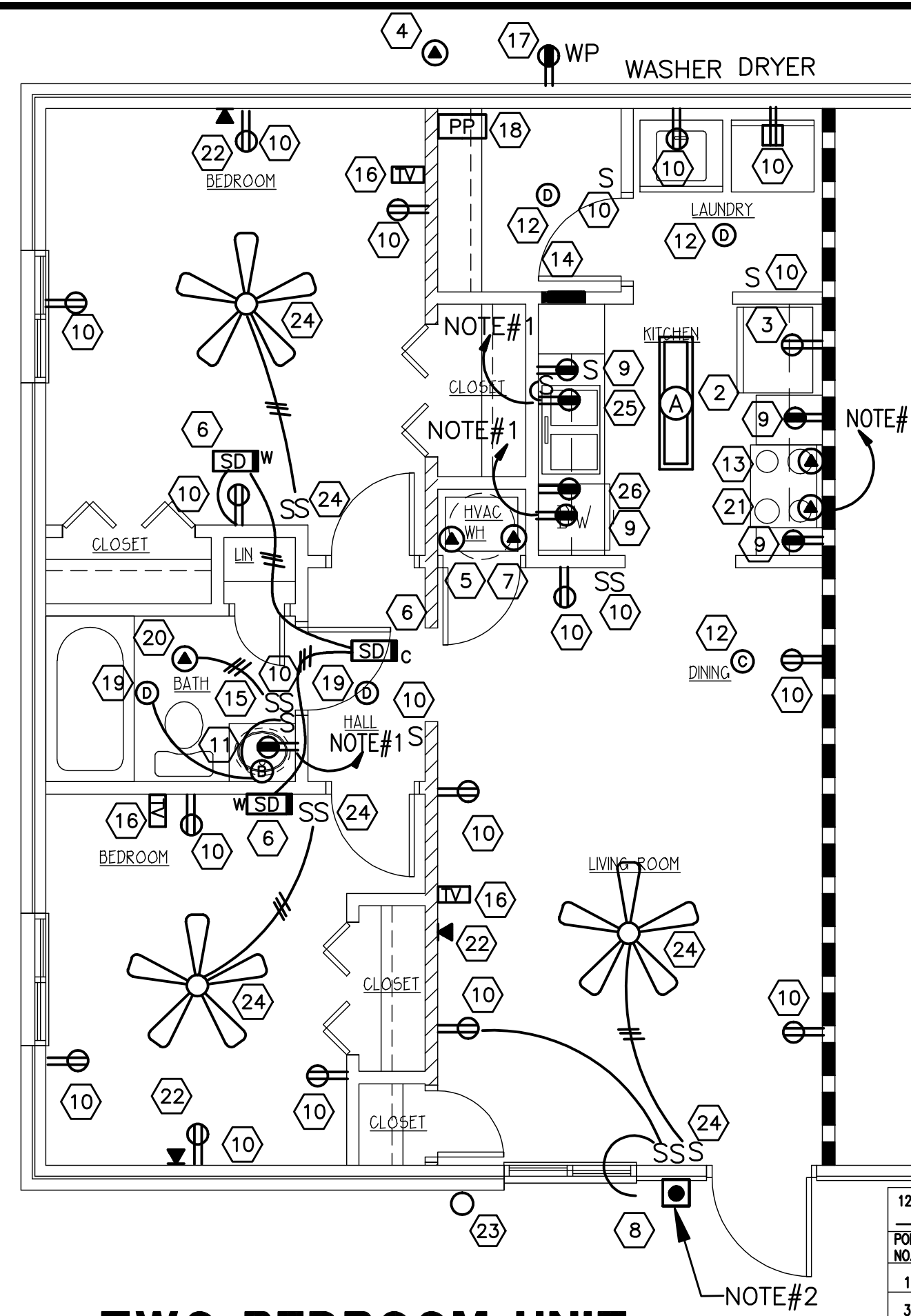
#### WALL LEGEND

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL



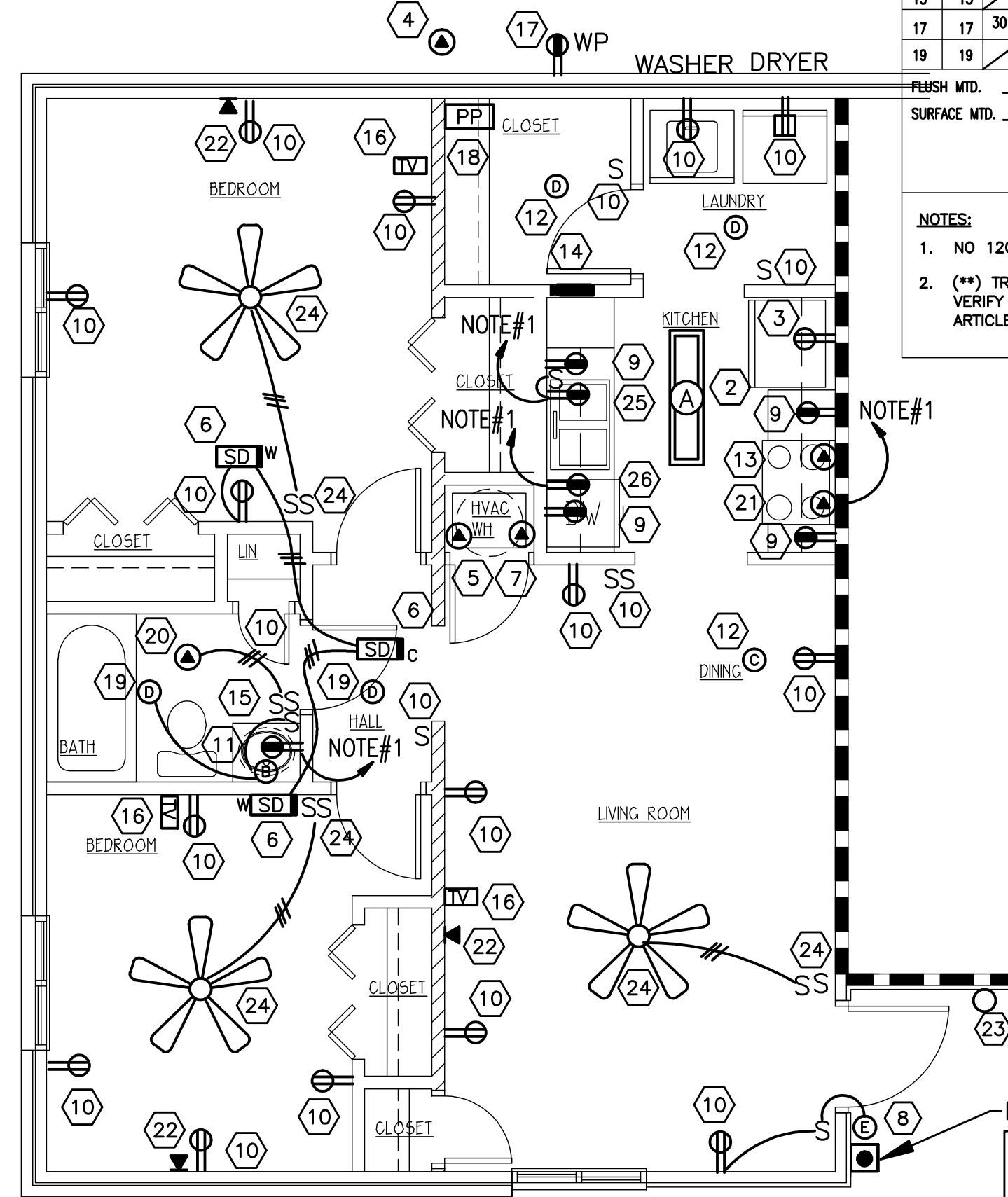
### ONE BEDROOM UNIT

SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS



### TWO BEDROOM UNIT

SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS



### TWO BEDROOM UNIT

SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

#### GENERAL ELECTRICAL NOTES:

- PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
- PROVIDE AND INSTALL (2) SIGHT/HEARING CHIME AND STROBE UNITS, TRANSFORMER AND PUSH-BUTTON FOR SIGHT / HEARING UNITS INDICATED ON COVER SHEET. MOUNTED +/- 84" AFF, EDWARD CO. NO. (2) 6536-65 / 592 / 620 / 147-1 AS REQUIRED. CONNECT 120VOLT TO 24VOLT TRANSFORMER TO NEAREST UNSWITCHED 120VOLT PLUG CIRCUIT AS REQUIRED.
- VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
- NOT USED.
- EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
- CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILINGS TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
- CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

120/240 VOLTS, 1-PHASE, 3-WIRE, 1-Ø / PHASE		EXISTING APT PANELS (14)		MAIN BKR. AS NOTED		AMP M.L.O.	
POLE NO.	TRIP AMP.	LOAD V. A.	TRIP AMP.	POLE NO.	TRIP AMP.	LOAD V. A.	TRIP AMP.
1	20	1	1	2	20	1	1
2	20	1	1	3	20	1	1
3	20	1	1	4	20	1	1
4	20	1	1	5	20	1	1
5	20	1	1	6	20	1	1
6	20	1	1	7	20	1	1
7	20	1	1	8	20	1	1
8	20	1	1	9	20	1	1
9	20	1	1	10	20	1	1
10	20	1	1	11	20	1	1
11	20	1	1	12	20	1	1
12	20	1	1	13	20	1	1
13	20	1	1	14	20	1	1
14	20	1	1	15	20	1	1
15	20	1	1	16	20	1	1
16	20	1	1	17	20	1	1
17	20	1	1	18	20	1	1
18	20	1	1	19	20	1	1
19	20	1	1	20	20	1	1

- NOTES:
- NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.
  - (\*\*) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.

#### RENOVATION ELECTRICAL NOTES:

- REPLACE EXISTING RECEPTACLES WITH NEW GFCI RECEPTACLE AND MATCHING COVERPLATE. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.
- REPLACE EXISTING KITCHEN LIGHT WITH NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED.
- NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
- NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
- NEW INDOOR MECHANICAL UNIT AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
- FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (12010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177-cd) KIDDLE (SLED177) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
- DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
- PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
- INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER OUTLETS.
- EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
- REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
- REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
- EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
- EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
- REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVERPLATE IN EXISTING OUTLET BOX IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
- PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE, SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
- PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
- PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
- PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
- DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED. PROVIDE AND INSTALL NEW DUAL-SWITCH CONTROL. PROVIDE AND INSTALL NEW #12/3 W/G SWITCH-LEG AS REQ'D.
- DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
- EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
- REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
- REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

#### CAD FILE:

DRWN BY: JDD	CHKD BY: MDA	APPR BY: KN	DATE: 06-30-16
REVISIONS			

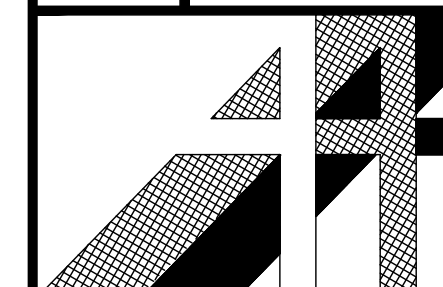
### WHITE RIVER APARTMENTS

2800 MARION DRIVE  
DIAZ, ARKANSAS

## ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5616 WALLWOOD ROAD



REGISTERED PROFESSIONAL ENGINEER  
STATE OF ARKANSAS  
NO. 11802  
KEVIN E. NORRIS

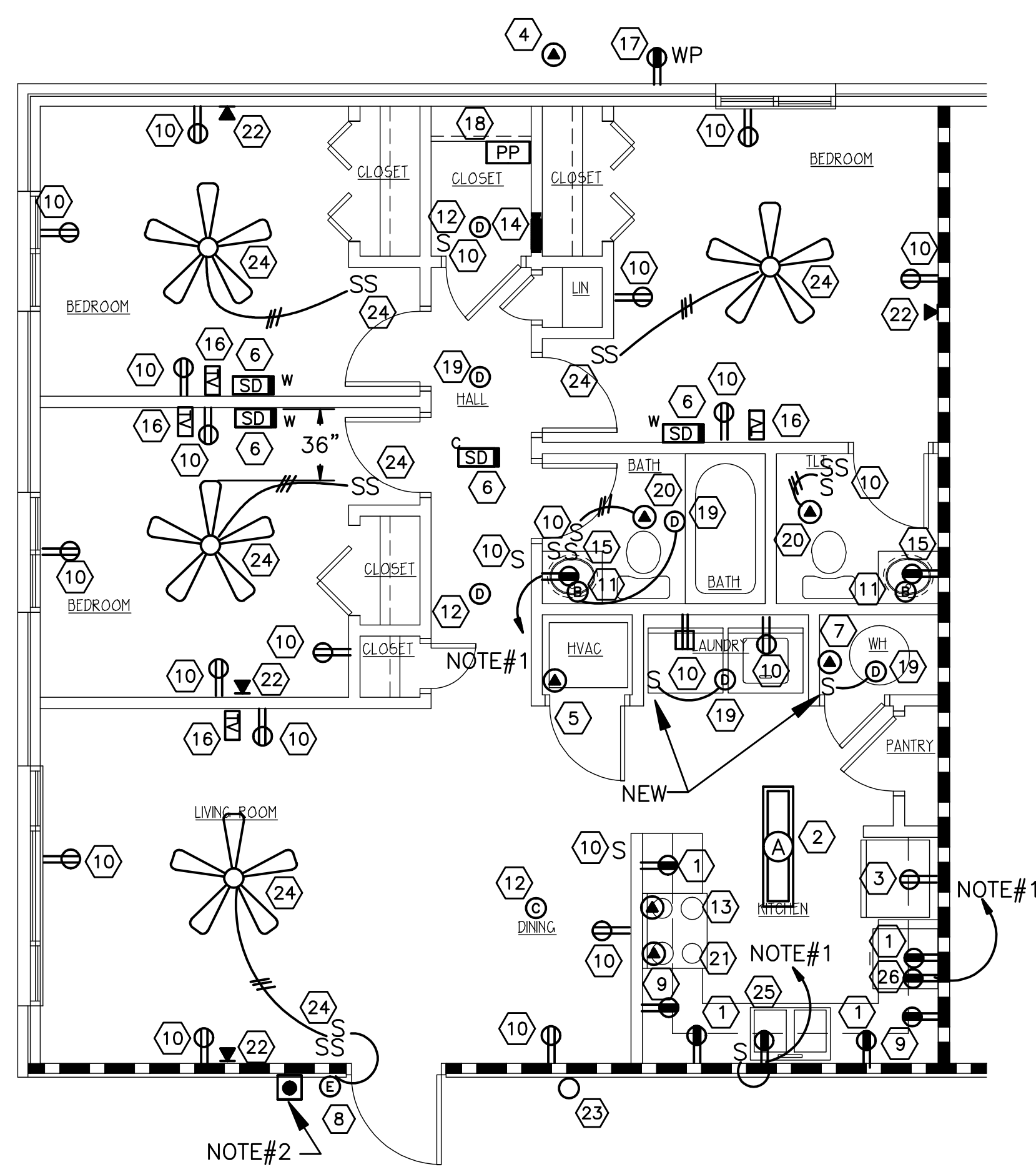
SHEET NUMBER

E-1.0

KEVIN E. NORRIS  
ELECTRICAL ENGINEER

8616 WALLWOOD ROAD  
KNOXVILLE, TN 37912  
PHONE: (615) 654-0565

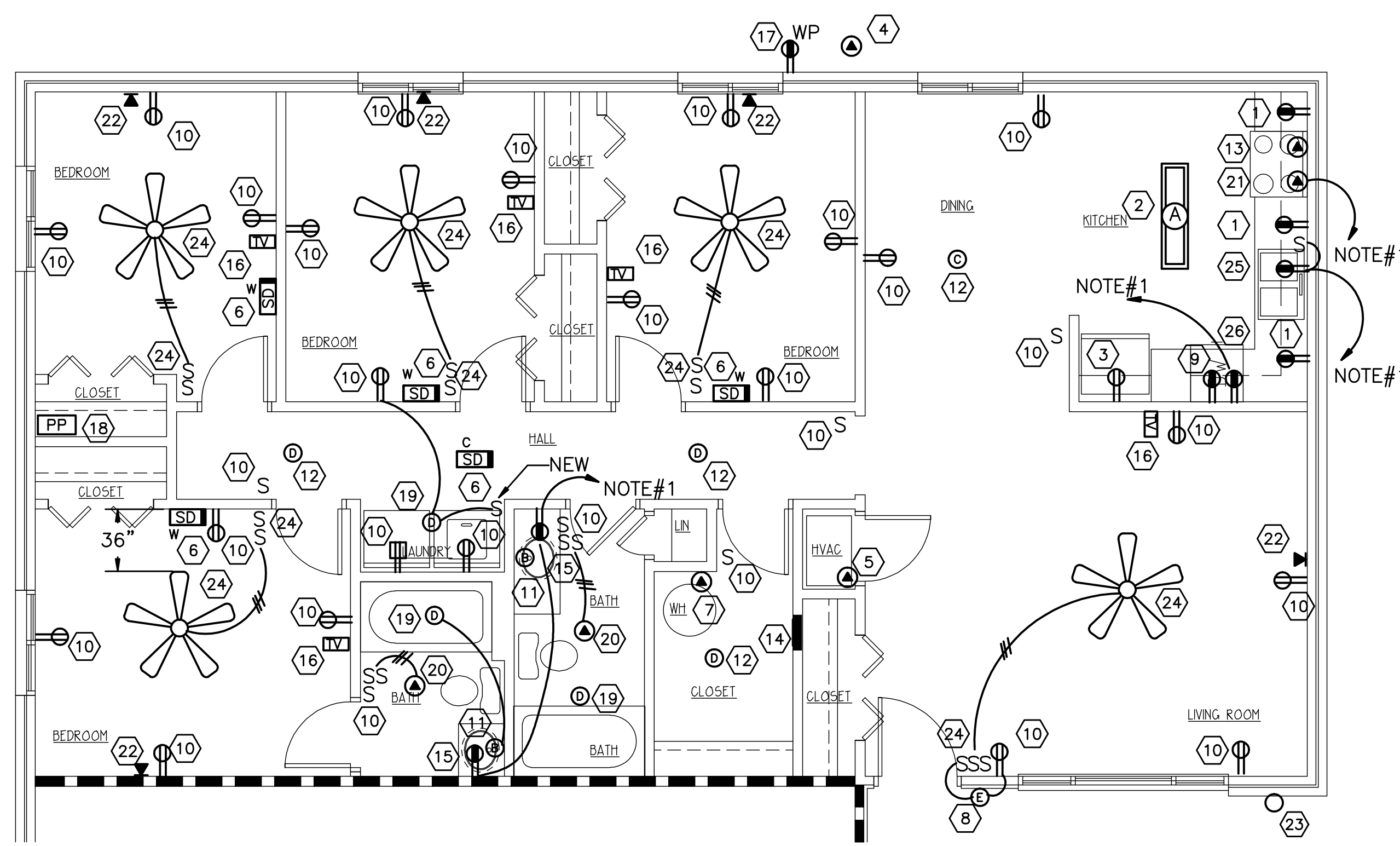
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**1**  
E-1.1  
**THREE BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS

**WALL LEGEND**

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- - - PARTITION TO BE DEMO'D
- ▨ ASSUMED EXISTING LOAD BEARING WALL
- ▨ NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

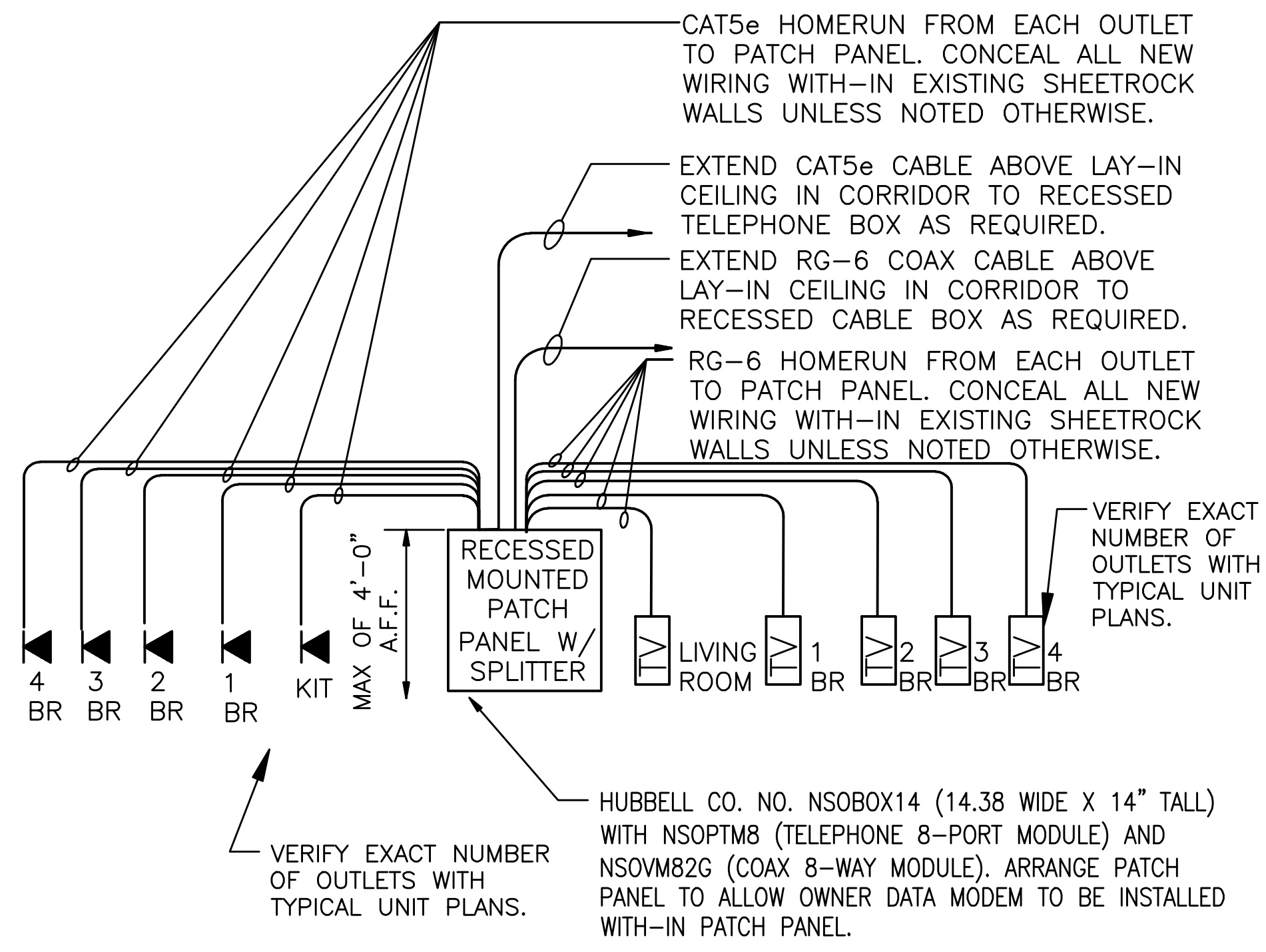


**2**  
E-1.1  
**FOUR BEDROOM UNIT**  
SCALE: 1/4"=1'-0" 1,261 SF NET 1,351 SF GROSS

**KEVIN E. NORRIS**  
ELECTRICAL ENGINEER

5515 WALLWOOD ROAD  
KNOXVILLE, TN 37919  
PHONE (615) 954-5248

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**TYPICAL TELEPHONE / TELEVISION DIAGRAM**  
NO SCALE SYMBOL: [EP]

- GENERAL ELECTRICAL NOTES:**
- PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
  - PROVIDE AND INSTALL (2) SIGHT/HEARING CHIME AND STROBE UNITS, TRANSFORMER AND PUSH-BUTTON FOR SIGHT / HEARING UNITS INDICATED ON COVER SHEET. MOUNTED +/- 84" AFF, EDWARD CO. NO. (2) 6536-65 / 592 / 620 / 147-1 AS REQUIRED. CONNECT 120VOLT TO 24VOLT TRANSFORMER TO NEAREST UNSWITCHED 120VOLT PLUG CIRCUIT AS REQUIRED.
  - VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
  - NOT USED.
  - EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILING AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
  - CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILING AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILING TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
  - CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
  - CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

- PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.
- PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

- RENOVATION ELECTRICAL NOTES.**
- REPLACE EXISTING RECEPTACLES WITH NEW GFCI RECEPTACLE AND MATCHING COVERPLATE. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.
  - REPLACE EXISTING KITCHEN LIGHT WITH NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED.
  - NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
  - NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
  - NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
  - FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (112010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177I) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
  - DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
  - PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
  - INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.
  - EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
  - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
  - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AS REQUIRED.
  - EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
  - EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
  - REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
  - PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE. SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
  - PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
  - PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
  - PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
  - DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED. PROVIDE AND INSTALL NEW DUAL-SWITCH CONTROL. PROVIDE AND INSTALL NEW #12/3 W/G SWITCH-LEG AS REQ'D.
  - DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
  - EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
  - REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
  - REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/G/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

CAD FILE:

DRWN BY: JDD  
CHKD BY: MDA  
APPR BY: KN  
DATE: 06-30-16  
REVISIONS

WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

THREE AND FOUR BEDROOM UNIT PLANS

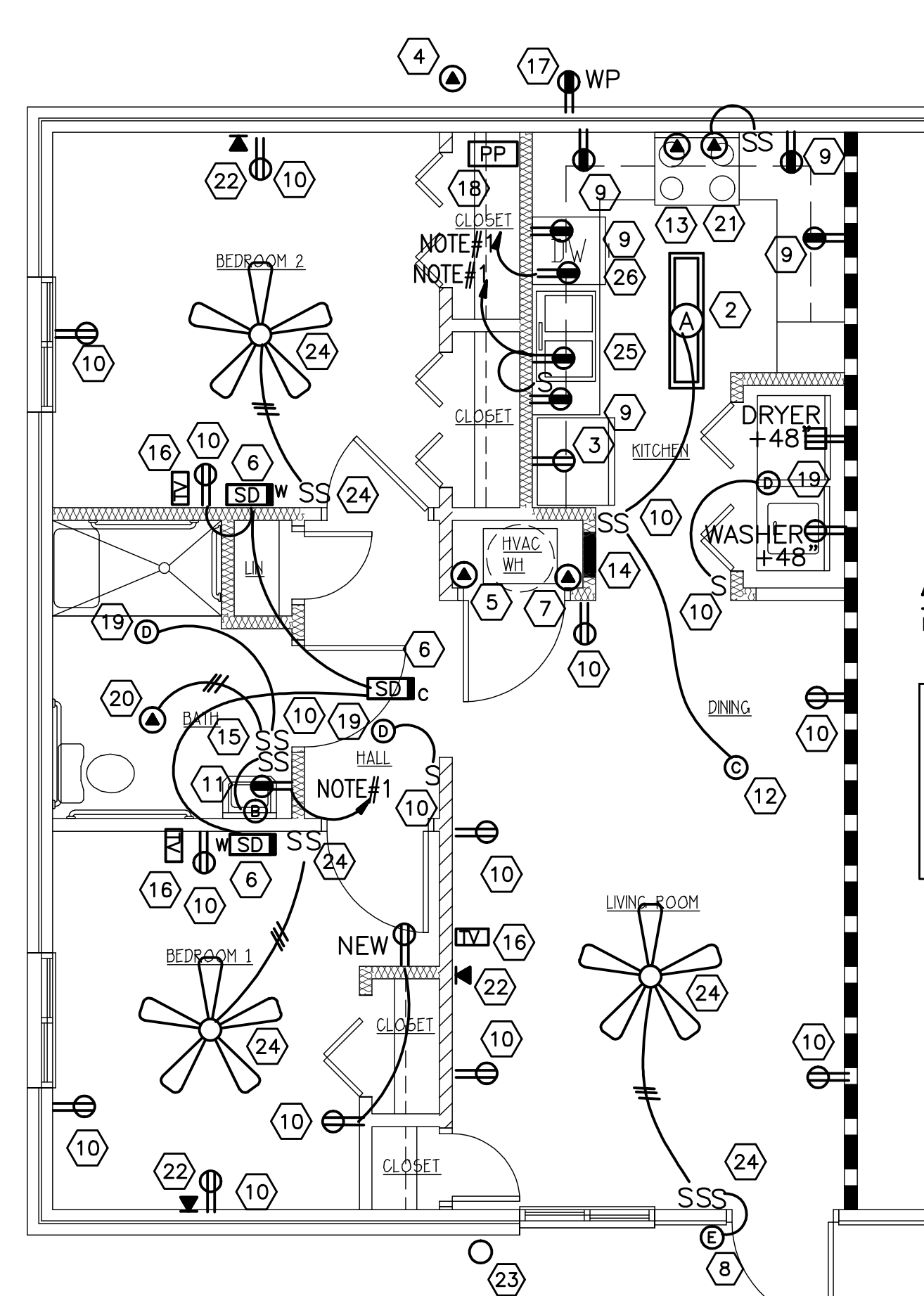
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

5515 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37919

865 / 689-1302

REGISTERED  
STATE OF ARKANSAS  
NO. 11802  
KEVIN E. NORRIS  
ELECTRICAL ENGINEER

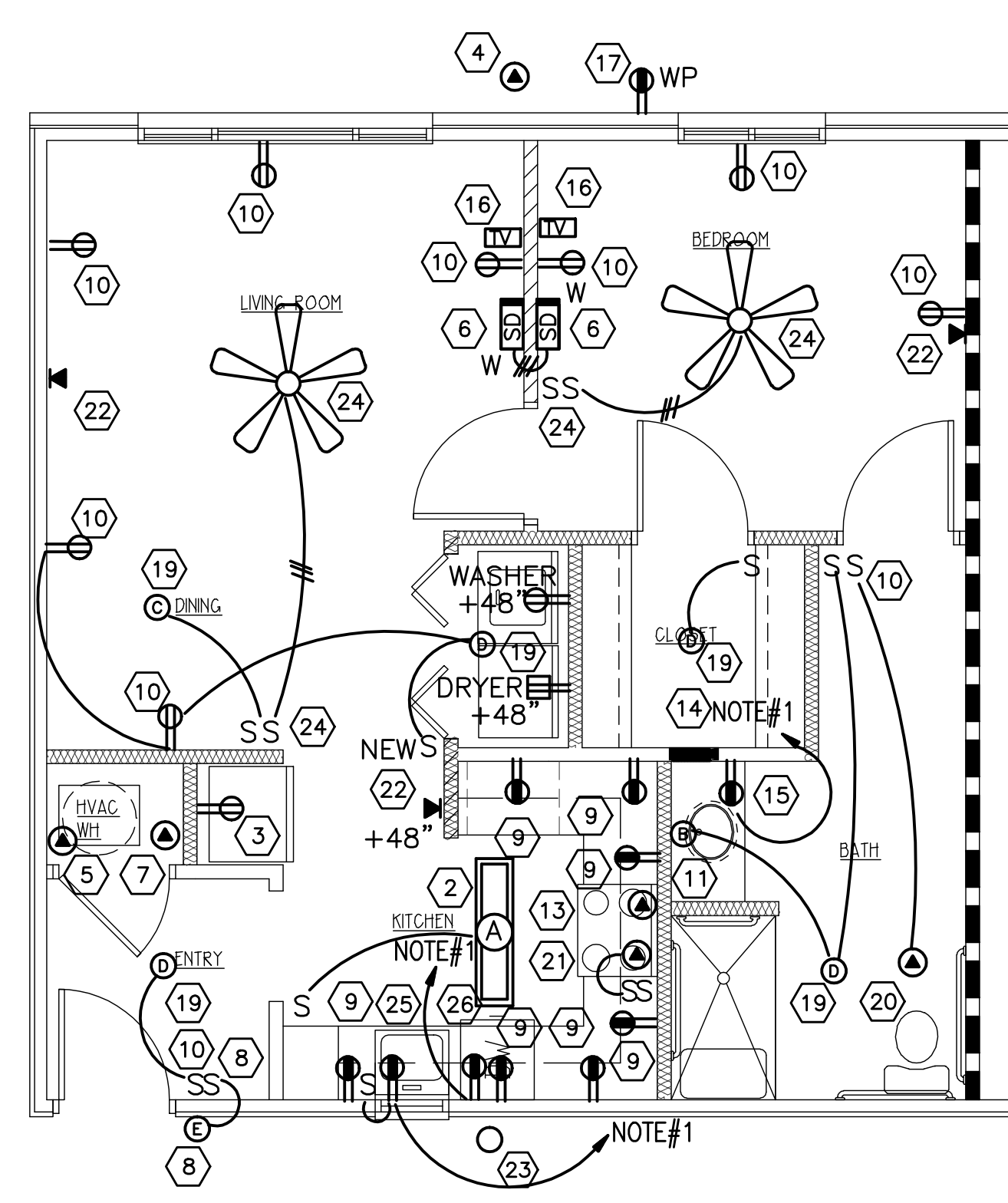
SHEET NUMBER  
**E-1.1**



**TWO BEDROOM ACC. UNIT**  
SCALE: 1/4"=1'-0" 749 SF NET 811 SF GROSS

**TYPICAL DWELLING UNITS ELECTRICAL NOTES:**

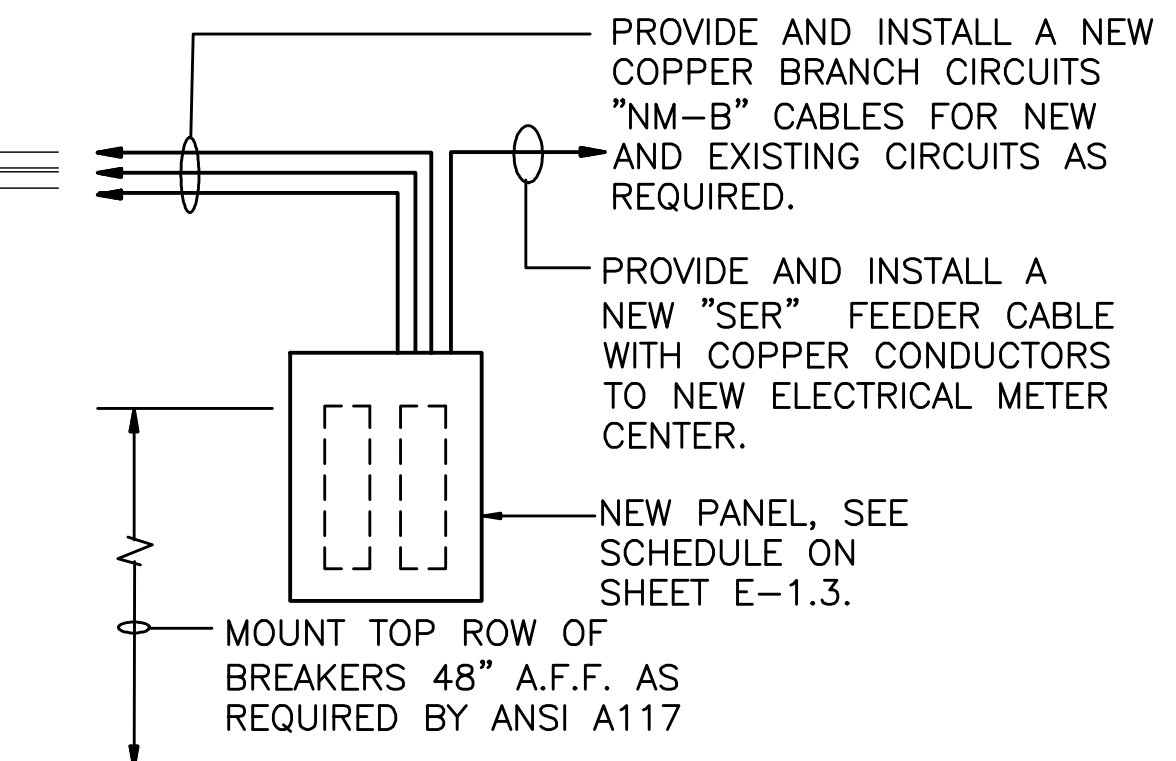
- CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS WITH-IN DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(A)(1) THROUGH (A)(3). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING NECESSARY TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS ABOVE THE DWELLING UNIT KITCHEN COUNTERTOPS IN EACH DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(C)(1) THROUGH (C)(5). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE. ALL ELECTRICAL OUTLETS MOUNTED ABOVE COUNTER TOPS IN KITCHEN SHALL BE MOUNTED HORIZONTAL WITH TOP OF OUTLETS AT +44" A.F.F. FOR ACCESSIBLE CODES.



**ONE BEDROOM ACC. UNIT**  
SCALE: 1/4"=1'-0" 650 SF NET 691 SF GROSS

**WALL LEGEND**

- EXISTING 1 HR RATED
- EXISTING INT. PARTITION TO REMAIN
- PARTITION TO BE DEMO'D
- ASSUMED EXISTING LOAD BEARING WALL
- NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK



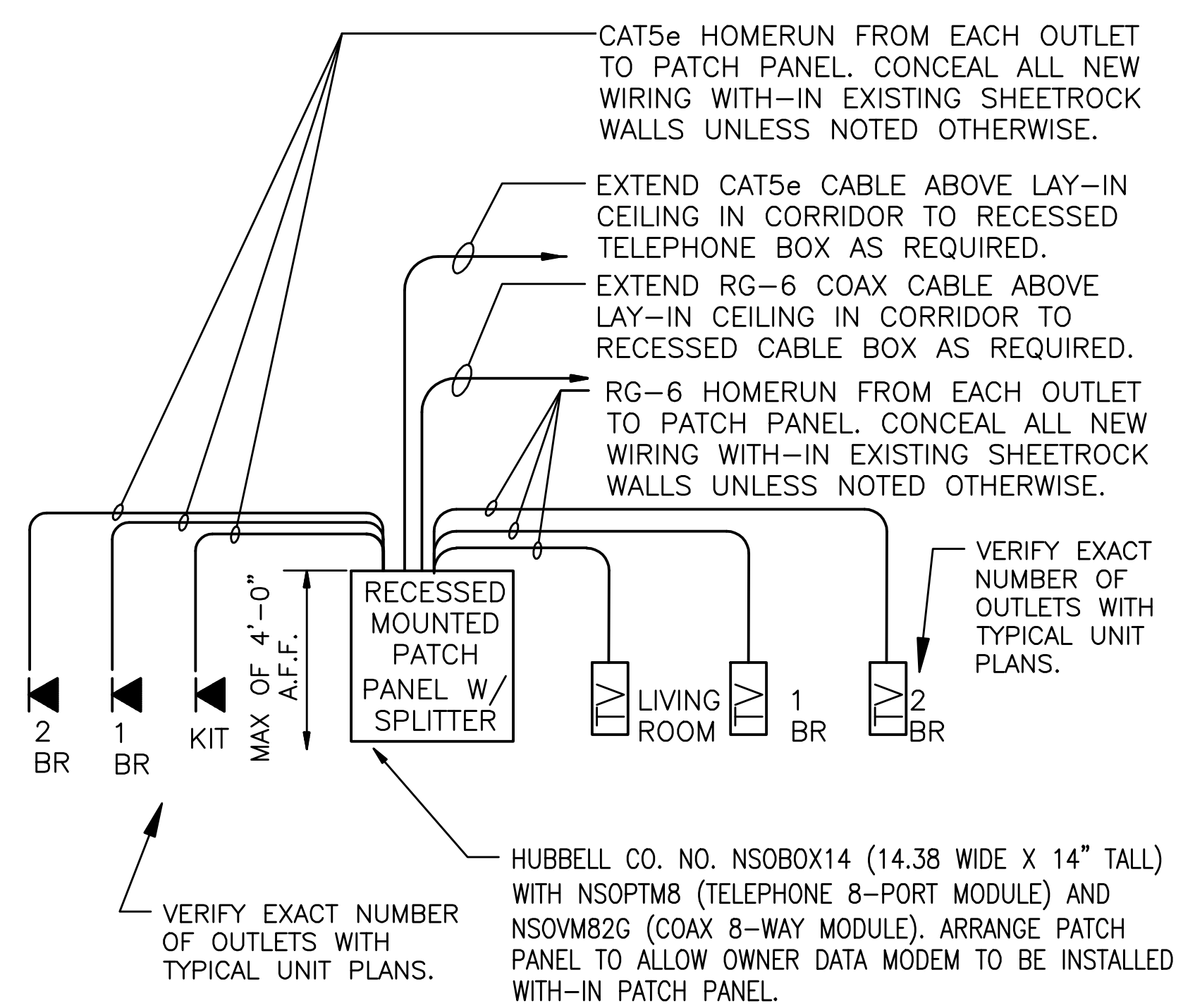
**ACCESSIBLE FEEDER DIAGRAM**  
NO SCALE

**WIRING SCHEDULE:**

- 100 AMP SERVICE "SER" CABLE - 3#4 CU W/ GRND.
- 125 AMP SERVICE "SER" CABLE - 3#1 CU W/ GRND.
- 150 AMP SERVICE "SER" CABLE - 3#1/0 CU W/ GRND.
- 200 AMP SERVICE "SER" CABLE - 3#2/0 CU W/ GRND.

**GENERAL ELECTRICAL NOTES:**

- PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
- NOT USED.
- VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
- NOT USED.
- EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
- CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILINGS TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
- CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT WITH ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.



**TYPICAL TELEPHONE / TELEVISION DIAGRAM**  
NO SCALE

**DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :**

- ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

(25) PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.

(26) PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

**RENOVATION ELECTRICAL NOTES:**

- NOT USED.
- NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT AS REQUIRED.
- NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
- NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
- NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
- FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (112010S), GENEX OR BRK CONNECT TO 120V ARC-FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177I) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NEPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
- DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
- PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
- INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER OUTLETS.
- EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AND NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE. (SEE GENERAL NOTE#3)
- REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
- REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES TO NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
- EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
- EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
- REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
- PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE. SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
- PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
- PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL. SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
- PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
- DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED.
- DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
- EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
- REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
- REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

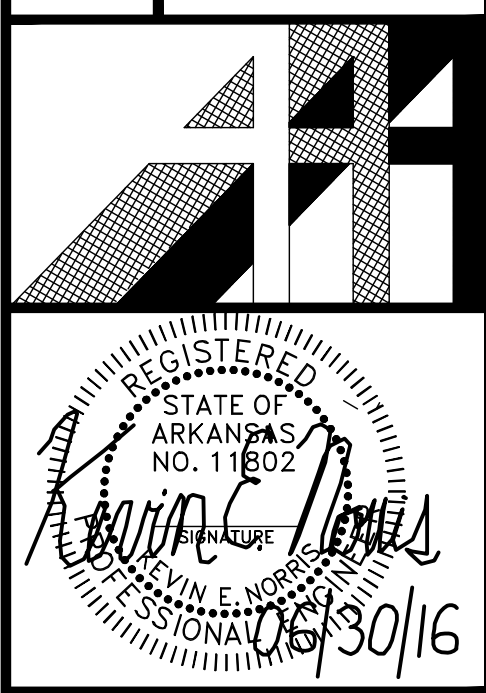
**KEVIN E. NORRIS**  
REGISTERED ELECTRICAL ENGINEER  
8818 WALLWOOD ROAD  
KNOXVILLE, TN 37912  
PHONE: (615) 854-9068

Table with columns for DRWN BY, CHKD BY, APPR BY, DATE, and REVISIONS.

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**ONE AND TWO BR ACCESSIBLE UNIT PLANS**

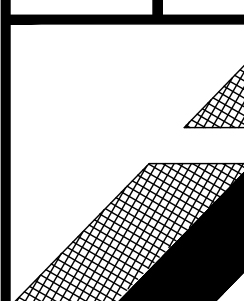
**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912



DRWN BY: JDD
CHKD BY: MDA
APPR BY: KN
DATE: 06-30-16
REVISIONS

WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

THREE BEDROOM ACCESSIBLE UNIT PLANS  
ALLAN ASSOCIATES ARCHITECTS, PLLC



REGISTERED PROFESSIONAL ARCHITECT  
STATE OF ARKANSAS  
NO. 11802  
KEVIN E. NORRIS

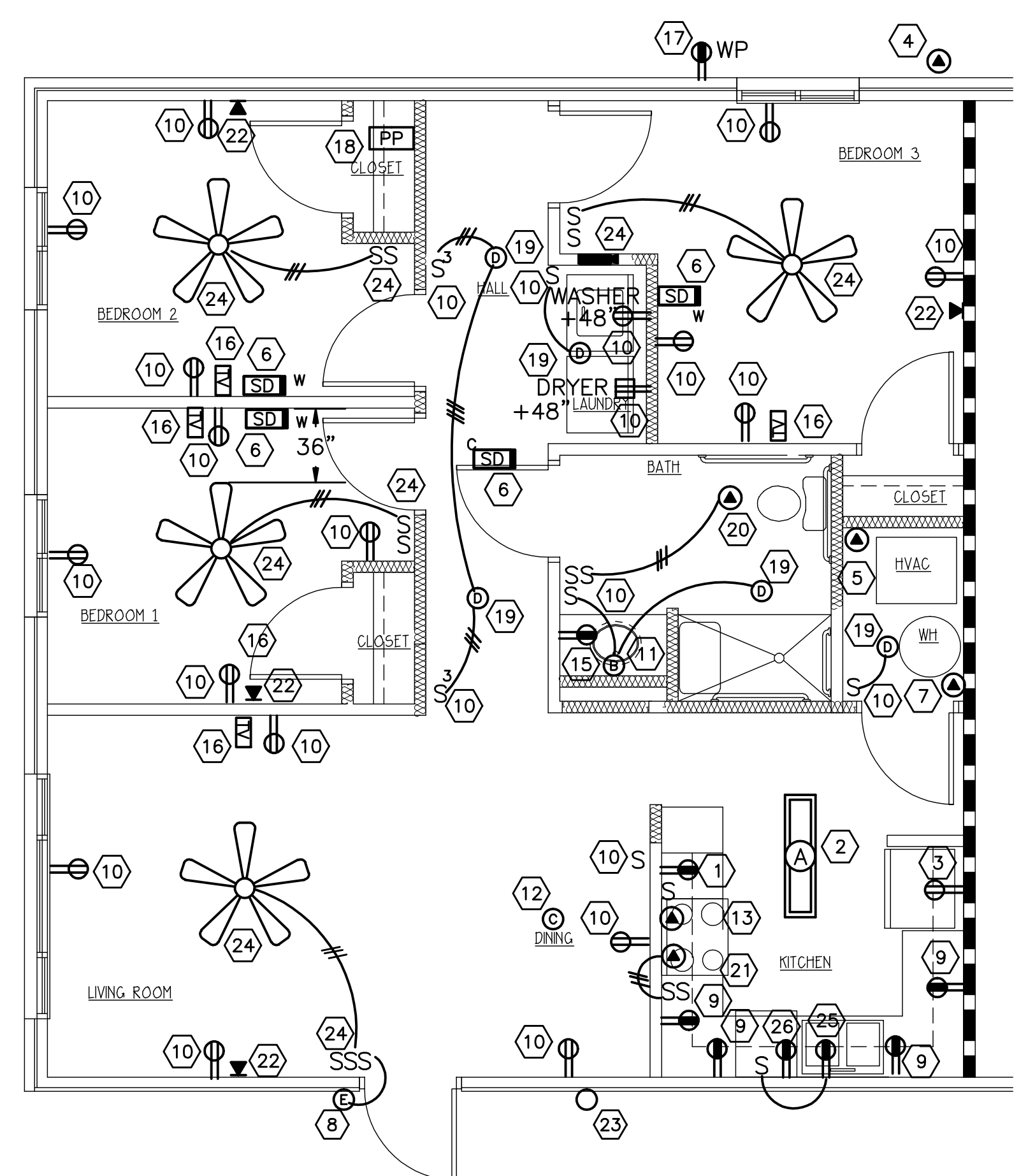
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KNOXVILLE, TENNESSEE 37912

865 / 689-1302

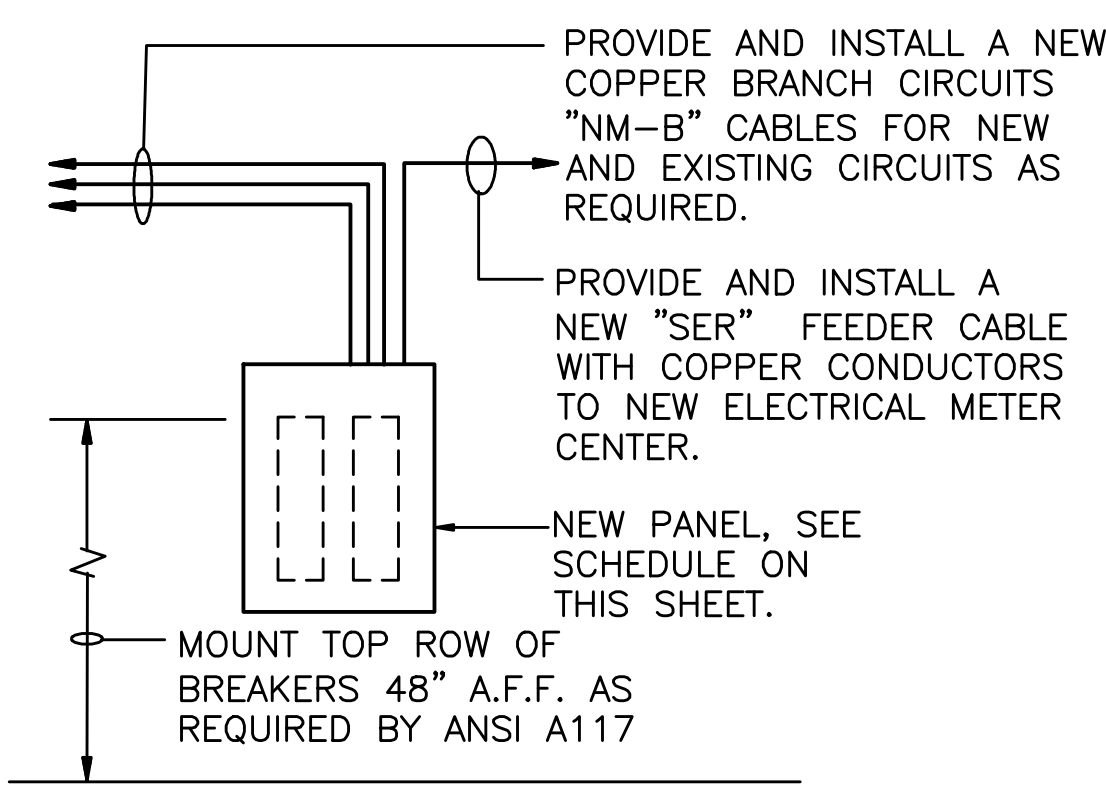
5616 WALLWOOD ROAD



**THREE BEDROOM ACC. UNIT**  
SCALE: 1/4"=1'-0" 956 SF NET 1,020 SF GROSS

**WALL LEGEND**  
 ■ EXISTING 1 HR RATED  
 --- EXISTING INT. PARTITION TO REMAIN  
 - - - PARTITION TO BE DEMO'D  
 ZZZZ ASSUMED EXISTING LOAD BEARING WALL  
 ▨▨▨▨ NEW PARTITION 2x4 STUDS @ 16" O.C. W/5/8" SHEETROCK

**DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :**  
 1. ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.



**ACCESSIBLE FEEDER DIAGRAM**  
NO SCALE

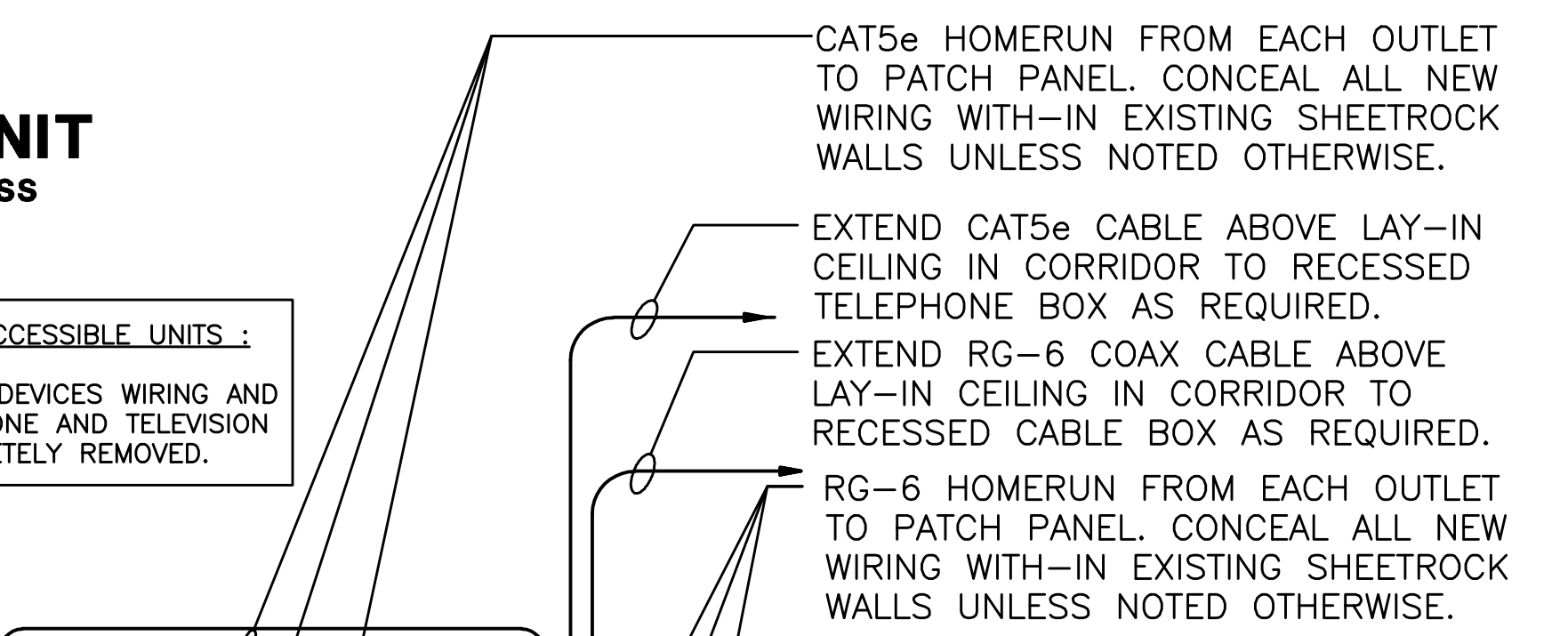
**WIRING SCHEDULE:**

100 AMP SERVICE "SER" CABLE - 3#4 CU W/ GRND.
125 AMP SERVICE "SER" CABLE - 3#1 CU W/ GRND.
150 AMP SERVICE "SER" CABLE - 3#1/0 CU W/ GRND.
200 AMP SERVICE "SER" CABLE - 3#2/0 CU W/ GRND.

**TYPICAL DWELLING UNITS ELECTRICAL NOTES:**  
 1. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS WITH-IN DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(A)(1) THROUGH (A)(3). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING NECESSARY TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE.  
 2. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS ABOVE THE DWELLING UNIT KITCHEN COUNTERTOPS IN EACH DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(C)(1) THROUGH (C)(5). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE. ALL ELECTRICAL OUTLETS MOUNTED ABOVE COUNTER TOPS IN KITCHEN SHALL BE MOUNTED HORIZONTAL WITH TOP OF OUTLETS AT +44" A.F.F. FOR ACCESSIBLE CODES.

120/240 VOLTS, 1-PHASE, 3-WIRE, 1- W/ / PHASE		NEW ACCESSIBLE APT PANELS (14)		MAIN BKR. AS NOTED AMP M.L.O.						
POLE NO.	TRIP TYPE	LOAD V.A.	TRIP AMP.	POLE NO.	TRIP TYPE					
1	20	1	NEW DISPOSER (NOTE#3)	500	2	20	1	NEW KITCHEN PLUGS (NOTE#3)		
3	3	20	1	NEW LITS / PLUGS (NOTE#3)	500	4	4	20	1	NEW KITCHEN PLUGS (NOTE#3)
5	5	20	1	NEW LITS / PLUGS (NOTE#3)	500	6	6	20	1	NEW REF. PLUG (NOTE#3)
7	7	20	1	NEW LITS / PLUGS (NOTE#3)	500	8	8	30	1	NEW WATER HEATER
9	9	20	1	NEW LITS / PLUGS (NOTE#3)	500	10	10	2		
11	11	20	1	NEW BATHROOM PLUGS (NOTE#3)	1200	12	12	**		NEW A/C UNIT, SEE SCHEDULE
13	13	**		NEW A/C UNIT, SEE SCHEDULE	2500	14	14	2		
15	15	2			2500	16	16	30		NEW RANGE
17	17	30		NEW DRYER	4000	18	18	2		
19	19	2			2500	20	20	20	1	NEW WASHER PLUG (NOTE#3)
21	21	20	1	SPARE	---	22	22	20	1	SPARE
23	23	20	1	SPARE	---	24	24	20	1	SPARE
25	25	20	1	SPARE	---	26	26	20	1	SPARE
27	27	20	1	SPARE	---	28	28	20	1	SPARE
27	27	20	1	SPARE	---	28	28	20	1	SPARE

**NOTES:**  
 1. NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.  
 2. (\*\*\*) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.  
 3. ALL 120 VOLT, SINGLE PHASE, 15 & 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, KITCHEN, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12, 2014 EDITION).



**TYPICAL TELEPHONE / TELEVISION DIAGRAM**  
NO SCALE SYMBOL: [PP]

**DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :**  
 1. ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

25 PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.  
 26 PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

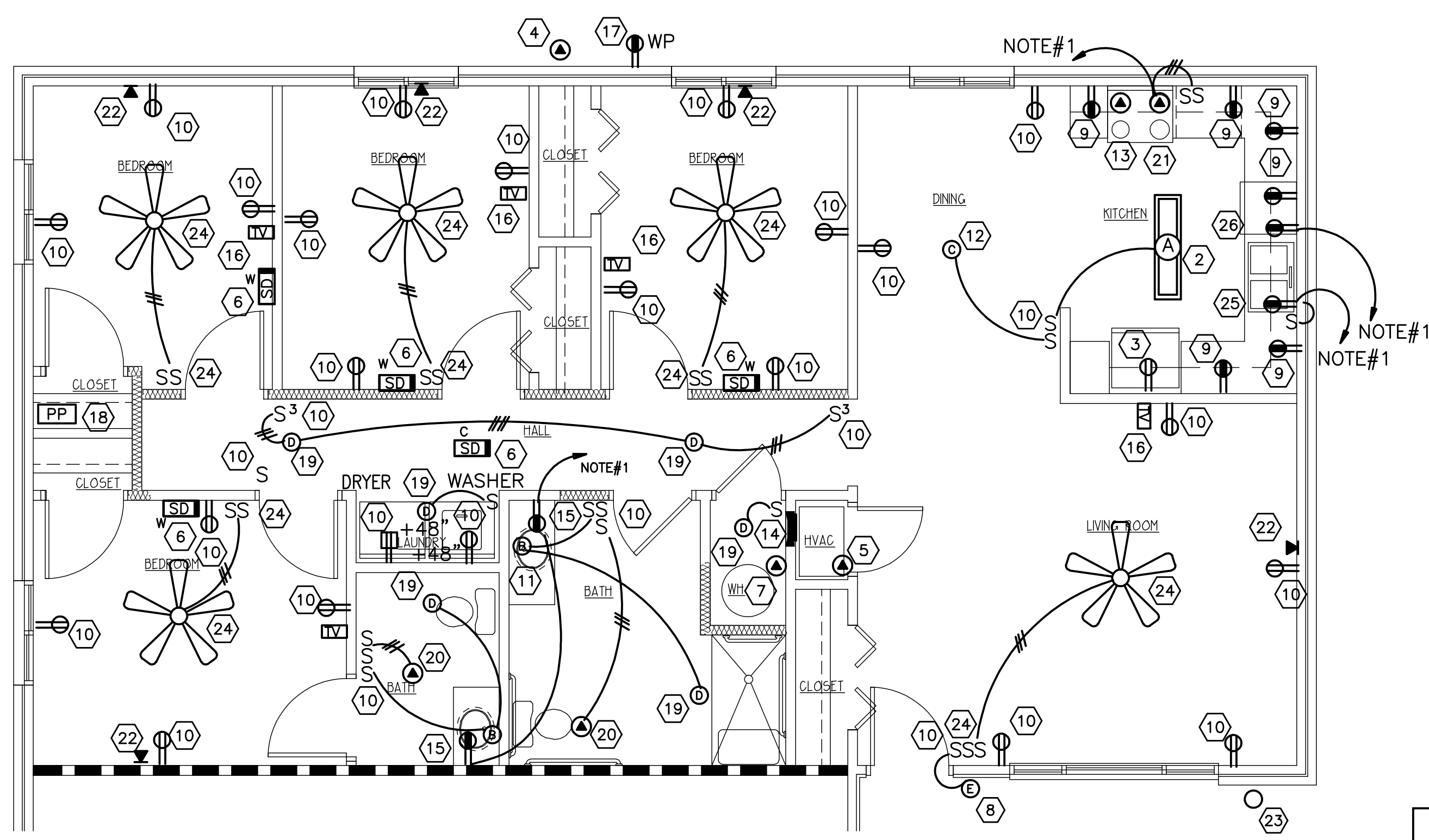
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THIS DRAWING AND ITS DESIGN CONTENT ARE THE PROPERTY OF KEVIN E. NORRIS, ELECTRICAL ENGINEER, KNOXVILLE, TN. THIS DRAWING SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING, WITHOUT THE WRITTEN CONSENT OF KEVIN E. NORRIS, IS STRICTLY PROHIBITED. CONTRACTOR SHALL VERIFY ALL PERMITS TO CONSTRUCT ARE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. CONTRACTOR SHALL COORDINATE THE WORK WITH ALL OTHER TRADES TO AVOID INTERFERENCES.

**GENERAL ELECTRICAL NOTES:**  
 1. PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.  
 2. NOT USED.  
 3. VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.). CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.  
 4. NOT USED.  
 5. EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.  
 6. CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILINGS TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.  
 7. CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.  
 8. CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT WITH ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

**RENOVATION ELECTRICAL NOTES:**  
 1 NOT USED.  
 2 NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT AS REQUIRED.  
 3 NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.  
 NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.  
 5 NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.  
 FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (112010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177cd) KIDDLE (SLED177) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.  
 7 DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.  
 8 PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.  
 9 INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS.  
 EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AND NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE. (SEE GENERAL NOTE#3)  
 11 REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.  
 12 REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES TO NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE.  
 13 EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.  
 EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.  
 15 REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STREAM PROTECTION TO OTHER OUTLETS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.  
 16 PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE. SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.  
 PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.  
 18 PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.  
 PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.  
 20 DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED.  
 21 DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.  
 EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.  
 23 REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.  
 REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.



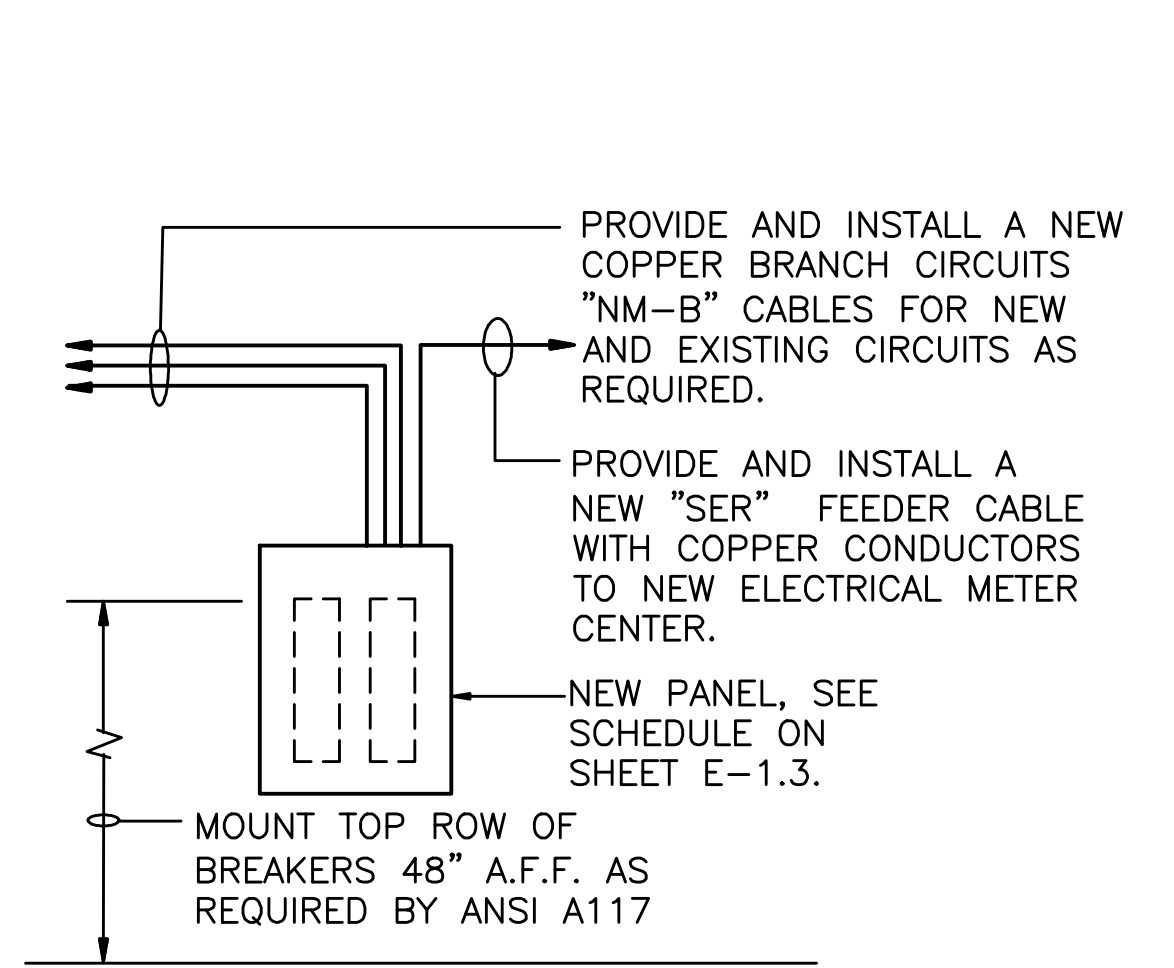


- GENERAL ELECTRICAL NOTES:**
1. PROVIDE AND INSTALL NEW 20 AMP CIRCUIT WITH #12/2 W/GROUND ROMEX CABLE (CONCEALED) AS REQUIRED AND CONNECT TO A NEW 20/1 BREAKER WITH-IN NEW PANEL AS REQUIRED.
  2. NOT USED.
  3. VERIFY ALL EXISTING ELECTRICAL DEVICE LOCATION (V.I.F.), CONTRACTOR SHALL REPLACE ALL EXISTING ELECTRICAL OUTLETS, LIGHT SWITCHES, PHONE JACKS AND COVER PLATES THROUGH OUT THE ENTIRE PROJECT. WHITE COLOR WIRING DEVICES AND COVER PLATES.
  4. NOT USED.
  5. EXISTING ELECTRICAL WIRING FOR THIS PROJECT IS CONCEALED WITH-IN EXISTING WALLS, CEILINGS AND FLOORS. ALL INTERIOR WALL ARE FRAMED WALLS WITH SHEET ROCKS FINISHES.
  6. CONTRACTOR SHALL PROVIDE THEIR OWN "TRADE-CUTS" TO PERFORM THEIR WORK. "TRADE-CUTS" SHALL INCLUDE CUTTING, PATCHING AND PAINTING OF ALL EXISTING WALLS, FLOORS AND CEILINGS AS NECESSARY TO COMPLETE THE WORK AS INDICATED ON THESE DRAWING IN A NEAT AND ORDERLY MANNER. ALL "TRADE-CUTS" MUST RETURN THE EXISTING WALLS, FLOORS OR CEILINGS TO THERE EXISTING CONDITIONS UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
  7. CONTRACTOR SHALL NOT CUT ANY EXISTING FLOOR OR ROOF JOIST UNDER ANY CIRCUMSTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY FOR ANY DAMAGE TO DURING REMODEL.
  8. CONTRACTOR SHALL INSURE THAT THE INTENT OF THE PROJECT IS COMPLETED. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY TIME AND MATERIAL TO COMPLETE THE INTENT OF THESE DRAWINGS. CONTRACTOR SHALL CONTACT WITH ARCHITECT AND / OR ENGINEER WITH ANY QUESTIONS PRIOR TO STARTING ANY PORTION OF THE PROJECT.

- RENOVATION ELECTRICAL NOTES:**
1. NOT USED.
  2. NEW CEILING MOUNTED LIGHT FIXTURE TYPE "A". PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO EXISTING CIRCUIT AS REQUIRED.
  3. NEW DUPLEX PLUG RECEPTACLE FOR REFRIGERATOR. NEW OUTLET AND COVERPLATE WITH NEW DEVICE AND COVERPLATE AS REQUIRED.
  4. NEW OUTDOOR A/C UNITS LOCATED ON FINISHED GRADE, VERIFY IN FIELD EXACT LOCATIONS. CONNECT NEW HEAT PUMP UNIT WITH NEW CIRCUITRY. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-5.0. PROVIDE AND INSTALL NEW W.P. GENERAL DUTY FUSED DISCONNECT SWITCH AT NEW UNIT LOCATION TO MEET NATIONAL ELECTRICAL CODE REQUIREMENTS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN EXISTING PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING.
  5. NEW INDOOR HEAT PUMP AND CONNECT WITH NEW WIRING AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS. PROVIDE AND INSTALL NEW CIRCUIT BREAKER WITHIN ELECTRICAL PANEL AS PER NATIONAL ELECTRICAL CODE TO MATCH A/C UNIT NAMEPLATE "MOCP" RATING. PROVIDE LOCK-OFF HANDLE ON CIRCUIT BREAKERS IN NEW ELECTRICAL PANELS FOR INDOOR FURNACES TO SERVE AS SERVICE DISCONNECT FOR NEW INDOOR A/C UNITS AS ALLOWED BY NATIONAL ELECTRICAL CODE.
  6. FURNISH AND INSTALL NEW WALL OR CEILING MOUNTED, 120V SMOKE DETECTOR. ALL UNITS SHALL HAVE BATTERY BACK-UP. WALL MOUNTED UNITS SHALL BE MOUNTED WITH TOP OF DETECTOR 4" BELOW CEILING. ALL DETECTORS SHALL SOUND TOGETHER. DETECTOR SHALL BE AS MANUFACTURED BY KIDDE (12010S), GENTEX OR BRK CONNECT TO 120V ARC FAULT PROTECTED CIRCUIT TO CONNECT DETECTORS TOGETHER WITH IN EACH INDIVIDUAL UNIT. PROVIDE ADDITIONAL STROBE LIGHT (177c-d) KIDDLE (SLED177) IN ACCESSIBLE UNITS AND (SIGHT/HEARING) AS PER ARCHITECTURAL DRAWINGS. DO NOT INSTALL SMOKE DETECTORS WITH-IN 3'-0" OF ANY NEW OR EXISTING AIR VENTS OR FAN BLADES AS PER NFPA 72 MANUFACTURER REQUIREMENTS. COORDINATE WITH MANUFACTURER FOR INSTALLATION DISTANCE FROM WALL AND BULKHEADS.
  7. DISCONNECT EXISTING WATER HEATER AND CONNECT NEW 4.5 KW ELECTRIC WATER HEATER. PROVIDE AND INSTALL NEW CIRCUIT AS REQUIRED. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
  8. PROVIDE AND INSTALL EXTERIOR DOOR LIGHT AND NEW INSIDE WALL SWITCH AS REQUIRED. CONNECT TO EXISTING UNSWITCHED CIRCUIT AS REQUIRED.
  9. INSTALL NEW GFCI RECEPTACLE AND COVER PLATE. RECONNECT TO EXISTING KITCHEN APPLIANCE CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER UNITS.
  10. EXISTING ELECTRICAL OUTLET OR SWITCH LOCATION TO REMAIN, REPLACE EXISTING WIRING DEVICE AND COVERPLATE AND RECONNECT TO EXISTING CIRCUIT AS REQUIRED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES AND NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE. (SEE GENERAL NOTE#3)
  11. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW WALL MOUNTED LIGHT OVER BATHROOM MIRROR WITH NEW FIXTURE TYPE "B". RECONNECT TO EXISTING CIRCUITRY AS REQUIRED.
  12. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REPLACE WITH NEW SURFACE MOUNTED FIXTURE TYPE AS NOTED. CONTRACTOR SHALL TERMINATE EXISTING CONDUCTORS ON NEW DEVICES TO NEW ARC-FAULT BREAKERS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
  13. EXISTING ELECTRIC RANGE TO BE REPLACED WITH NEW ELECTRIC RANGE. CONNECT TO EXISTING 50 AMP, RANGE RECEPTACLE AND CIRCUIT AS REQUIRED. COORDINATE CORD AND PLUG WITH NEW APPLIANCE SUPPLIER. SEE "APPLIANCE / MECHANICAL UNIT CONNECTION SCHEDULE" ON SHEET E-4.0 FOR NEW WIRING SIZE AND BREAKER SIZES FOR NEW MECHANICAL UNITS.
  14. EXISTING FLUSH MOUNTED ELECTRICAL PANEL, 120/240 VOLTS, 1-PHASE, 3-WIRE, SEE PANEL SCHEDULES. BEFORE THE FINAL COMPLETION OF THE PROJECT THE CONTRACTOR MUST VERIFY EACH BREAKER AND IT'S USE AND INSTALL NEW TYPED LABEL WITH IN EACH PANEL.
  15. REMOVE EXISTING OUTLET FROM EXISTING J-BOX; PROVIDE AND INSTALL NEW GFCI RECEPTACLE AND COVER PLATE IN EXISTING OUTLET BOX FLUSH IN WALL. CONNECT TO NEW BATHROOM CIRCUIT AS REQUIRED. CONTRACTOR SHALL NOT USE GFCI RECEPTACLES TO PROVIDE DOWN STEAM PROTECTION TO OTHER UNITS. RELOCATE "GFCI" OUTLET TO CLEAR NEW MIRROR AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
  16. PROVIDE AND INSTALL NEW FLUSH MOUNTED TELEVISION OUTLETS WITH NEW COAX CABLE, SEE DETAIL ON SHEET E-1.0. VERIFY LOCATION W/ OWNER PRIOR TO ROUGH-IN.
  17. PROVIDE AND INSTALL NEW WEATHERPROOF GFCI SERVICE RECEPTACLE FOR OUTDOOR A/C UNITS. CONNECTED TO FIRST FLOOR APARTMENTS ONLY. PROVIDE NEW "WHILE-IN-USE" COVER AS REQUIRED. MAXIMUM OF 25'-0" FROM HVAC EQUIPMENT.
  18. PROVIDE AND INSTALL NEW RECESSED MOUNTED PATCH PANEL, SEE NEW DIAGRAM FOR NEW TELEVISION WIRING ON THIS SHEET. LOCATE NEW PATCH AND PAINT AND PAINT AND PAINT PANEL IN READILY ACCESSIBLE LOCATION AS PER NATIONAL ELECTRICAL CODE.
  19. PROVIDE AND INSTALL NEW CEILING MOUNTED LIGHT AS NOTED. PROVIDE AND INSTALL NEW FLUSH MOUNTED JUNCTION BOX AND CONNECT TO LIGHTING CIRCUIT AS REQUIRED.
  20. DEMO EXISTING TOILET EXHAUST FAN. NEW TOILET EXHAUST FAN TO NEW WALL SWITCH AND EXISTING CIRCUIT AS REQUIRED.
  21. DISCONNECT EXISTING RANGE HOOD DURING KITCHEN CABINET REPLACEMENT PHASE OF PROJECT. PROVIDE AND INSTALL NEW DUPLEX PLUG RECEPTACLE IN WALL CABINET FOR NEW MICROWAVE / VENT HOOD. CONNECT TO NEW 120 VOLT, 20 AMP CIRCUIT IN EXISTING PANEL. SEE ARCHITECTURAL WALL ELEVATIONS FOR LOCATION AND MOUNTING HEIGHT FOR NEW HOOD.
  22. EXISTING TELEPHONE OUTLET LOCATIONS TO REMAIN, REPLACE EXISTING TELEPHONE JACKS COVERPLATES AND CONNECT TO EXISTING WIRING AS REQUIRED.
  23. REMOVE EXISTING SURFACE MOUNTED INCANDESCENT LIGHTING FIXTURE AND REMOVE ALL EXISTING CONDUCTORS AND DISCONNECT FROM EXISTING PANEL IN ANOTHER APARTMENT AND INSTALL BLANK COVER. SEE SHEET E-2.0.
  24. REMOVE EXISTING SURFACE MOUNTED LIGHTING FIXTURE AND REPLACE EXISTING RECESSED J-BOX WITH NEW CEILING FAN RATED RECESSED J-BOX PROVIDE AND INSTALL TWO NEW WALL SWITCHES TO CONTROL THE LIGHT AND FAN SEPARATELY AND CONNECT SWITCHES TO FAN/LIGHT WITH #12/3 W/GRND "NM" CABLE. PATCH EXISTING SHEET ROCK WALLS AND CEILING AS REQUIRED.

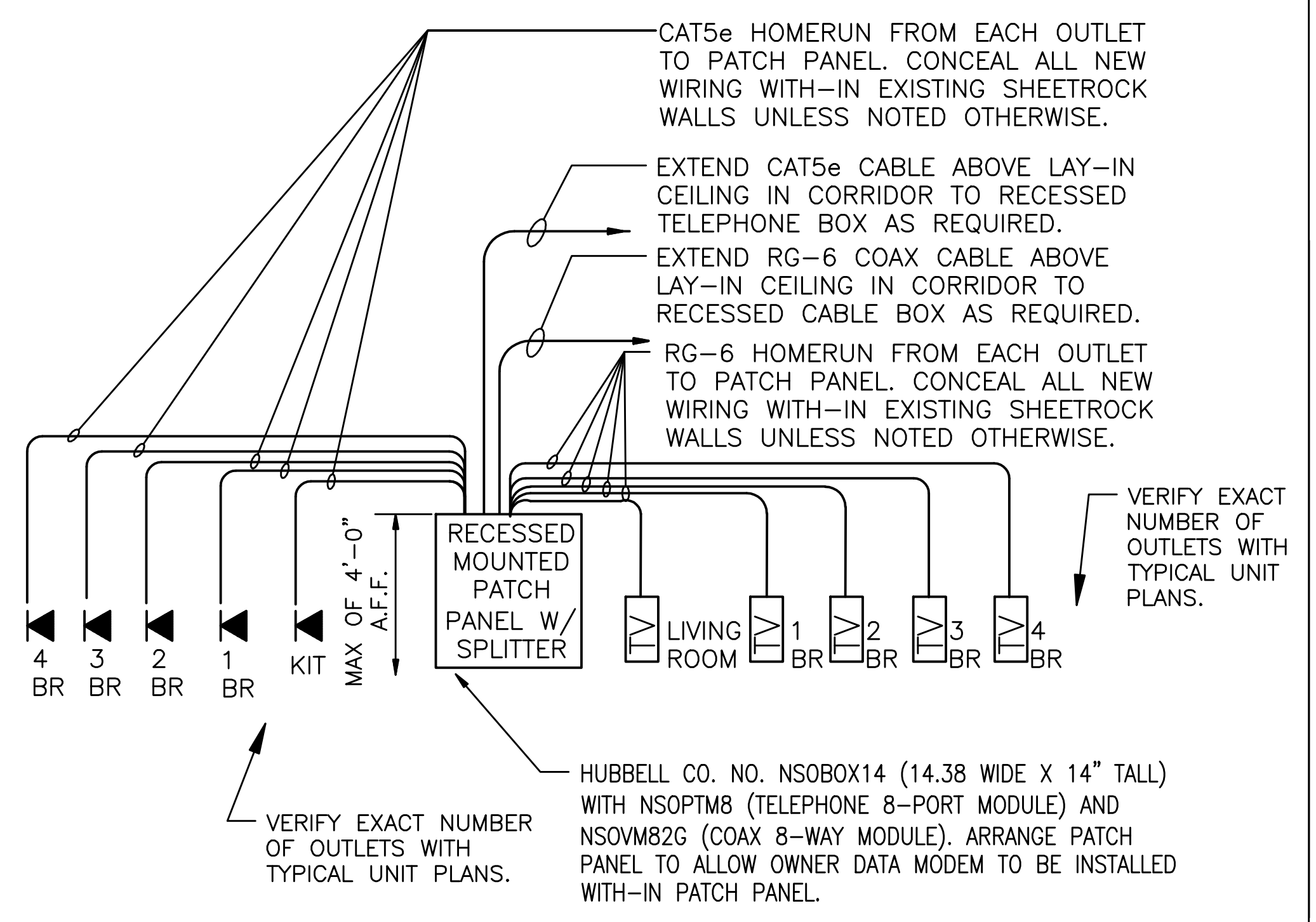
- DEMOLITION ELECTRICAL NOTES ACCESSIBLE UNITS :**
1. ALL EXISTING ELECTRICAL DEVICES WIRING AND FIXTURES, PANEL, TELEPHONE AND TELEVISION OUTLETS TO BE A COMPLETELY REMOVED.

**FOUR BEDROOM ACC. UNIT**  
SCALE: 1/4"=1'-0" 1,261 SF NET 1,351 SF GROSS



**ACCESSIBLE FEEDER DIAGRAM**

- NO SCALE
- WIRING SCHEDULE:**
- 100 AMP SERVICE "SER" CABLE - 3#4 CU W/ GRND.
  - 125 AMP SERVICE "SER" CABLE - 3#1 CU W/ GRND.
  - 150 AMP SERVICE "SER" CABLE - 3#1/0 CU W/ GRND.
  - 200 AMP SERVICE "SER" CABLE - 3#2/0 CU W/ GRND.



**TYPICAL TELEPHONE / TELEVISION DIAGRAM**

NO SCALE SYMBOL: [PF]

- TYPICAL DWELLING UNITS ELECTRICAL NOTES:**
1. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS WITH-IN DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(A)(1) THROUGH (A)(3). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING NECESSARY TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE.
  2. CONTRACTOR SHALL SPACE ALL ELECTRICAL OUTLETS ABOVE THE DWELLING UNIT KITCHEN COUNTERTOPS IN EACH DWELLING UNITS AS PER THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE ARTICLE 210.52(C)(1) THROUGH (C)(5). PROVIDE ADDITIONAL VERTICAL AND HORIZONTAL FRAMING TO SPACE OUTLETS AS REQUIRED BY NATIONAL ELECTRICAL CODE. ALL ELECTRICAL OUTLETS MOUNTED ABOVE COUNTER TOPS IN KITCHEN SHALL BE MOUNTED HORIZONTAL WITH TOP OF OUTLETS AT +44" A.F.F. FOR ACCESSIBLE CODES.

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ELECTRICAL ENGINEER  
5516 WALLWOOD ROAD  
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25. PROVIDE AND INSTALL NEW DISPOSER TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG. PROVIDE AND INSTALL NEW WALL SWITCH ABOVE COUNTER TOP (+44" A.F.F.) TO CONTROL DISPOSER.
26. PROVIDE AND INSTALL NEW DISHWASHER AND CONNECT TO NEW CIRCUIT AS REQUIRED. SEE MECHANICAL CONNECTION SCHEDULE FOR NEW CONNECTION REQUIREMENTS WITH NEW CORD AND PLUG.

DRWN BY: JDD	CHKD. BY: MDA	APPR. BY: KN	DATE: 06-30-16
REVISIONS			

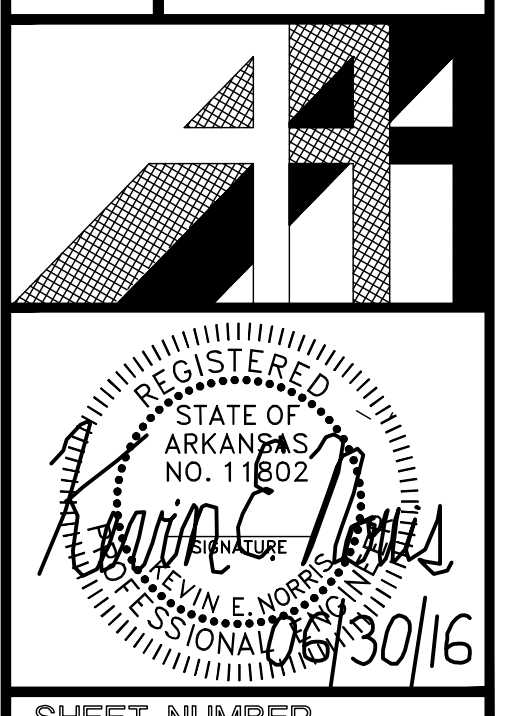
**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

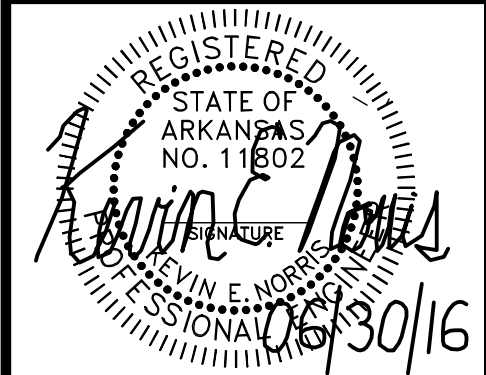
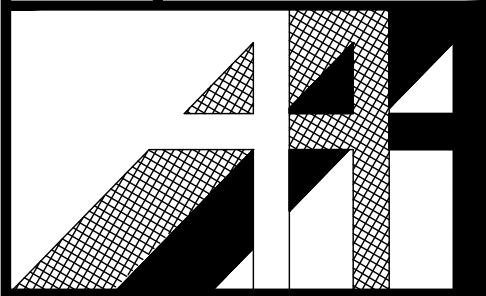
**FOUR BEDROOM ACCESSIBLE UNIT PLANS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

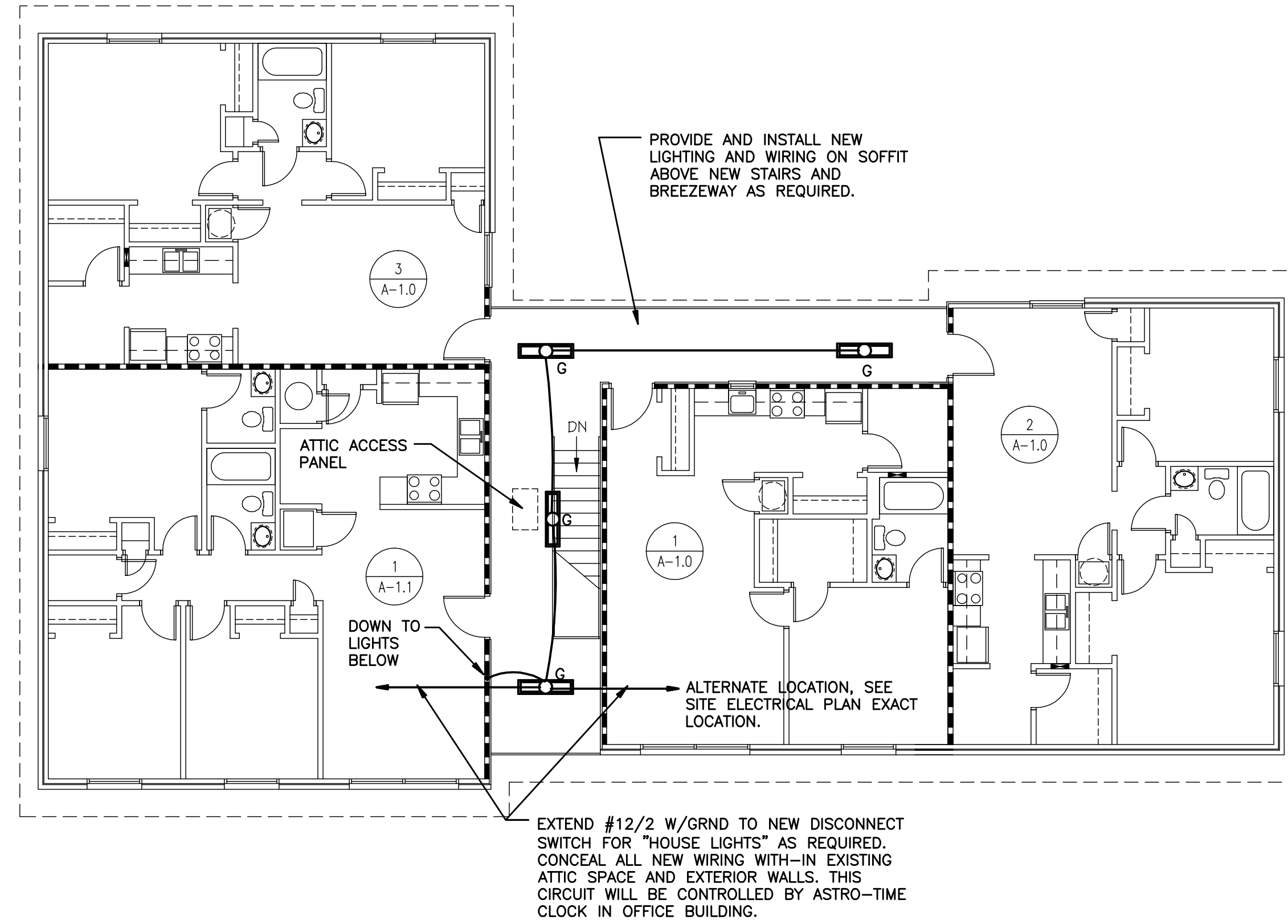
5516 WALLWOOD ROAD  
865 / 889-1302





**KEVIN E. NORRIS**  
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8616 WALLWOOD ROAD  
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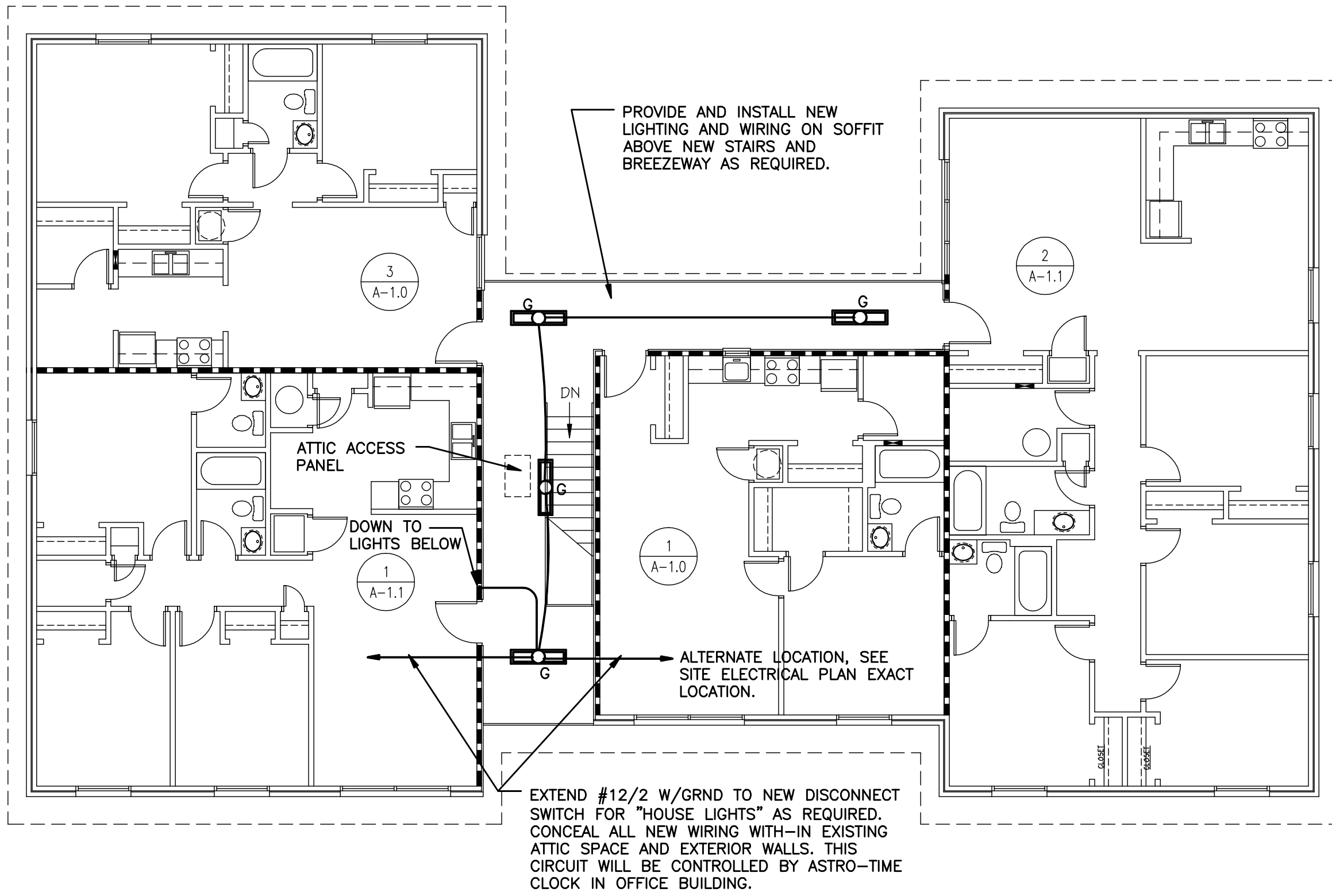


**BLDG'S '1','4','6','7'**  
**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2  
E-2.0

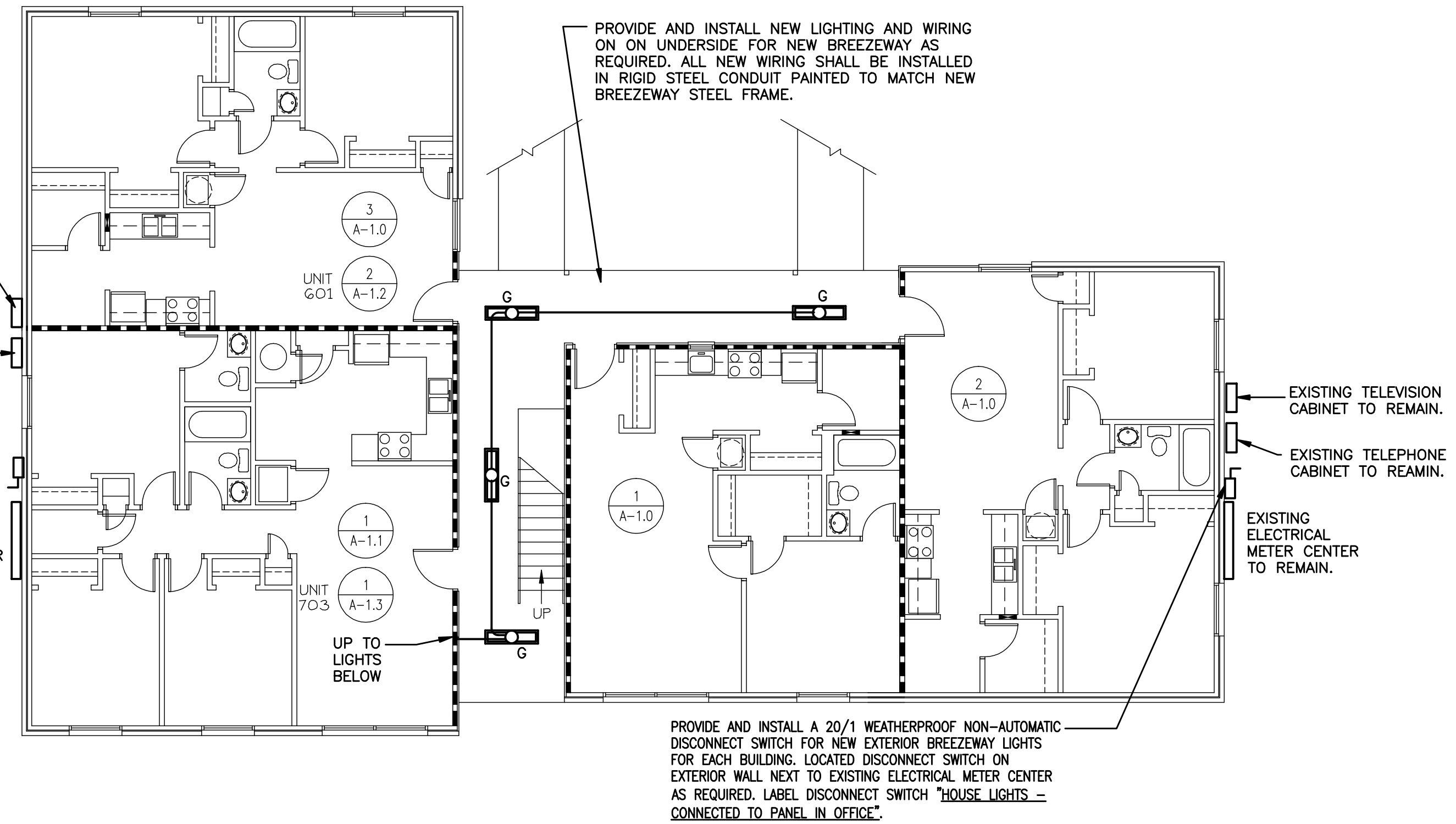
**TELEPHONE AND TELEVISION SERVICE NOTE:**  
CONTRACTOR SHALL REMOVE ALL EXISTING TELEPHONE AND TV CABLE FROM THE EXTERIOR FACE FROM ALL BUILDINGS AS REQUIRED. ALL TELEPHONE AND TV CABLES SHALL BE CONCEALED WITH-IN EXISTING WALLS AS REQUIRED, SEE DETAILS ON TYPICAL UNIT PLANS.

**EXISTING LIGHTING NOTE:**  
EXISTING STAIRS AND BREEZEWAYS AREA ARE BEING REPLACES. SEE ARCHITECTURAL DRAWINGS. REMOVE ALL EXISTING WALL MOUNTED EXTERIOR LIGHTING AND PHOTO-CELL. EXISTING EXTERIOR LIGHTING AND PHOTO-CELL ARE CONNECTED TO ONE OF THE EXISTING TENANT PANELS IN EACH BUILDING.



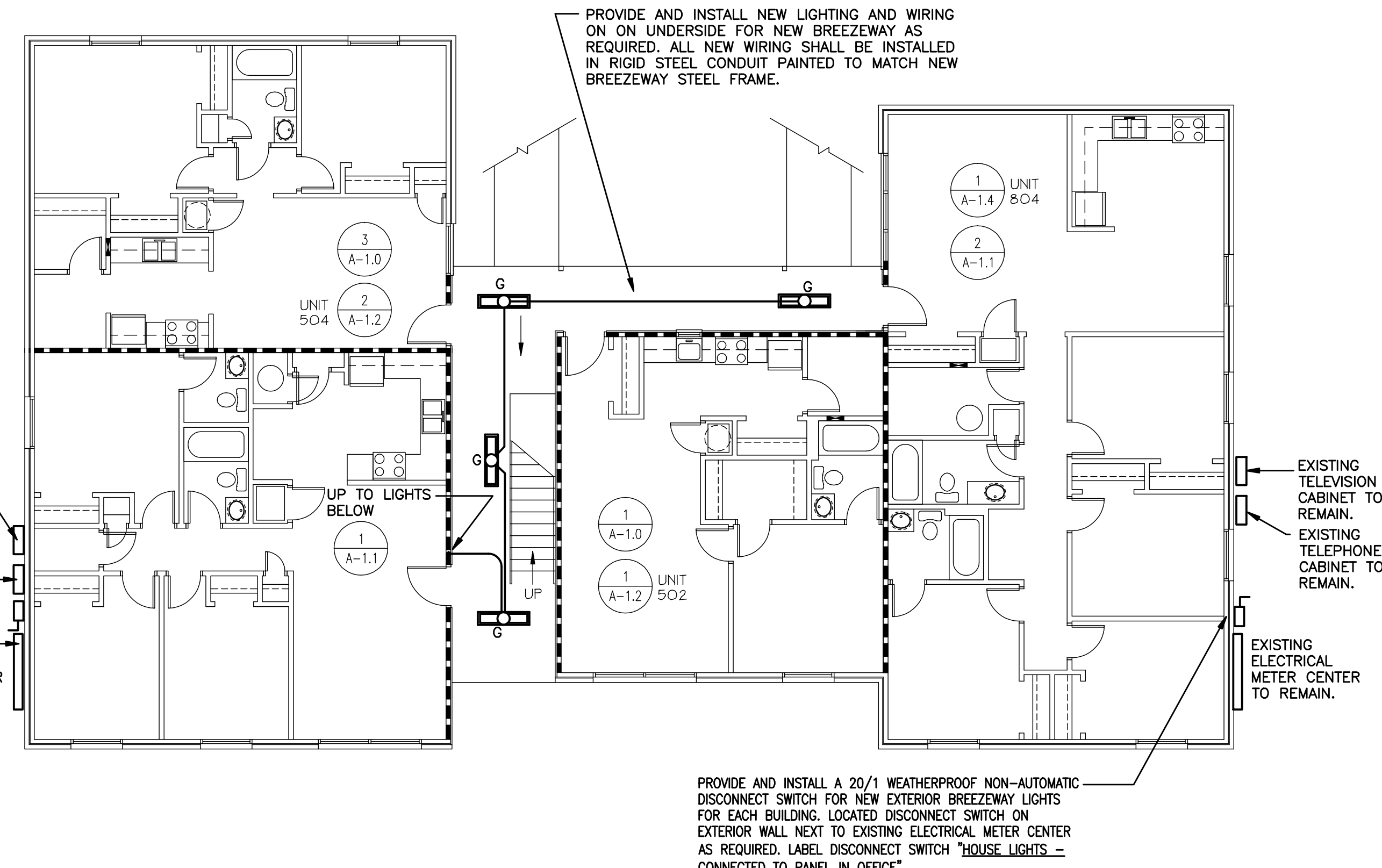
**BLDG'S '2','3','5','8'**  
**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

4  
E-2.0



**BLDG'S '1','4','6','7'**  
**FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

1  
E-2.0



**BLDG'S '2','3','5','8'**  
**FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"

3  
E-2.0

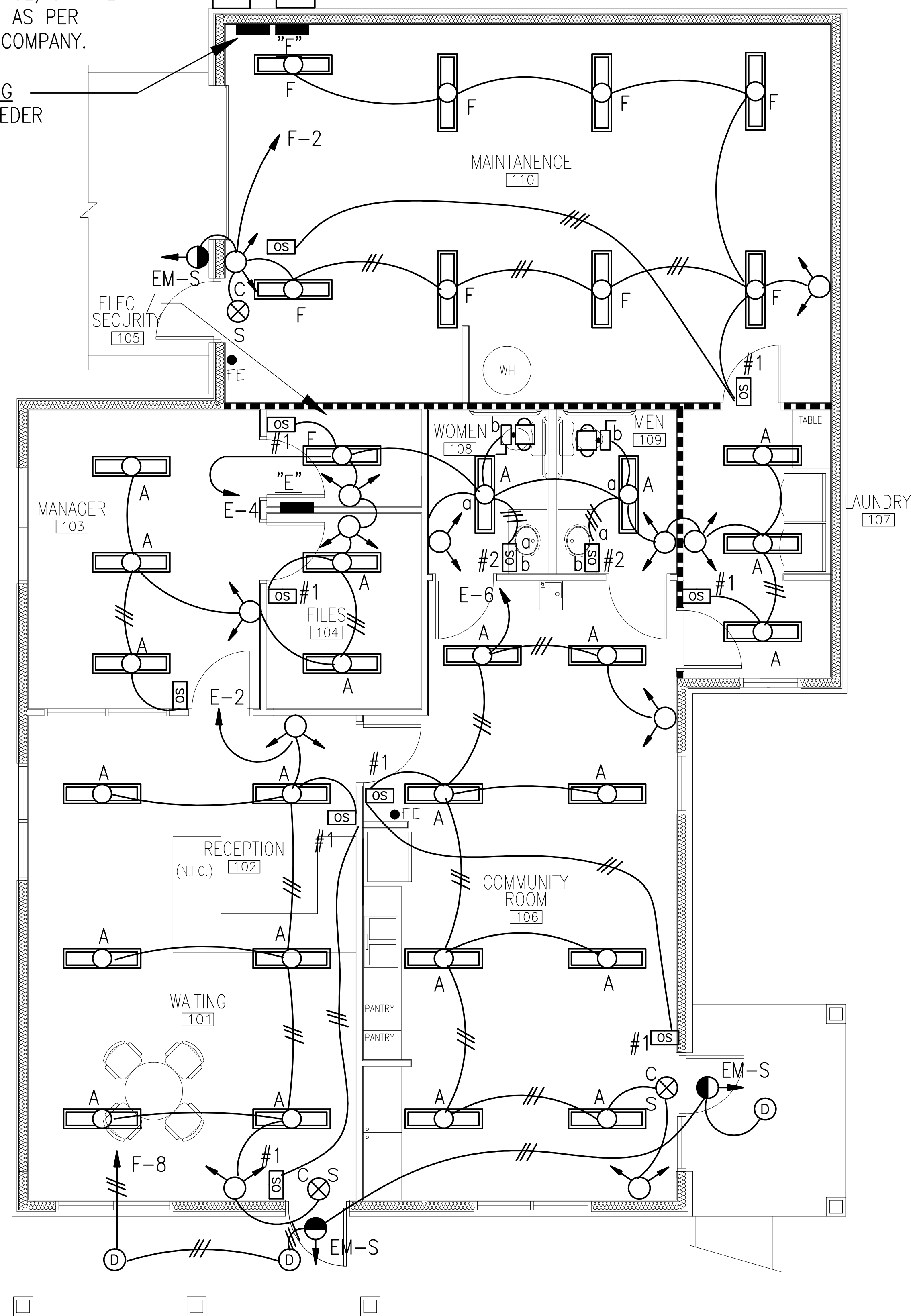
PROVIDE AND INSTALL A 20/1 WEATHERPROOF NON-AUTOMATIC DISCONNECT SWITCH FOR NEW EXTERIOR BREEZEWAY LIGHTS FOR EACH BUILDING. LOCATED DISCONNECT SWITCH ON EXTERIOR WALL NEXT TO EXISTING ELECTRICAL METER CENTER AS REQUIRED. LABEL DISCONNECT SWITCH "HOUSE LIGHTS - CONNECTED TO PANEL IN OFFICE".

PROVIDE AND INSTALL A 20/1 WEATHERPROOF NON-AUTOMATIC DISCONNECT SWITCH FOR NEW EXTERIOR BREEZEWAY LIGHTS FOR EACH BUILDING. LOCATED DISCONNECT SWITCH ON EXTERIOR WALL NEXT TO EXISTING ELECTRICAL METER CENTER AS REQUIRED. LABEL DISCONNECT SWITCH "HOUSE LIGHTS - CONNECTED TO PANEL IN OFFICE".

PROVIDE AND INSTALL NEW WEATHERPROOF FUSED DISCONNECT SWITCH, SEE FEEDER DIAGRAM.

400 AMP, 1-PHASE, 3-WIRE ELECTRIC METER AS PER LOCATE POWER COMPANY.

OUTSIDE LIGHTING RELAYS, SEE FEEDER DIAGRAM.



**COMMUNITY/OFFICE FLOOR PLAN - LIGHTING**  
SCALE: 1/4" = 1'-0" 2,275 SF GROSS

OCCUPANCY / VACANCY SENSORS SCHEDULE	
SYMBOL	DESCRIPTION
OS1	WALL MOUNTED INFRARED AND ULTRASONIC DUAL-TECHNOLOGY LINE VOLTAGE OCCUPANCY SENSOR WITH MANUAL "ON" / "OFF" BUTTON, AND AUTO "ON" / "OFF", SENSOR SWITCH CO. NO. WSD-PDT-(**) VERIFY COLOR WITH ARCHITECT. PROVIDES ONLY SINGLE LEVEL OF SWITCH CONTROL.
OS2	WALL MOUNTED INFRARED AND ULTRASONIC DUAL-TECHNOLOGY LINE VOLTAGE TWO POLE VACANCY SENSOR WITH TWO MANUAL "ON" / "OFF" BUTTONS, AND AUTO "ON" / "OFF", SENSOR SWITCH CO. NO. WSD-PDT-2P-SA-(**) VERIFY COLOR WITH ARCHITECT. PROVIDES BI-LEVEL OF SWITCH CONTROL.

**OCCUPANCY / VACANCY SENSORS NOTES:**

- OCCUPANCY SENSORS SHALL PROVIDE BOTH AUTOMATIC "ON" AND "OFF" CONTROLS FOR LIGHTS WITH MANUAL "OFF" BUTTON(S).
- VACANCY SENSORS SHALL PROVIDE ONLY AUTOMATIC "OFF" CONTROLS FOR LIGHTS WITH BOTH MANUAL "ON" AND "OFF" BUTTON(S).
- ALL OCCUPANCY / VACANCY SENSORS SHALL BE SET TO THE MAXIMUM OF 30:00 MINUTES TIME DELAY FOR AUTOMATIC "OFF" CONTROLS AS PER 2012 IECC.
- ALL OCCUPANCY / VACANCY SENSORS SHALL BE EQUIPPED WITH MANUAL "ON" AND "OFF" BUTTON(S) AS PER 2012 IECC.
- ALL WALL MOUNTED OCCUPANCY / VACANCY SENSORS SHALL BE MOUNTED 48" TO TOP OF BOX OR CEILING MOUNTED AS NOTED IN DESCRIPTION ABOVE. ALL CEILING MOUNTED SENSOR SHALL BE CENTERED IN SPACE AS REQUIRED.
- ALL OCCUPANCY / VACANCY SENSORS LOCATED WITH-IN THE DAYLIGHT ZONE AS PER 2012 INTERNATIONAL ENERGY CONSERVATION CODE SHALL BE EQUIPPED WITH PHOTOCELL AND DUAL CIRCUIT CONTROLS TO CONTROL 50% OF THE LIGHTING FIXTURES WITH-IN THE DAYLIGHT ZONE AS DEFINED IN THE 2012 IECC.
- ALL OCCUPANCY SENSORS LOCATED WITH RESTROOMS SHALL BE EQUIPPED WITH DUAL-CIRCUIT CONTROLS TO OPERATE BOTH RESTROOM LIGHTS AND EXHAUST FANS.
- CONTRACTOR SHALL VERIFY COLOR FOR ALL WALL MOUNTED SENSORS AND COVER PLATES WITH ARCHITECT PRIOR TO ORDERING EQUIPMENT.
- CONTRACTOR SHALL INSTALL AND WIRED ALL SENSORS TO COMPLY WITH THE MANUFACTURER INSTRUCTIONS AND WIRING DIAGRAMS TO ENSURE PROPER WORKING ORDER.

DRWN BY: JDD	CHKD BY: MDA	DATE: 06-30-16
APPR BY: KN	REVISIONS	

**OFFICE LIGHTING PLAN**

**WHITE RIVER APARTMENTS**  
2900 MAPION DRIVE  
DIAZ, ARKANSAS

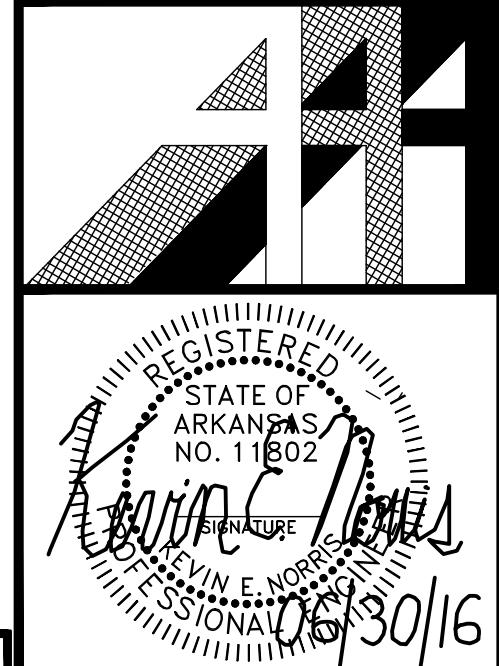
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

865 / 689-1302

5516 WALLWOOD ROAD

**KEVIN E. NORRIS**  
ELECTRICAL ENGINEER  
8818 WALLWOOD ROAD  
KNOXVILLE, TN 37912  
PHONE: (615) 854-3043



SHEET NUMBER  
**E-4.0**

PROVIDE AND INSTALL NEW WEATHERPROOF FUSED DISCONNECT SWITCH, SEE FEEDER DIAGRAM.

400 AMP, 1-PHASE, 3-WIRE ELECTRIC METER AS PER LOCATE POWER COMPANY.

PROVIDE AND INSTALL NEW KIDDE CO. NO. i12010S W/ SLED177I, 120 VOLT SMOKE DETECTORS WITH BATTERY BACK-UP WITH ADDITIONAL 177 CD STROBE LIGHTS, CEILING MOUNTED. INTERCONNECT ALL 120 VOLT SMOKE DETECTORS AND 177 CD STROBE LIGHTS TOGETHER WITH #12/3 W/GRND "NM" CABLE CONCEALED WITH-IN ATTIC SO WHEN ONE DETECTOR SOUNDS ALARM ALL DETECTORS SOUNDS ALARM.

NEW LIGHTING CONTROLLER WITH ASTRO-TIME CLOCK AND TWELVE (12) PROGRAMMABLE RELAYS, TORK CO. NO. ELS712 / EPC-LC (PHOTO-CELL) / LCS115M (OVER-RIDE SWITCH) TO CONTROL NEW INTERIOR LIGHTS AND NEW EXTERIOR LIGHTS VIA PHOTO-CELL

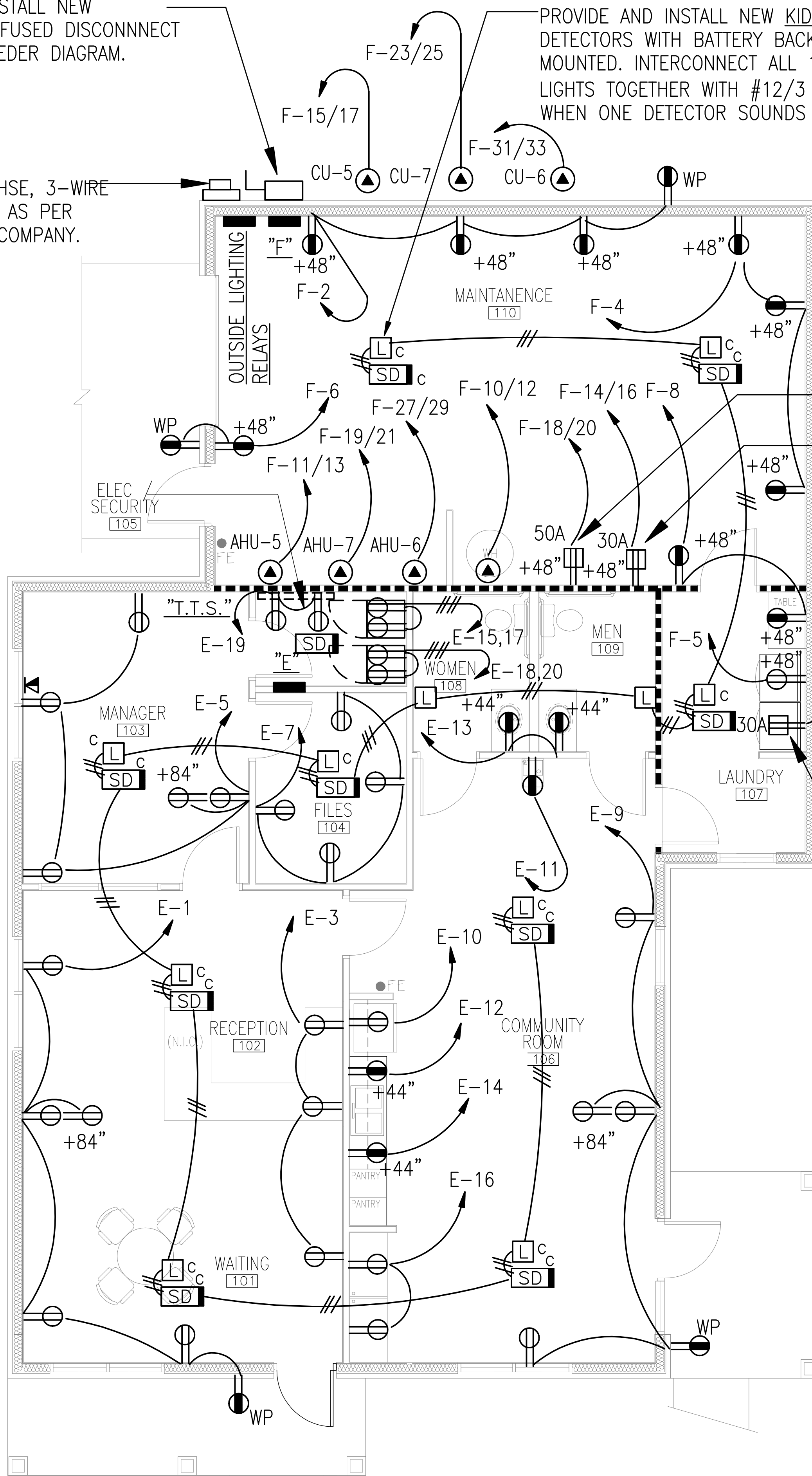


PHOTO-CELL; MOUNTED ON 1/2" RIGID STEEL CONDUIT, 12" ABOVE ROOF DECK, FACING NORTH.

TWO 2" CONDUIT W/ 3#3/0 CU & 1#3 CU GRND.

120/240 VOLTS, 1-PHASE, 3-WIRE, NEMA 3R DISC. SWITCH, FUSE @ 400 AMPS.

NEW ELECTRICAL METER AS PER LOCAL UTILITY COMPANY.

EXTEND TWO 3" PVC CONDUITS TO UTILITY COMPANY RISER POLE FOR TELEPHONE AND TELEVISION CABLES BY UTILITY COMPANY.

TWO 2" PVC CONDUIT W/ 3#3/0 CU IN EACH FOR NEW UNDERGROUND ELECTRIC SERVICE.

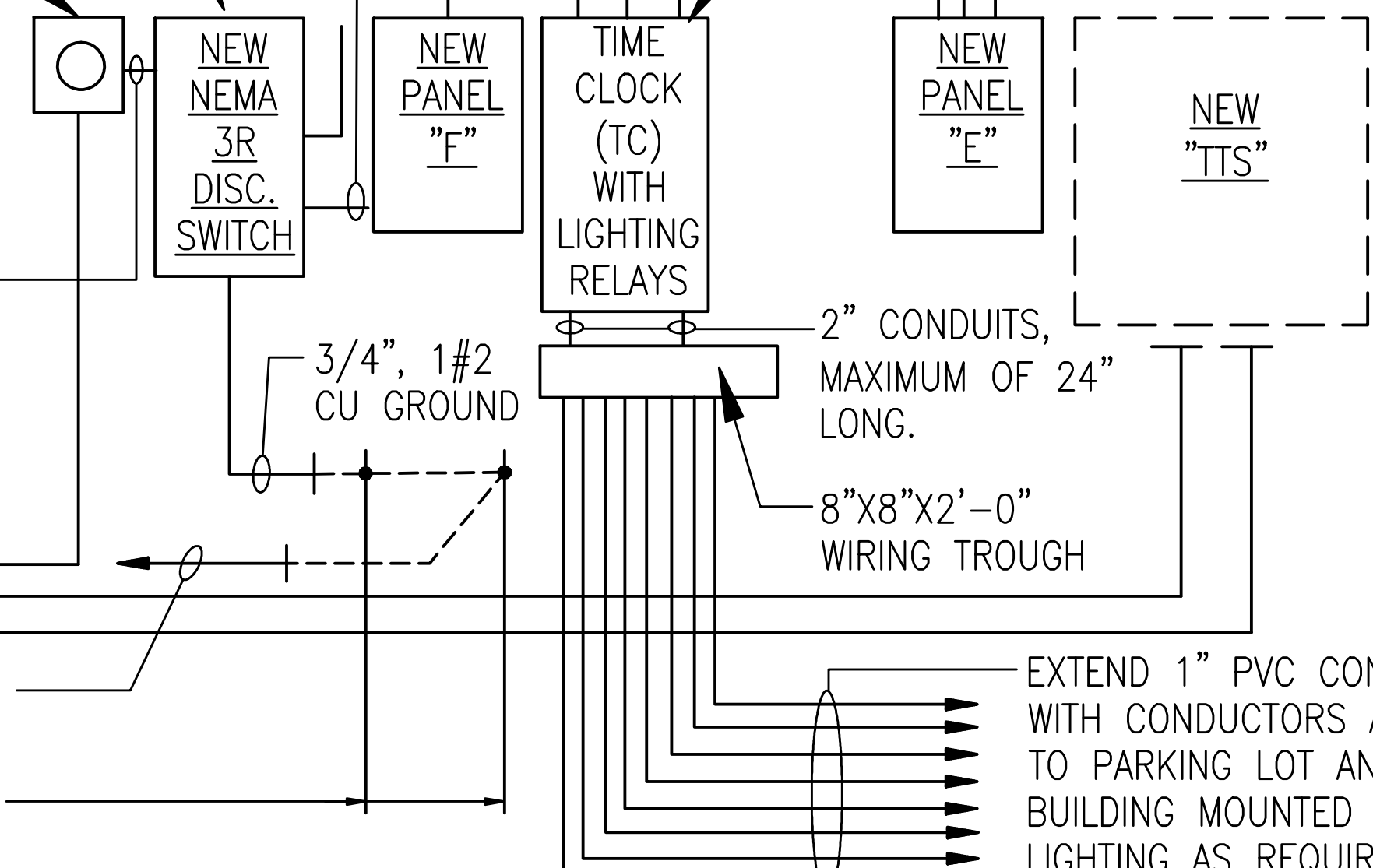
3/4" 3#10 & 1#10 GRND.

DRYER OUTLETS AT +48" A.F.F.

2" CONDUIT W/ 3#3/0 CU & 1#6 CU GRND. IN EACH.

PROVIDE AND INSTALL TWO - 2" EMT CONDUITS WITH 12#6 CU & 1#6 GRND IN EACH BETWEEN PANEL AND TIME CLOCK WITH RELAYS.

EXTEND 3/4" 1#1/0 CU GROUND TO METAL COLD WATER PIPE  
TWO DRIVEN 5/8" DIA. X 8'-0" LONG GROUND RODS.



EXTEND 1" PVC CONDUITS WITH CONDUCTORS AS NOTED TO PARKING LOT AND BUILDING MOUNTED SECURITY LIGHTING AS REQUIRED, SEE SHEET E-0.1 FOR CONTINUATION.

### ELECTRICAL FEEDER DIAGRAM <sup>1</sup>

NO SCALE.

120/240 VOLTS, 1-PHASE, 3-WIRE, LUG / PHASE				NEW OFFICE PANEL "E" <sup>1</sup>				225 AMP MAIN LUGS ONLY.							
POLE NO.	BKR. NO.	TRIP AMP.	SERVICES	A-PH. LOAD V. A.	B-PH. LOAD V. A.	POLE NO.	BKR. NO.	TRIP AMP.	SERVICES	A-PH. LOAD V. A.	B-PH. LOAD V. A.	POLE NO.	BKR. NO.	TRIP AMP.	SERVICES
1	1	20	PLUGS	1200	1200	2	2	20	LIGHTS	1200	1200	2	2	20	MAINTENANCE LIGHTS
3	3	20	PLUGS	1200	1200	4	4	20	LIGHTS	1200	1200	4	4	20	LAUNDRY LIGHTS
5	5	20	PLUGS	1200	1200	6	6	20	LIGHTS	1200	1200	6	6	20	WASHER
7	7	20	PLUGS	1200	1200	8	8	20	EXTERIOR LIGHTS (NOTE#3)	1200	1200	8	8	20	DRYER
9	9	20	PLUGS	1200	1200	10	10	20	KITCHENETTE	1200	1200	10	10	20	INDOOR HEAT PUMP UNIT (**)
11	11	20	PLUGS	1200	1200	12	12	20	KITCHENETTE	1200	1200	12	12	20	OUTDOOR (**)
13	13	20	PLUGS	1200	1200	14	14	20	KITCHENETTE	1200	1200	14	14	20	HEAT PUMP
15	15	20	PLUGS	1200	1200	16	16	20	COMPUTER WORK STATIONS	1200	1200	16	16	20	INDOOR HEAT PUMP UNIT (**)
17	17	20	PLUGS	1200	1200	18	18	20	SECURITY CAMERA DVR	1200	1200	18	18	20	OUTDOOR (**)
19	19	20	"TTS"	1200	1200	20	20	20	SECURITY CAMERA	1200	1200	20	20	20	HEAT PUMP
21	21	20	BUILDING #1 BREEZEWAY LIGHTS	500	500	22	22	20	SECURITY CAMERA	500	500	22	22	20	INDOOR HEAT PUMP UNIT (**)
23	23	20	BUILDING #2 BREEZEWAY LIGHTS	500	500	24	24	20	SECURITY CAMERA - POLE MOUNTED	500	500	24	24	20	OUTDOOR (**)
25	25	20	BUILDING #3 BREEZEWAY LIGHTS	500	500	26	26	20	SECURITY CAMERA - BLDG MOUNTED	500	500	26	26	20	HEAT PUMP
27	27	20	BUILDING #4 BREEZEWAY LIGHTS	500	500	28	28	20	SECURITY CAMERA - BLDG MOUNTED	500	500	28	28	20	INDOOR HEAT PUMP UNIT (**)
29	29	20	BUILDING #5 BREEZEWAY LIGHTS	500	500	30	30	20	SECURITY CAMERA - BLDG MOUNTED	500	500	30	30	20	OUTDOOR (**)
31	31	20	BUILDING #6 BREEZEWAY LIGHTS	500	500	32	32	20	SECURITY CAMERA - BLDG MOUNTED	500	500	32	32	20	HEAT PUMP
33	33	20	BUILDING #7 BREEZEWAY LIGHTS	500	500	34	34	20	SECURITY CAMERA - BLDG MOUNTED	500	500	34	34	20	INDOOR HEAT PUMP UNIT (**)
35	35	20	BUILDING #8 BREEZEWAY LIGHTS	500	500	36	36	20	SECURITY CAMERA - BLDG MOUNTED	500	500	36	36	20	OUTDOOR (**)
37	37	20	EXTERIOR POLE LIGHTS (NOTE#3)	500	500	38	38	20	SPARE	500	500	38	38	20	HEAT PUMP
39	39	20	EXTERIOR POLE LIGHTS (NOTE#3)	500	500	40	40	20	SPARE	500	500	40	40	20	PANEL "E"
41	41	20	EXTERIOR POLE LIGHTS (NOTE#3)	500	500	42	42	20	SPARE	500	500	42	42	20	HEAT PUMP

120/240 VOLTS, 1-PHASE, 3-WIRE, LUG / PHASE				NEW OFFICE PANEL "F"				400 AMP MAIN LUGS ONLY							
POLE NO.	BKR. NO.	TRIP AMP.	SERVICES	A-PH. LOAD V. A.	B-PH. LOAD V. A.	POLE NO.	BKR. NO.	TRIP AMP.	SERVICES	A-PH. LOAD V. A.	B-PH. LOAD V. A.	POLE NO.	BKR. NO.	TRIP AMP.	SERVICES
1	1	20	MAINTENANCE LIGHTS	1200	1200	2	2	20	MAINTENANCE PLUG RECEPTACLES	1200	1200	2	2	20	MAINTENANCE PLUG RECEPTACLES
3	3	20	LAUNDRY LIGHTS	1200	1200	4	4	20	MAINTENANCE PLUG RECEPTACLES	1200	1200	4	4	20	MAINTENANCE PLUG RECEPTACLES
5	5	20	WASHER	1200	1200	6	6	20	MAINTENANCE PLUG RECEPTACLES	1200	1200	6	6	20	MAINTENANCE PLUG RECEPTACLES
7	7	30	DRYER	2250	2250	8	8	20	MAINTENANCE PLUG RECEPTACLES	2250	2250	8	8	20	MAINTENANCE PLUG RECEPTACLES
9	9	20	INDOOR HEAT PUMP UNIT (**)	2250	2250	10	10	30	WATER HEATER	2250	2250	10	10	30	WATER HEATER
11	11	60	INDOOR HEAT PUMP UNIT (**)	5000	5000	12	12	2	SPARE	5000	5000	12	12	2	SPARE
13	13	2	OUTDOOR (**)	5000	5000	14	14	30	DRYER (TEST OUTLET)	5000	5000	14	14	30	DRYER (TEST OUTLET)
15	15	60	OUTDOOR (**)	1300	1300	16	16	2	SPARE	1300	1300	16	16	2	SPARE
17	17	2	HEAT PUMP	4000	4000	18	18	50	RANGE (TEST OUTLET)	4000	4000	18	18	50	RANGE (TEST OUTLET)
19	19	60	INDOOR HEAT PUMP UNIT (**)	5000	5000	20	20	2	SPARE	5000	5000	20	20	2	SPARE
21	21	2	OUTDOOR (**)	1300	1300	22	22	20	SPARE	1300	1300	22	22	20	SPARE
23	23	60	OUTDOOR (**)	5000	5000	24	24	20	SPARE	5000	5000	24	24	20	SPARE
25	25	2	HEAT PUMP	1300	1300	26	26	20	SPARE	1300	1300	26	26	20	SPARE
27	27	60	INDOOR HEAT PUMP UNIT (**)	5000	5000	28	28	20	SPARE	5000	5000	28	28	20	SPARE
29	29	2	OUTDOOR (**)	1300	1300	30	30	20	SPARE	1300	1300	30	30	20	SPARE
31	31	60	OUTDOOR (**)	5000	5000	32	32	20	SPARE	5000	5000	32	32	20	SPARE
33	33	2	HEAT PUMP	1300	1300	34	34	20	SPARE	1300	1300	34	34	20	SPARE
35	35	200	PANEL "E"	8500	8500	36	36			8500	8500	36	36		
37	37			8500	8500	38	38			8500	8500	38	38		
39	39			8500	8500	40	40			8500	8500	40	40		
41	41	2		8500	8500	42	42			8500	8500	42	42		

FLUSH MTD. X CONNECTED V. A. / PHASE 17,000 16,500 \*A.I.C.\* RATINGS: 22,000 AMPS. (FULLY RATED)  
SURFACE MTD. CONNECTED AMP. / PHASE 141.7 137.5

NOTES:  
1. (\*\*\*) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.  
2. NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.  
3. EXTERIOR SITE LIGHTS SHALL BE CONTROLLED BY 30/3 LIGHTING CONTACTOR. LIGHTING CONTRACTORS SHALL CONTROLLED BY INTERMATIC MODEL NO. ET8115 ASTRO CLOCK.

FLUSH MTD. X CONNECTED V. A. / PHASE 51,450 49,750 \*A.I.C.\* RATING: 22,000 AMPS. (FULLY RATED)  
SURFACE MTD. X CONNECTED AMP. / PHASE 428.75 414.5

NOTES:  
1. (\*\*\*) TRIP AMPS SHOWN FOR AIR CONDITIONING EQUIPMENT SHALL BE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY & SIZE BREAKER/FUSES IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S LABEL IN ACCORDANCE WITH NEC ARTICLE 430 & 440. ALL AIR CONDITIONING EQUIPMENT BREAKERS SHALL BE "HACR" TYPE.  
2. NO 120 VOLT CIRCUITS SHALL HAVE "SHARED NEUTRAL" CONNECTIONS IN ACCORDANCE WITH NEC ARTICLE 210.4.

### COMMUNITY/OFFICE FLOOR PLAN - POWER

SCALE: 1/4" = 1'-0" 2,275 SF GROSS

**KEVIN E. NORRIS**  
ELECTRICAL ENGINEER  
5518 WALLWOOD ROAD  
KNOXVILLE, TN 37918  
PHONE: (615) 854-3083

DRAWN BY: JDD	REVISIONS
CHKD. BY: MDA	
APPR. BY: KN	
DATE: 08-30-16	
ADDENDUM 07/22/16	

WHITE RIVER APARTMENTS  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**OFFICE POWER PLAN**

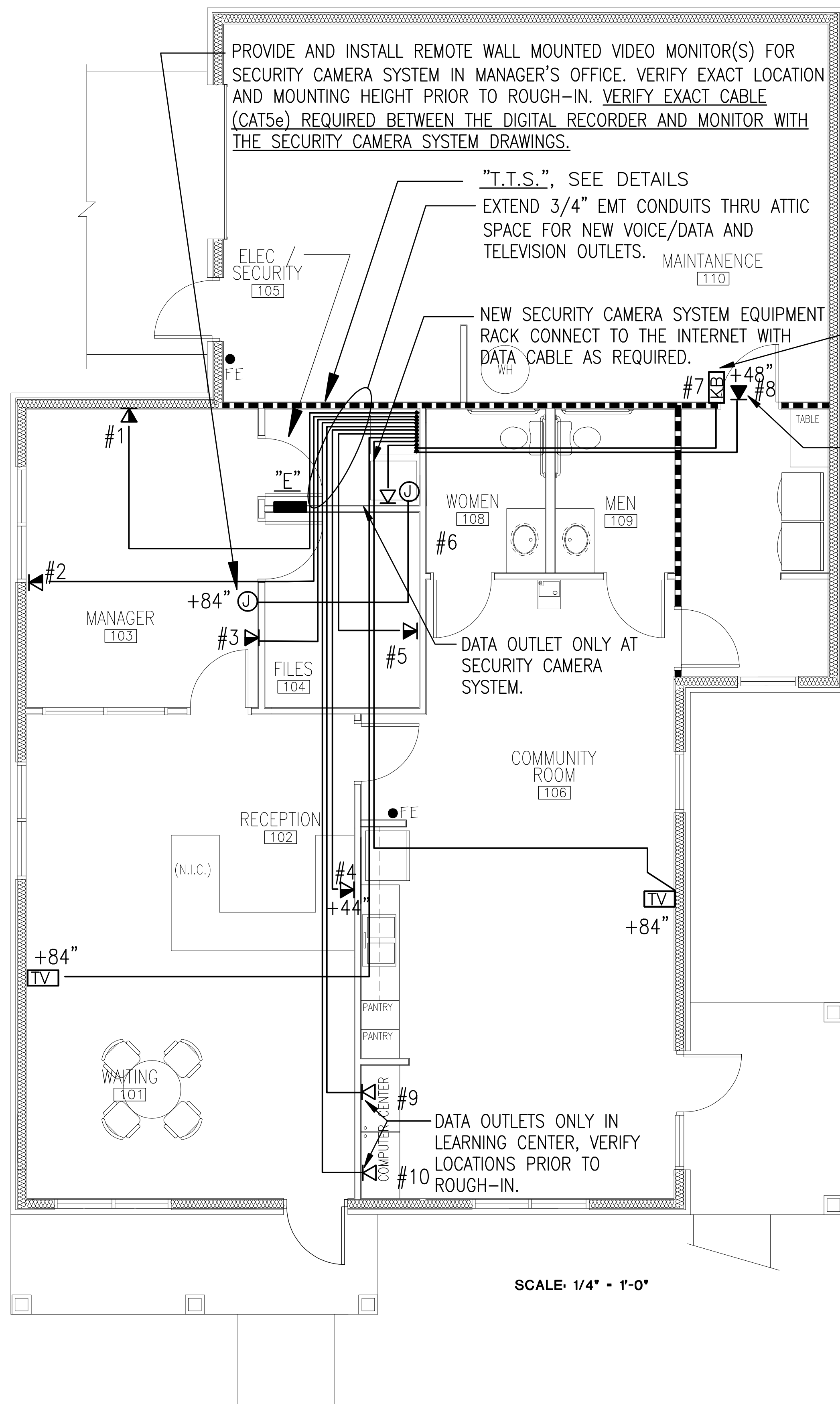
**ALLAN ASSOCIATES ARCHITECTS, PLLC**

KNOXVILLE, TENNESSEE 37912

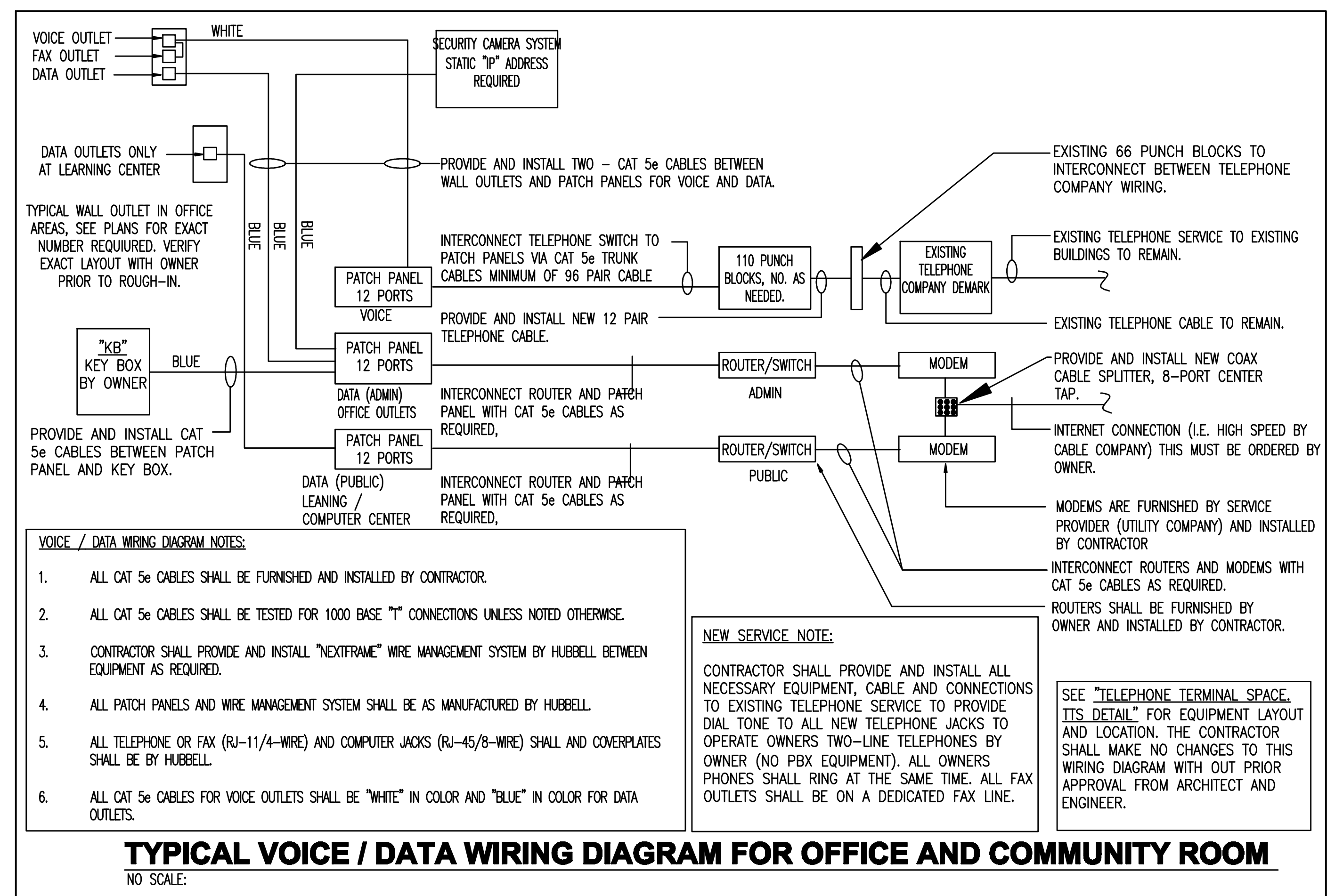
REGISTERED  
STATE OF ARKANSAS  
NO. 11802  
KEVIN E. NORRIS  
ELECTRICAL ENGINEER

DATE: 07/22/16

SHEET NUMBER

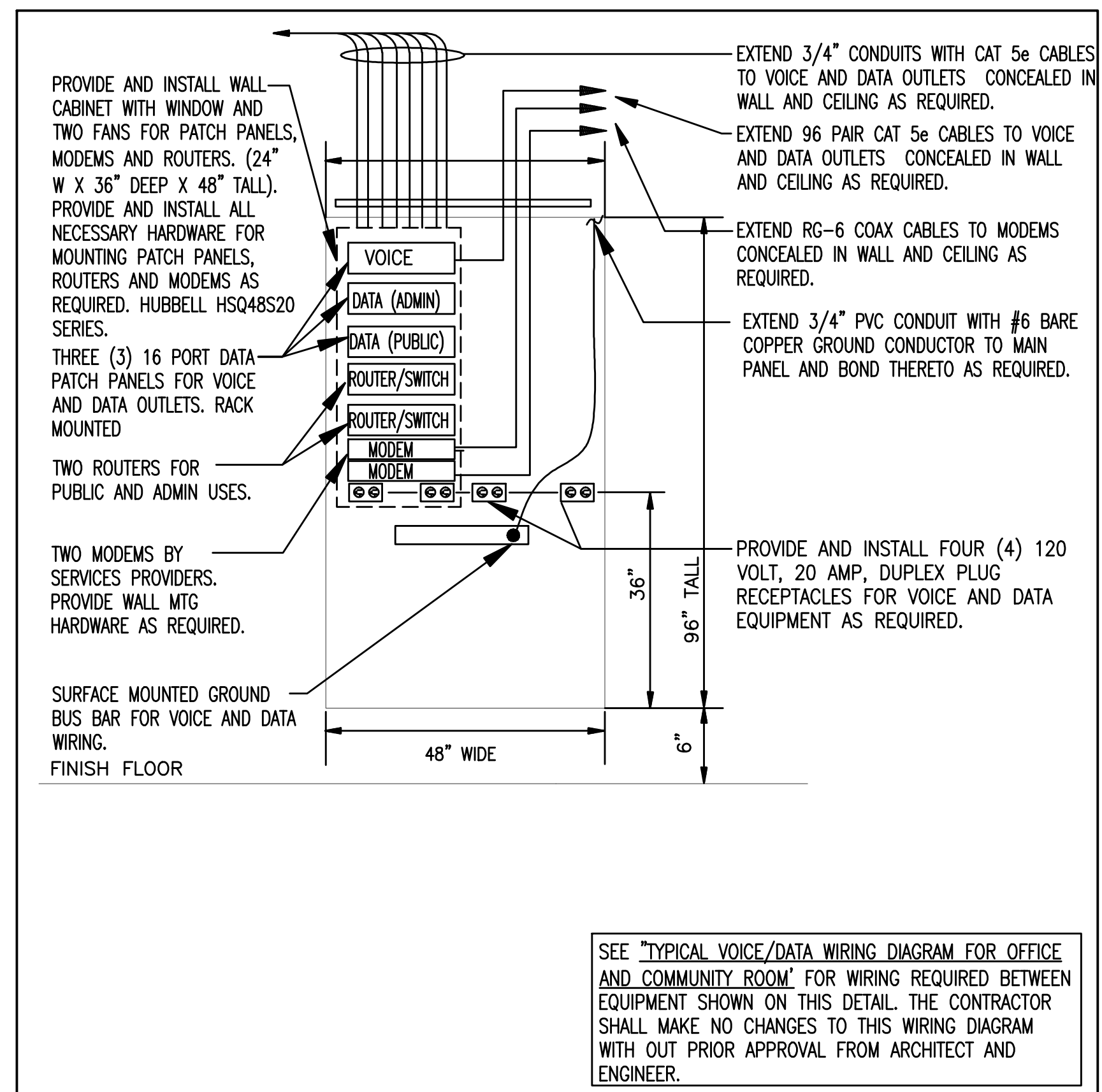
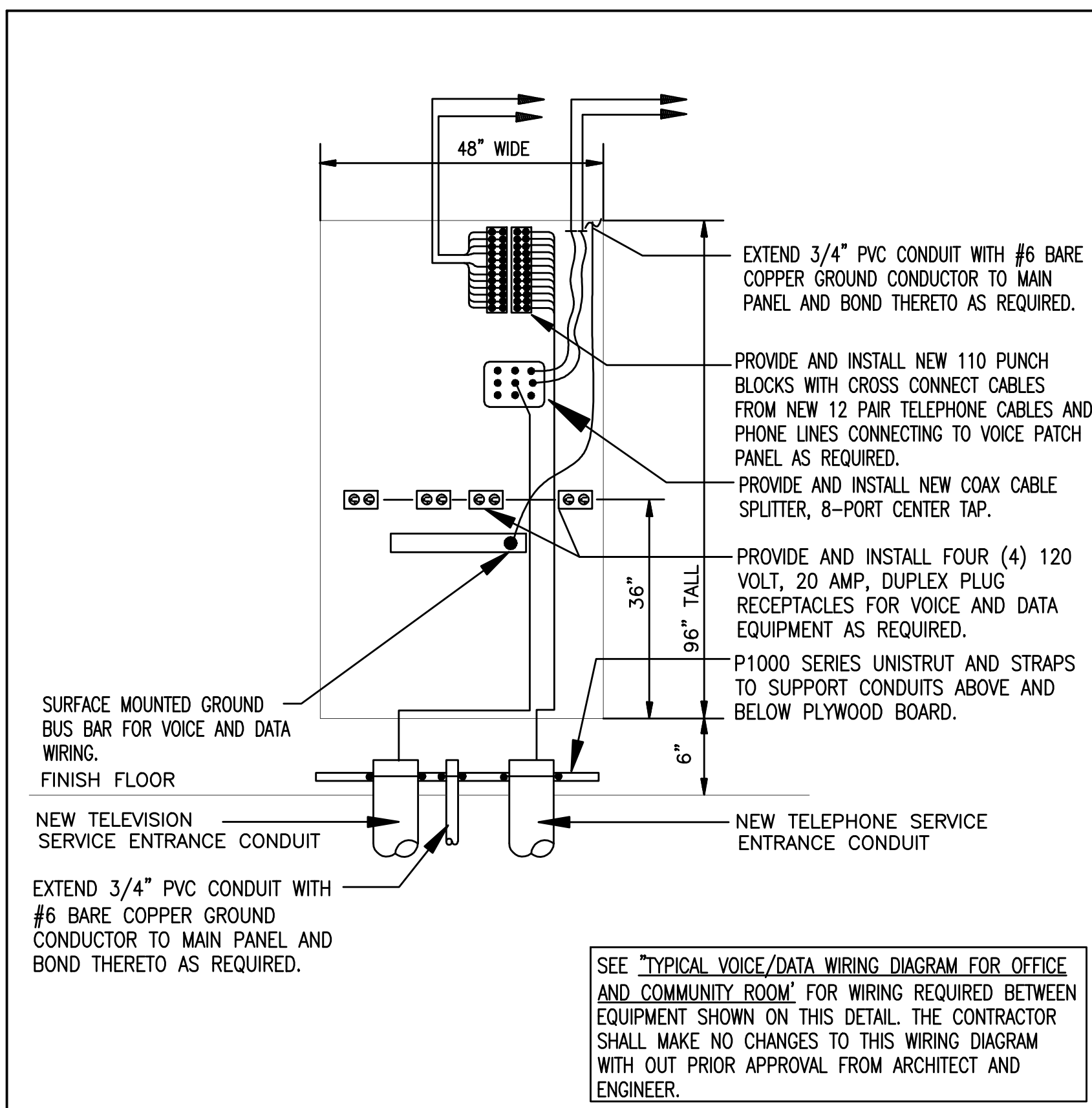


**COMMUNITY/OFFICE FLOOR PLAN - COMMUNICATIONS**  
SCALE: 1/4" = 1'-0" 2,275 SF GROSS



VERIFY EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.

VOICE OUTLET ONLY, WALL MOUNTED AT +44" TO OF OUTLET.



**TELEPHONE TERMINAL SPACE "TTS" DETAIL**  
SCALE: NONE

**"IT" CABINET DETAIL**  
SCALE: NONE

**KEVIN E. NORRIS**  
ELECTRICAL ENGINEER

8818 WALLWOOD ROAD  
KNOXVILLE, TN 37918  
PHONE (615) 854-1045

DRWN. BY: JDD
CHKD. BY: MDA
APPR. BY: KN
DATE: 06-30-16
REVISIONS

**OFFICE COMMUNICATION PLAN**

**WHITE RIVER APARTMENTS**  
2800 MARION DRIVE  
DIAZ, ARKANSAS

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

5616 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

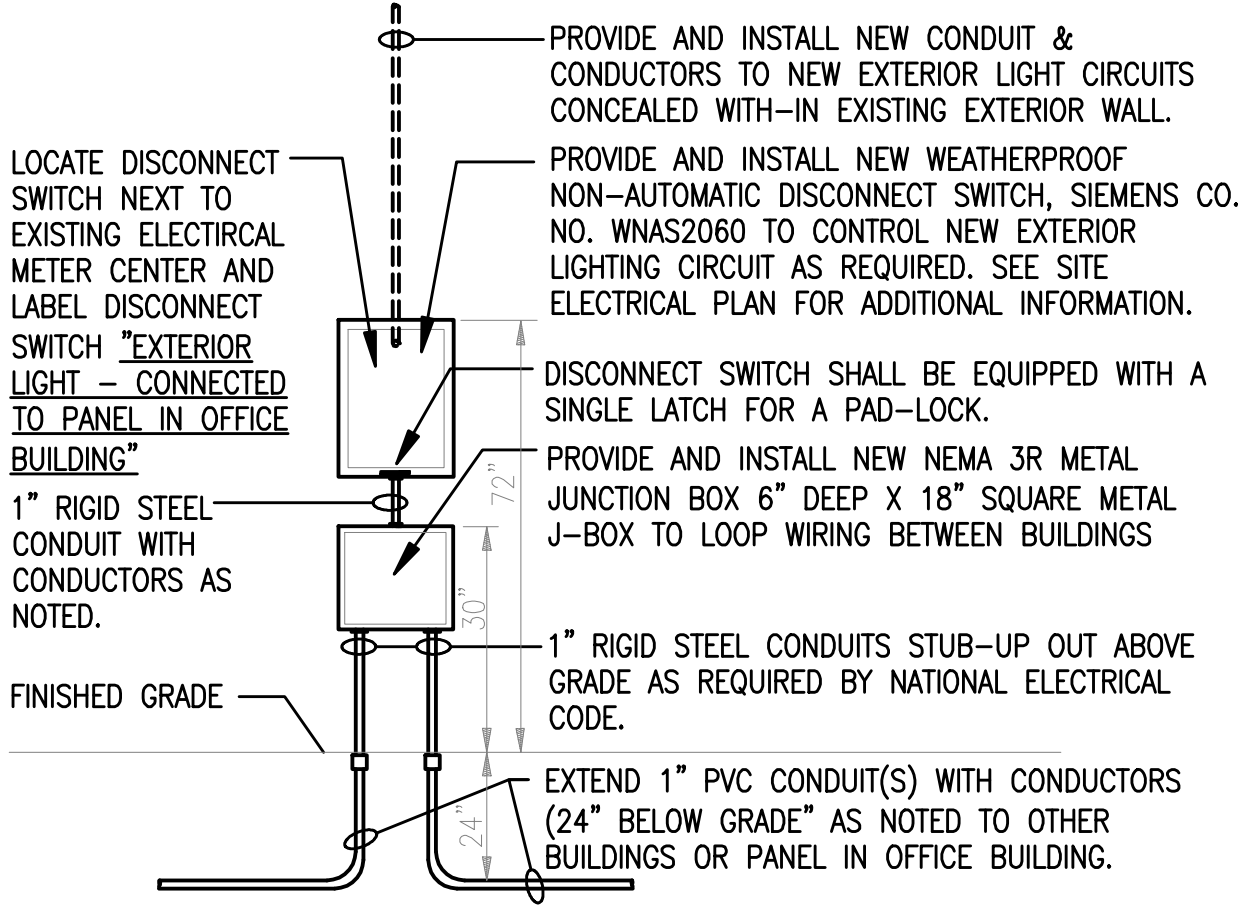
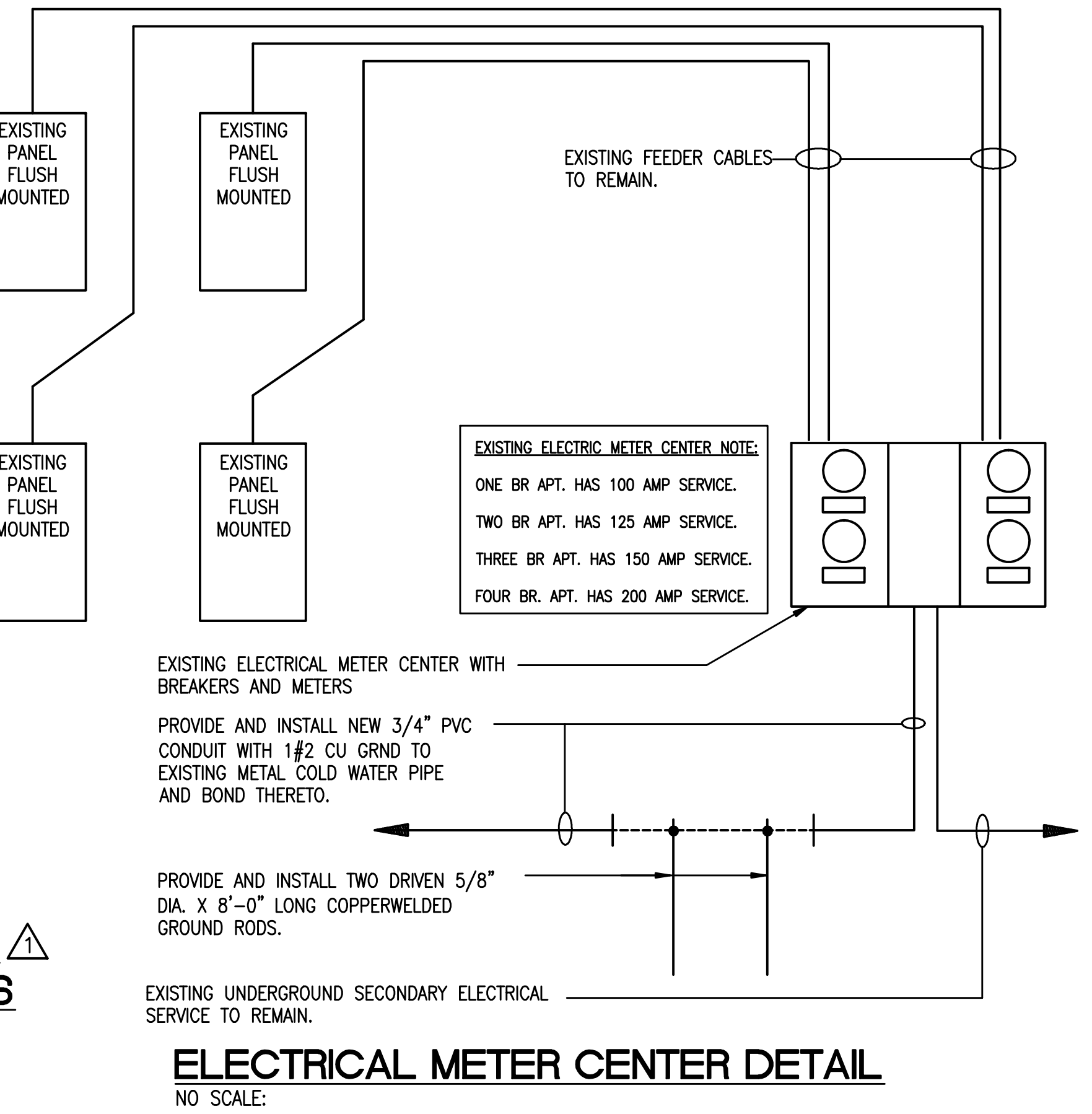
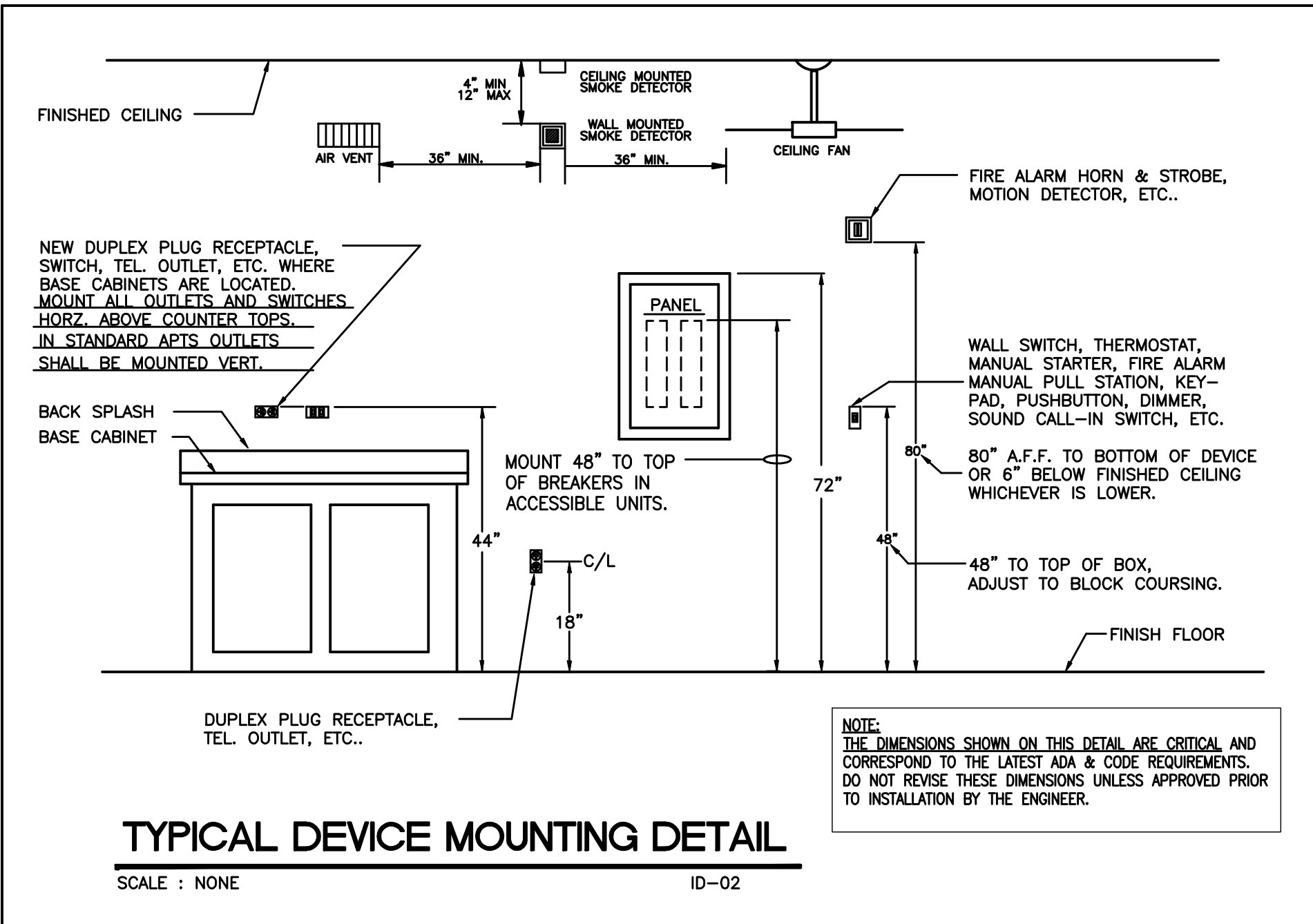
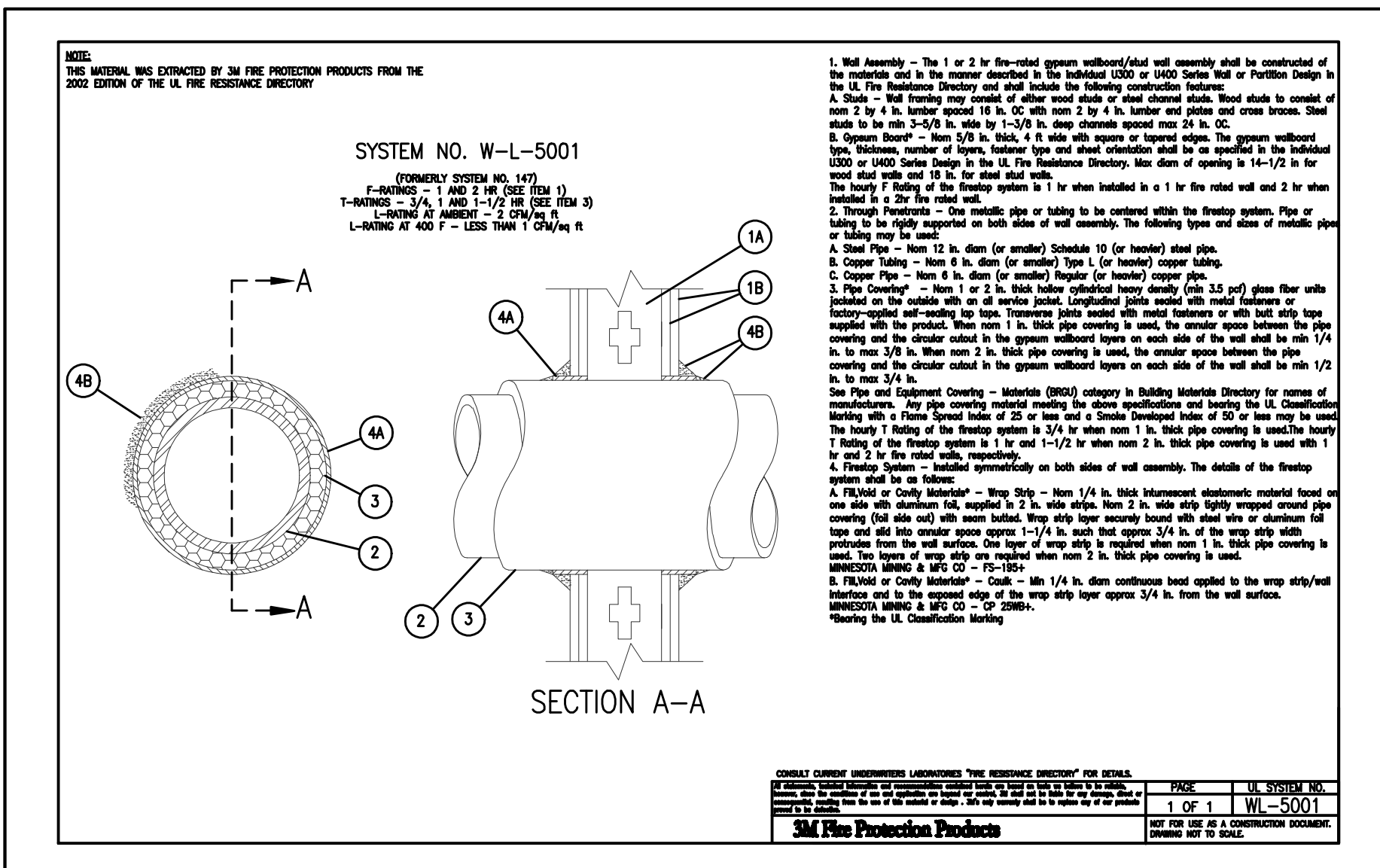
865 / 689-1302

REGISTERED  
STATE OF ARKANSAS  
NO. 11802

KEVIN E. NORRIS  
ELECTRICAL ENGINEER

PROFESSIONAL SEAL 06/30/16

SHEET NUMBER  
**E-4.2**



**BUILDING MOUNTED DISCONNECT SWITCH**  
**FOR BUILDING MOUNTED SECURITY LIGHTS**  
 NO SCALE:

MARK	UNIT SERVED	POWER			HP	FEEDER SIZE (\"NM\"/ROMEX CABLE)	UNIT SAFETY SWITCH (*)	VOLTAGE/ PHASE	NOTES
		KW	FLA	MCA					
⊙	AHU-1	5.0	---	31.0	---	2#8 & 1#10 GRND	35/2	240/1	1
⊙	CU-1	---	---	12.4	---	2#12 & 1#12 GRND	20/2	240/1	
⊙	AHU-2	5.0	---	31.0	---	2#8 & 1#10 GRND	35/2	240/1	1
⊙	CU-2	---	---	12.4	---	2#12 & 1#12 GRND	20/2	240/1	
⊙	AHU-3	5.0	---	31.0	---	2#8 & 1#10 GRND	35/2	240/1	1
⊙	CU-3	---	---	12.4	---	2#10 & 1#10 GRND	20/2	240/1	
⊙	AHU-4	8.0	---	47.0	---	2#6 & 1#10 GRND	50/2	240/1	1
⊙	CU-4	---	---	17.9	---	2#10 & 1#10 GRND	30/2	240/1	
⊙	AHU-5	7.68	---	44.0	---	2#6 & 1#10 GRND	45/2	240/1	1
⊙	CU-5	---	---	12.0	---	2#12 & 1#12 GRND	20/2	240/1	
⊙	AHU-6	7.68	---	44.0	---	2#6 & 1#10 GRND	45/2	240/1	1
⊙	CU-6	---	---	12.0	---	2#12 & 1#12 GRND	20/2	240/1	
⊙	AHU-7	7.68	---	44.0	---	2#6 & 1#10 GRND	45/2	240/1	1
⊙	CU-7	---	---	12.0	---	2#12 & 1#12 GRND	20/2	240/1	
⊙	W/H-1	4.5	---	---	---	2#10 & 1#10 GRND	30/2	240/1	
⊙	EF	---	---	---	---	2#12 & 1#12 GRND	20/1	120/1	
⊙	DRYER	5.0	---	---	---	3#10 & 1#10 GRND	30/2	120/240/1	PROVIDE DRYER OUTLET
⊙	RANGE	8.0	---	---	---	3#6 & 1#10 GRND	50/2	120/240/1	PROVIDE RANGE OUTLET
⊙	DISHWASHER	---	---	---	---	1/2 2#12 & 1#12 GRND	20/1	120/1	NOTE#4
⊙	DISPOSER	---	---	---	---	1/2 2#12 & 1#12 GRND	20/1	120/1	NOTE#4

NOTES:  
 1. PROVIDE 3/4\"/>

DESIGNATION	DESCRIPTION
A	CLOUDLINE SURFACE MOUNTED FLUORESCENT 1' X 4' WITH 2-32 WATT TB ENERGY SAVING LAMPS AND ELECTRONIC BALLAST, THOMAS CO. NO. FC-232-EB
B	WALL MOUNTED CLOUDLINE, 26\"/>

LIGHTING FIXTURE SCHEDULE NOTES:  
 1. ALL LIGHTING FIXTURES SHALL BE \"ENERGY STAR\" RATED.  
 2. PRODUCTS BY PROGRESS, EPIPHANY, KICHLER AND THOMAS WILL BE ALLOWED.

LEGEND	
SYMBOL	DESCRIPTION
⊙	ROUND TWIN TUBE FLUORESCENT TYPE FIXTURE; \"A\" REFERS TO DESIGNATION IN THE FIXTURE SCHEDULE; \"S\" REFERS TO SWITCH CONTROL; \"3\" REFERS TO CIRCUIT NUMBER.
⊙	WALL SWITCH (DECORATOR TYPE); SINGLE POLE UNLESS NOTED 3-OR-4 WAY; MOUNT 48\"/>

WHITE RIVER APARTMENTS  
 2800 MARION DRIVE  
 DIAZ, ARKANSAS

LEGEND, SCHEDULES AND DETAILS

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 688-1302

5616 WALLWOOD ROAD  
 KNOXVILLE, TENNESSEE 37912

REGISTERED PROFESSIONAL ARCHITECT  
 STATE OF ARKANSAS  
 NO. 11825  
 EXPIRES 12/31/16

DATE: 08-30-16  
 REVISIONS: 07/22/16  
 ADDENDUM#1

SHEET NUMBER  
**E-5.0**

SPECIFICATION NOTES

1. INCLUDE WIRING FOR LIGHTING, OUTLETS, MECHANICAL WORK AND TELEPHONE AS SHOWN ON THE DRAWINGS. INCLUDE LIGHTING FIXTURES, LAMPS, PANELBOARDS, WIRING DEVICES, SWITCHES, ETC. NECESSARY FOR A COMPLETE AND OPERATING INSTALLATION WITH NO SHORT CIRCUITS, OPEN GROUNDS OR SHARED NEUTRALS. THE CONTRACTOR SHALL PERFORM, PRIOR TO ACCEPTANCE, AN OPERATIONS TEST TO ALL ELECTRICAL EQUIPMENT. THE ENTIRE INSTALLATION SHALL BE FREE FROM OPEN GROUNDS, SHORT CIRCUITS AND SHARED NEUTRALS BEFORE THE OWNER OPERATES THE EQUIPMENT FOR THE FIRST TIME. THE CONTRACTOR SHALL FURNISH A MAN FAMILIAR WITH THE EQUIPMENT TO INSTRUCT AND ASSIST THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF SAID EQUIPMENT.
2. ELECTRICAL SUPPLY SHALL BE TAKEN FROM THE MAINS OF THE EXISTING 120/240 VOLT, 1-PHASE, 3-WIRE, METER CENTER
3. EXISTING LOADCENTERS ARE "GE" WITH PLUG-IN BREAKERS RATED AT 10,000 AC. ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC ARTICLE 210.12, 2011 EDITION) COORDINATE PLACEMENT OF PANEL TO AVOID CONFLICTS WITH OTHER TRADES. CONTRACTOR SHALL PROVIDE CLEARANCES IN FRONT OF PANELBOARDS AS REQUIRED BY THE NATIONAL ELECTRIC CODE. PROVIDE HEADROOM CLEARANCES AS DETAILED IN THE NATIONAL ELECTRIC CODE. PROVIDE NEMA 3R TYPE WHEN LOCATED OUTDOORS.
4. EXISTING ELECTRICAL METER CENTER SHALL REMAIN WITH MAIN AND BRANCH BREAKERS WITH EXISTING AC RATING. SEE DETAILS FOR EXACT LAYOUT. PLACEMENT OF ELECTRICAL METER CENTERS TO AVOID CONFLICTS WITH OTHER TRADES. CONTRACTOR SHALL PROVIDE CLEARANCES IN FRONT OF ELECTRICAL METER CENTER AS REQUIRED BY THE NATIONAL ELECTRIC CODE. PROVIDE HEADROOM CLEARANCES AS DETAILED IN THE NATIONAL ELECTRIC CODE. PROVIDE NEMA 3R TYPE WHEN LOCATED OUTDOORS.
5. WIRING DEVICES SHALL BE PLASTIC SPECIFICATION GRADE, MINIMUM RATING OF 20 AMPERES. ALL WIRING DEVICES SHALL BE "WHITE" IN COLOR. PROVIDE MATCHING COVERPLATE AS SELECTED BY ARCHITECT. ALL INTERIOR AND EXTERIOR 125-VOLT, 15 AND 20-AMPERE RECEPTACLES FOR DWELLING UNITS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
6. TYPES OF WIRING AND RACEWAYS:
  - a. THE TYPES AND GRADES OF MATERIALS TO BE EMPLOYED IN THE WIRING SYSTEMS ARE SUBJECT TO BUILDING STRUCTURAL CONDITIONS AND THE GOVERNING CODES. ALL CONDUCTORS FOR BRANCH CIRCUIT WIRING SHALL BE TYPE "THIN-THIN" (90 DEG CELSIUS) COPPER UNLESS NOTED OTHERWISE. ALL SERVICE ENTRANCE CONDUCTORS SHALL BE "THIN-2" COPPER (90 DEG CELSIUS) UNLESS NOTED OTHERWISE. MINIMUM #12 AWG CONDUCTOR SIZE SHALL BE USED. ALL CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AND LARGER SHALL BE STRANDED.
  - b. UNLESS OTHERWISE NOTED, ALL WIRING SHALL BE RUN CONCEALED AND OUTLETS SHALL BE FLUSH MOUNTED IN WALLS AND CEILING.
  - c. SCHEDULE 40 PVC 90 DEGREES CELSIUS RATED FOR ELECTRIC USE. CONDUIT SHALL BE USED IN THE FOLLOWING LOCATIONS:
    1. UNDERGROUND
    2. IN CONCRETE SLABS
  - d. RIGID GALVANIZED STEEL CONDUIT WITH GALVANIZED CONNECTORS AND COUPLINGS SHALL BE USED EXPOSED ON EXTERIOR OF BUILDING AND IN AREAS WHERE SPECIFICALLY REQUIRED IN THE NATIONAL ELECTRIC CODE. PROVIDE COMPRESSION TYPE FITTINGS WHEN USED IN DAMP OR WET LOCATIONS.
  - e. NON-METALLIC TYPE "NM-B" (90 DEG CELSIUS) CABLE WITH COPPER CONDUCTORS AND GROUND WIRE SHALL BE USED FOR BRANCH CIRCUIT WIRING IN DWELLING UNITS ONLY EXCEPT FOR LOCATION NOTED TO USED "MC" CABLE OR "EMT" CONDUIT. NO "NM-B" CABLE SHALL BE RUN IN DAMP OR WET LOCATIONS OR OFFICE / COMMUNITY BUILDING. USE TYPE "NMC" CABLE WITH COPPER CONDUCTORS AND GROUND WIRE FOR BRANCH CIRCUIT WIRING IN DWELLING UNITS IN DAMP OR CORROSIVE LOCATIONS. NO TYPE "NM-B" OR "NMC" CABLE SHALL BE RUN EXPOSED OR INSTALLED IN DUCTS, PLENUMS & OTHER AIR HANDLING SPACES. ALL "NM-B" WIRING SHALL BE SIZES PER 60 DEGREE AS PER NEC 110.14(C).
  - f. EMT CONDUIT WITH COMPRESSION STEEL CONNECTORS AND COUPLINGS SHALL BE USED IN THE FOLLOWING LOCATIONS:
    1. ALL LOCATIONS EXCEPT AS INDICATED ABOVE.
 PROVIDE COMPRESSION TYPE FITTINGS WHEN LOCATED IN DAMP OR WET LOCATIONS.
  - g. PROVIDE A CODE SIZE GREEN GROUND CONDUCTOR IN ALL CONDUIT. INCREASE CONDUIT SIZE, IF REQUIRED, TO ACCOMMODATE THIS GROUND CONDUCTOR.
  - h. ALL ELECTRICAL PENETRATIONS OF FIRE RATED WALLS, PARTITIONS, FLOOR OR CEILING AND ELECTRICAL INSTALLATIONS IN HOLLOW SPACES, VERTICAL SHAFTS, AND VENTILATION OR AIR HANDLING DUCTS SHALL BE MADE TO PREVENT THE POSSIBLE SPREAD OF FIRE OR SMOKE AND TOXIC FUMES. FIRE STOPPING MATERIALS USED SHALL BE 3M BRAND CP-25 FIRE BARRIER CAULK INSTALLED IN AN APPROVED METHOD IN ACCORDANCE WITH NEC ARTICLES 300-21, 800-3(C), 110-3(B), UL AND THE AUTHORITY HAVING JURISDICTION.
  - i. NO SHARED NEUTRALS SHALL BE ALLOWED FOR CONNECTION OF LIGHTING OR POWER CIRCUITS.
7. REMOVE THE WIRING, WHERE NEW WORK IS SHOWN IN THE BUILDING.
8. VISIT THE SITE SO AS TO HAVE A FULL UNDERSTANDING OF THE WORK IN CONNECTION WITH THE EXISTING BUILDING AND EXISTING WIRING.
9. GUARANTEE WORK TO BE FREE FROM DEFECTS OF MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE OF THE WORK.
10. ELECTRICAL OUTLET BOXES LOCATED ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES, UNLESS APPROVED OTHERWISE BY THE AUTHORITY HAVING JURISDICTION.
11. FLUORESCENT LAMPS SHALL BE SYLVANIA OR G.E. COMPANY TYPE, WARM WHITE COLOR. HIGH PRESSURE SODIUM LAMPS SHALL BE "LUMALUX" AS MANUFACTURED BY GTE SYLVANIA. METAL HALIDE LAMPS SHALL BE G.E. CO. "MULTI-VAPOR" OR SYLVANIA CO. "METALARC". "LED" FIXTURES SHALL BE RATED AT "L70" AT 50,000 HOURS.
12. FLUORESCENT FIXTURES SHALL BE PROVIDED WITH ELECTRONIC BALLASTS & BALLAST DISCONNECTS.
13. METAL HALIDE LUMINARIES SHALL BE FURNISHED WITH ADVANCE ELECTRIC COMPANY "PULSE-START" BALLASTS. PROVIDE BALLAST DISCONNECT.
14. EXTERIOR LIGHTS SHALL ARE CONTROLLED BY A PHOTO-CELL TO TURN THE LIGHTS ON AND OFF.

15. INSTALLATION OF TELEPHONE FACILITIES: (OFFICE BUILDING)
  - a. THE TELEPHONE SYSTEM REQUIRED CONSISTS OF TELEPHONE CONDUIT AND WIRING EXTENDING FROM OUTLETS TO TELEPHONE TERMINAL BOARDS. WORK SHALL INCLUDE ALL TERMINATION EQUIPMENT AT TELEPHONE SPACES AND ALL COVER PLATES WITH PLUG-IN DEVICES.
  - b. ALL TELEPHONE CONDUITS SHALL BE 3/4" SIZE UNLESS NOTED LARGER ON THE DRAWINGS. CONDUIT SHALL EXTEND TO TELEPHONE SPACES AS SHOWN ON THE DRAWINGS.
  - c. ALL PHONE OUTLET BOXES SHALL BE 2-GANG TYPE WITH 1-GANG DEVICE RING AND PROVIDED WITH BOTH TELEPHONE AND COMPUTER JACKS FOR USE BY THE OWNER. COLOR OF PLATES SHALL MATCH ELECTRICAL DEVICES.
  - d. TELEPHONE TERMINAL BOARDS SHALL CONSIST OF 3/4" MARINE PLYWOOD BOARD BOLTED TO WALL AND PAINTED WITH TWO COATS OF PAINT. PROVIDE UNISTRUT P1000 STRIP ABOVE AND BELOW PANEL TO SECURE CONDUIT. ALL WIRING SHALL BE NEATLY FORMED, LACED AND MADE UP ON BOLT AND NUT 1/10 TERMINAL BLOCKS. TAG ALL CONDUCTORS. ALL CONDUCTORS SHALL TERMINATE ON TERMINAL STRIPS WITH STRAID LUGS OF ADEQUATE SIZE FOR ALL INCOMING AND OUTGOING CONDUITS.
  - e. EACH TELEPHONE OUTLET SHALL HAVE ONE CAT 5e COMPLIANT CABLES EXTENDING TO TERMINAL SPACES. CONDUCTORS SHALL BE INSULATED WITH A COLOR CODE HIGH DENSITY POLYETHYLENE JACKET WITH A PVC OUTER JACKET. ALL CABLES RUN EXPOSED IN AREAS WITHOUT CONDUIT SHALL BE "PLENUM RATED" TYPE. IN ADDITION, FROM EACH SUB TELEPHONE TERMINAL SPACE THROUGHOUT THE BUILDING.
  - f. CONTRACTOR SHALL PAY ALL REQUIRED FEES RELATING TO THE TELEPHONE SERVICE AS SHOWN ON THE DRAWINGS AND AS DESCRIBED HEREIN.
  - g. PROVIDE 3/4", 1 #6 BARE GROUND WIRE FROM MAIN TELEPHONE TERMINAL BOARD TO SERVICE GROUNDING ELECTRODE SYSTEM BONDING THERETO.
16. INSTALLATION OF CABLE TV FACILITIES. (OFFICE BUILDING)
  - a. THE TELEVISION SYSTEM SHALL BE AS SHOWN ON DRAWINGS AND INSTALLED TO THE EXACT SPECIFICATIONS OF THE TV COMPANY, TO RESULT IN TV PROVISIONS BEING INSTALLED TO EACH OUTLET SHOWN. PROVIDE AND INSTALL OUTLETS SHOWN WITH CONDUIT FOR AN UNDERGROUND/CONCEALED DISTRIBUTION SYSTEM. PROVIDE FOR COMPLETE WIRING OF THE BUILDINGS IN ACCORDANCE WITH CABLE TV COMPANY. ALL COAXIAL CABLE SHALL BE TYPE RG-6 MINIMUM. ALL CABLES RUN EXPOSED IN AREAS WITHOUT CONDUIT SHALL BE "PLENUM RATED" TYPE. ALL COAXIAL CABLE SHALL RUN FULL LENGTH FROM OUTLETS TO TELEPHONE OR TV BOARDS. PAY ALL FEES.
  - b. ALL TV OUTLET BOXES SHALL BE 2-GANG TYPE WITH 1-GANG DEVICE RING AND PROVIDED WITH COAXIAL JACKS FOR USE BY THE OWNER. COLOR OF PLATES SHALL MATCH ELECTRICAL DEVICES.
  - c. PROVIDE 3/4", 1 #6 BARE GROUND WIRE FROM MAIN TV TERMINAL BOARD TO SERVICE GROUND MAT BONDING THERETO.
  - d. ALL TELEVISION CONDUIT SHALL BE 3/4" SIZE UNLESS NOTED LARGER ON THE DRAWINGS. CONDUIT SHALL EITHER BE STUBBED OUT ABOVE LEFT-OUT CEILING OR EXTENDED TO TELEPHONE/TELEVISION SPACES AS SHOWN ON THE DRAWINGS.
  - e. CONTRACTOR SHALL REFER TO ADDITIONAL INFORMATION AND DETAILS ON THE DRAWINGS.
17. INSTALLATION OF COMPUTER NETWORK FACILITIES. (OFFICE BLDG ONLY) SEE DETAILS ON SHEET E-5.1.
  - a. THE COMPUTER NETWORK SYSTEM REQUIRED CONSISTS OF COMPUTER CONDUIT AND WIRING EXTENDING FROM OUTLETS TO TELEPHONE TERMINAL BOARDS. WORK SHALL INCLUDE THREE (3) 24 PORT CAT 5e PATCH PANELS AS NOTED ON DETAILS AND ALL COVER PLATES WITH PLUG-IN DEVICES.
  - b. ALL COMPUTER CONDUITS SHALL BE 3/4" SIZE UNLESS NOTED LARGER ON THE DRAWINGS. CONDUIT SHALL EXTENDED TO TELEPHONE SPACES AS SHOWN ON THE DRAWINGS. SEE DETAILS ON SHEET E-5.1.
  - c. ALL COMPUTER OUTLET BOXES SHALL BE 2-GANG TYPE WITH 1-GANG DEVICE RING AND PROVIDED WITH DUAL COMPUTER JACKS FOR USE BY THE OWNER. COLOR OF PLATES SHALL MATCH THE ELECTRICAL DEVICES.
  - d. ALL WIRING SHALL BE NEATLY FORMED, LACED, AND CONNECTED TO PATCH PANELS. TAG ALL CONDUCTORS.
  - e. EACH COMPUTER OUTLET SHALL HAVE ONE CAT 5e COMPLIANT CABLES EXTENDING TO TERMINAL SPACES. CONDUCTORS SHALL BE INSULATED WITH A COLOR CODE HIGH DENSITY POLYETHYLENE JACKET WITH A PVC OUTER JACKET. ALL CABLES INSTALLED IN CONDUIT, SEE DETAILS ON DRAWINGS. THE MAXIMUM LENGTH OF ANY CAT 5e CABLE SHALL BE 300 FEET.
18. TELEPHONE AND TELEVISION WIRING FOR APARTMENTS UNITS; SEE DETAILS ON SHEET E-1.1 FOR NEW TELEPHONE AND TELEVISION WIRING, OUTLETS AND COVERPLATES.

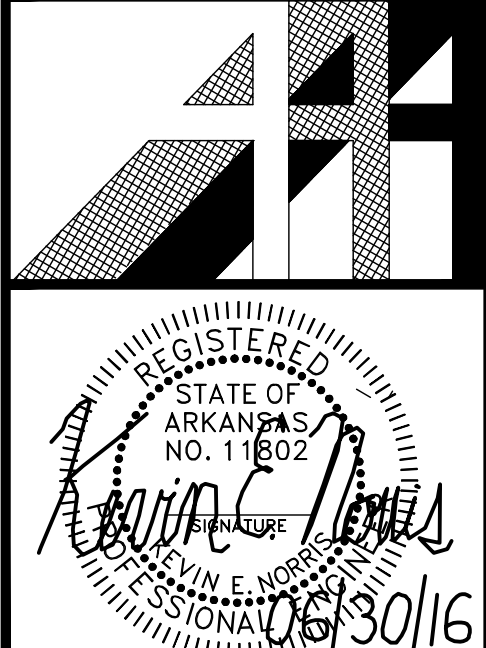
19. FURNISH CATALOG SHEETS OR CUTS OF THE FOLLOWING:
  - a. LIGHTING FIXTURES & EXIT SIGNS.
  - b. PANELBOARDS.
  - c. WIRING DEVICES.
  - d. TIME SWITCHES
  - e. LIGHTING CONTROLS
  - f. SMOKE / DETECTORS
 CONTRACTOR SHALL SUBMIT ONE COMPLETE SET OF ELECTRICAL SUBMITTALS WITH ALL THE ITEMS LISTED ABOVE TO THE ARCHITECT AND ENGINEER FOR REVIEW. PARTIAL OR INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED. THE ENGINEER WILL REVIEW THE COMPLETE SUBMITTAL AND ONE RESUBMITTAL. IF ANY ADDITIONAL SUBMITTALS ARE REQUIRED THE CONTRACTOR MUST PROVIDE WRITTEN RESPONSES TO THE ARCHITECT AND ENGINEER COMMENTS OF THE PRIOR REVIEW.
20. CONFORM TO ALL STATE, NATIONAL AND LOCAL CODES.
21. SECURE AND PAY ALL NECESSARY FEES AND PERMITS.
22. ALL MATERIALS EMPLOYED SHALL BE NEW & UNUSED AND BE UL LISTED AND APPROVED AND BEAR THE UL OFFICIAL LABEL.
23. THE SERVICE ENTRANCE SHALL BE GROUNDED WITH A #2 AWG SOFT DRAWN COPPER, STRANDED AND BARE CONDUCTOR. THE SERVICE GROUNDING CONDUCTOR SHALL EXTEND TO A DRIVEN GROUND MAT CONSISTING OF TWO DRIVEN 6"-0 X 5/8" DIAMETER COPPER CLAD GROUND RODS SEPARATED BY NO LESS THAN 6'. EXTEND CONDUCTOR ALSO TO NEAREST COLD WATER PIPE, GROUNDED, STRUCTURAL STEEL, CONCRETE ENCASED FOUNDATION RE-BAR, AND INTERIOR METAL NATURAL GAS PIPING, BONDING THERETO. PROVIDE CODE SIZE BONDING JUMPER AROUND WATER METER.
24. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IF ANY CHANGES ARE MADE IN THE FIELD THAT ARE CONTRARY TO THE CONTRACT DRAWINGS.
25. NOT USED.
26. COORDINATION WITH OTHER TRADES TO THE FULLEST OF ABILITY IN RELATION WITH OTHERS TO RESULT IN A PROFESSIONAL INSTALLATION SHALL BE COMPLETE, AND MORE SPECIFICALLY, AS FOLLOWS:
  1. THE DRAWINGS AND SPECIFICATIONS ARE BASED ON THE BEST INFORMATION AVAILABLE WHEN PREPARED. FREQUENTLY MINOR CHANGES OCCUR WITH RESPECT TO THE ARCHITECTURAL PLANS, CONSTRUCTION AND THE REQUIREMENTS OF EQUIPMENT FURNISHED BY OTHERS. THE CONTRACTOR SHALL RECOGNIZE THIS IN BIDDING, SUPERVISING AND IN PLANNING CONSTRUCTION.
  2. BEFORE LOCATING CONDUIT RUNS, BOXES, ETC. THE ARCHITECTURAL DRAWINGS SHALL BE FULLY CHECKED TO SEE THAT THEY ARE IN ACCORD WITH ELECTRICAL DRAWINGS. REQUIRED ADJUSTMENTS SHALL BE MADE WITH THE GENERAL CONTRACTOR'S SUPERINTENDENT AND WITH THE OWNER'S REPRESENTATIVE.
  3. BEFORE PROCEEDING WITH THE WIRING FOR MECHANICAL TRADES, EACH ITEM REQUIRING ELECTRICAL WORK SHALL BE REVIEWED WITH THOSE RESPONSIBLE FOR THEIR INSTALLATION.
 THE CONTRACTOR SHALL BECOME WELL ACQUAINTED WITH THEIR CHARACTERISTICS, LOCATION, AND ARRANGEMENT FOR MOUNTING. CHANGES IN WIRING SHALL BE REVIEWED WITH THE OWNER'S REPRESENTATIVE FOR AUTHORIZATION. THIS APPLIES ALSO TO ALL EQUIPMENT FOR WHICH WIRING IS REQUIRED SUCH AS HVAC UNITS, WATER HEATING, PUMPS, THERMOSTATS, MOTORS, PUSH BUTTONS, ETC., AS THEY OCCUR.
27. NOT USED.
28. RECORD DRAWINGS: THE JOB SUPERVISOR SHALL MAINTAIN A SET OF PRINTS ON THE JOB TO BE USED TO ILLUSTRATE AND NOTE JOB CHANGES AS THEY OCCUR. THIS SHALL INCLUDE THE LOCATIONS OF CONCEALED OR UNDERGROUND LINES SIZED OVER 1", AND ANY OTHER INFORMATION NECESSARY TO RECORD THE JOB AS ACTUALLY INSTALLED. UPON COMPLETION OF THE PRINTS, THE CONTRACTOR SHALL FURNISH TO THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE, A SET OF REPRODUCIBLE DRAWINGS CONTAINING THE ABOVE MENTIONED FIELD NOTES.
29. WORK IN CONNECTION WITH EQUIPMENT FURNISHED BY OTHERS.
  - a. MECHANICAL: FURNISH AND INSTALL ALL NECESSARY WIRING AND OVER CURRENT DEVICES FOR THE SUPPLY AND CONTROL OF ALL MECHANICAL WORK, INCLUDING PLUMBING, HEATING, AIR CONDITIONING AND VENTILATION. FURNISH AND INSTALL DISCONNECT SWITCHES FOR MOTORS WHERE REQUIRED BY THE CODES. THE CONTRACTOR SHALL MAKE PROVISIONS FOR VARIATIONS IN THE MECHANICAL EQUIPMENT AND MAKE CONNECTIONS AS REQUIRED.
  - b. MOTOR WIRING:
    1. SERVICES TO EQUIPMENT NOT IN CONTRACT SHALL BE CHECKED OUT AGAINST THAT EQUIPMENT PRIOR TO SERVICE CONNECTION. SHOULD THE EQUIPMENT REQUIRE SERVICE DIFFERENT FROM THAT PROVIDED, THE CONTRACTOR SHALL CALL THE FACT TO ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONNECTION OF THE SERVICE. CHECK EQUIPMENT TO DETERMINE WHETHER PROPER CONTROL AND SAFETY DEVICES ARE PROVIDED TO INSURE PROPER OPERATION. ASSIST OWNER IN THE INITIAL OPERATION OF THE EQUIPMENT, AND MAKE ANY NECESSARY ADJUSTMENTS TO THE SERVICE FOR PROPER OPERATION.
    2. MOTOR AND MOTOR CONTROLS, MANUAL MOTOR STARTERS AND DISCONNECT SWITCHES: THE MANUAL MOTOR STARTERS SHALL BE GENERAL ELECTRICAL COMPANY'S OR SERIES WITH PROPER HEATERS, MOUNTED IN A TWO-GANG BOX WITH A 120-VOLT PILOT LIGHT. THE DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE, WITH ECONOMY FUSE COMPANY "DUAL-ELEMENT FUSES WITH A GENERAL PURPOSE ENCLOSURE, BY SQUARE D OR ITE COMPANY.
    3. AIR CONDITIONING AND HEATING EQUIPMENT: ALL AIR AND HEATING EQUIPMENT SHALL HAVE FUSED DISCONNECT SWITCHES OR BREAKERS INSTALLED AT THE UNIT.
 

THESE SWITCHES OR BREAKERS SHALL BE SIZED AND BE OF THE TYPE AS IT APPEARS ON THE LABEL OF THE EQUIPMENT.
30. IF THERE IS ANY CONFLICTS IN THE ELECTRICAL DRAWINGS BETWEEN ANY PLANS, DETAILS, DIAGRAMS, SCHEDULES AND SPECIFICATIONS THE CONTRACTOR SHALL INCLUDE IN CONTRACT PRICE THE HIGHER QTY AND QUALITY RELATED TO THESE CONFLICTS. NO CHANGES TO THE CONTRACT PRICE WILL BE ALLOWED FOR ANY WORK ASSOCIATED WITH THESE CONFLICTS.

DRWN. BY: JDD	CHKD. BY: MDA	APPR. BY: KN	DATE: 08-30-16	REVISIONS

**ELECTRICAL SPECIFICATION NOTES**  
**WHITE RIVER APARTMENTS**  
 2000 MARION DRIVE  
 DIAZ, ARKANSAS  
**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
 5616 WALLWOOD ROAD  
 KNOXVILLE, TENNESSEE 37912  
 865 / 689-1302

**REGISTERED**  
 STATE OF ARKANSAS  
 NO. 11802  
 KEVIN E. NORRIS  
 ELECTRICAL ENGINEER  
 EXPIRES 08/30/16



**KEVIN E. NORRIS**  
**ELECTRICAL ENGINEER**  
 5616 WALLWOOD ROAD  
 KNOXVILLE, TN 37912  
 PHONE: (615) 684-5088

SHEET NUMBER  
**E-5.1**

SYMBOL SCHEDULE			
SYMBOL	BLOCK NAME	DESCRIPTION M = MOUNT T = TECHNOLOGY/TYPE (SPECIFIC TO DEVICE)	M : P = PEDESTAL T = TURNSTILE S = SURFACE F = FLUSH R = RACK OH = OVERHEAD M = MULLION D = DESK W = WALL C = CEILING H = HIDDEN
	REF	DEVICE REFERENCE A = DRAWING SHEET B = DETAIL C = DEVICE/ZONE NUMBER	
	FLD-PNL	FIELD PANEL T: A = IP ACCESS MODULE N = NETWORK ENCODER Z = ADDRESS, ZONE MODULE E = EOC CONVERTER I = NETWORK I/O MODULE U = UTP CONVERTER	
	MONITOR	MONITOR T: L = LCD FLAT-PANEL D = LED FLAT-PANEL V = VIDEO WALL T = TOUCHSCREEN S = SLIDE-OUT TILTING K = SLIDE-OUT TILTING W/KVM SWITCH	
		DESCRIPTION M = MOUNT T = TECHNOLOGY/TYPE (SPECIFIC TO DEVICE)	M : P = POLE V = VERTICAL PARAPET S = SURFACE F = FLUSH CEILING R = ROOF PARAPET E = EXISTING W = WALL C = CORNER H = HIDDEN
	CAM-FXD	NETWORK BASED CAMERA T: M = MULTI-IMAGER PANORAMIC C = COMPACT MICRO DOME F = FISHEYE PANORAMIC W = WIRELESS S = STANDARD DOME D = STANDARD DOME B = IR BULLET STYLE P = PIN HOLE COVERT A = ANALOG CAMERA LP = LICENSE PLATE	
	CAM-PTZ	NETWORK CAMERA WITH PAN / TILT/ ZOOM T: A = ANALOG D = DOME	
	PANO_FXD	MULTI-IMAGER FIXED NETWORK DOME	

INSTALL/COMMISSIONING NOTES	
<b>1.) Cable</b>	<p>A. All cable and conduit shall be provided and installed by the security integrator.</p> <p>B. Camera Cabling under 328-feet shall consist of a CAT5e, 24Awg.</p> <p>C. Camera cabling greater than 328-feet shall be an UTP CAT5e Cable with EoU converters.</p> <p>D. All patch cables between head-end components such as switches, video servers, surge protection, etc. shall be CAT5e with the length sized accordingly.</p> <p>E. All exposed cabling shall be concealed in EMT conduit and installed per NEC approved methods. All required weather proof junction boxes and fittings shall be provided.</p> <p>F. All cabling shall be clearly labeled, identifying what component and port it is connected to.</p> <p>G. All system components shall be labeled with their respective MAC address and IP address.</p> <p>H. Patch Panels and network cabling shall be tested as part of the installed horizontal or backbone cabling system. Each link or channel in the horizontal or backbone cabling system shall be identified and tested individually, using an industry standard level III tester with proper settings, including the correct cable NVP value. Each backbone or horizontal link/channel shall be tested to Category 5e parameters listed in the table below. (Note: a level III tester will produce all results below automatically)</p> <p>Wire Map / Continuity, Length, Insertion Loss, NEXT, PSNEXT, ELFEXT, PSELFEXT, Delay and Delay Skew, and Return Loss</p> <p>A "PASS" indication shall be obtained for each channel or link, using a level III tester.</p> <p>Completed test reports shall be submitted to both Safer Places and LAWLER WOOD HOUSING upon completion of the project.</p>
<b>2.) Quality</b>	<p>A. Testing Agency: Engage a qualified testing agency to perform tests and inspections.</p> <p>B. Manufacturer's Field Service: Engage a factory-authorized service representative to inspect, test, and adjust components, assemblies, and equipment installations, including connections.</p> <p>C. Perform tests and inspections. 1. Manufacturer's Field Service: Engage a factory-authorized service representative to inspect components, assemblies, and equipment installations, including connections, and to assist in testing. 2. Include Manufacturer On-Site Field Engineering services for one day of system commissioning.</p> <p>D. Tests and Inspections: 1. Inspection: Verify that units and controls are properly installed, connected, and labeled, and that interconnecting wires and terminals are identified. 2. Pretesting: Align and adjust system and pretest components, wiring, and functions to verify that they comply with specified requirements. Conduct tests at varying lighting levels, including day and night scenes as applicable. Prepare video-surveillance equipment for acceptance and operational testing as follows: a. Prepare equipment list described in "Submittals" Article. b. Verify operation of auto-iris lenses. c. Set back-focus of fixed focal length lenses. At focus set to infinity, simulate nighttime lighting conditions by using a dark glass filter of a density that produces a clear image. Adjust until image is in focus with and without the filter. d. Set back-focus of zoom lenses. At focus set to infinity, simulate nighttime lighting conditions by using a dark glass filter of a density that produces a clear image. Additionally, set zoom to full wide angle and aim camera at an object 50 to 75 feet (17 to 23 m) away. Adjust until image is in focus from full wide angle to full telephoto, with the filter in place. e. Set and name all preset positions; consult Owner's personnel. f. Set sensitivity of motion detection. g. Set sensitivity of motion detection. h. Verify operation of control-station equipment. 3. Test Schedule: Schedule tests after pre-testing has been successfully completed and system has been in normal functional operation for at least 14 days. Provide a minimum of 10 days' notice of test schedule. 4. Operational Tests: Perform operational system tests to verify that system complies with specifications. Test equipment for proper operation in all functional modes.</p> <p>E. Video surveillance system will be considered defective if it does not pass tests and inspections.</p>

INSTALL/COMMISSIONING NOTES	
<b>1.) Adjusting</b>	<p>A. Occupancy Adjustments: When requested, within 12 months of date of Substantial Completion, provide on-site assistance in adjusting system to suit actual occupied conditions. Provide up to three visits for this purpose. Tasks will include, but are not limited to, the following: a. Check cable connections. b. Check proper operation of cameras and lenses. Verify operation of auto-iris lenses and adjust back-focus as needed. c. Adjust all preset positions; consult with appointed Owner's personnel. d. Recommend changes to cameras, lenses, and associated equipment to improve Owner's use of video surveillance system. e. Provide a written report of adjustments and recommendations</p>
<b>3.) As-Built and Operation and Maintenance Manuals</b>	<p>A. As-Built Drawings 1. At the conclusion of the project, the Contractor shall provide "as built" drawings. The "as built" drawings shall be a continuation of the Contractor's shop drawings as modified, augmented, and reviewed during the installation, check out and acceptance phases of the project. All drawings shall be fully dimensioned and prepared in DWG format using the latest version of AutoCAD. 2. The as-built drawings shall incorporate all updated system riser diagrams prepared in DWG format using the latest version of AutoCAD.</p> <p>B. Manuals 1. At the conclusion of the project, the Contractor shall provide copies of the manuals as described herein. Each manual's contents shall be identified on the cover. The manual shall include names, addresses, and telephone numbers of each system integrator installing equipment and systems and the nearest service representatives for each item of equipment for each system. The manuals shall have a table of contents and labeled sections. The manuals shall include all modifications made during installation, checkout, and acceptance. The manuals shall contain the following: a. Hardware Manual i) The hardware manual shall describe all equipment furnished including: b) General description and specifications c) Installation and check out procedures d) Equipment layout and electrical schematics to the component level e) System layout drawings and schematics f) Alignment and calibration procedures g) Manufacturers repair parts list indicating sources of supply b. Software Manual i) The software manual shall describe the functions of all software and shall include all other information necessary to enable proper loading, testing, and operation. The manual shall include: b) Definition of terms and functions c) Use of system and applications software d) Initialization, start up, and shut down e) Alarm reports f) Reports generation g) Data base format and data entry requirements h) Directory of all disk files c. Operators Manual The operator's manual shall fully explain all procedures and instructions for the operation of the system including: a) Computers and peripherals b) System start up and shut down procedures c) Use of system, command, and applications software d) Recovery and restart procedures e) Graphic alarm presentation f) Use of report generator and generation of reports g) Data entry h) Operator commands i) Alarm messages and reprinting formats j) System access requirements 2. Maintenance Manual a. The maintenance manual shall include descriptions of maintenance for all equipment including inspection, periodic preventive maintenance, fault diagnosis, and repair or replacement of defective components.</p>
<b>4.) Programming and Training</b>	<p>A. Coordinate and obtain a written approval of system functionality from the Owner prior to programming.</p> <p>B. Perform a walk-through with the Owner and demonstrate the system functionality.</p> <p>C. Make any adjustments to system functionality after initial programming if necessary to achieve the desired functionality requested by the Owner.</p> <p>A. The security system integrator shall provide four (2) two hour training sessions for client personnel.</p>
<b>5.) Commissioning</b>	<p>A. Upon completion of the project, a site inspection shall be performed with the security integrator, Lawler Wood Housing and Safer Places. The purpose will be to confirm that all equipment has been installed per the Scope of Work and in a neat professional manner. A punch list will be generated for any items that need to be addressed. Upon a successful site inspection or once all punch list items have been addressed, the integrator, owner and Safer Places will sign-off on the project.</p>

GENERAL NOTES	
1.	ALL CABLING AND CONDUIT SHALL BE INSTALLED PER LOCAL AND NATIONAL ELECTRICAL CODE APPROVED METHODS.
2.	ALL EXTERIOR MOUNTED EQUIPMENT SUCH AS CAMERAS, INTERCOM STATIONS, ENCLOSURES, CARD READERS, ETC. SHALL BE PROPERLY MOUNTED AND WATER TIGHT. COMPRESSION FITTINGS SHALL BE USED FOR ALL CONDUIT ENTERING THE EQUIPMENT ENCLOSURES AND BACK BOXES.
3.	SURFACE MOUNT CONDUIT OR RACEWAYS SHALL BE INSTALLED FOR ALL CABLING THAT CANNOT BE CONCEALED ABOVE CEILINGS OR WALLS. THE INSTALLING CONTRACTOR SHALL CONFORM WITH THE CONDUIT FILL RATE PERCENTAGES OUTLINED IN THE NATIONAL ELECTRICAL CODE.
4.	EQUIPMENT SUCH AS CAMERAS, MOTIONS SENSORS AND TALK-DOWN SPEAKERS MOUNTED TO DROP-CEILING TILES SHALL BE RE-REINFORCED WITH A BACKING PLATE TO MINIMIZE DAMAGE FROM VANDALISM..
5.	SHOULD THIS PROJECT INCLUDE FIBER OPTIC CABLING, THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIBER TERMINATIONS, BREAK-OUT BOXES, PATCH CABLES AND TESTING. ALL INTERIOR FIBER CABLING MUST BE INSTALLED WITHIN ARMORED CABLE OR FIBER INNER DUCT. PRIOR TO INSTALLATION, THE INSTALLING CONTRACTOR SHALL CONFIRM THAT THE DISTANCE OF EACH CABLE RUN DOES NOT EXCEED THE LIMITATIONS OF THE FIBER CABLING. SHOULD THIS BE THE CASE, THE INSTALLING CONTRACTOR SHALL CONTACT SAFER PLACES FOR DIRECTION.
6.	ALL CABLING WITHIN EQUIPMENT RACKS, CONTROL PANELS, FIELD PANELS, ENCLOSURES, ETC SHALL BE PROPERLY DRESSED AND CLEARLY LABELED. ALL CABLES SHALL BE NEATLY BUNDLED AND SECURED. A SCHEDULE SHALL BE LEFT WITHIN EACH ENCLOSURE IDENTIFYING WHAT DEVICES ARE SERVICED BY THE RESPECTIVE PANEL/ENCLOSURE. THIS SCHEDULE SHALL INCLUDE ANY REQUIRED IP ADDRESSES, MAC ADDRESSES, LOGIN CREDENTIALS, ETC.
7.	SHOULD THIS PROJECT INCLUDE NEW POLES, CARD READER PEDESTALS, INTERCOM PEDESTALS, ETC. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONCRETE FOOTINGS OR PADS.
8.	ALL REQUIRED EXTERIOR CONDUIT SHALL BE INSTALLED PER LOCAL AND NATIONAL ELECTRICAL CODES. SHOULD EMT BE UTILIZED, PROPER COMPRESSION FITTINGS SHALL BE INSTALLED. PVC CONDUIT SHALL BE A SCHEDULE 80 AND UTILIZE PROPER EXPANSION FITTINGS TO PREVENT CRACKING.
9.	SHOULD WIRELESS NETWORK TRANSCEIVERS BE UTILIZED FOR THIS PROJECT, PROPER SHIELDED NETWORK CABLING SHALL BE INSTALLED. PRIOR TO INSTALLATION, THE INSTALLING CONTRACTOR SHALL CONFIRM LINE OF SIGHT BETWEEN TRANSCEIVERS EXISTS. IF LINE OF SIGHT DOES NOT EXIST, THE INSTALLING CONTRACTOR SHALL CONTACT SAFER PLACES FOR DIRECTION..
10.	ALL EQUIPMENT SHALL BE PROPERLY GROUNDED FOLLOWING MANUFACTURER SUGGESTED METHODS.
11.	UNLESS OTHERWISE NOTED, THE INSTALLING CONTRACTOR SHALL PROVIDE ALL REQUIRED CORING, SLEEVES AND APPROVED FIRE-STOPPING METHODS.
12.	THESE DRAWINGS ARE INTENDED FOR DIAGRAMATICAL PURPOSES ONLY AND OUTLINE THE INTENT OF THE DESIGNED SYSTEM(S). THE INSTALLING CONTRACTOR IS REQUIRED TO PROVIDE ALL EQUIPMENT NECESSARY FOR A COMPLETELY FUNCTIONAL SYSTEM. IF ADDITIONAL EQUIPMENT IS REQUIRED OR RECOMMENDED, PLEASE NOTIFY SAFER PLACES, PRIOR TO SUBMITTING A BID AND INCLUDE THIS EQUIPMENT WITH YOUR PROPOSAL.
13.	ALL EQUIPMENT AND DEVICES SHALL BE INSTALLER PER THE MANUFACTURER RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS..
14.	ALL CABLING PASSING THROUGH FIRE WALLS OR SMOKE BARRIER SYSTEMS SHALL BE FIRE-STOPPED VIA AN APPROVED (UL CLASSIFIED) FIRE STOP MATERIAL.
15.	SOME SYMBOLS, ABBREVIATIONS, CABLE TYPES AND GENERAL NOTES CONTAINED WITHIN THESE DRAWINGS MAY NOT BE USED FOR THIS PROJECT.

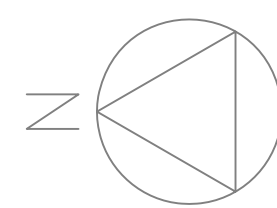
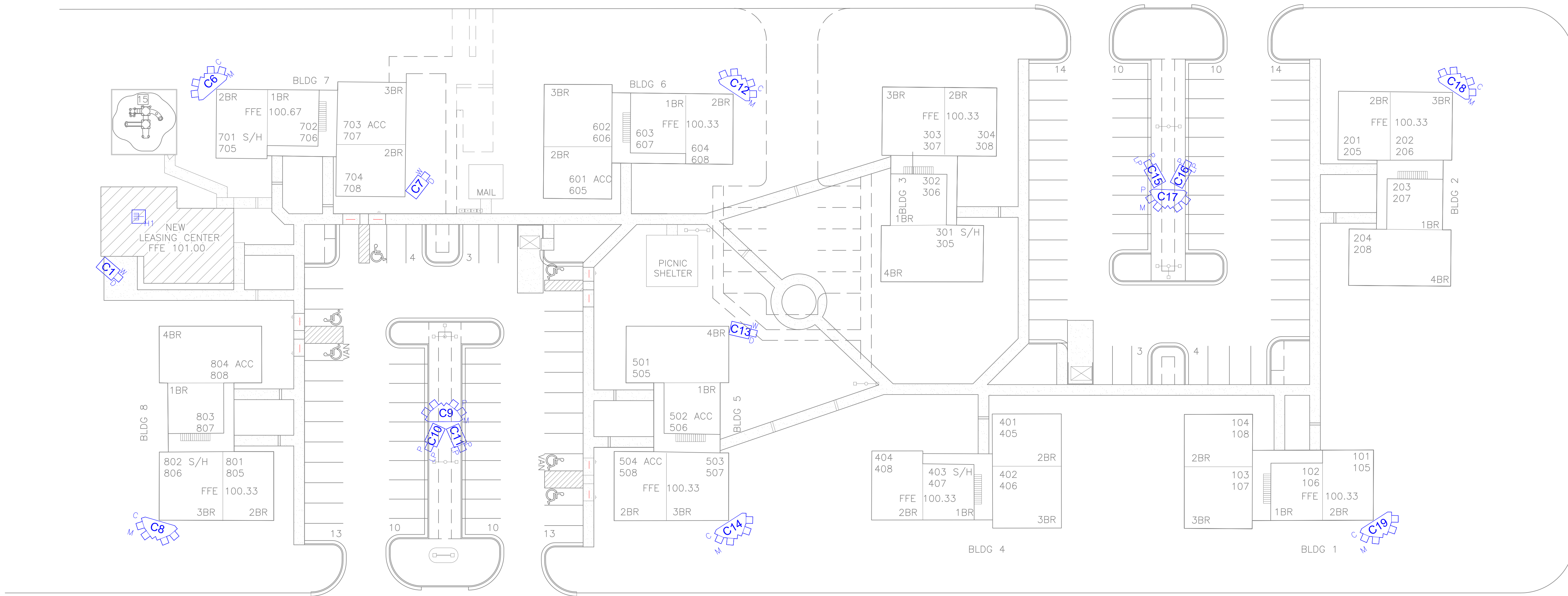
RESPONSIBILITY MATRIX	INTERGRATOR	LHP	GC	SITE ELECTRICIAN	CABLE PROVIDER	PHONE COMPANY	ELEVATOR COMP	FIRE ALARM COMP	GATE COMPANY
	ELECTRICAL PERMITS (IF REQUIRED)	X	-	-	-	-	-	-	-
BUCKET TRUCK/LIFT FEES	X	-	-	-	-	-	-	-	-
EQUIPMENT INSTALLTION	X	-	-	-	-	-	-	-	-
EQUIPMENT TERMINATIONS	X	-	-	-	-	-	-	-	-
LOW VOLTAGE CABLE INSTALLATION	X	-	-	-	-	-	-	-	-
SURFACE RACEWAY/CONDUIT INSTALLATION	X	-	-	-	-	-	-	-	-
UNDERGROUND CONDUIT (LESS TRENCHING)	-	-	-	X	-	-	-	-	-
SITE EXCAVATION/TRENCHING	-	-	X	-	-	-	-	-	-
120VAC POWER (HARDWIRED & OUTLETS)	-	-	-	X	-	-	-	-	-
FIRE ALARM INTERFACE TERMINATIONS	N/A	-	-	-	-	-	-	-	-
FIRE ALARM INTERFACE CABLING	N/A	-	-	-	-	-	-	-	-
FLOOR CORING	N/A	-	-	-	-	-	-	-	-
ELECTRIC DOOR LOCKING HARDWARE	N/A	-	-	-	-	-	-	-	-
NETWORK DROPS FOR CLIENT CONNECTIVITY	-	X	-	-	-	-	-	-	-
CATV INTERFACE TERMINATION & MODULATOR	N/A	-	-	-	-	-	-	-	-
SECURITY ALARM TELEPHONE LINE	N/A	-	-	-	-	-	-	-	-
TELEPHONE ENTRY SYSTEM TELEPHONE LINE	N/A	-	-	-	-	-	-	-	-
ELEVATOR TRAVELER CABLE	N/A	-	-	-	-	-	-	-	-
GATE CONTROLLER	N/A	-	-	-	-	-	-	-	-
CONCRETE FOOTINGS/PADS	N/A	-	-	-	-	-	-	-	-
PROGRAMMING/TESTING/TRAINING	X	-	-	-	-	-	-	-	-
O&M MANUALS AND AS-BUILT DRAWINGS	X	-	-	-	-	-	-	-	-
FIBER OPTIC CABLING	N/A	-	-	-	-	-	-	-	-
PATCHING AND PAINTING	-	-	X	-	-	-	-	-	-
CAMERA POLES	N/A	-	-	-	-	-	-	-	-

DRAWING SCHEDULE	
SHEET NO.	SHEET TITLE
SEC.1	SYMBOL SCHEDULE, CABLE SCHEDULE & NOTES
SEC.2	VIDEO SURVEILLANCE SITE PLAN
SEC.3	LEASING OFFICE FLOOR PLAN
SEC.4	VIDEO SURVEILLANCE DETAIL DRAWINGS

CABLE SCHEDULE			
TYPE	DESCRIPTION	MANUFACTURER	PLENUM
A	CAT5E STRUCTURED NETWORK CABLE	BELDEN	1212003U1000
B	6-STRAND MULTIMODE FIBER OPTIC CABLE	BELDEN	B9W240T
NOTE: THE SECURITY INTEGRATOR, BIDDER OR CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEM CABLING SHALL ENSURE THAT ALL CABLING BE INSTALLED IS RATED AND DESIGNED FOR ITS INTENDED APPLICATION AND ENVIRONMENT. PLENUM RATED PART NUMBERS HAVE PROVIDED FOR REFERENCE PURPOSES ONLY.			

Designed:	BUKOSKI	06/16
Drawn:	BUKOSKI	6/21/16
Checked:	BUKOSKI	6/21/16
<b>WHITE RIVER APARTMENTS</b> <b>SYMBOL, CABLE LEGENDS &amp; NOTES</b> DIAZ, ARKANSAS 2900 MARION DRIVE LHP DEVELOPMENT KNOXVILLE, TENNESSEE		
Approved	Date	
 25 Wareham Street, Suite 2-26 Middleboro, Massachusetts 02346 Tel: 508-947-0600		
REVISIONS	Description	Approved
	UPDATED DRAWING SCHEDULE	SMB
	REPLACED FIBER WITH UTP	SMB
Date	7/1/15	
	7/6/15	
File No.	LEGENDS.DWG	
Drawing No.	SEC.1	
Sheet	1 of 4	





VIDEO SURVEILLANCE SYSTEM HEAD-END EQUIPMENT SCHEDULE													
Device#	Location	NVR	Software Licenses	Network Switch	Wall Cabinet	Power Strip	Patch Panel	UPS Power Supply	Video Monitor	Ethernet Extender	110vac By	Network By	NOTES:
H1	Leasing Center Electrical/Security Room 105	ExacQvision/ IP04-24T-R4A with 5000-40374	ExacQvision/ EVIP-01 (Qty. 15)	D-Link/DGS-1100-24P	Middleatlantic/ DWR18-36	Tripp-Lite/ RS-0615R	Monoprice/ 7255	Tripp-Lite/ SMART3000RM2U	Rackmount Solution/ RKP117S w/Monoprice 2396	Nitek/ ER16500U	Site Electrician (Outlet in near rack)	LHP Development	Server shall be configured to record all cameras at maximum resolution, utilizing H.264 compression at a minimum of 10 images per second. Motion detection shall be enabled and coordinated with LHP.
H2	Leasing Center Manager's 103 Office Wall	n/a	n/a	n/a	n/a	n/a	n/a	n/a	ViewZ/VZ-32RTHL (Qty. 1) ViewZ/VZ-WM50 (Qty. 1)	n/a	Site Electrician (Outlet behind monitor)	n/a	A Monoprice 2029 DVI-D to HDMI converter and Monoprice 6532 HDMI Cat5e extender kit shall be used to send video from the network video server's DVD-D output to the First Floor Management Office monitor

VIDEO SURVEILLANCE CAMERA SCHEDULE																		
Cam #	Phase	Building	Location	Camera Detail	Cable Type (All cabling shall be installed with the base bid)	Make / Model	Lens	Mount	Bracket	Adapter	Ethernet over UTP Extender	Resolution	Compression Quality	Compression Format	Images Per Second	Motion Detection	Notes	
1	Base Bid	Leasing Ctr	Exterior Right Rear Side	V03	A	Vivotek/FD836B-HTV	n/a	Vivotek/AM-212	Vivotek/AM-711	Vivotek/AM-525	n/a	1080p	Medium	H.264	10	Enabled	View activity outside the maintenance shop	
2	Base Bid	Leasing Ctr	Maintenance 110	V01	A	Vivotek/FD8137HV-F3	n/a	n/a	n/a	n/a	n/a	1080p	Medium	H.264	10	Enabled	View activity within the shop and people entering through the doors	
3	Base Bid	Leasing Ctr	Reception/Waiting Area	V01	A	Vivotek/FD8137HV-F3	n/a	n/a	n/a	n/a	n/a	1080p	Medium	H.264	10	Enabled	View people entering the office and waiting area	
4	Base Bid	Leasing Ctr	Community Room 106	V01	A	Vivotek/FD8137HV-F3	n/a	n/a	n/a	n/a	n/a	1080p	Medium	H.264	10	Enabled	View activity within the room and people entering from exterior door	
5	Base Bid	Leasing Ctr	Laundry Room 107	V01	A	Vivotek/FD8137HV-F3	n/a	n/a	n/a	n/a	n/a	1080p	Medium	H.264	10	Enabled	View people at the machines and table	
6	Alt #1	Building 7	Left Rear Corner	V02	A	Arecont/AV12276DN-NL	Arecont/MPM4.0A (2) Arecont/MPM8.0 (2)	Arecont/SO-CAP	Arecont/AV-WMJB	Arecont/AV-CRMA	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View property perimeter and exterior of the leasing center	
7	Base Bid	Building 7	Front Right Corner	V03	A	Vivotek/FD836B-HTV	n/a	Vivotek/AM-212	Vivotek/AM-711	Vivotek/AM-525	Nitek/ET1500UWS	1080p	Medium	H.264	10	Enabled	View the playground area	
8	Alt #1	Building 8	Left Rear Corner	V02	A	Arecont/AV12276DN-NL	Arecont/MPM4.0A (2) Arecont/MPM8.0 (2)	Arecont/SO-CAP	Arecont/AV-WMJB	Arecont/AV-CRMA	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	Provide two 4mm and two 6mm lenses	
9	Base Bid	Parking Lot	New Pole (furnished by others)	V04	A	Arecont/AV12276DN-08	n/a	Vivotek/AT-CAB-001	Vivotek/AM-311	Arecont/SO-CAP	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View upper sides and rear of the parking lot	
10	Base Bid	Parking Lot	New Pole (furnished by others)	V04	A	Axis/0509-001	n/a	n/a	n/a	Axis/5504-581	Nitek/ET1500UWS	1080p	High	H.264	15	Enabled	View license plates of vehicles entering left side from Marion Street and lower left side of the parking lot	
11	Base Bid	Parking Lot	New Pole (furnished by others)	V04	A	Axis/0509-001	n/a	n/a	n/a	Axis/5504-581	Nitek/ET1500UWS	1080p	High	H.264	15	Enabled	View license plates of vehicles entering right side from Marion Street and lower right side of the parking lot	
12	Alt #1	Building 6	Right Rear Corner	V02	A	Arecont/AV12276DN-NL	Arecont/MPM4.0A (2) Arecont/MPM8.0 (2)	Arecont/SO-CAP	Arecont/AV-WMJB	Arecont/AV-CRMA	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View perimeter of property and between buildings 3 and 6	
13	Alt #1	Building 5	Right Rear Corner	V03	A	Vivotek/FD836B-HTV	n/a	Vivotek/AM-212	Vivotek/AM-711	Vivotek/AM-525	Nitek/ET1500UWS	1080p	Medium	H.264	10	Enabled	View the picnic shelter	
14	Alt #1	Building 5	Right Rear Corner	V02	A	Arecont/AV12276DN-NL	Arecont/MPM4.0A (2) Arecont/MPM8.0 (2)	Arecont/SO-CAP	Arecont/AV-WMJB	Arecont/AV-CRMA	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View perimeter of property and between buildings 4 and 5	
15	Base Bid	Parking Lot	New Pole (furnished by others)	V04	A	Axis/0509-001	n/a	n/a	n/a	Axis/5504-581	Nitek/ET1500UWS	1080p	High	H.264	15	Enabled	View license plates of vehicles entering left side from Linley Drive and lower left side of the parking lot	
16	Base Bid	Parking Lot	New Pole (furnished by others)	V04	A	Axis/0509-001	n/a	n/a	n/a	Axis/5504-581	Nitek/ET1500UWS	1080p	High	H.264	15	Enabled	View license plates of vehicles entering right side from Linley Drive and lower right side of the parking lot	
17	Base Bid	Parking Lot	New Pole (furnished by others)	V04	A	Arecont/AV12276DN-08	n/a	Vivotek/AT-CAB-001	Vivotek/AM-311	Arecont/SO-CAP	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View upper sides and rear of the parking lot	
18	Alt #1	Building 2	Left Rear Corner	V02	A	Arecont/AV12276DN-NL	Arecont/MPM4.0A (2) Arecont/MPM8.0 (2)	Arecont/SO-CAP	Arecont/AV-WMJB	Arecont/AV-CRMA	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View perimeter of property	
19	Alt #1	Building 1	Left Rear Corner	V02	A	Arecont/AV12276DN-NL	Arecont/MPM4.0A (2) Arecont/MPM8.0 (2)	Arecont/SO-CAP	Arecont/AV-WMJB	Arecont/AV-CRMA	Nitek/ET1500UWS	12MP	Medium	H.264	10	Enabled	View perimeter of property and between buildings 1 and 2	

Designed: BUKOSKI 6/16
Drawn: BUKOSKI 6/21/16
Checked: BUKOSKI 6/21/16

**WHITE RIVER APARTMENTS**  
**VIDEO SURVEILLANCE SITE PLAN**  
 DIAZ, ARKANSAS  
 2900 MARION DRIVE  
 LHP DEVELOPMENT  
 KNOXVILLE, TENNESSEE

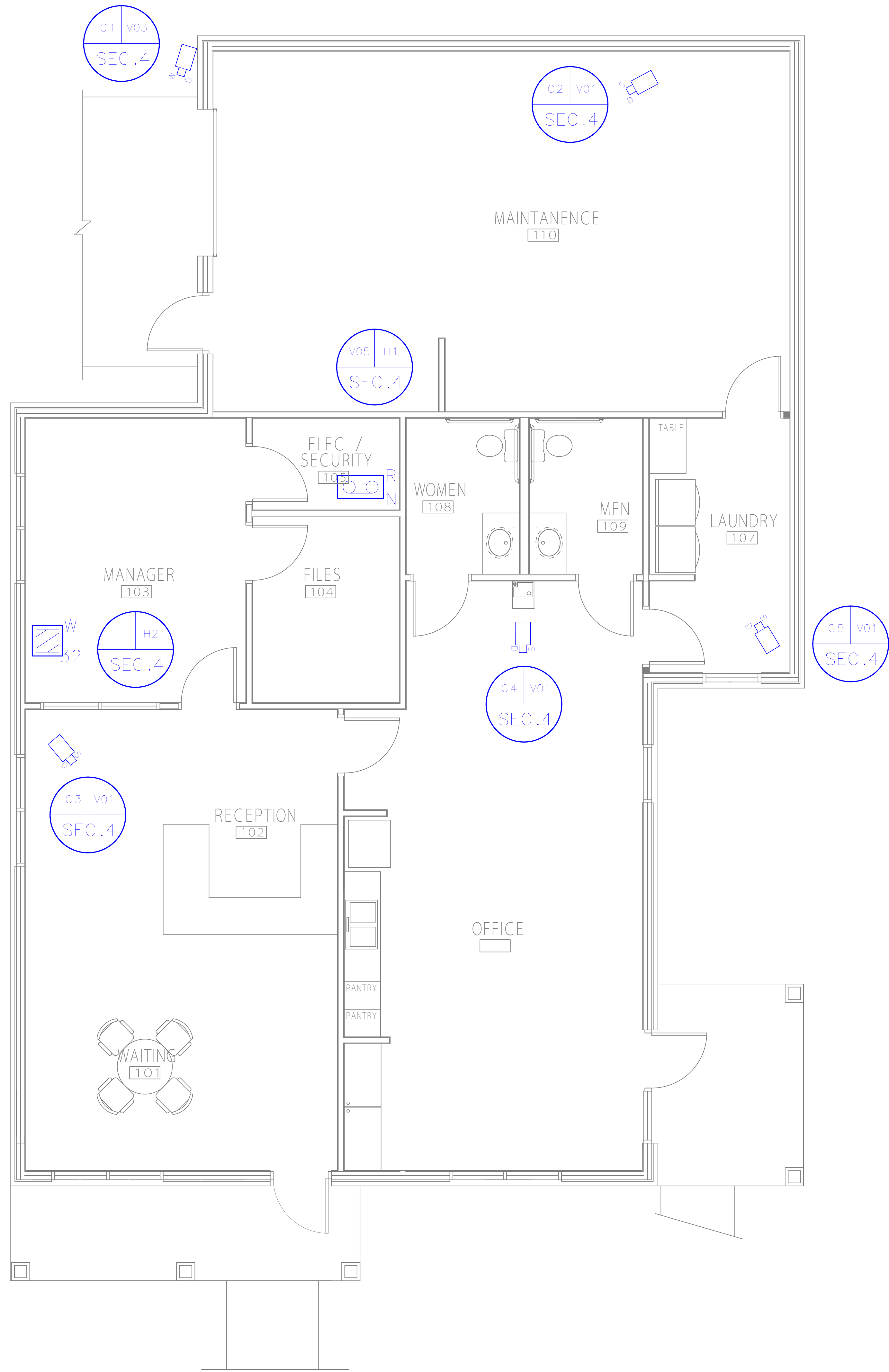
Approved \_\_\_\_\_
Date \_\_\_\_\_

25 Wareham Street, Suite 2-26  
 Middleboro, Massachusetts 02346  
 Tel: 508-947-0600


REVISIONS	Description	Date

File No. SITE\_PLAN.DWG
Drawing No. SEC.2

Sheet 2 of 4



WHITE RIVER APARTMENTS  
 VIDEO SURVEILLANCE OFFICE PLAN  
 DIAZ, ARKANSAS  
 2900 MARION DRIVE  
 LHP DEVELOPMENT  
 KNOXVILLE, TENNESSEE

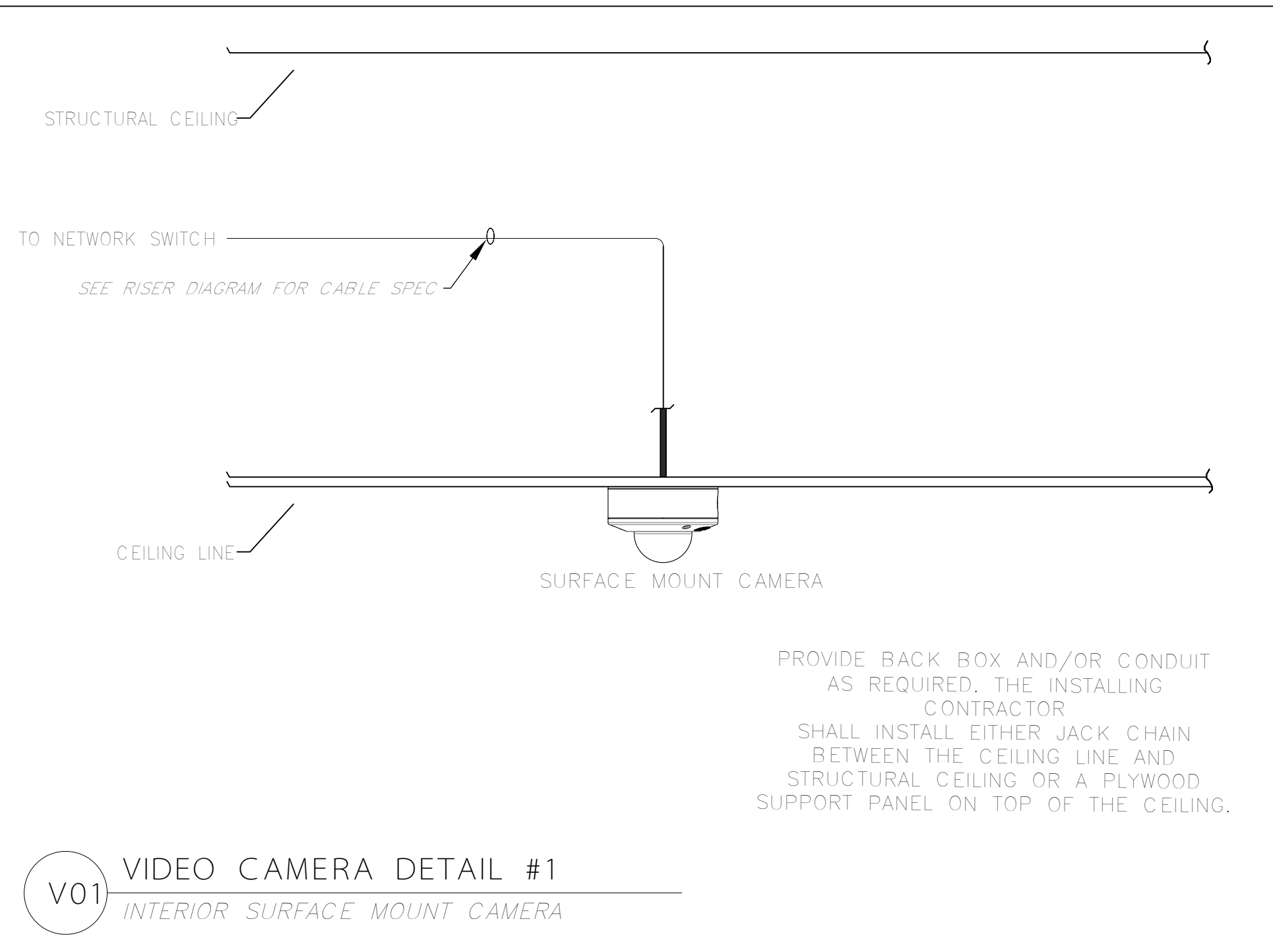

**SAFERPLACES**  
 screening, testing & consulting  
 25 Wareham Street, Suite 2.26  
 Middleboro, Massachusetts 02346  
 Tel: 508-947-0600

REVISIONS		Approved
Date	Description	SMB
7/1/15	UPDATED CAMERA LAYOUT	

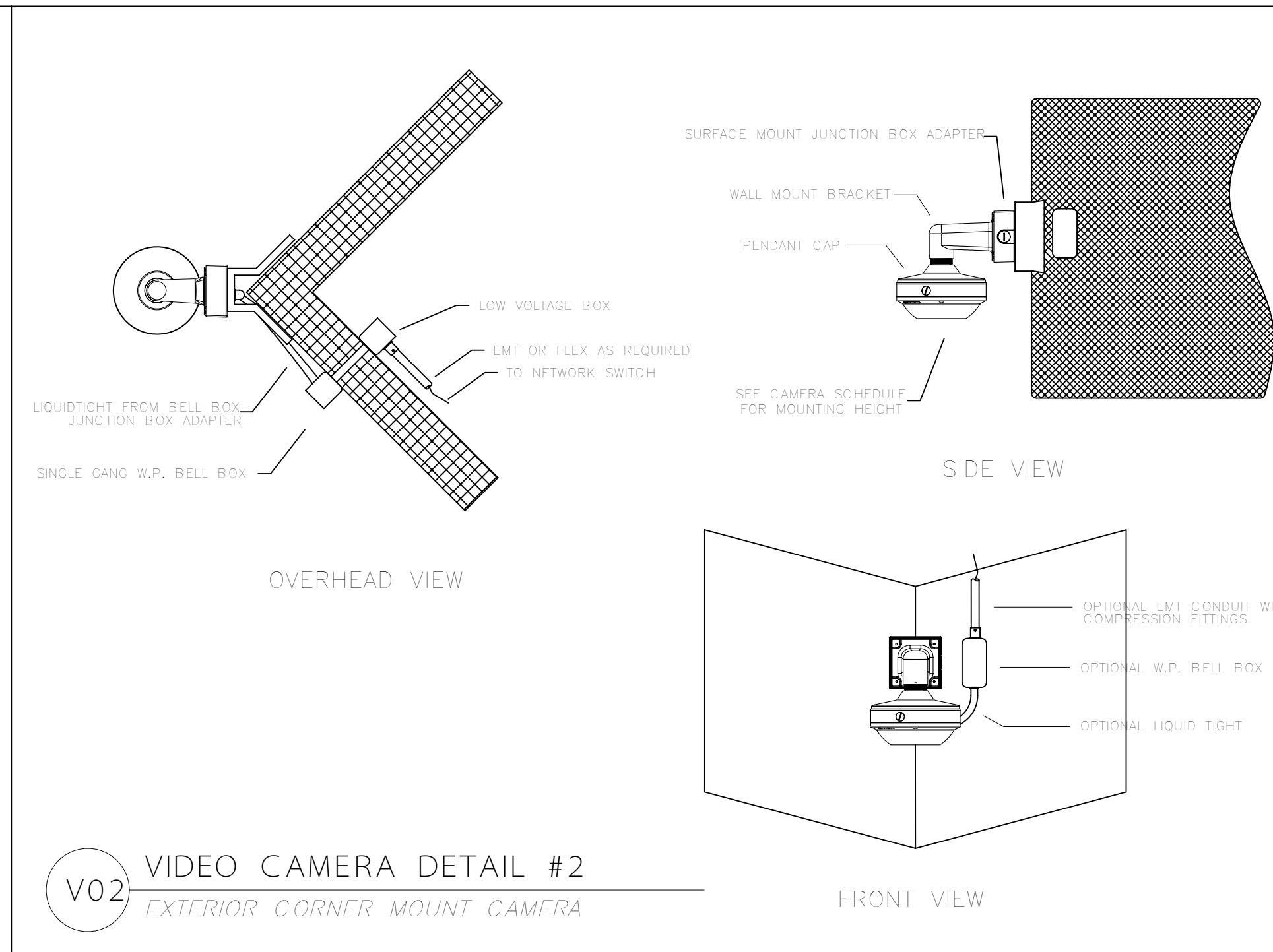
File No.  
 OFFICE.DWG  
 Drawing No.  
 SEC.3  
 Sheet 3 of 4

Designed: BUKOSKI 6/16  
 Drawn: BUKOSKI 6/21/16  
 Checked: BUKOSKI 6/21/16

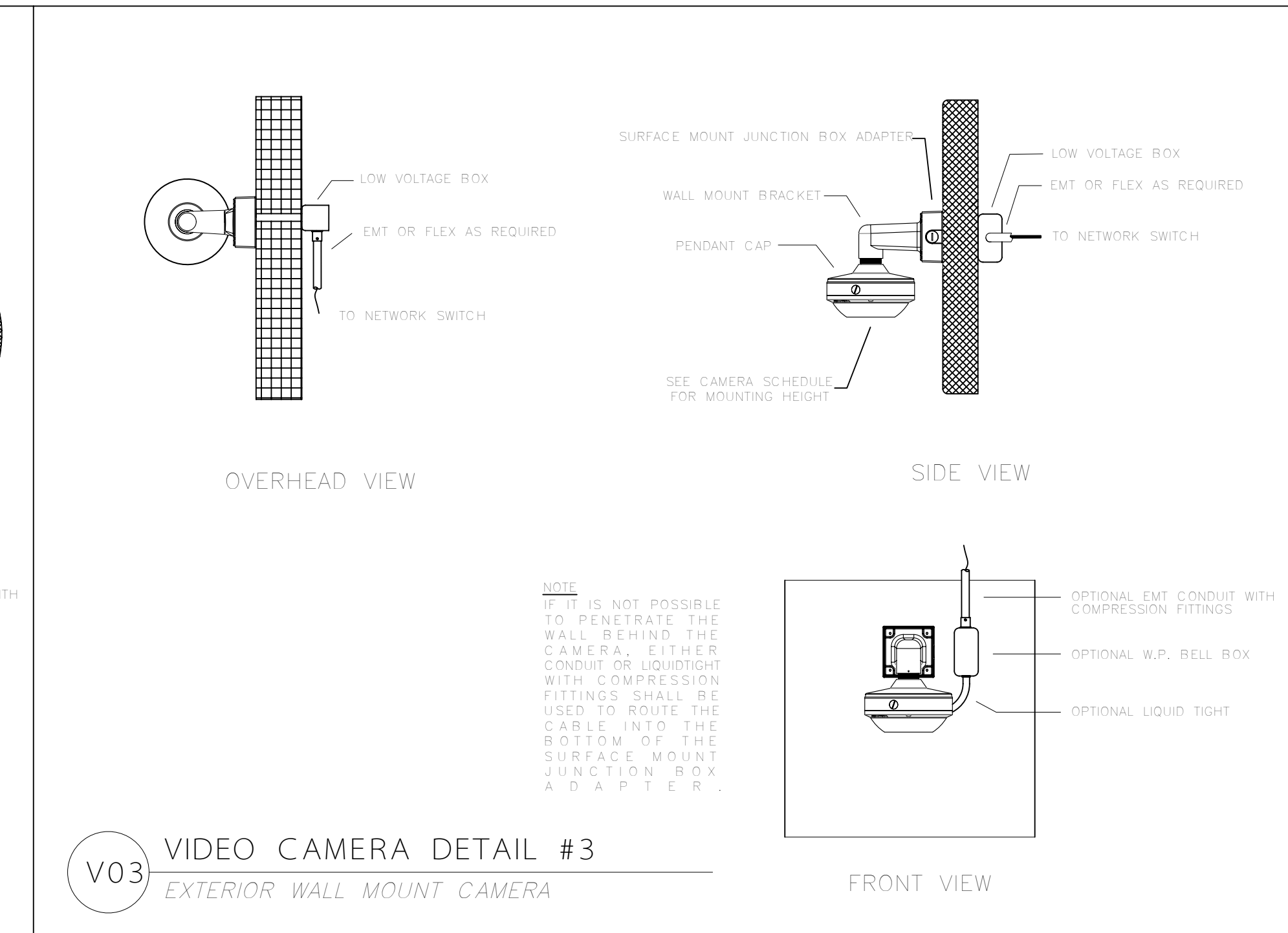
Approved \_\_\_\_\_ Date \_\_\_\_\_  
 Title \_\_\_\_\_



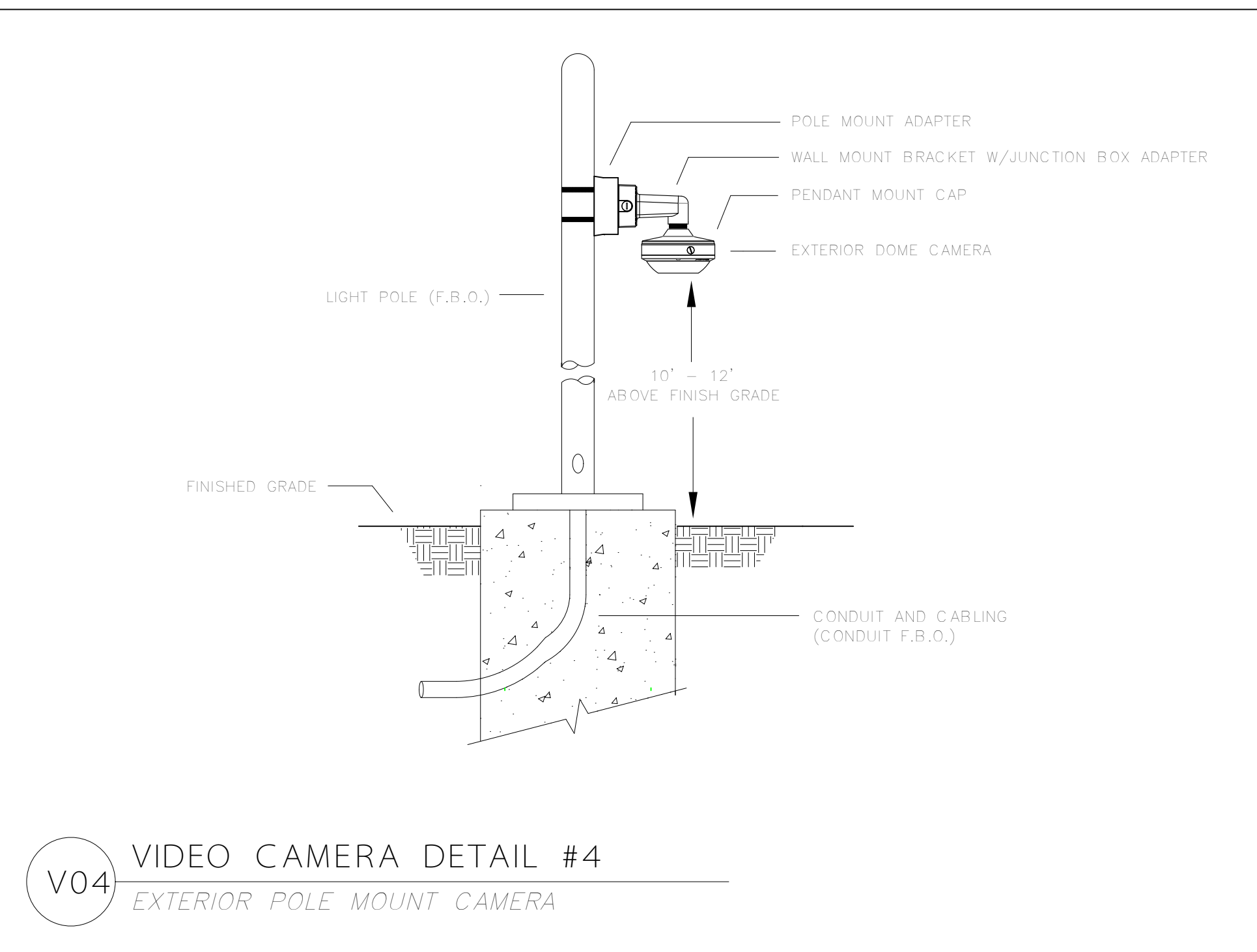
V01 VIDEO CAMERA DETAIL #1  
INTERIOR SURFACE MOUNT CAMERA



V02 VIDEO CAMERA DETAIL #2  
EXTERIOR CORNER MOUNT CAMERA



V03 VIDEO CAMERA DETAIL #3  
EXTERIOR WALL MOUNT CAMERA



V04 VIDEO CAMERA DETAIL #4  
EXTERIOR POLE MOUNT CAMERA

**NITEK Model: ET1500UW**

**NITEK Model: ET1500UJ**

**NITEK Model: IPPWR1**

**NITEK Model: ET1500UW**

CONNECT TO PROPER GROUND VIA GROUNDING ROD OR OTHER NEC APPROVED METHOD.

**Simplified System Hookup Diagram**

Network Switch / NITEK Server

Link Cable (Up to 2000 feet)

110V/20A VAC

**Transmitter Hookup Diagram**

IP Camera

Link Port

Network Port

**LED INDICATORS**

Component	LED	OFF	ON	FLASHING
Power	Power	No power	Power Good	
Network Port	Link Status	No Ethernet Link	Ethernet Link	Collision
Link Port	Power Out	No PoE Power Out	PoE Power Good	

**PoE Distance Chart**

Distance (ft)	Power (W)
17.4	27.4
15.0	30.0
10.0	18.0
5.0	10.1

**568B Pinout Termination**

Pin	Color
1	GREEN/WHITE
2	ORANGE/WHITE
3	RED/WHITE
4	YELLOW/WHITE
5	BLUE/WHITE
6	BROWN/WHITE
7	GREEN
8	BROWN

**Connectivity LED Status**

Front Panel LED Display

Network Connection: Green = 10Mbps, Orange = 100Mbps, Blue = 1Gbps

Power: Green = On, Red = Off

Temperature Alarm: Flashing = Network Loop Warning

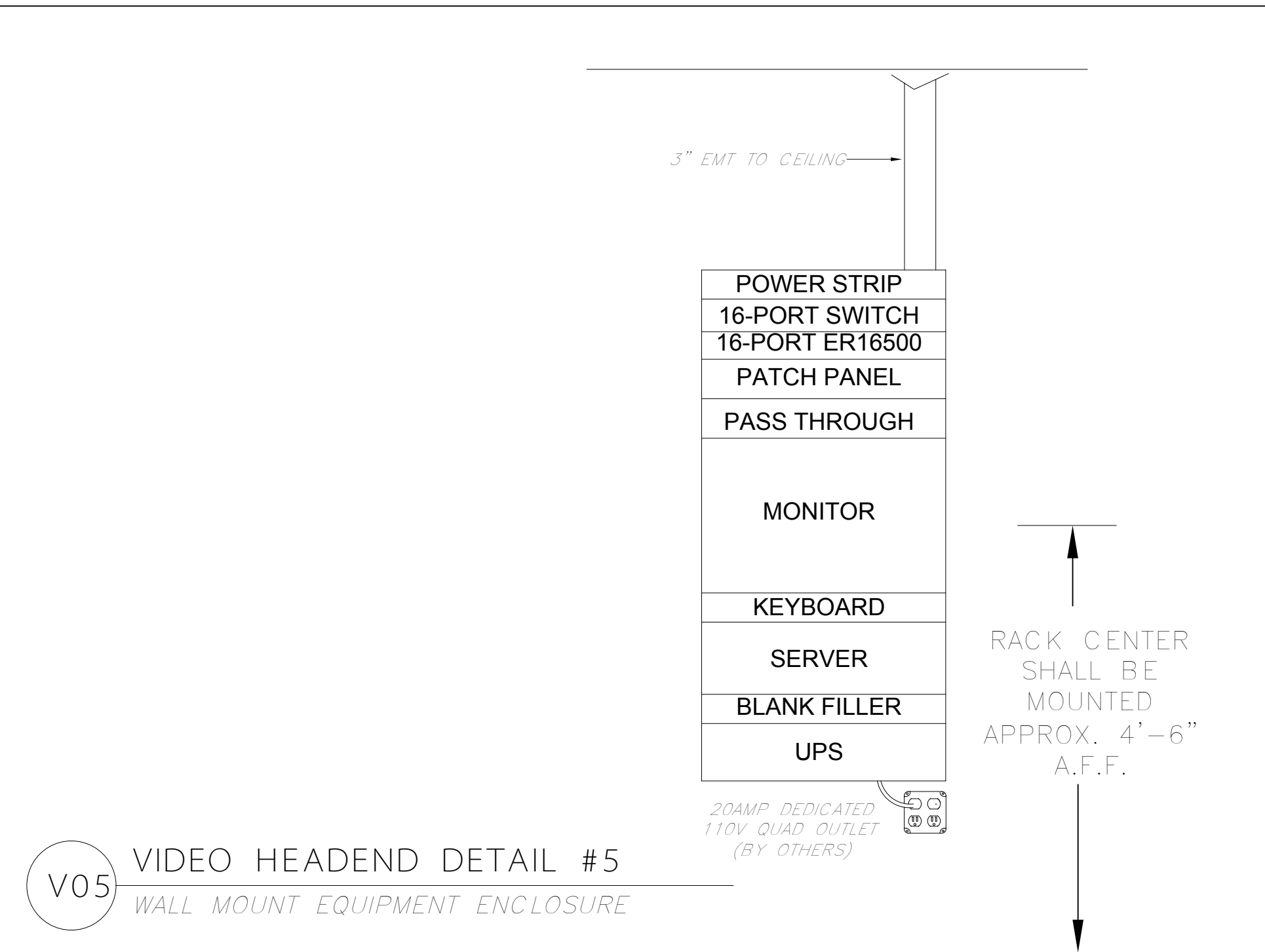
**Transmitter and Installation ET1500UJ Units**

At the camera location securely mount the transmitter.

Find the Link cable from the head-end and make sure it is properly terminated. Connect Link cable to the "Link Port" of the transmitter. If the head-end unit is powered up it will sense the connection to the transmitter and turn on the power. This will be indicated by the green POWER LED on the "Network Port". After about 15 to 30 seconds the orange 10/100Mbps LED on the "Link Port" will turn-on to tell you that the system is connected. An Ethernet device DOES NOT need to be connected for the transmitter to communicate with the head-end.

Finally, connect an Ethernet device to the transmitters "Network Port". If the device requires PoE power, the POE OUT, green LED on the "Link Port" will turn on followed by the LINK STATUS LED on the "Network Port". The IP camera or other Ethernet device should now be ready to operate. Continue installing the remaining transmitters as needed.

V06 VIDEO HEADEND DETAIL #6  
UTP TO ETHERNET CONVERTER



V05 VIDEO HEADEND DETAIL #5  
WALL MOUNT EQUIPMENT ENCLOSURE

REVISIONS	Description	Approved	Date