

PROJECT TEAM

PROPERTY OWNER:
THE FORUM
115 E MONROE AVE
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ARCHITECT:
COOPER MIXON ARCHITECTS
505 UNION STREET, SECOND FLOOR
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AUTHORITY HAVING JURISDICTION

JONESBORO, ARKANSAS - FIRE MARSHAL

APPLICABLE CODES

2010 ADA Standards for Accessibility
2012 Existing Building Code
2012 Arkansas Fire Prevention Code Vol. I: Fire
2012 Arkansas Fire Prevention Code Vol. II: Building
2012 Arkansas Fire Prevention Code Vol. III: Residential
2006 APC: Arkansas Plumbing Codes
2010 AMC: Arkansas Mechanical Codes
2014 NEC: National Electrical Codes
2006 AFAG: Arkansas Fuel and Gas Codes
2014 Arkansas Energy Code (2009 IECC w/ supplements & amendments)
2012 International Building Codes
2012 International Residential Codes
2003 ICC/ANSI A117.1: American National Standards(ADA requirements)

PROJECT ABBREVIATIONS

ABV	ABOVE	F.E.C.	FIRE EXTINGUISHER CABINET	FGLS	FLUTE GLASS
AC	ACCUOUS	F.F.C.	FIRE HOSE CABINET	FLYWD	PLYWOOD
ALT	ALTERNATE	FLASH	FLASHING	FR	FLOOR FINISH
ALUM	ALUMINUM	FLR	FLOOR CLEANOUT	F.V.C.	FLOOR CLEANOUT
ANCB	ANCHOR BOLT	F.D.	FLOOR DRAIN	P.C.C.	PRE-CAST CONCRETE
AT	AT	FLUR	FLUORESCENT	PEMB	PRE-ENGINEERED METAL BUILDING
APPROX	APPROXIMATE	FT	FOOT OR FEET	PFAB	PREFABRICATED
ARCH	ARCHITECTURE (URAL)	FTG	FOOTING	F.T.D.F.	PRESSURE TREATED DOUGLAS FIR
A.D.	AREA DRAIN	FDN	FOUNDATION	PL	PROPERTY LINE
A.C.	ASPHALT CONCRETE	GALV	GALVANIZED	Q.T.	QUARRY TILE
ASPH	ASPHALT	GA	GENERAL CONTRACTOR	G.C.	GENERAL CONTRACTOR
BM	BEAM	GLS	GLASS	GLS BLK	GLASS BLOCK
BLW	BELOW	GLB	GLUE LAM BEAM	G.B.	GRAB BAR
B.M.	BELOW GRADE	GR	GRADE	G.R.	GRADE GRADING
BLK	BENCH MARK	GND	GROUND	GYP BD	GYP BOARD
BLKG	BLOCK	HC	HANDICAPPED	HDW	HARDWARE
BD	BLOCKING BOARD	HDR	HEADER	HVAC	HEATING/VENTILATION/AIR CONDITIONING
B.O.B.	BOTTOM OF BEAM	H.D.	HEAVY DUTY	HOT	HEAT
BOT	BOTTOM	H.C.	HOLLOW CORE	H.M. or H.M.	HOLLOW METAL
BLDG	BUILDING	HORIZ	HORIZONTAL	H.B.	HOSE BIBB
B.U.R.	BUILT-UP ROOFING	HR	HOUR	H.B.	HOUR
CAB	CABINET	INCL	INCLUDE	INFO	INFORMATION
CFMS	COLD FORMED METAL STUD	ID	INSIDE DIAMETER	INSUL	INSULATE, INSULATION
CRPT	CARPET	INT	INTERIOR	INSTALL	INSTALLATION
CSMT	CASEMENT	JST	JOIST	J	JOINT
CLG	CEILING	KO	KNOCKOUT	KPLT	KICKPLATE
CTR	CENTER	L.B.	LAG BOLT	LAM	LAMINATE
CL	CENTER LINE	LT	LIGHT	LVC	LIGHTWEIGHT CONCRETE
CEM	CEMENT	LVR	LOUVER	MATL	MATERIAL
CLR	CLEAR	MGMT	MANAGEMENT	MFG	MANUFACTURER
CLO	CLOSET	MAS	MASONRY	M.O.	MASONRY OPENING
C.O.	CLEAN OUT	MAT	MATERIAL	M.H.	MANHOLE
COL	COLUMN	MAX	MAXIMUM	MECH	MECHANICAL
COMB	COMBINATION	MEMB	MEMBER	MISC	MISCELLANEOUS
CONC	CONCRETE	MIN	MINIMUM	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MISC	MISCELLANEOUS	NEW	NEW
COND	CONDENSATE	(N)	NOMINAL	N	NORTH
CONN	CONNECTION	N.C.	NOT IN CONTRACT	N.I.C.	NOT IN CONTRACT
CONST	CONSTRUCTION	N.D.	NOT TO SCALE	N.D.	NOT TO SCALE
CONT	CONTINUOUS (ATION)	ON CENTER	ON CENTER	OPAQ	OPAQUE
CONTR	CONTRACTOR	OPNG	OPENING	OPNG	OPENING
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIAMETER	O.H.	OVERHEAD
CPRR	CORRUGATED	O.H.	OVERHEAD	OHANG	OVERHANG
C.S.	COUNTERSINK	PAIR	PAIR	PKG	PARKING
CTT	CUBIC FOOT	PENNY	PENNY	P.C.F.	PER CUBIC FOOT
CYD	CUBIC YARD	P.L.F.	PER LINEAL FOOT	P.S.F.	PER SQUARE FOOT
DEMO	DEMOLITION	P.S.I.	PER SQUARE INCH	P	PLATE
DEPT	DEPARTMENT	PL	PLATE LINE		
DET	DETAIL				
DIAG	DIAGONAL				
DIA	DIAMETER				
DIM	DIMENSION				
DISP	DISPENSER				
DR	DOOR				
DBL	DOUBLE				
DN	DOWN				
D.S.	DOWN SPOUT				
DWR	DRAWER				
DWG	DRAWING				
D	DRAIN				
E	EAST				
EA	EACH				
EI	ELEVATION				
ELEC	ELECTRIC (AL)				
ELEV	ELEVATOR				
ENCL	ENCLOSURE (URE)				
E.N.	END NAILING				
ENG	ENGINEER (ING)				
EQ	EQUAL				
EQUIP	EQUIPMENT				
EXH	EXHAUST				
(E)	EXISTING				
E.J.	EXPANSION JOINT				
EXT	EXTERIOR				
F.O.C.	FACE OF CONCRETE (CURB)				
F.O.F.	FACE OF FINISH				
F.O.M.	FACE OF MASONRY				
FGLS	FACE OF STUB				
F.N.	FIBERGLASS				
FIN	FIELD NAILING				
F.G.	FINISH GRADE				
F.F.	FINISH FLOOR				
F.F.E.	FINISH FLOOR ELEVATION				
F.A.	FIRE ALARM				
F.E.	FIRE EXTINGUISHER				
F.E.B.	FIRE EXTINGUISHER ON BRACKET				



NEW TICKET BOOTH & CONCESSION FOR:
THE FORUM
JONESBORO, AR

DRAWING INDEX

01 GENERAL	
G-001	GENERAL INFORMATION
03 DEMOLITION	
AD101	DEMOLITION PLANS
04 ARCHITECTURAL	
A-101	FIRST & MEZZANINE FLOOR PLAN / RCP
A-201	ENLARGED FIRST FLOOR PLAN, INTERIOR & EXTERIOR ELEVATIONS
A-202	ENLARGED MEZZANINE FLOOR PLAN, INTERIOR ELEVATIONS
A-401	WALL SECTIONS AND ENLARGED ELEVATIONS
A-402	INTERIOR ELEVATIONS
A-601	SCHEDULES, DOOR ELEVATIONS, & DETAILS

CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE AS REQUIRED BY LAW AND IN COMPLIANCE WITH THE ARKANSAS FIRE PREVENTION CODE FOR THE STATE OF ARKANSAS

JOHN MIXON, ARCHITECT
John Mixon 4/15/19

MATERIALS LEGEND

EARTH	GYP. BD.
BRICK	RIGID INSULATION
C.M.U.	BATT INSULATION
CONCRETE	PLYWOOD
MILLED WOOD	PLASTER ON MTL LATH
ROUGH WOOD	STEEL
GLASS	GRAVEL
EIFS	CEMENT GROUT OR SAND

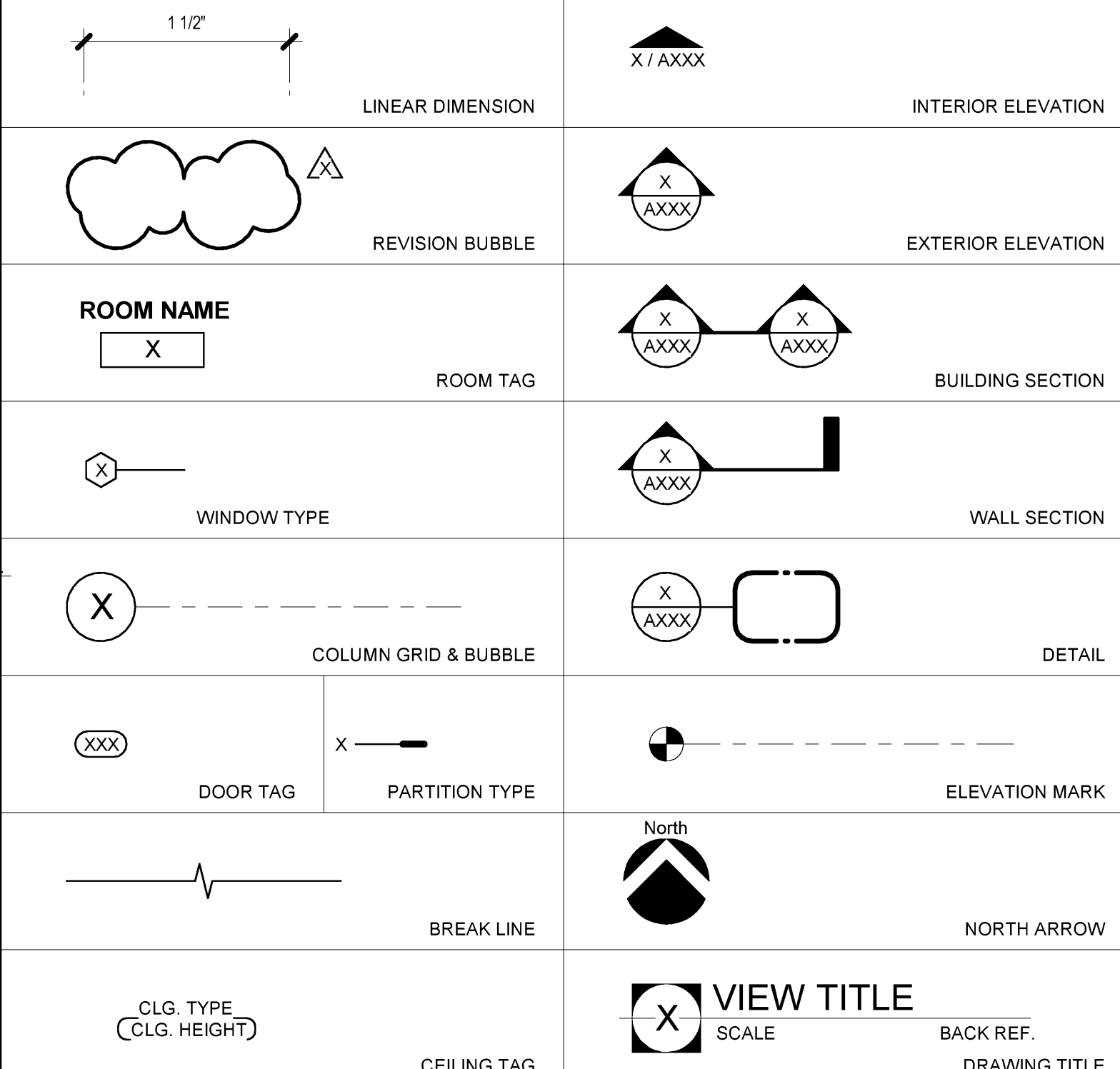
SITE LOCATION



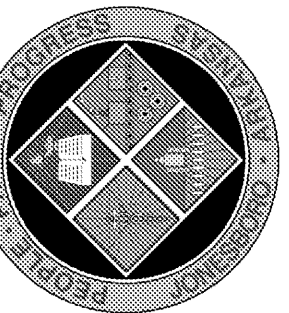
GENERAL NOTES

- FIELD VERIFY ALL MEASUREMENTS REQUIRED. USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH WORK.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR COORDINATING THE EXISTING CONDITIONS WITH THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. TO CONFIRM THAT THE INTENT OF THE CONTRACT DOCUMENTS CAN BE FULFILLED. NOTIFY THE ARCHITECT IN WRITING OF ALL DISCREPANCIES.
- CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING ANY WORK THAT IS NOT CLEARLY DEFINED BY THE CONTRACT DOCUMENTS.
- CONTRACTORS SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY, OR OTHERWISE INDICATED, OR WHERE APPLICABLE CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES RULE, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON PERFORMANCE OF THE WORK. MECHANICAL, ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, LOCAL AND STATE JURISDICTIONS, ORDINANCES, AND APPLICABLE REGULATIONS.
- GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL SUPERVISE, AND DIRECT THE WORK. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTRACT AND COORDINATION WITH ALL AUTHORIZED OWNER REPRESENTATIVES.
- DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN AND PERFORMANCE. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT EXISTING CONDITIONS. SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- CONTRACTORS SHALL VERIFY LOCATIONS OF ALL UTILITIES AND SERVICES PRIOR TO PROCEEDING WITH THE WORK TO ENSURE PROPER COORDINATION, SEQUENCING AND INSTALLATION OF NEW WORK.
- PROVIDE FIRE SEALANT TO PERIMETER OF ALL PIPING, HVAC SLEEVING OR OTHER TYPE OF THRU-WALL PENETRATION.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY UNFORESEEN CONDITIONS FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- PAINT ALL EXPOSED SURFACES, EXCEPT WHERE ITEMS ARE SCHEDULED TO REMAIN NATURAL OR ARE OTHERWISE RESTRICTED BY LOCAL CODES, ORDINANCES OR AUTHORITIES HAVING JURISDICTION
- COORDINATE/VERIFY WITH ARCHITECT EXTERIOR LIGHTING MOUNTING HEIGHTS.

REFERENCE SYMBOLS



THE FORUM



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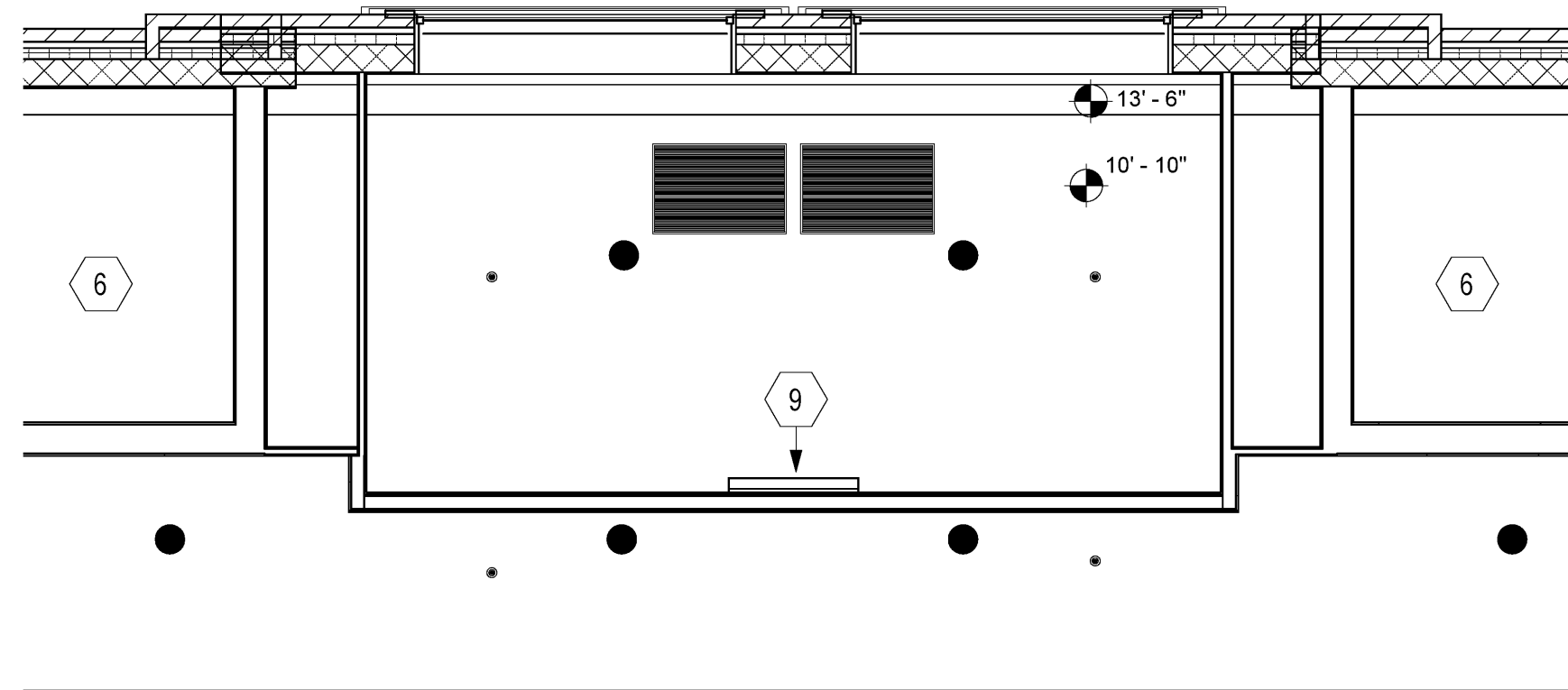
COOPER MIXON architects
505 Union Street, 2nd Floor
Jonesboro, AR 72401
Phone: 870.336.0536

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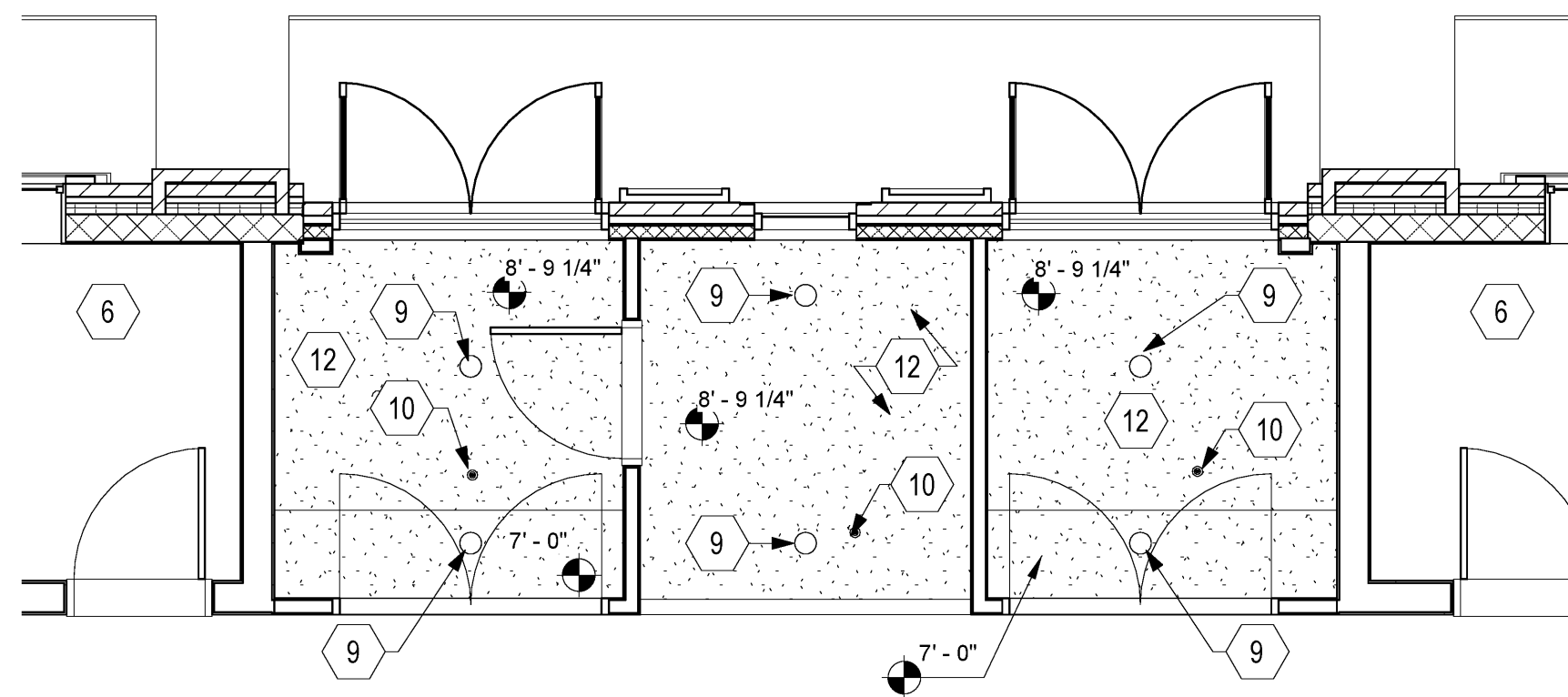
PROJECT NO. 1808
PROJECT NAME THE FORUM
DATE 04/15/2019
CONTENTS GENERAL INFORMATION

SHEET NUMBER **G-001**

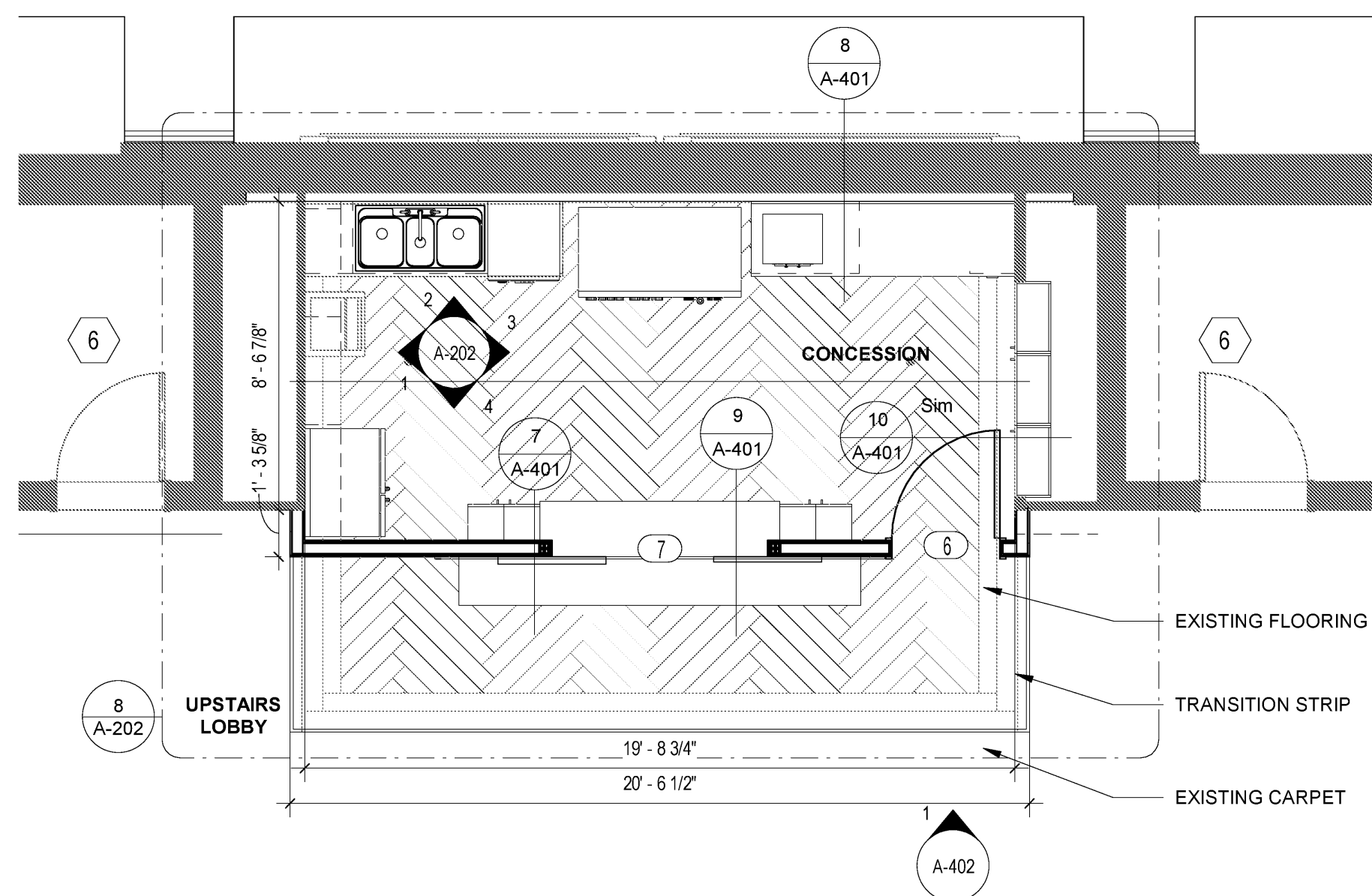
REGARDING THE SENSITIVE ISSUES OF CONFIDENTIALITY AND COPYRIGHT, ANY REQUEST FOR THE RELEASE, OR REPRODUCTION OF THESE DRAWINGS MUST BE APPROVED BY COOPER MIXON ARCHITECTS PLLC



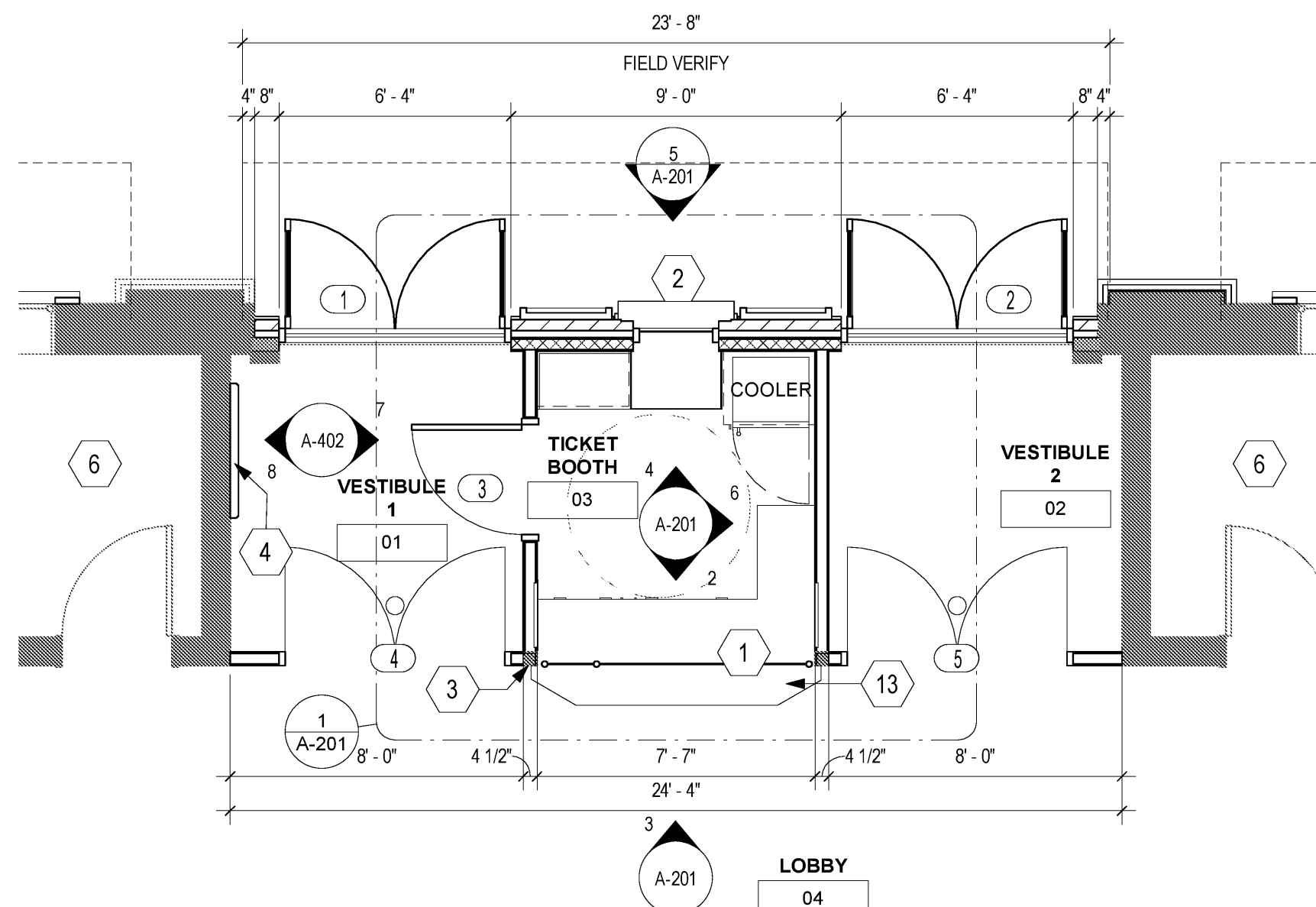
4 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0" 2 / A-202



3 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0" 6 / A-201



2 MEZZANINE FLOOR PLAN
1/4" = 1'-0" 2 / A-202



1 FIRST FLOOR PLAN
1/4" = 1'-0" 6 / A-201

SHEET NOTES - CLG PLAN

1. ALL CEILING HEIGHT NOTATIONS TAKEN FROM FINISHED FLOOR ELEVATION OF THIS LEVEL UNLESS NOTED OTHERWISE.
2. LIGHT FIXTURES ARE BASIS OF DESIGN

LEGEND - CEILING PLAN

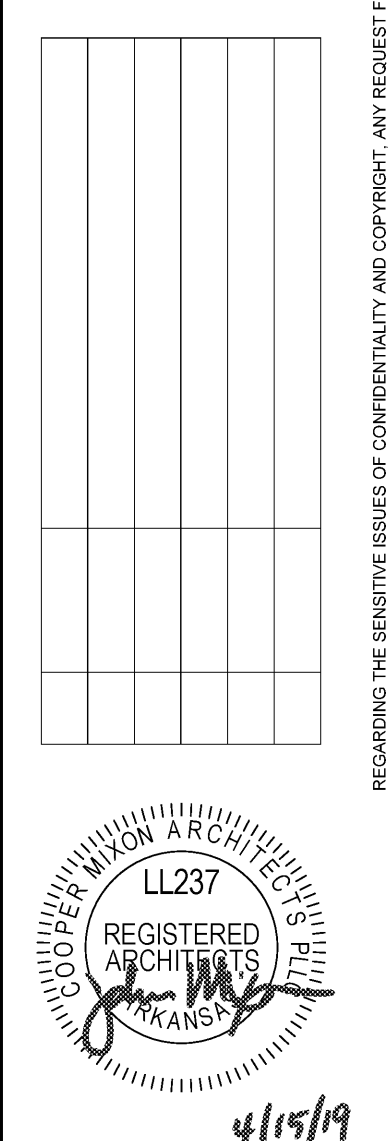
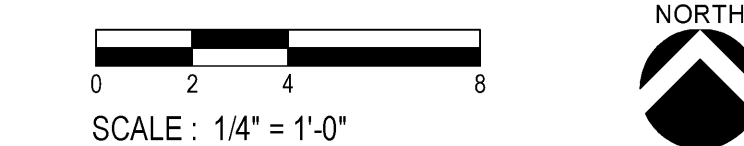
	GYP. BD. CEILING
	KOME KMDL-15-30K-F-WH-S
	EXISTING TO REMAIN
	NICOR LSC-10-4H-UNV-35
	EXIT SIGN

SHEET NOTES - FLOOR PLAN

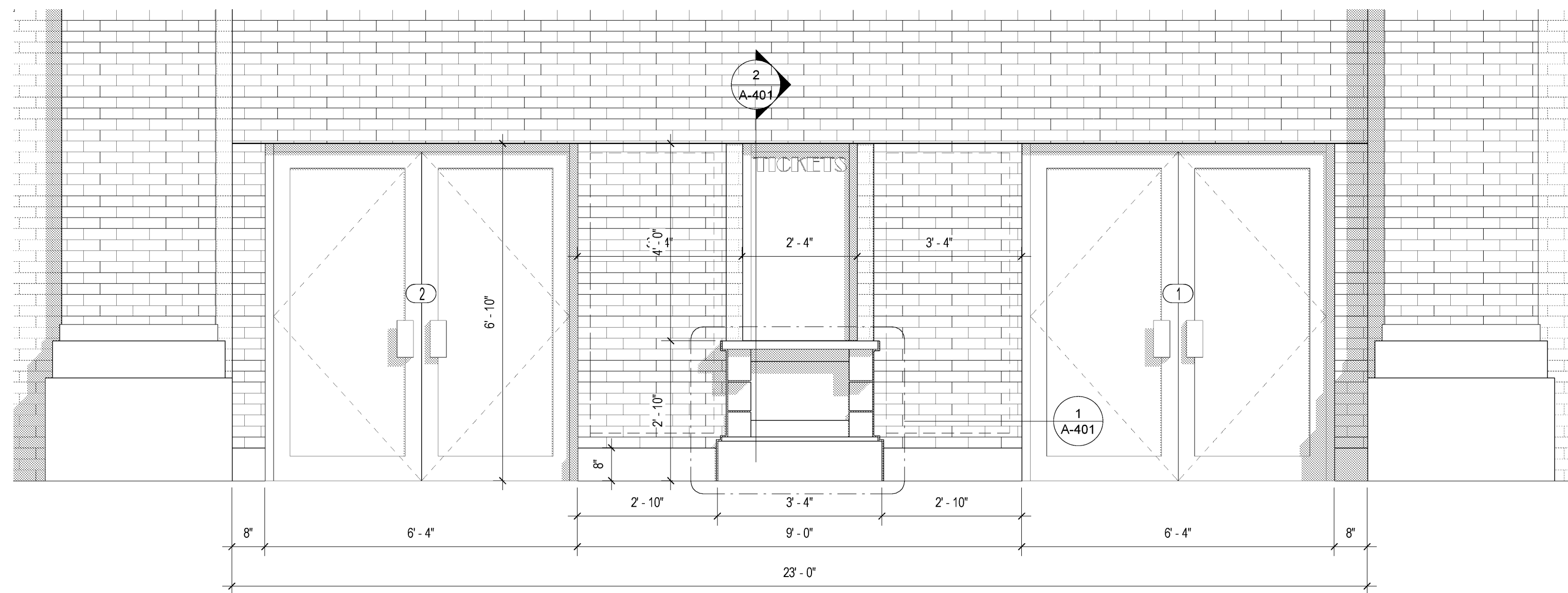
1. ALL PARTITIONS SHALL BE TYPE 1 U.N.O. REFER TO SHEET G002 FOR PARTITION TYPES.
2. ALL DOORS SHALL BE LOCATED 4" FROM ADJACENT WALL (DOOR FRAME SHALL BE 2" FROM ADJACENT WALL) U.N.O.
3. RATED ASSEMBLIES SHALL BE ERECTED IN ENTIRETY PRIOR TO NON-RATED ASSEMBLIES. REFER TO LIFE SAFETY DRAWINGS FOR EXTENT OF RATED PARTITIONS.
4. DEVICES WHICH PENETRATE FIRE RATED WALLS MUST BE SEALED AND DAMPERED TO RESIST FIRE & SMOKE.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL U.N.O.
6. REFER TO A3 SHEET SERIES FOR REFLECTED CEILING PLANS.
7. REFER TO A7 SHEET SERIES FOR FINISHES AND EQUIPMENT.
8. REFER TO A8 SERIES FOR OPENINGS SCHEDULE.
9. A SURVEY OF ALL FLOOR SURFACES SHALL BE MADE PRIOR TO CONSTRUCTION TO DETERMINE OUT-OF-LEVEL CONDITIONS THAT WOULD PROHIBIT THE LEVEL PLACEMENT OF FLOORING, FILES, FURNITURE OR INTERFERE WITH THE INSTALLATION OF ARCHITECTURAL OR MILLWORK ELEMENTS. ANY UNACCEPTABLE AREAS SHALL BE REPAIRED PRIOR TO ANY WORK BY OTHER TRADES
10. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL ARCHITECTURAL DRAWINGS WITH ARCHITECTURAL SCHEDULES. ANY DISCREPANCY REASONABLY DISCOVERABLE WITH DUE DILIGENCE SHALL BE NOTED AS A QUALIFICATION TO THE GENERAL CONTRACTOR'S BID SUBMISSION. ANY REASONABLY DISCOVERABLE DISCREPANCY NOT INDICATED AS A QUALIFICATION SHALL BE CONSTRUED IN FAVOR OF THE OWNER AT NO COST.
11. PROVIDE CONTROL JOINTS IN GYP. BD. AT 30' MAXIMUM INTERVALS, OR WHEN APPROPRIATE.
12. FIELD VERIFY ALL DIMENSIONS LOCATED IN EXISTING CONSTRUCTION PRIOR TO PROCEEDING WITH ANY WORK.
13. PROVIDE ACCESS PANELS WHERE PLUMBING AND HEATING VALVES, WATER SWITCHES, OXYGEN PRESSURE SWITCHES, VENTILATION SPLITTER DAMPERS, ETC. ARE SHOWN ON MEP DRAWINGS. COORDINATE FINAL LOCATION WITH ARCHITECT.

KEYNOTES - FLOOR PLAN

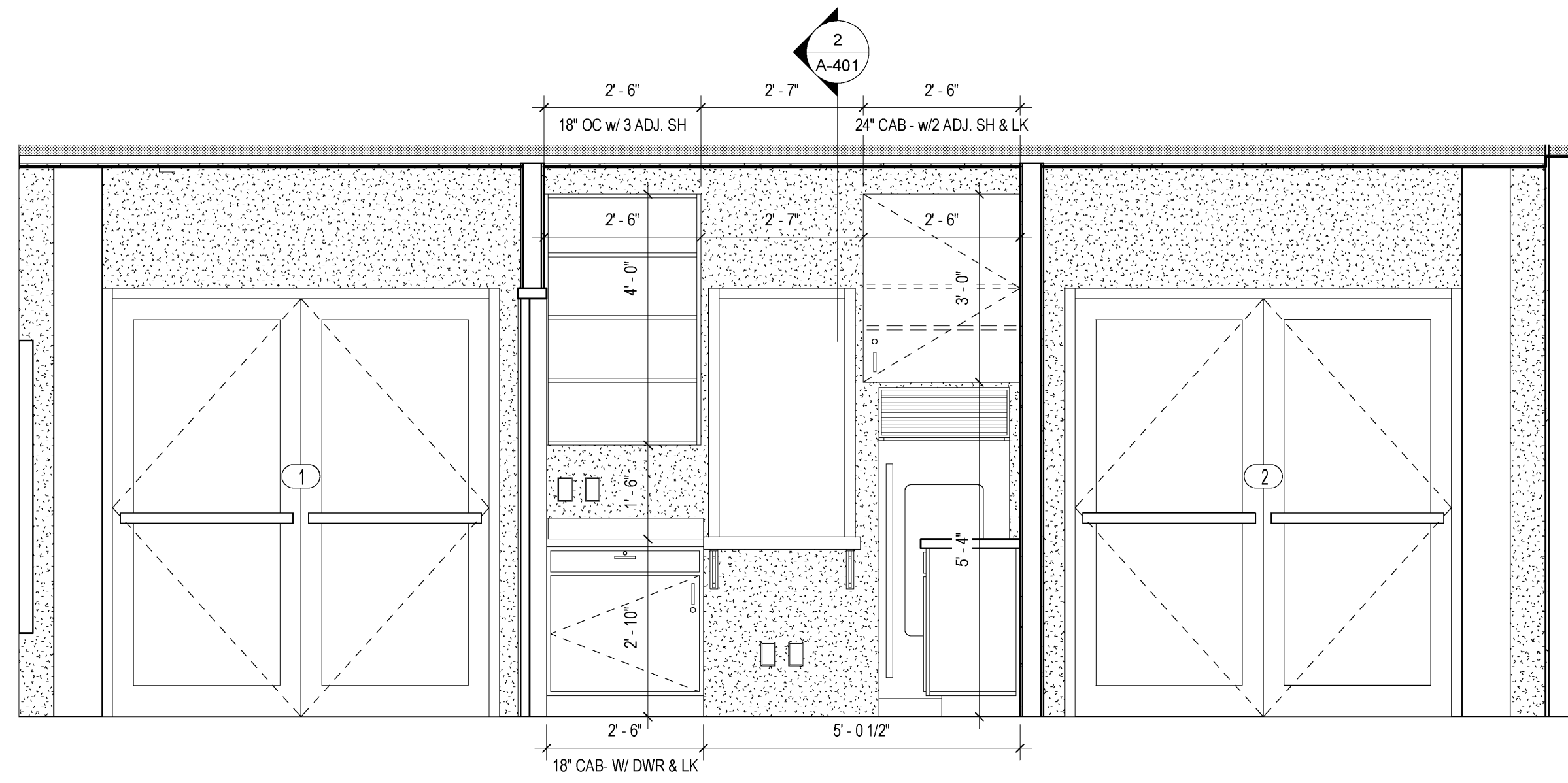
1. INTERIOR TRANSACTION COUNTER.
2. EXTERIOR TRANSACTION COUNTER.
3. ALIGN FINISHED FACE OF NEW AND EXISTING WALLS.
4. NEW LOCATION OF RELOCATED PRECAST SIGN.
5. EXISTING STOREFRONT ENTRANCE.
6. NO WORK IN THIS AREA.
7. SHROUD FOR COILING DOOR.
8. PATCH AND REPAIR CEILING WHERE LIGHT FIXTURES ARE REMOVED.
9. NEW LIGHT FIXTURE.
10. RAISE EXISTING SPRINKLER HEAD AND REMOUNT IN NEW RAISED CEILING.
11. REINSTALL EXISTING LIGHT FIXTURE IN NEW LOCATION.
12. NEW GYP BD CEILING TO BE INSTALLED AT THE HIGHEST ELEVATION POSSIBLE.
13. EXISTING SECURITY GLASS TO BE CUT TO SIZE AND REINSTALLED.



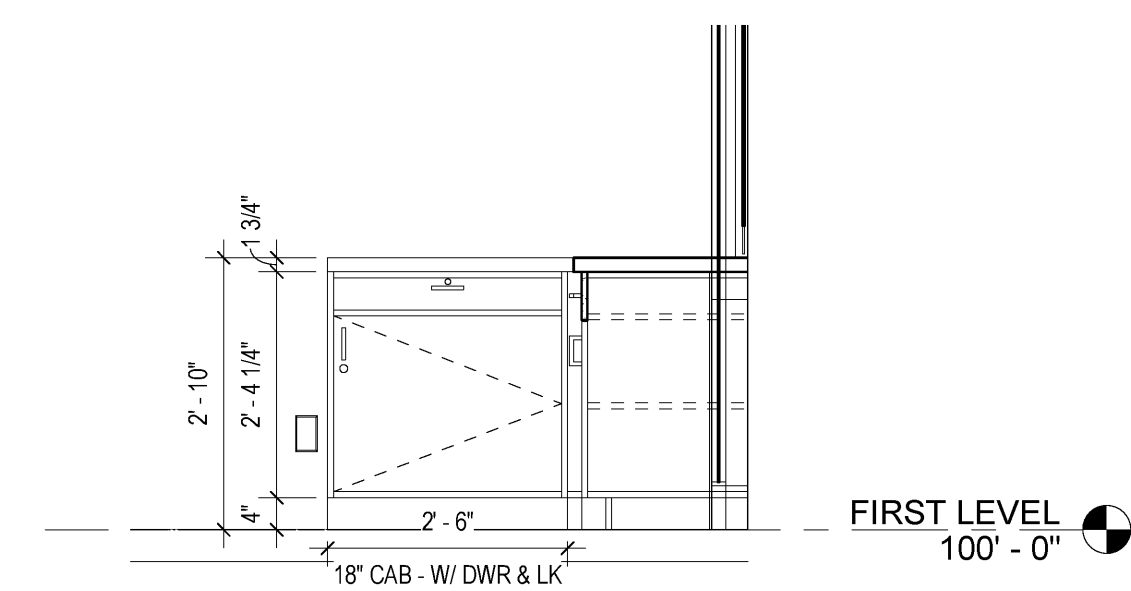
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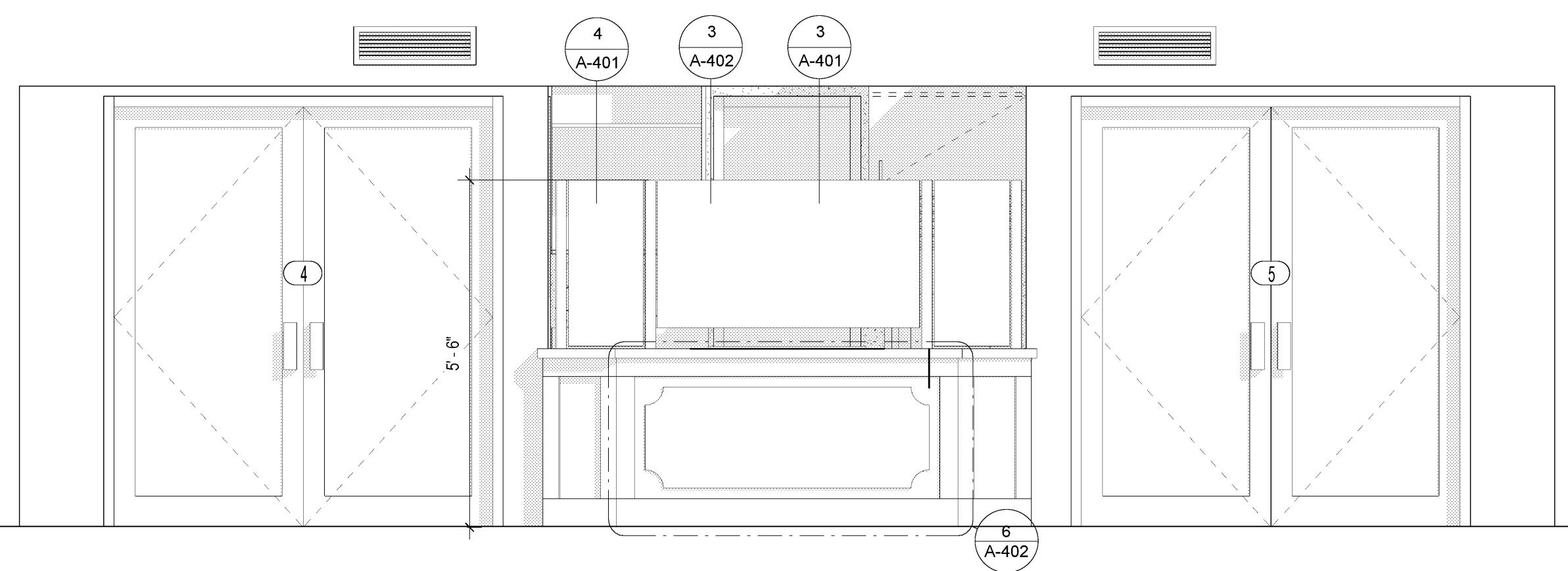
5 NORTH EXTERIOR ELEVATION
 1/2" = 1'-0" 1 / A-101



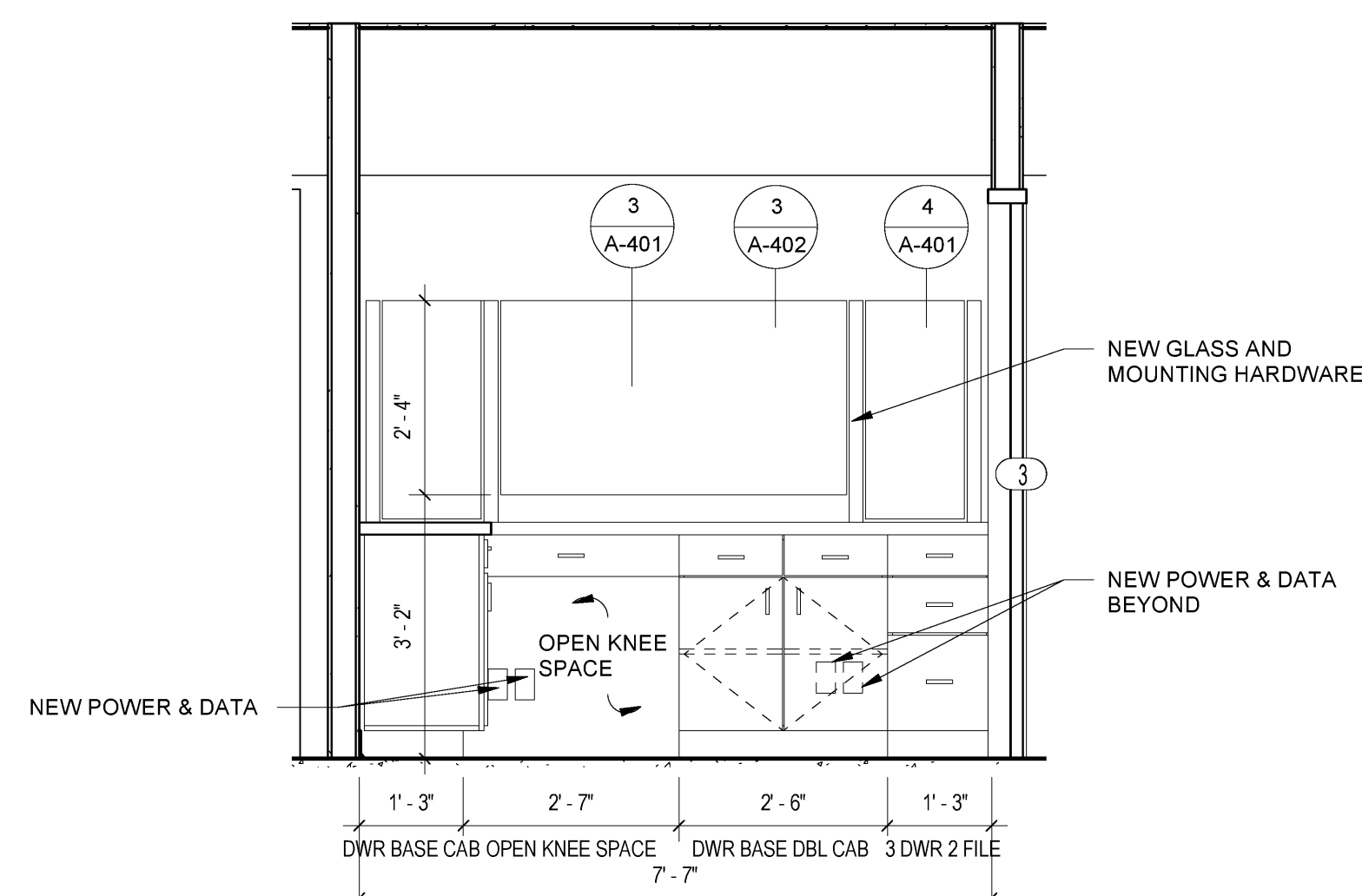
4 TICKET BOOTH LOOKING OUTSIDE
 1/2" = 1'-0" 1 / A-101



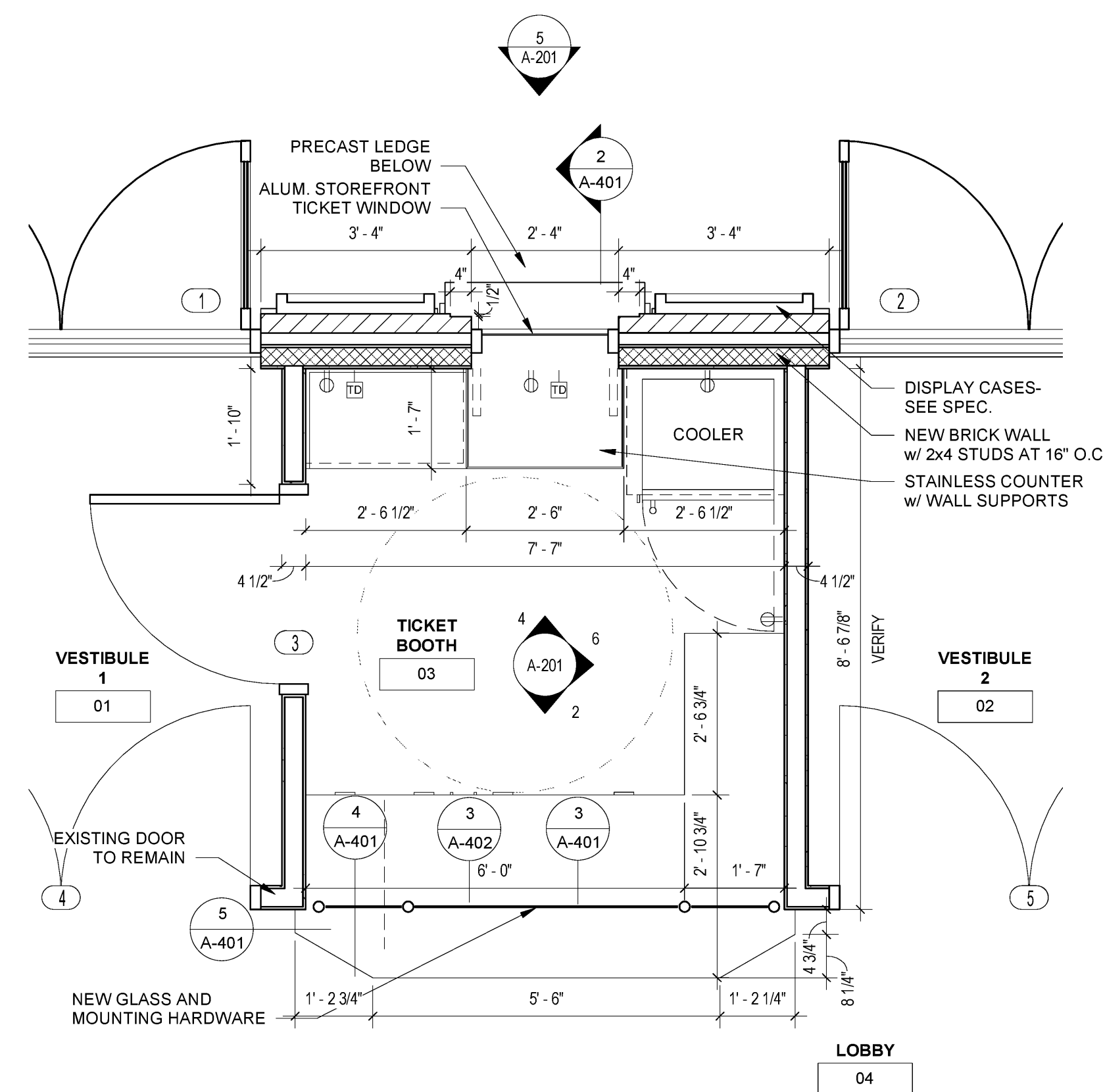
6 TICKET BOOTH - MILLWORK WITH LOCK
 1/2" = 1'-0" 1 / A-101



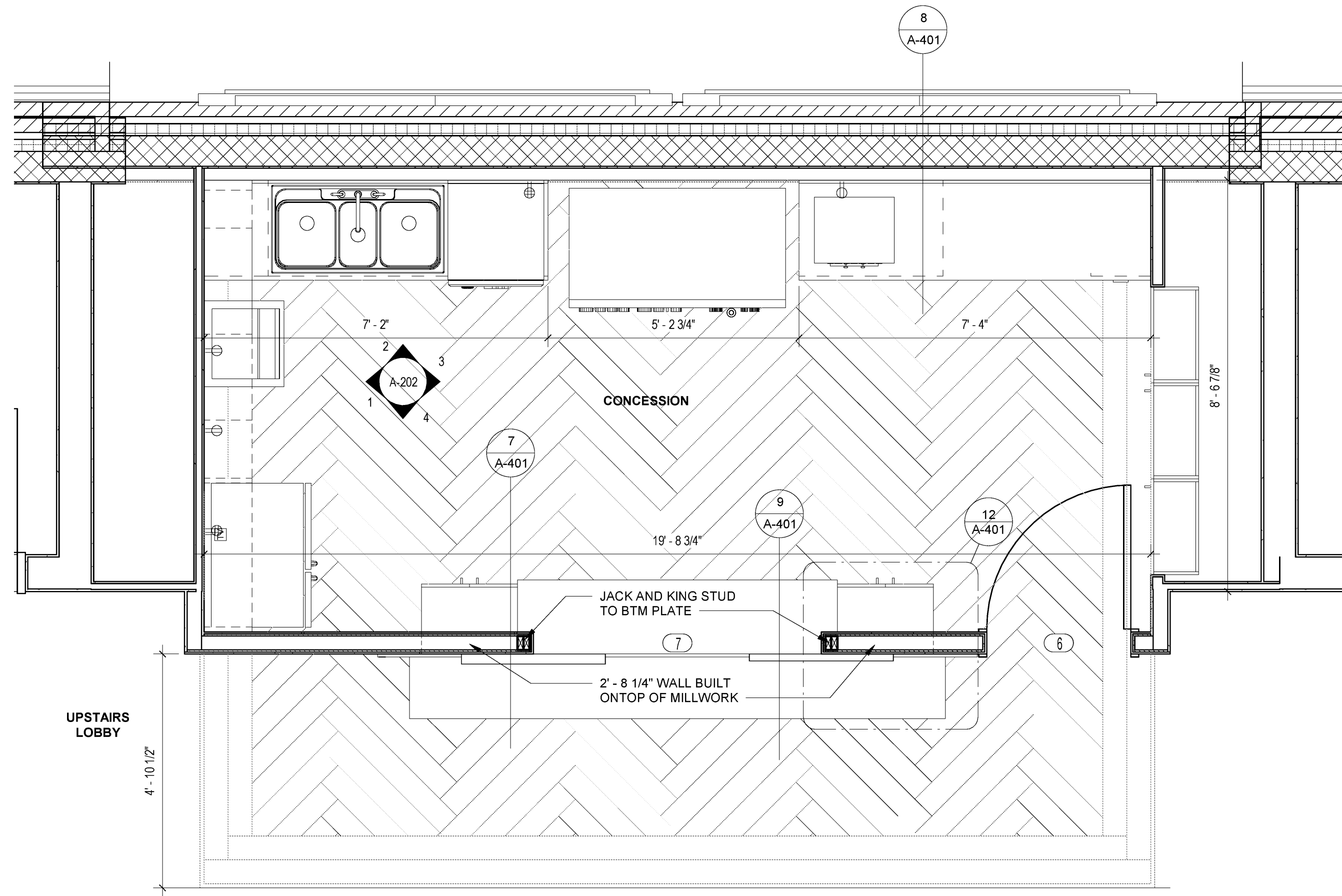
3 LOBBY LOOKING AT CONCESSION
 1/2" = 1'-0" 1 / A-101



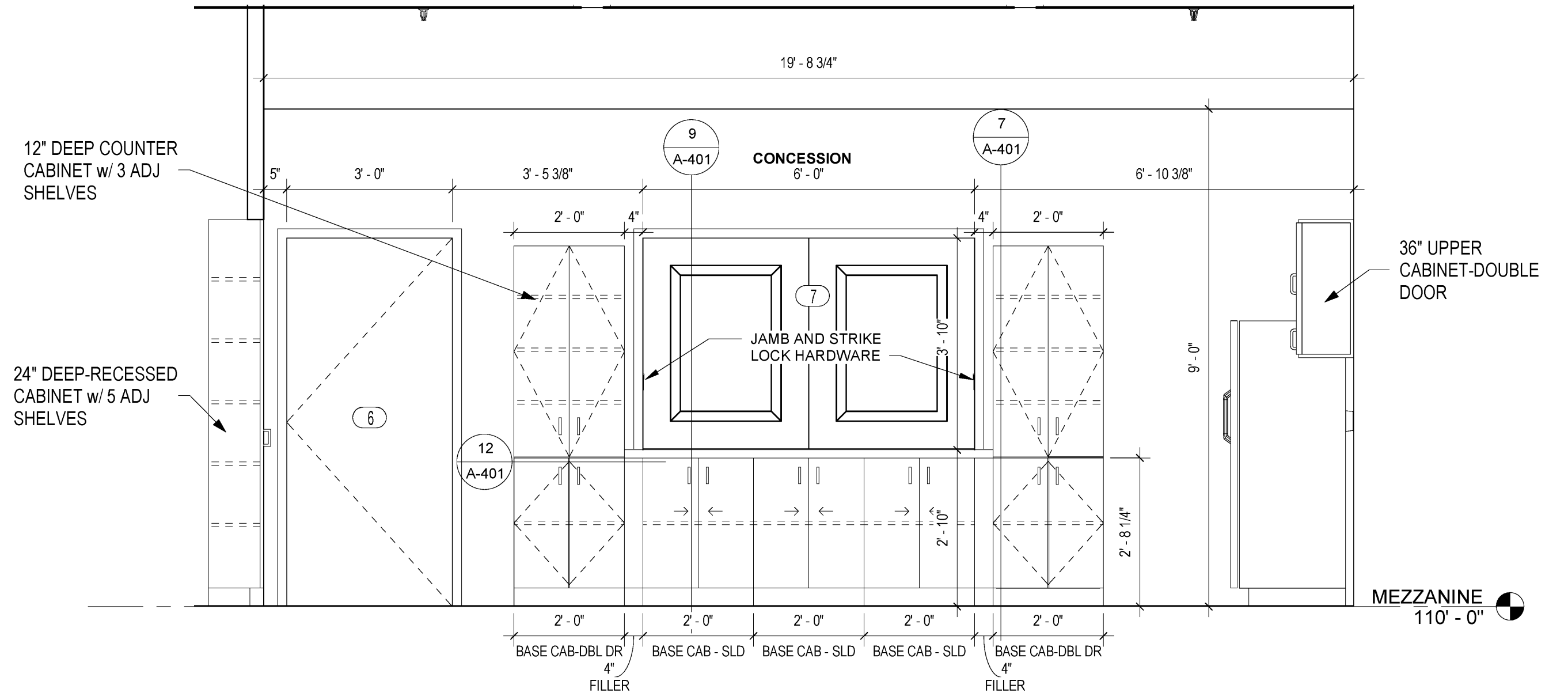
2 TICKET BOOTH LOOKING ONTO LOBBY
 1/2" = 1'-0" 1 / A-101



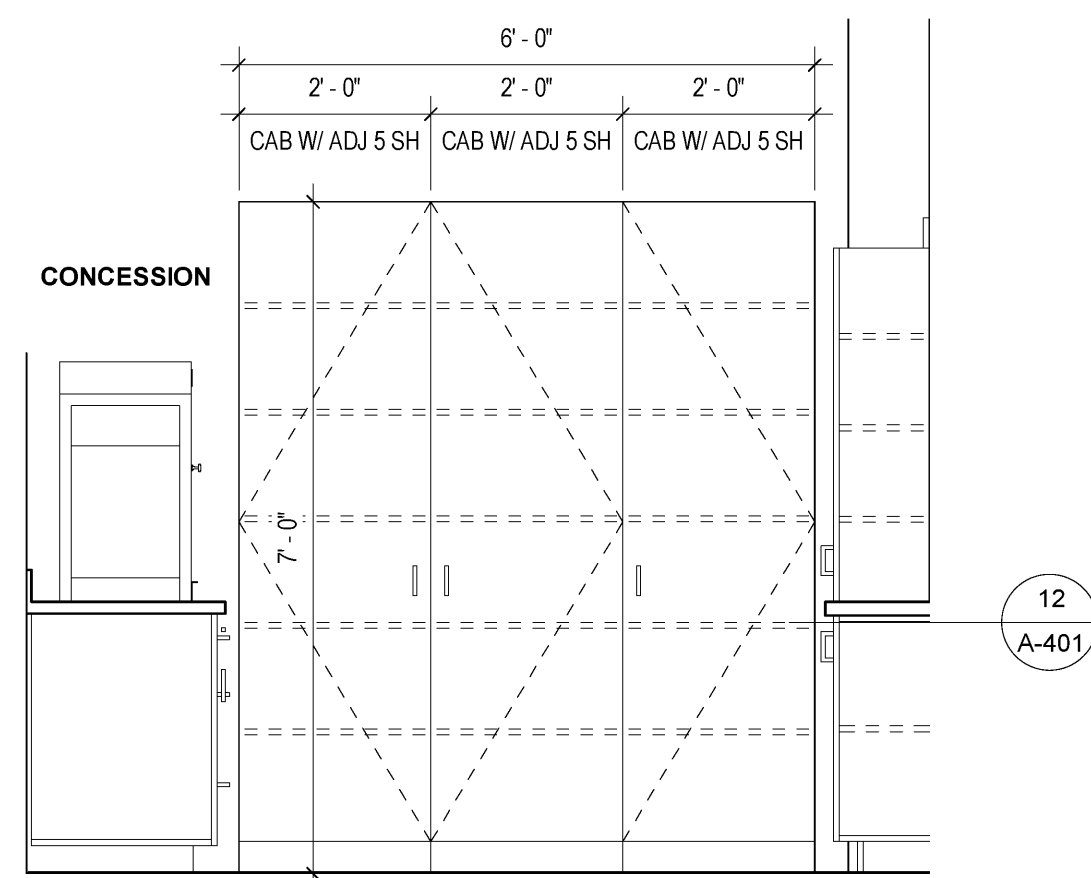
1 ENLARGED PLAN AT TICKET BOOTH
 1/2" = 1'-0" 1 / A-101



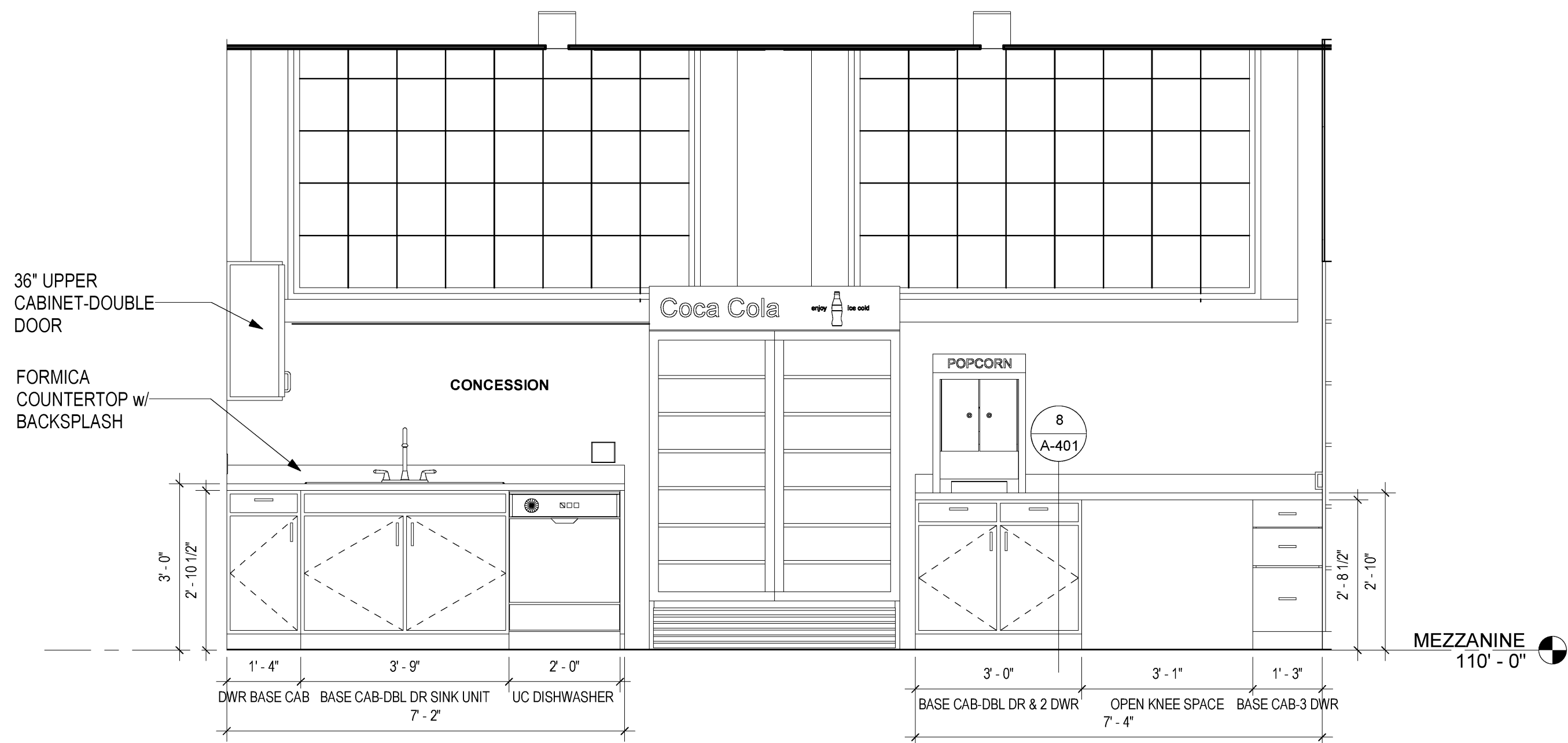
8 MEZZANINE FLOOR PLAN - Callout 2
1/2" = 1'-0" 2 / A-101



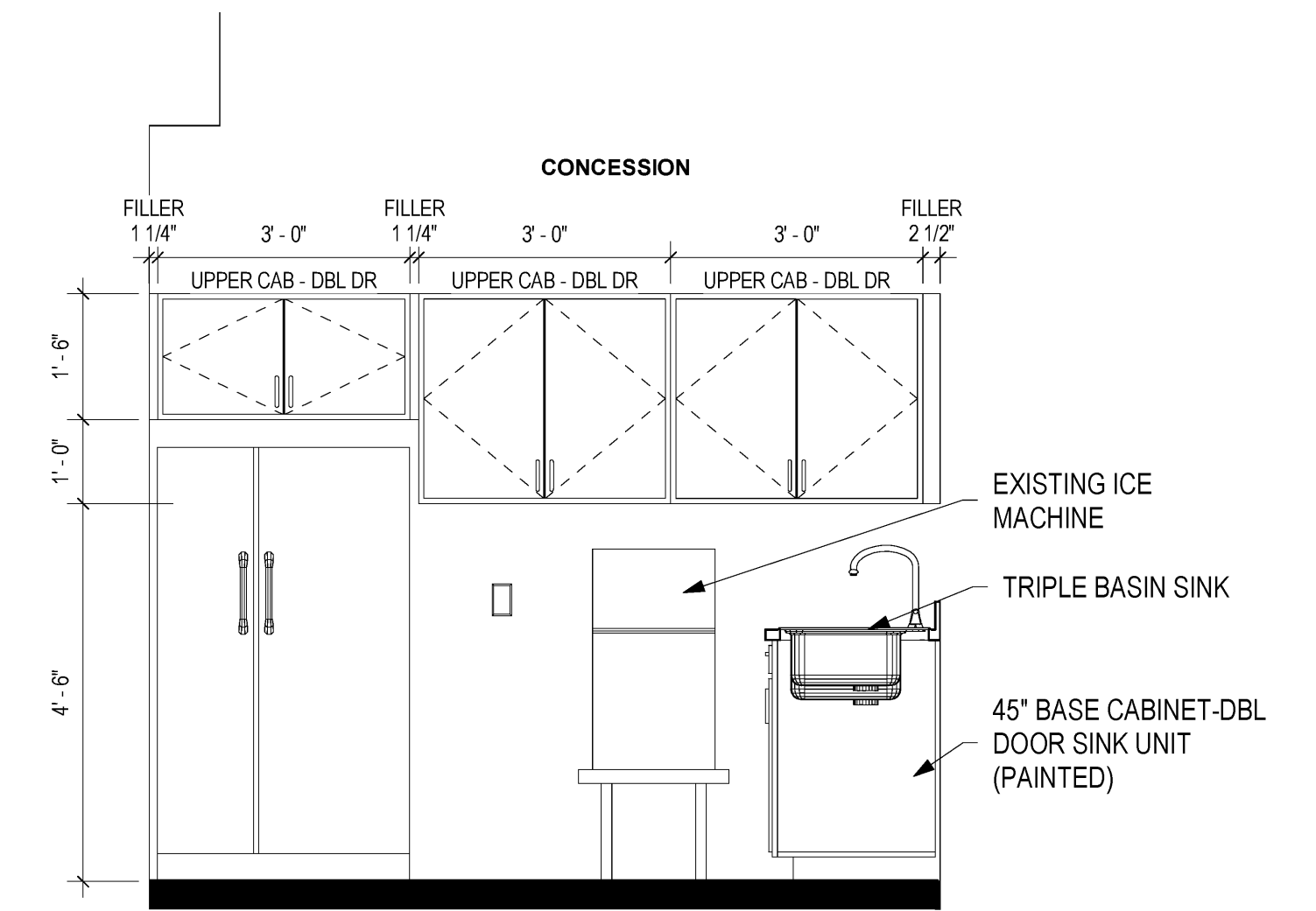
4 CONCESSION - LOOKING OUT
1/2" = 1'-0" 2 / A-101



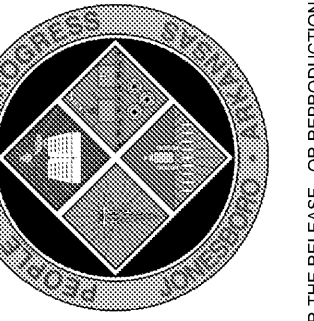
3 CONCESSION - RIGHT VIEW
1/2" = 1'-0" 2 / A-101



2 CONCESSION - BACK OF WALL
1/2" = 1'-0" 2 / A-101



1 CONCESSION - LEFT VIEW
1/2" = 1'-0" 2 / A-101



4/15/19

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ISSUE FOR BIDDING

PROJECT NO.

1808

PROJECT NAME

THE FORUM

DATE

04/15/2019

CONTENTS

ENLARGED MEZZANINE
FLOOR PLAN, INTERIOR
ELEVATIONS

SHEET NUMBER

A-202



4/15/19

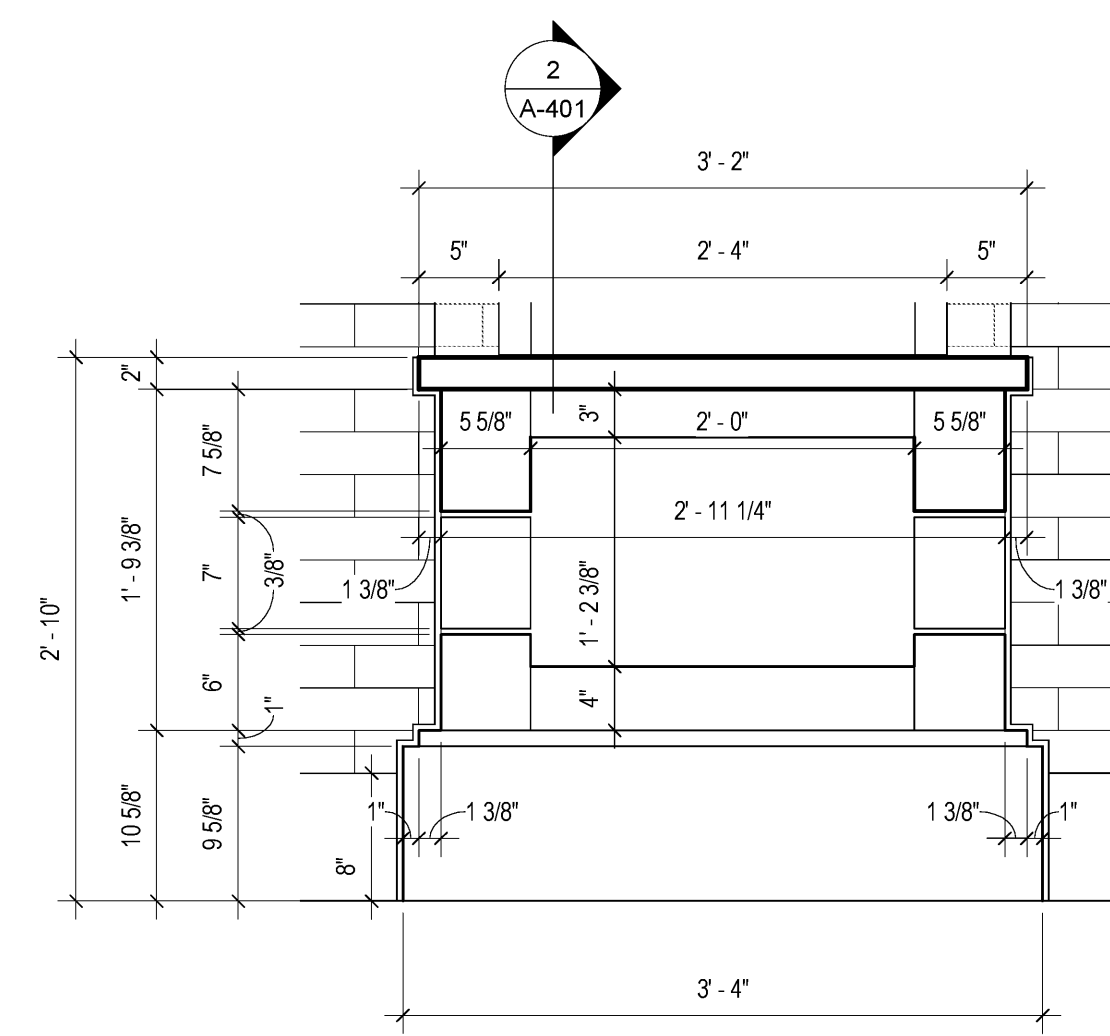
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300 JONESBORO BLVD. JONESBORO, AR 72401
PH: 501.935.2077 WWW.COOPERMIXON.COM

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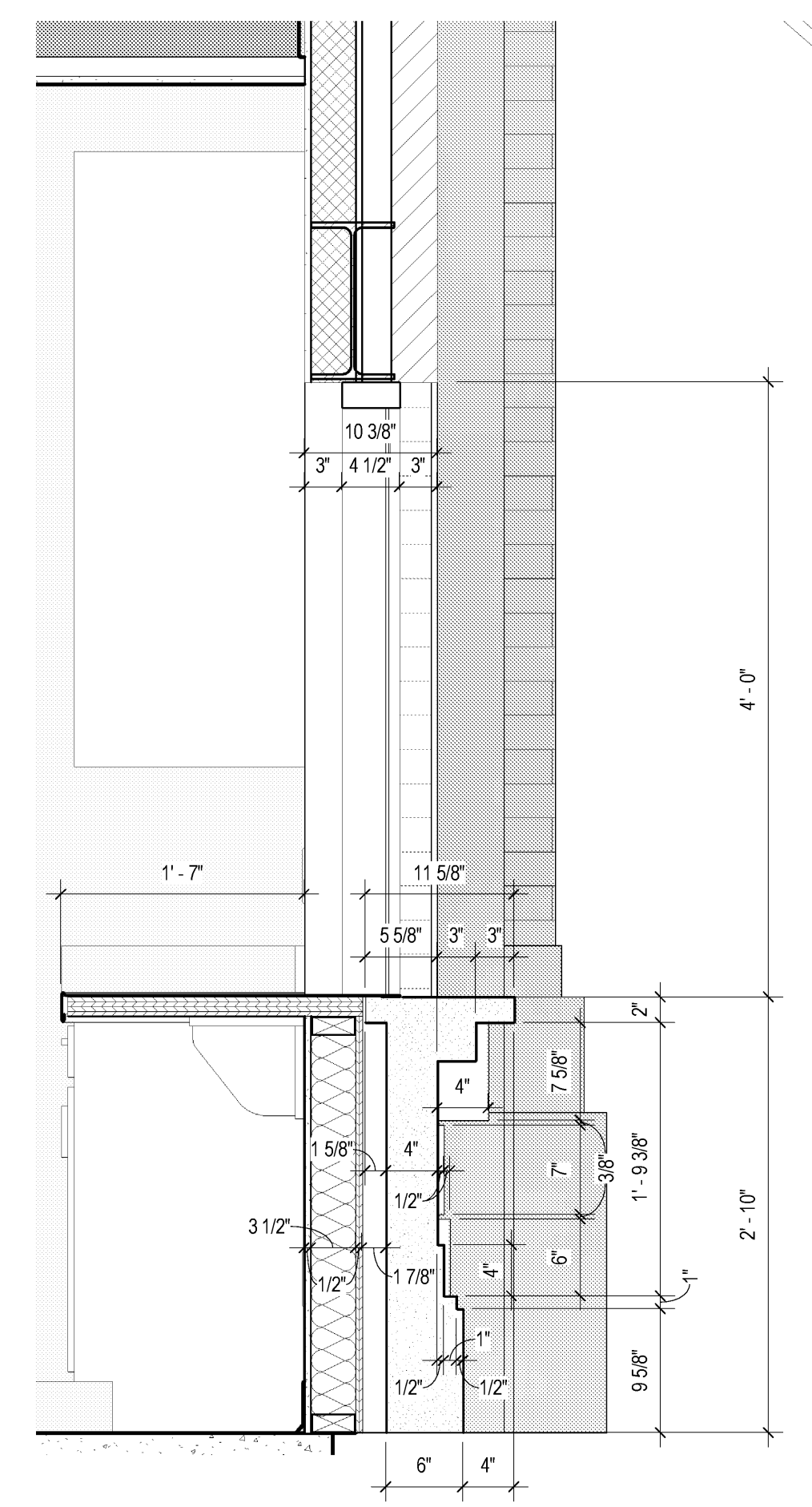
PROJECT NO. 1808
PROJECT NAME THE FORUM
DATE 04/15/2019
CONTENTS WALL SECTIONS AND ENLARGED ELEVATIONS

SHEET NUMBER

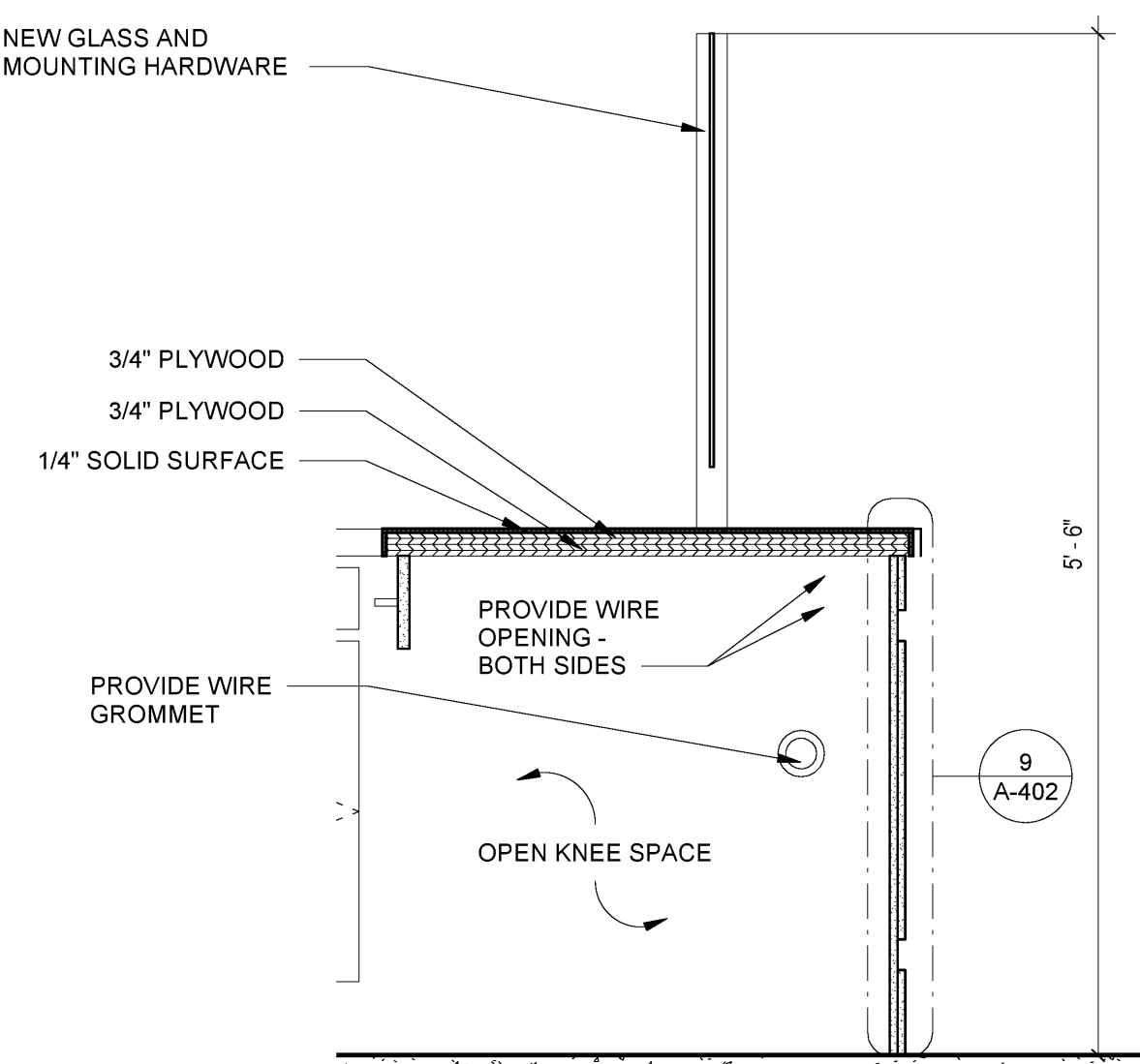
A-401



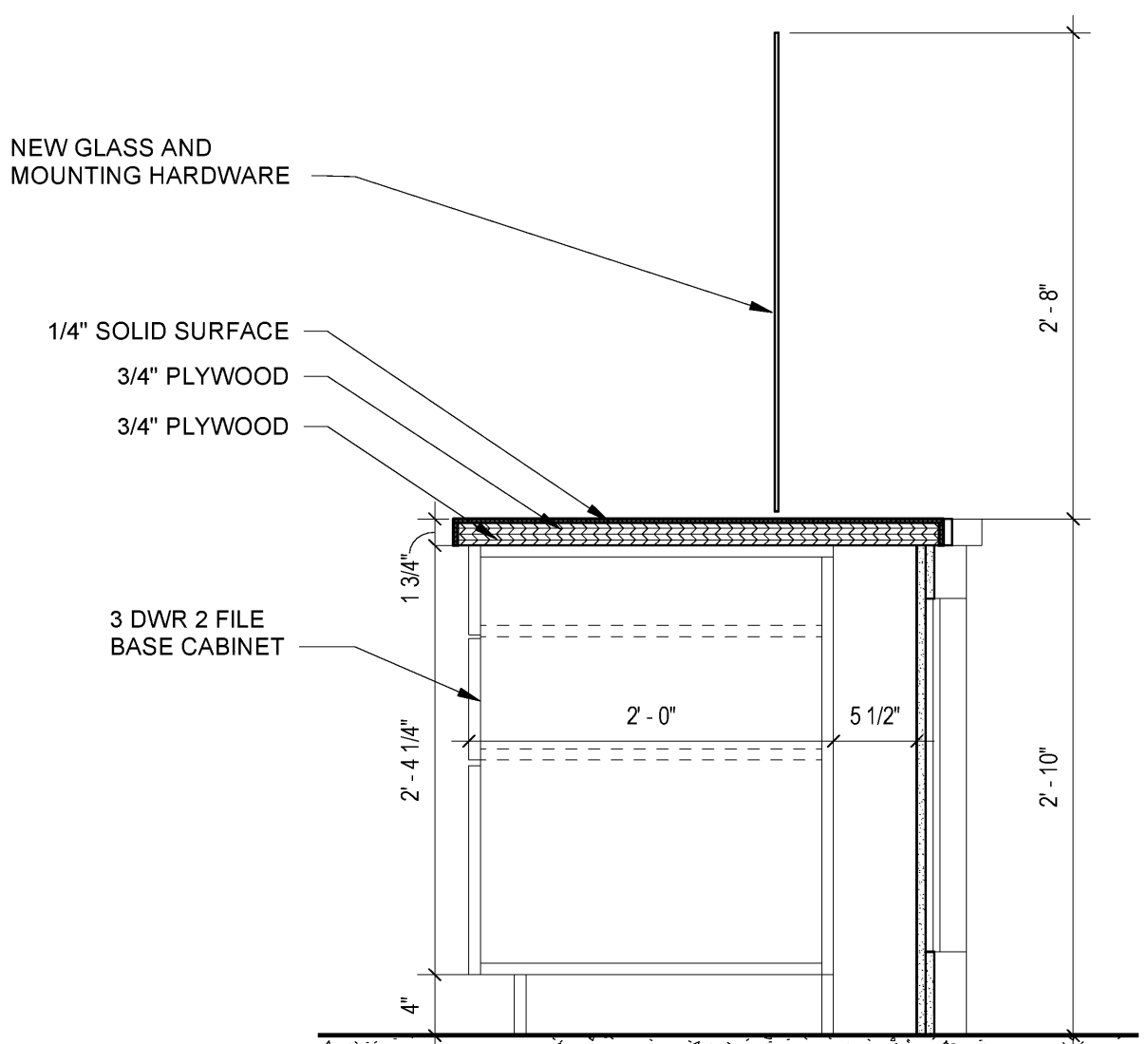
1 TICKET PRECAST ELEVATION
1" = 1'-0" 5 / A-201



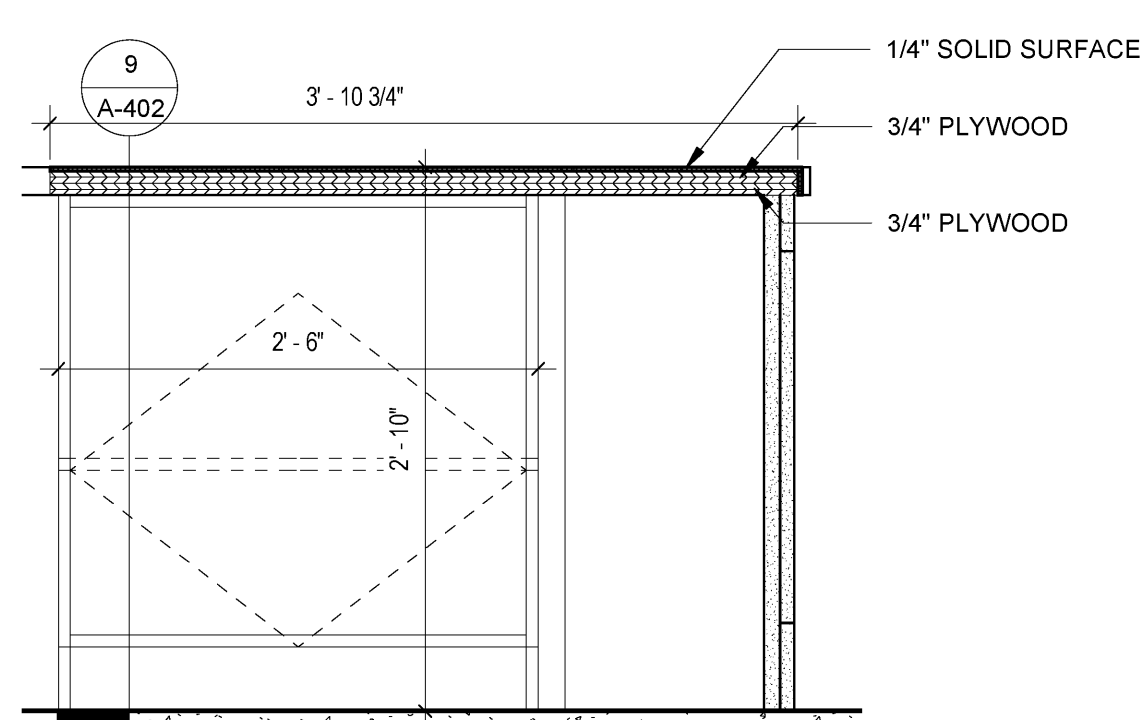
2 SECTION AT TICKET WINDOW
1" = 1'-0" 1 / A-201



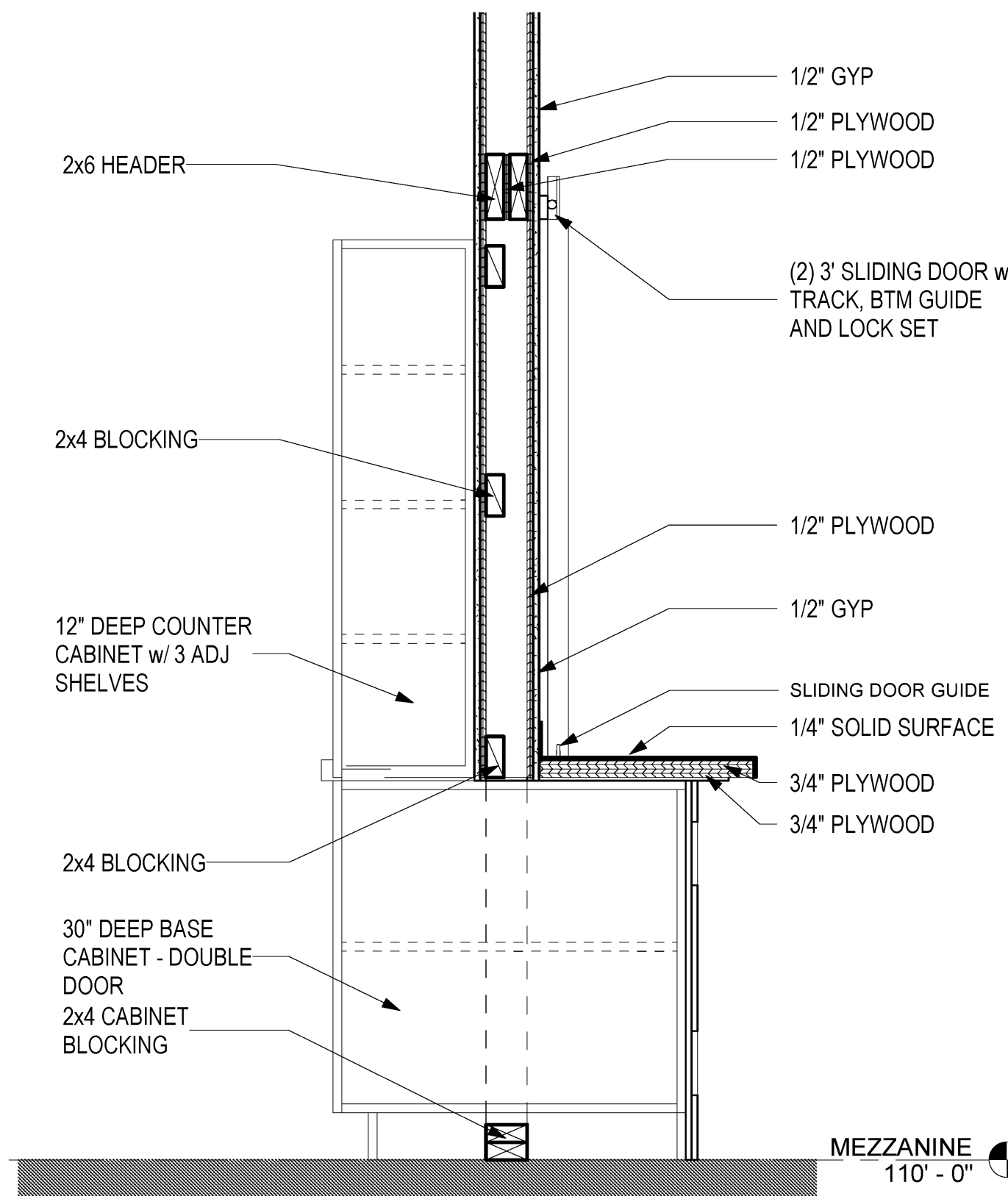
3 SECTION AT TICKET KNEE SPACE
1" = 1'-0" 1 / A-201



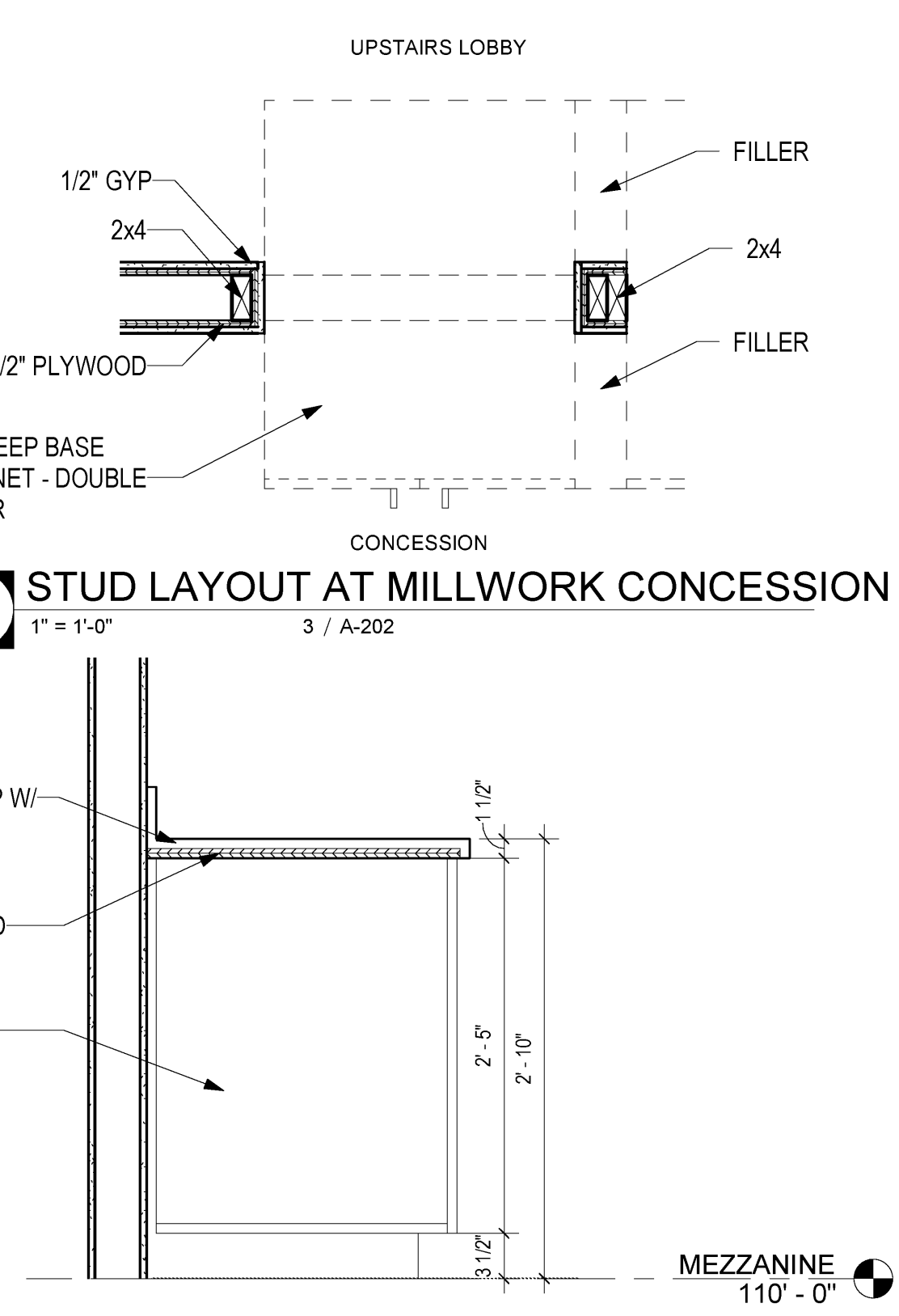
4 SECTION AT TICKET MILLWORK
1" = 1'-0" 1 / A-201



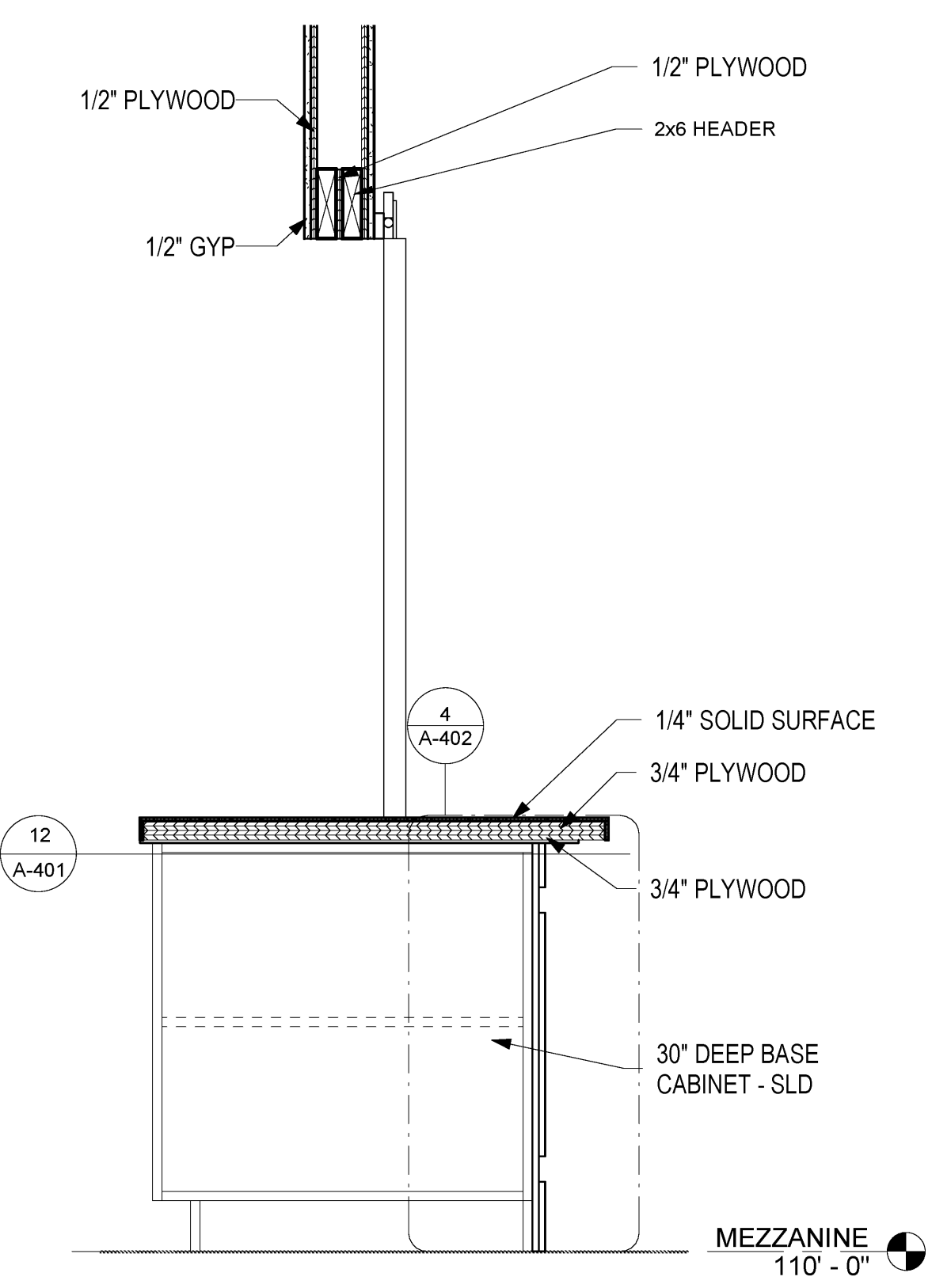
5 SECTION AT TICKET SIDE WALL
1" = 1'-0" 1 / A-201



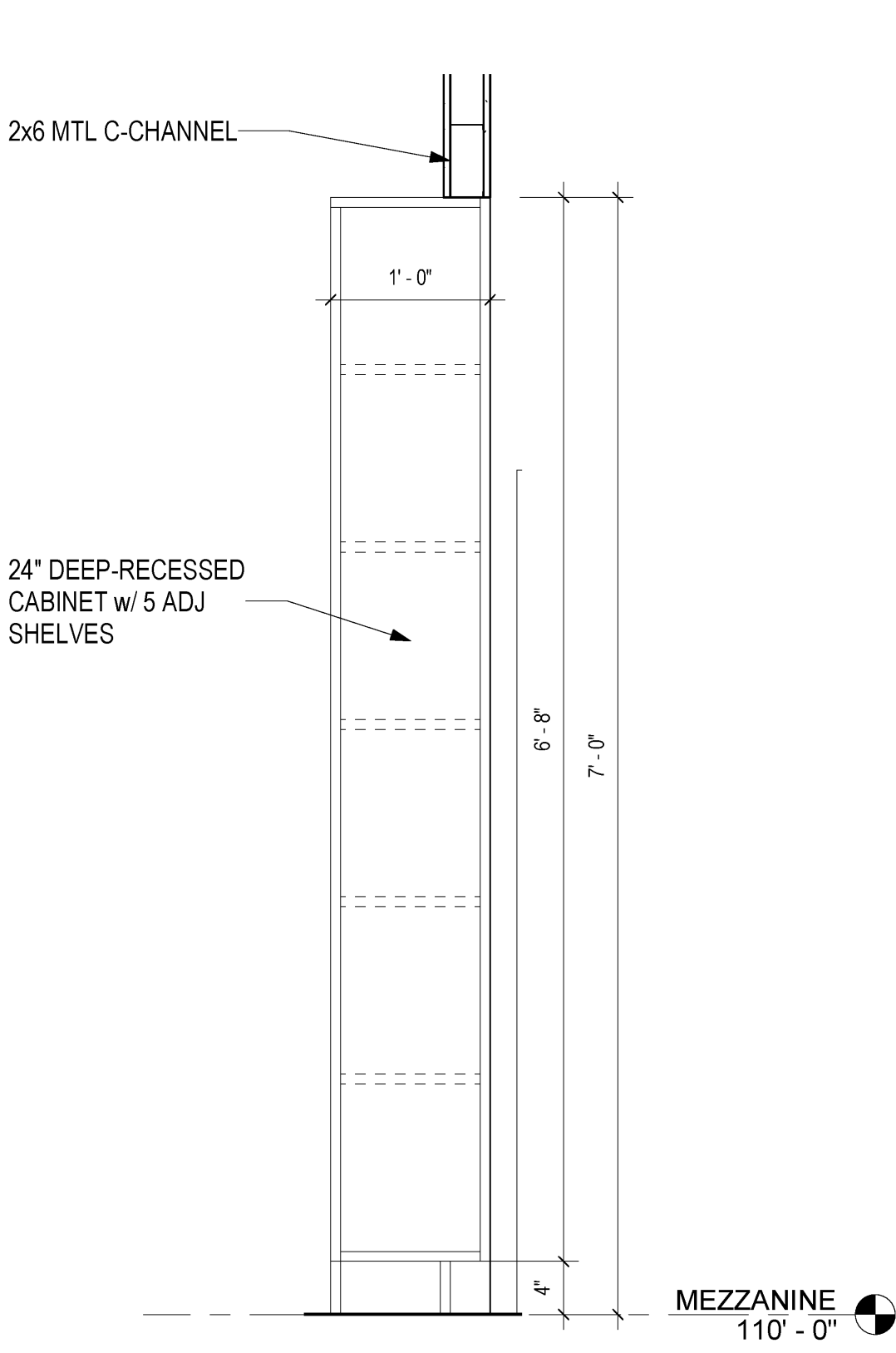
7 SECTION AT CONCESSION - WALL
1" = 1'-0" 2 / A-101



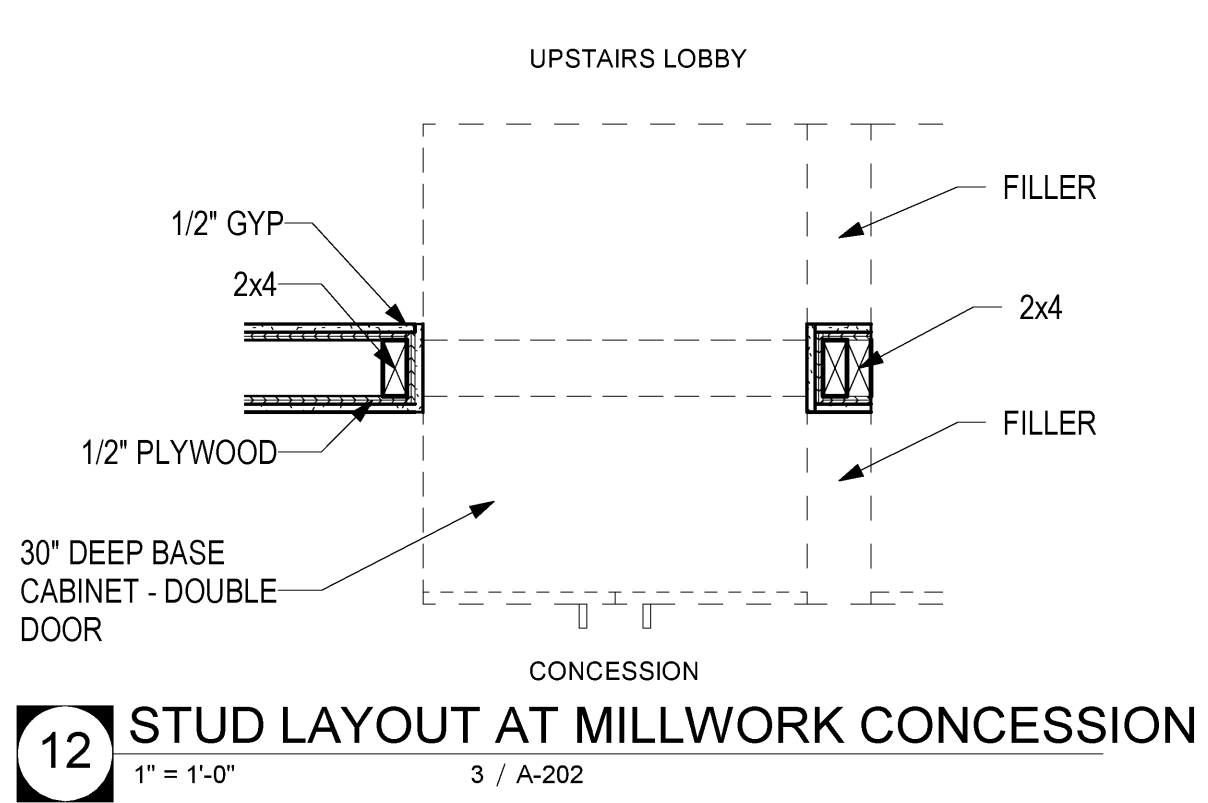
8 SECTION AT BACK OF CONCESSION MILLWORK
1" = 1'-0" 2 / A-101



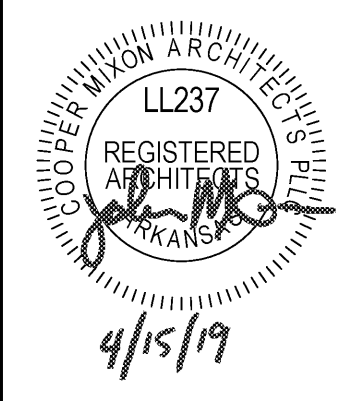
9 SECTION AT FRONT CONCESSION
1" = 1'-0" 2 / A-101



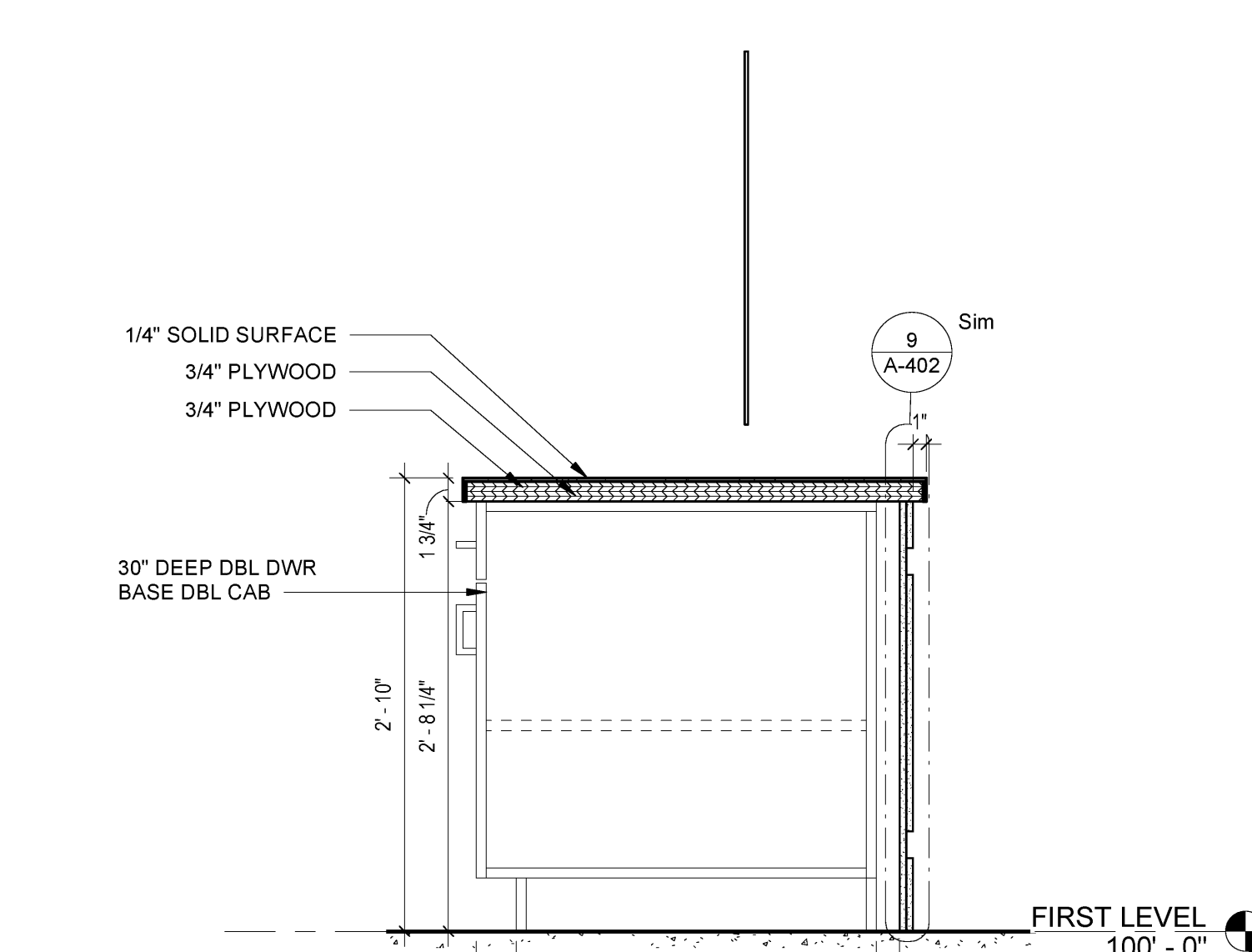
10 SECTION AT RECESSED CABINET
1" = 1'-0" 2 / A-101



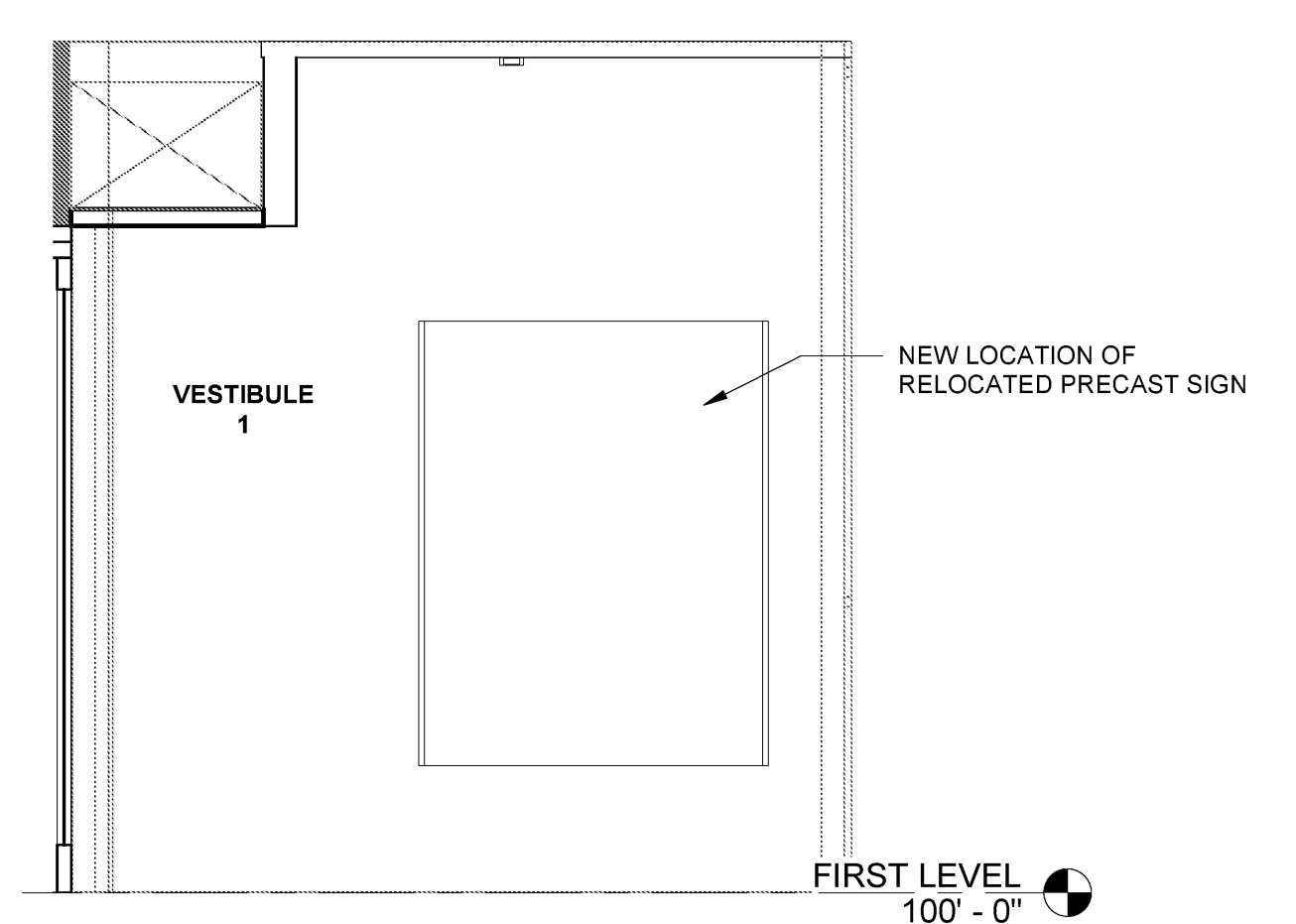
12 STUD LAYOUT AT MILLWORK CONCESSION
1" = 1'-0" 3 / A-202



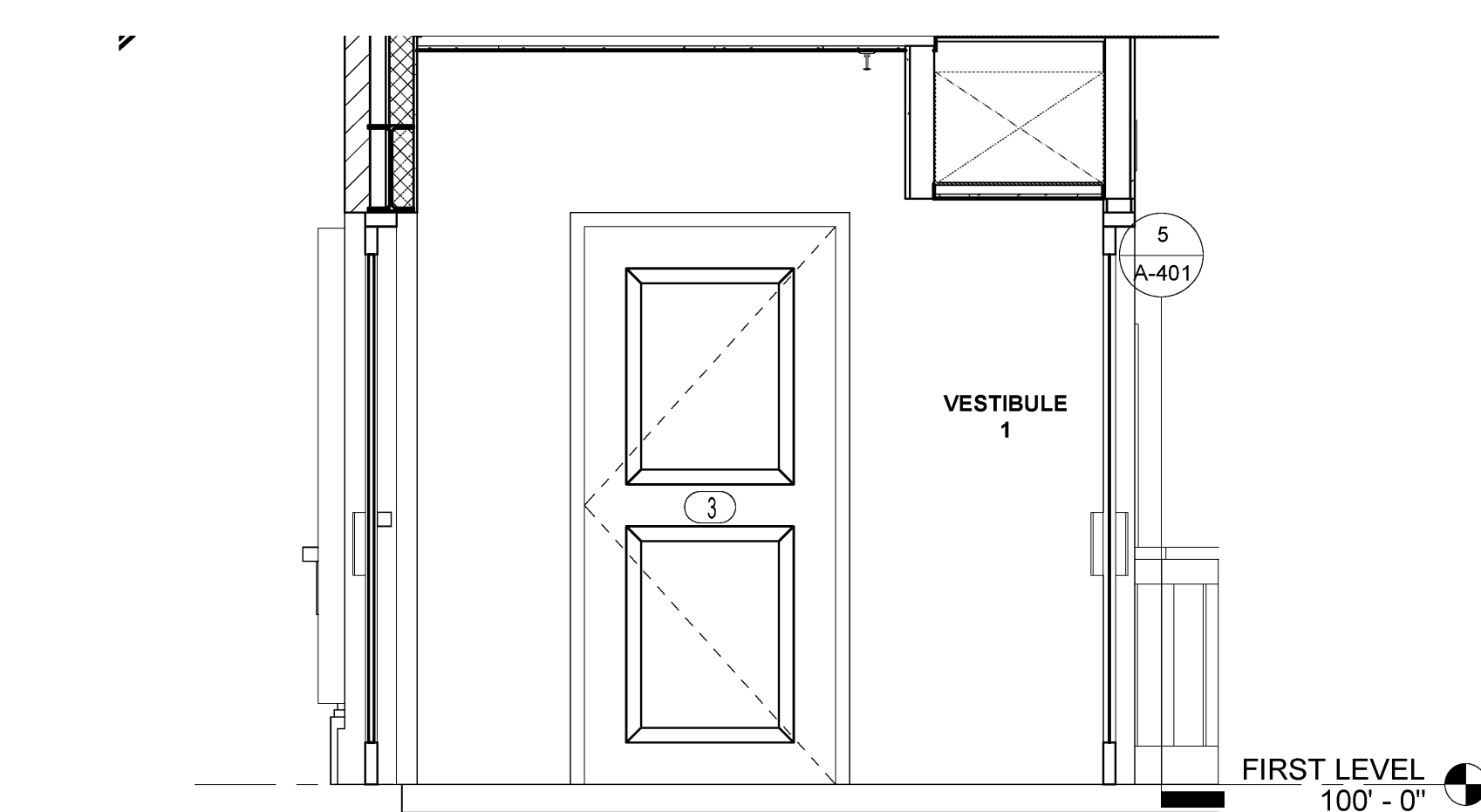
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 PROJECT NO. 1808
 PROJECT NAME THE FORUM
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 CONTENTS INTERIOR ELEVATIONS



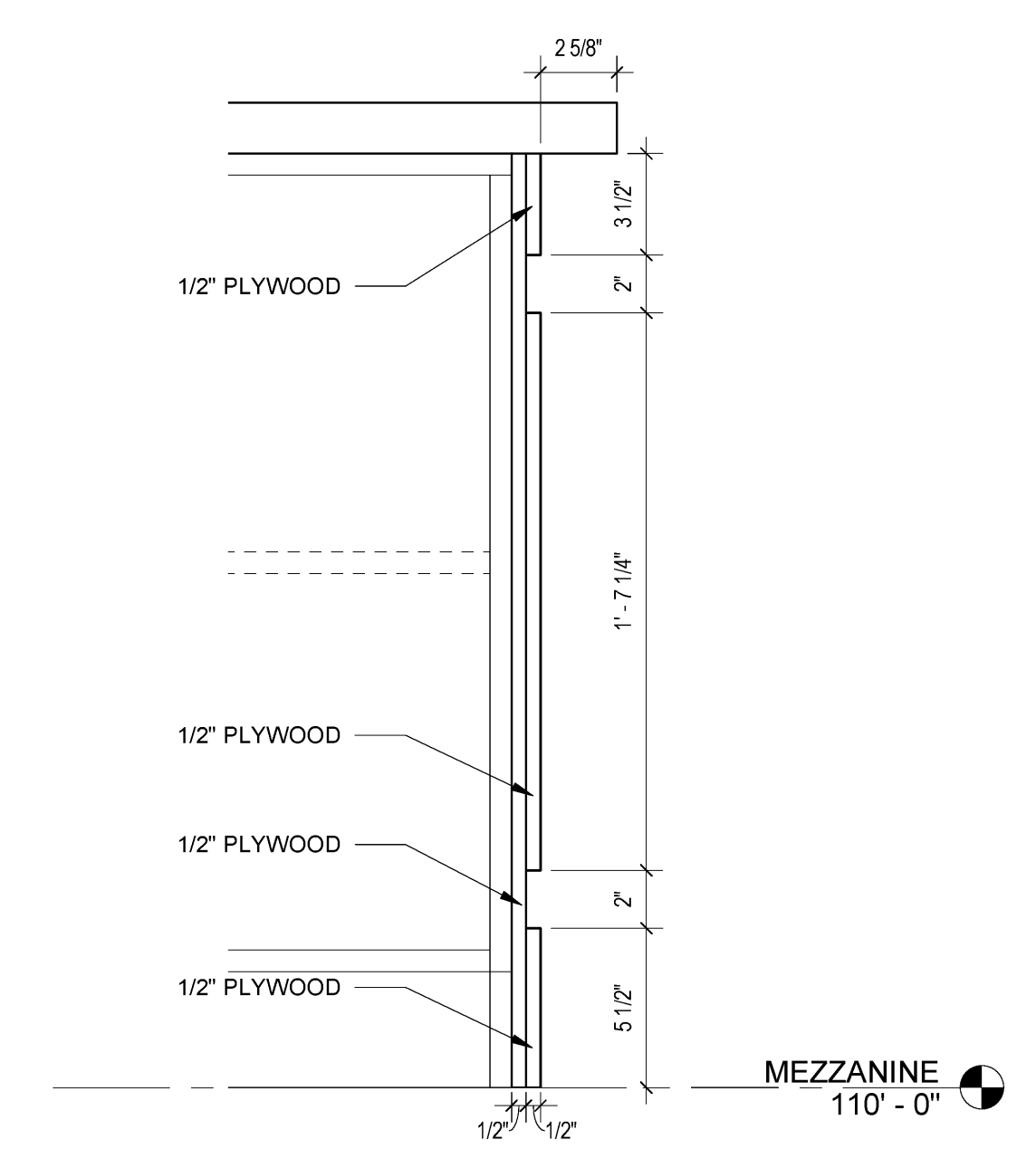
3 SECTION AT TICKET MILLWORK 1
 1" = 1'-0" 1/2 A-201



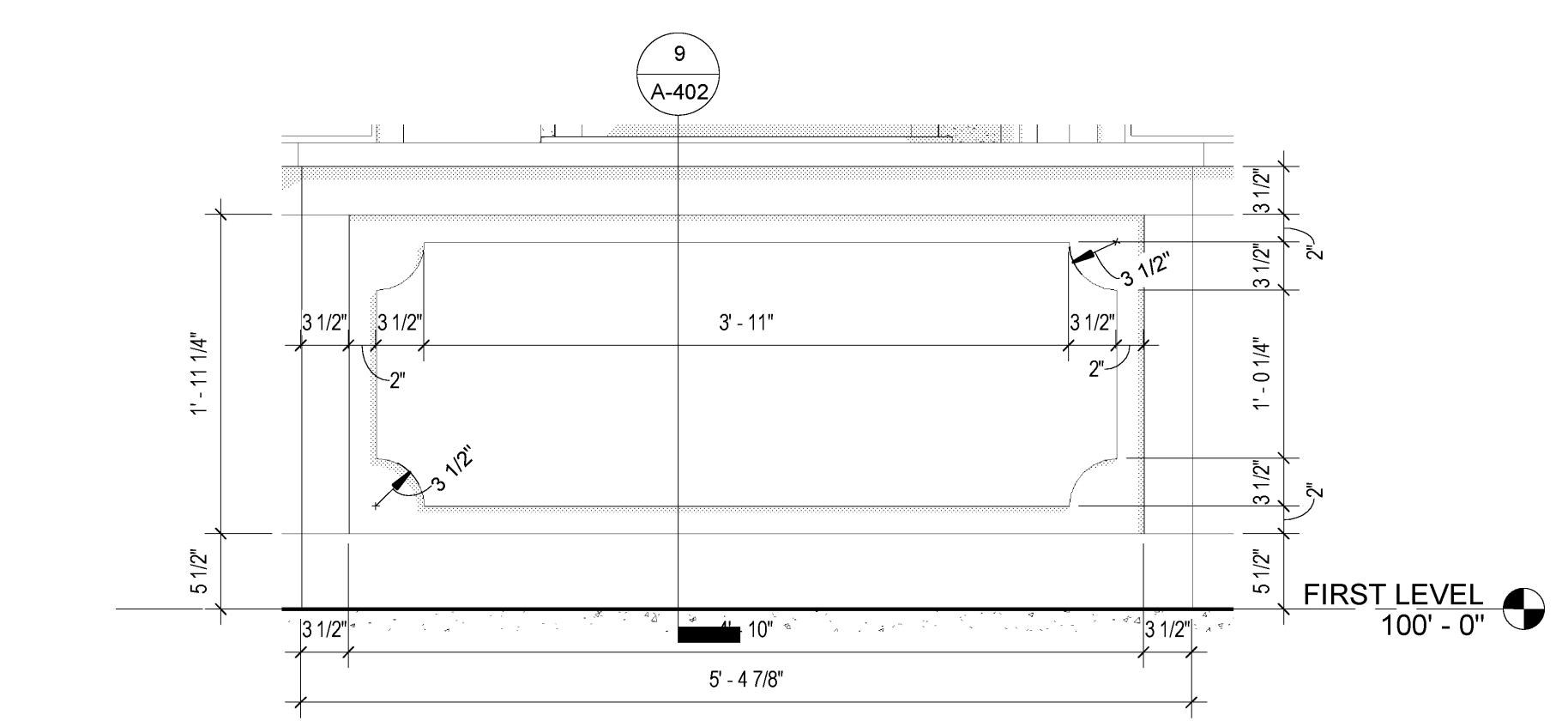
8 VESTIBULE 1 - LOCATION OF PRECAST SIGN
 1/2" = 1'-0" 1 / A-101



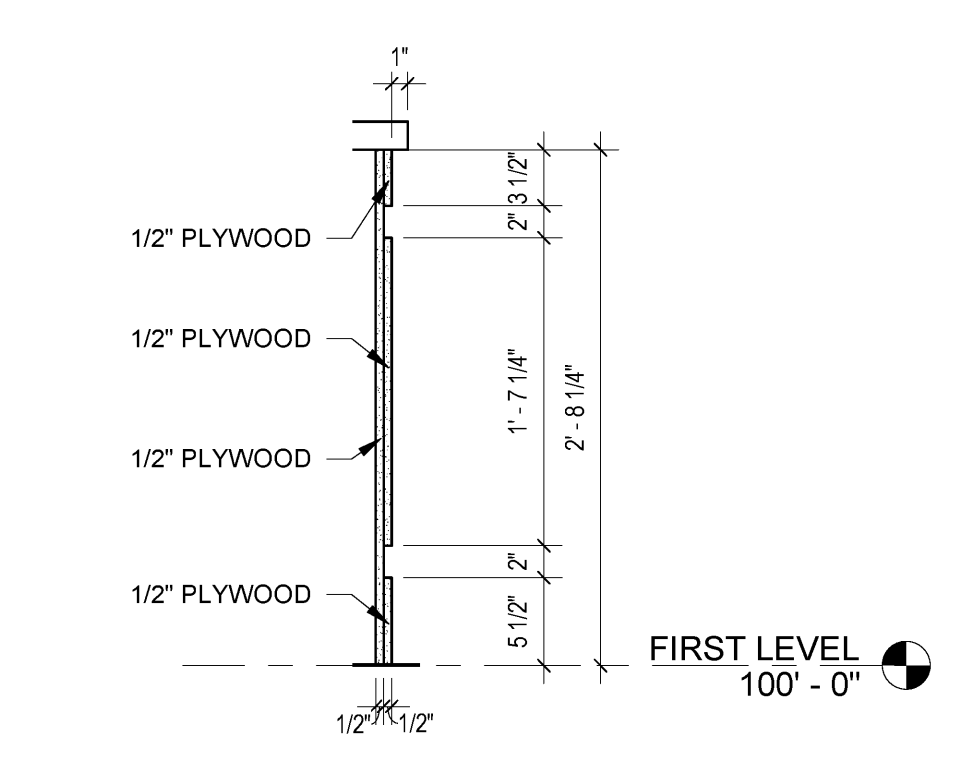
7 VESTIBULE 1 - LOOKING AT TICKET BOOTH
 1/2" = 1'-0" 1 / A-101



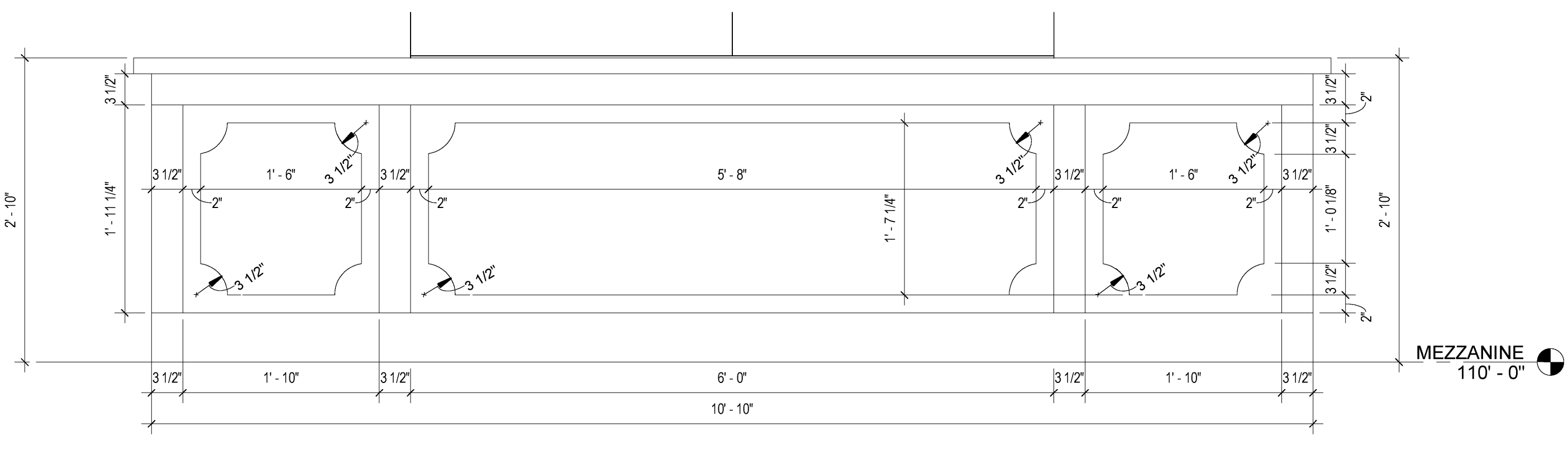
4 CONCESSION DETAIL SECTION
 1:6 9 / A-401



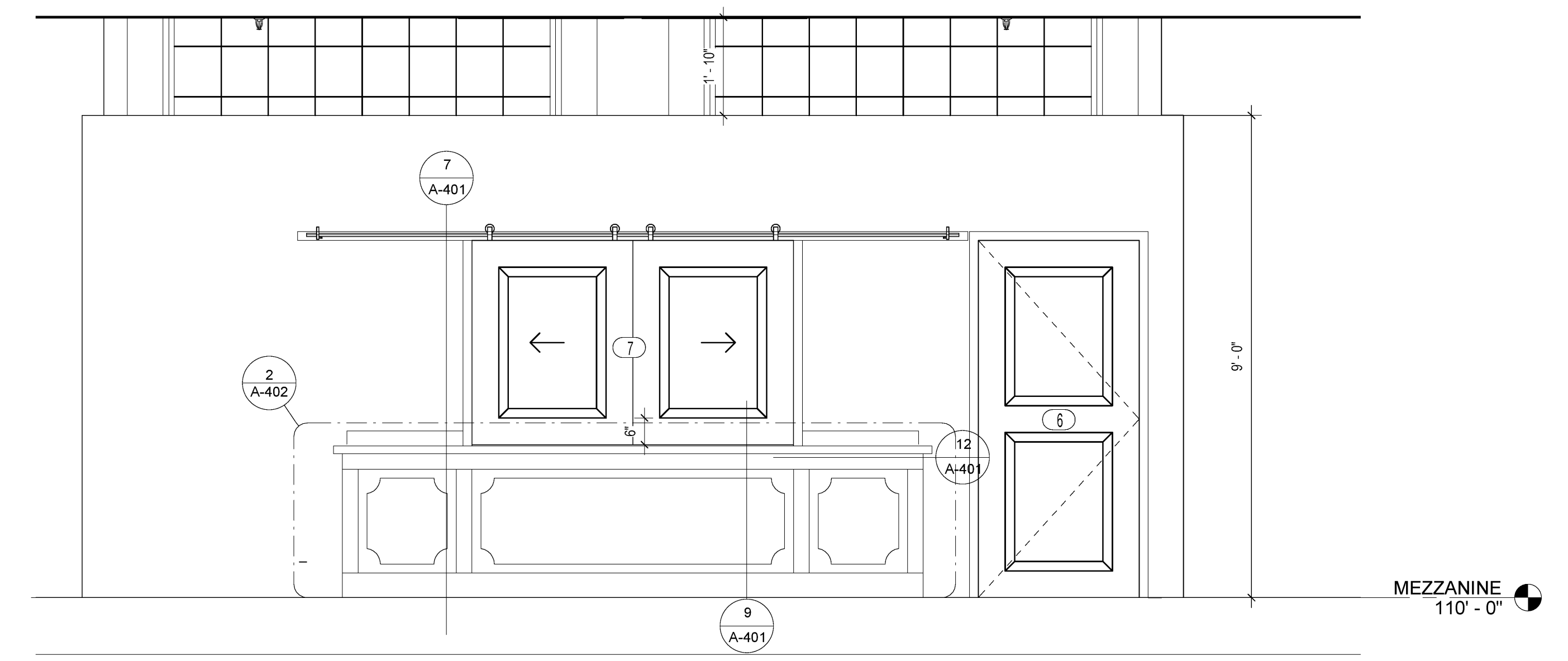
6 FACE OF TICKET BOOTH DETAIL
 1" = 1'-0" 3 / A-201



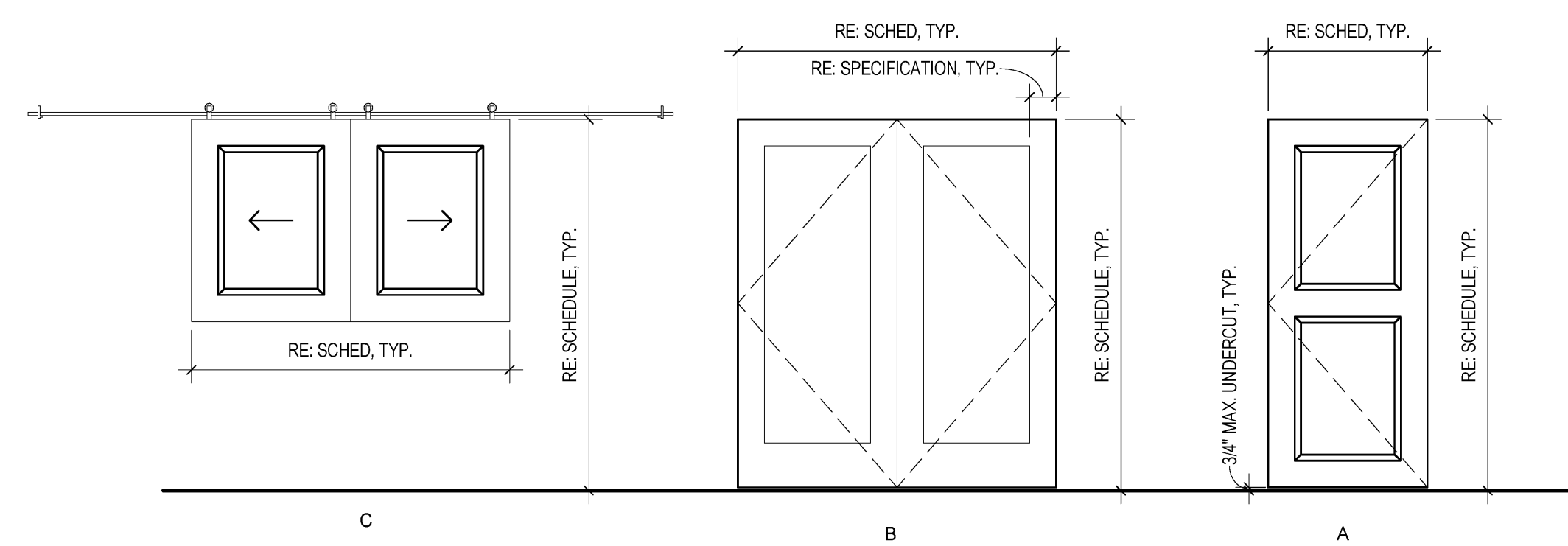
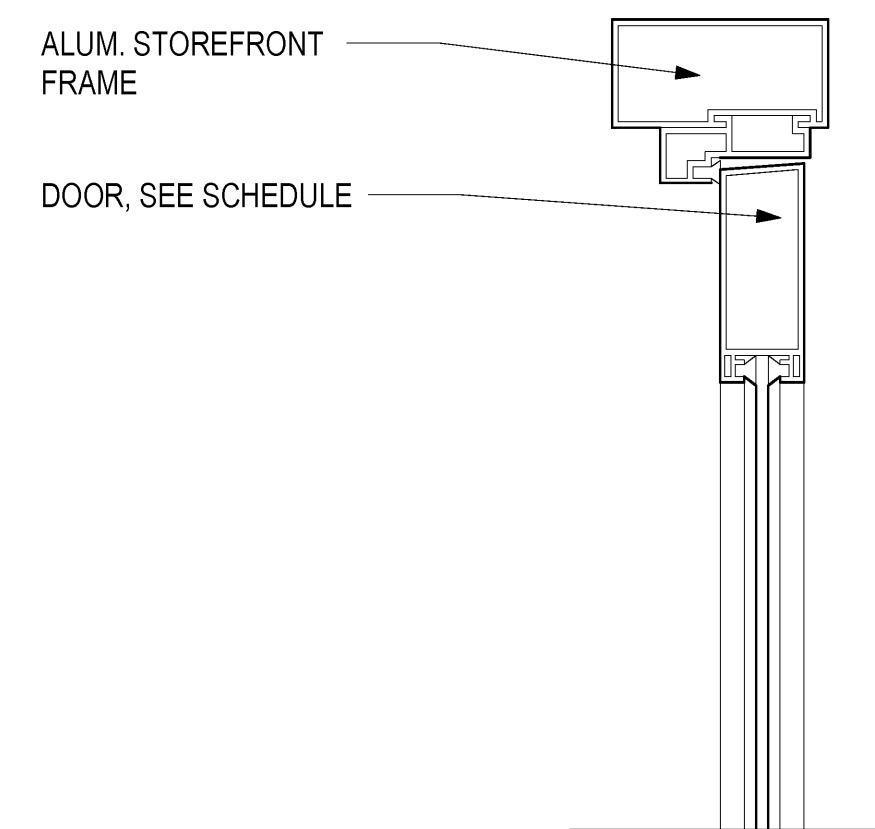
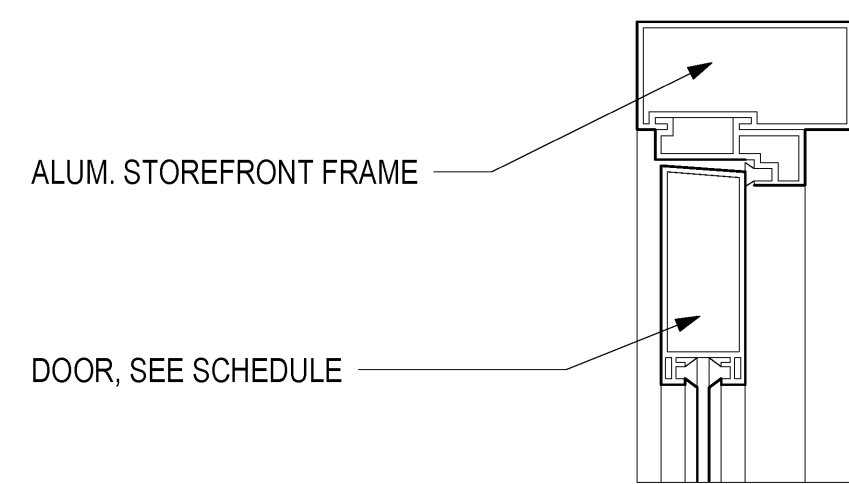
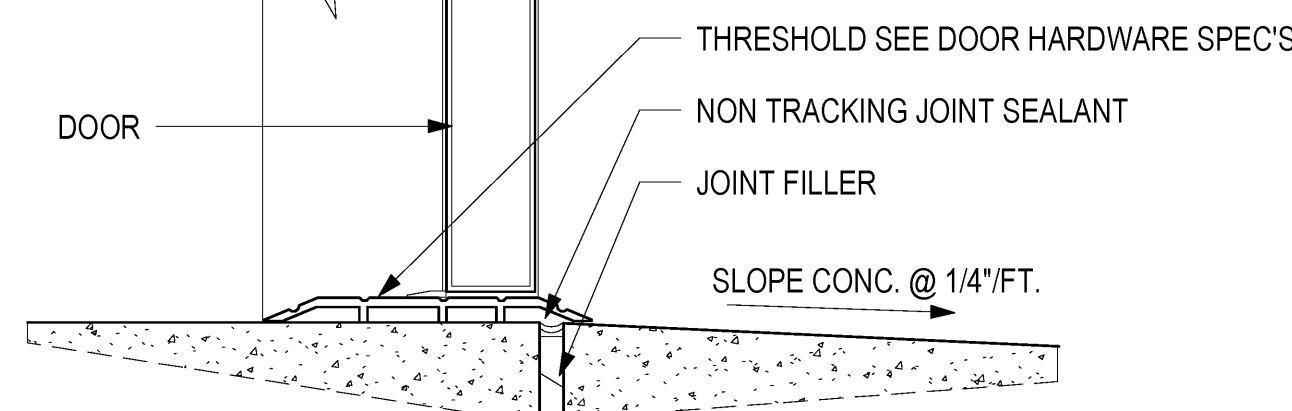
9 TICKET BOOTH DETAIL SECTION
 1" = 1'-0" 3 / A-401



2 FACE OF CONCESSION - DETAIL
 1" = 1'-0" 1 / A-402



1 UPSTAIRS LOBBY - LOOKING AT CONCESSION
 1/2" = 1'-0" 2 / A-101

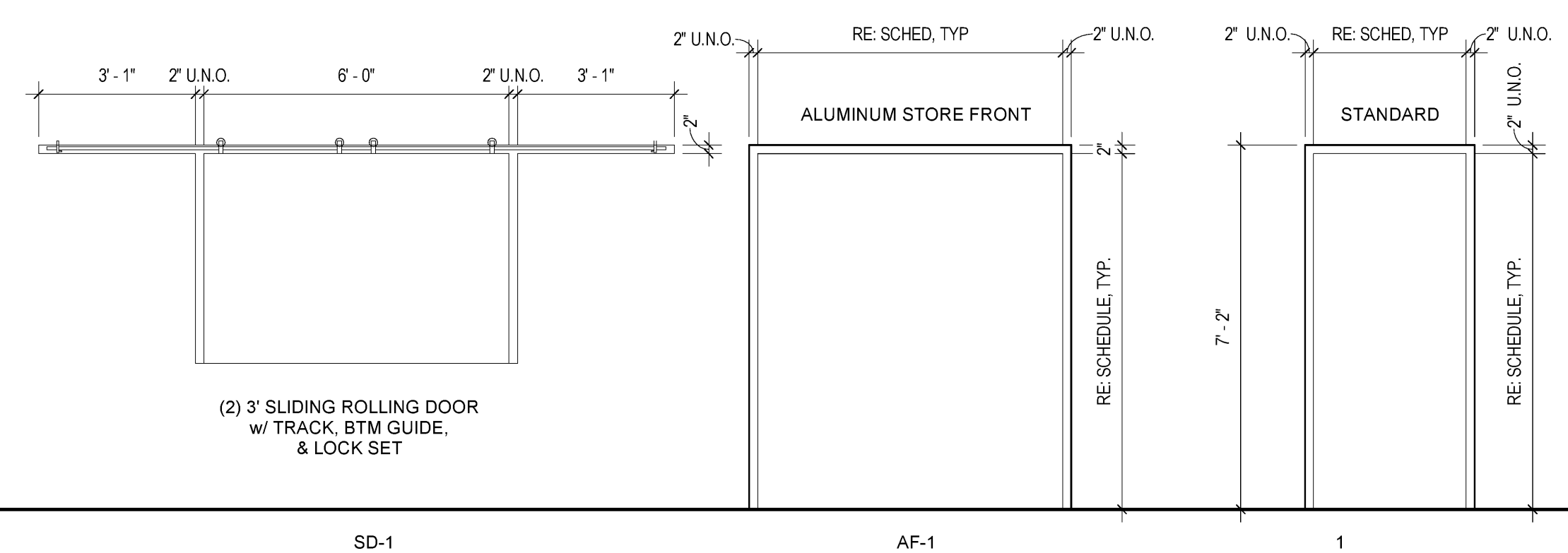
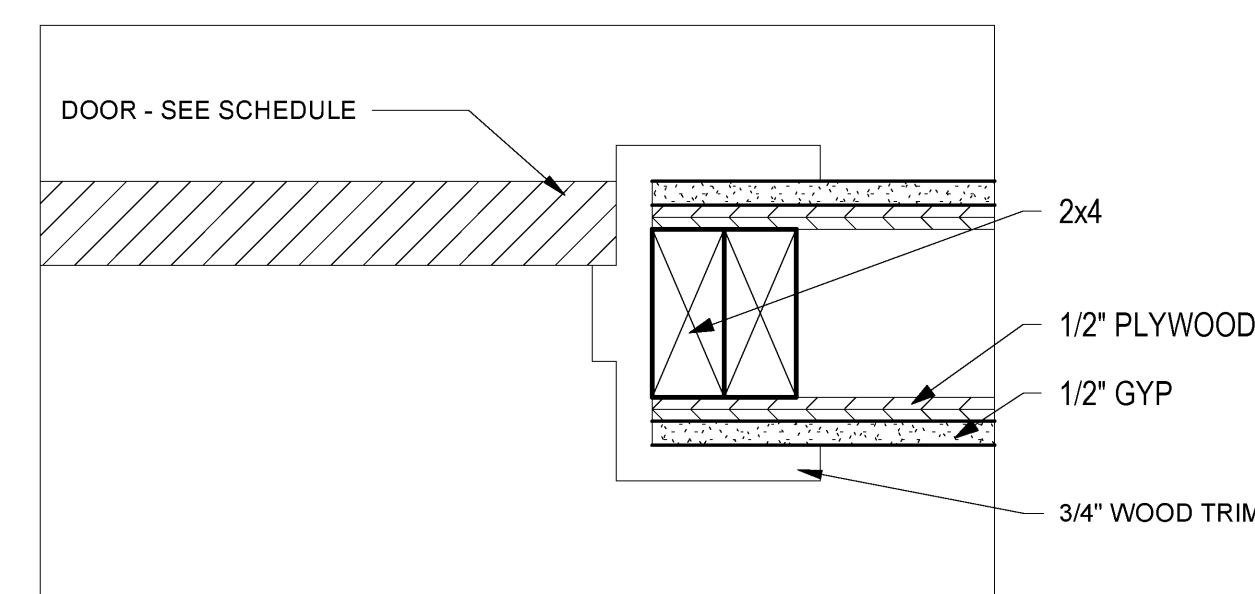
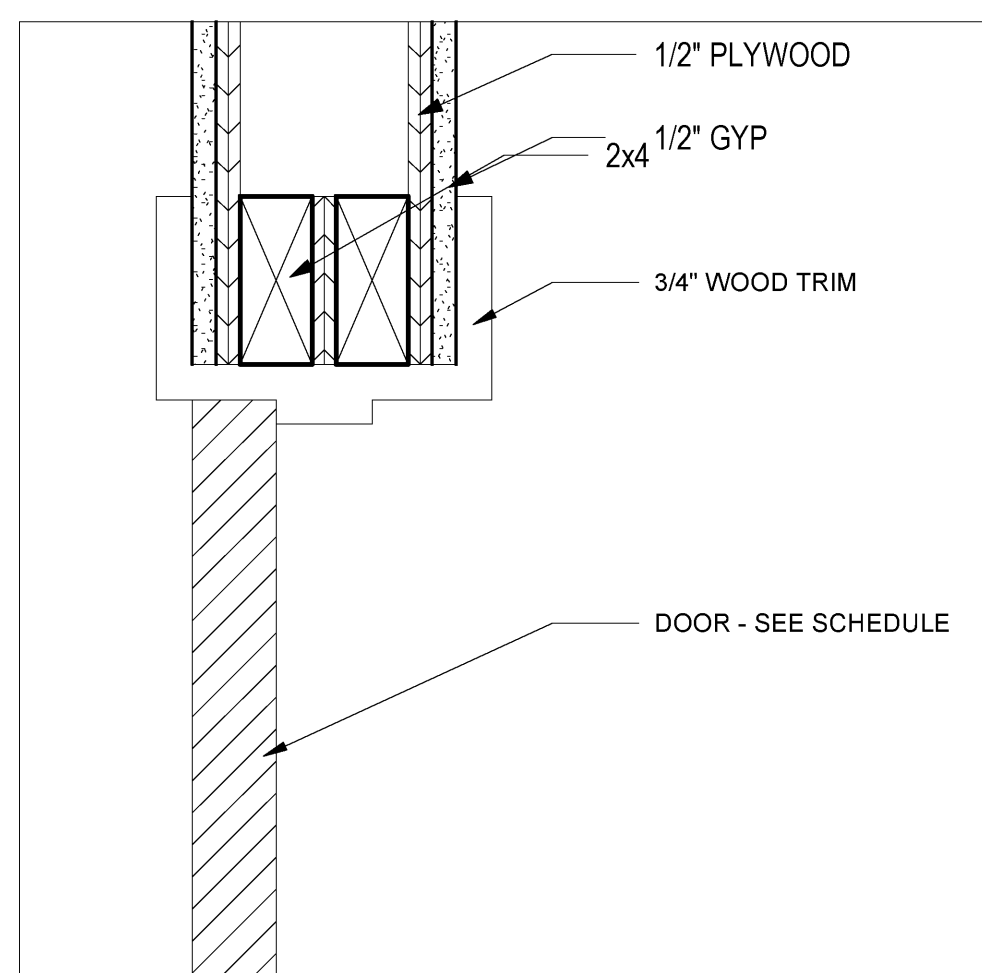


5 THRESHOLD, ALUMINUM EXT.
3" = 1'-0"

4 HEAD, INT. STOREFRONT
3" = 1'-0"

3 JAMB, INT. STOREFRONT
3" = 1'-0"

1 DOOR ELEVATIONS
3/8" = 1'-0"



6 TYP. DOOR JAMB
3" = 1'-0"

2 DOOR FRAME ELEVATIONS
3/8" = 1'-0"

DOOR SCHEDULE REMARKS

- A. PROVIDE MAGNETIC HOLD OPENS TIED TO FIRE ALARM.
- B. PROVIDE ELECTRIC LOCKSET FOR CONTROLLED ACCESS.

SHEET NOTES - DOORS

1. ALL HARDWARE SHALL CONFORM TO APPLICABLE PROVISIONS OF ICC A117.1, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
2. KEYING CRITERIA WILL BE ESTABLISHED BY THE OWNER AFTER BID. ALLOW FOR INDIVIDUAL LOCK KEYING AND MULTIPLE MASTERS AND SUBMASTERS. THE HARDWARE CONTRACTOR SHALL PREPARE A SEPARATE KEYING SCHEDULE BASED UPON THE OWNERS CRITERIA.
3. PROVIDE NON REMOVABLE PINS AT ALL DOOR HINGES WHERE THE HINGE IS EXPOSED TO THE LOCK SIDE OF THE DOOR.
4. DOORS SHALL NOT BE LOCKABLE IN THE DIRECTION OF EXIT.
5. PROVIDE UL LISTED HARDWARE AT ALL FIRE RATED DOORS.
6. IN GENERAL DOOR CLOSERS SHALL BE LOCATED ON THE ROOM SIDE OF THE DOOR. PROVIDE REGULAR OR PARALLEL ARMS AS NECESSARY.
7. PROVIDE HOLLOW METAL ASTRAGALS AT DOOR PAIRS WHERE REQUIRED TO ACHIEVE SPECIFIED UL LABEL.
8. THE CONTRACTOR SHALL COORDINATE THE VARIOUS HARDWARE COMPONENTS FOR EACH DOOR AND MAKE NECESSARY MODIFICATIONS TO PROVIDE FOR A FULLY FUNCTIONING DOOR OPERATION.
9. PROVIDE SEALANT AT JUNCTION OF ALL FRAMES AND PARTITIONS.
10. WIDTH OF HOLLOW METAL FRAMES ARE ACTUAL PARTITION THICKNESS PLUS 1/4 INCH, EXCEPT FOR CMU PARTITIONS. PARTITION TYPES ARE KEYED ON FLOOR PLANS.
11. PROVIDE SPECIFIED FRAME ANCHORS LISTED IN THE SPECIFICATIONS TO ACCOMMODATE PARTITION TYPES AND REQUIREMENTS FOR FIRE RATINGS.
12. AT GYPSUM BOARD PARTITIONS PROVIDE DOUBLE METAL STUDS AT ALL DOOR OR BORROWED LITE JAMBS.
13. PAINT ALL HOLLOW METAL DOORS UNLESS NOTED OTHERWISE.
14. MAXIMUM DOOR OPERATING PRESSURES ARE 5 LBS. FOR INTERIOR DOORS AND 8 LBS. FOR EXTERIOR DOORS.
15. ALL RATED DOORS SHALL BE SELF CLOSING.
16. PROVIDE THRESHOLD AND WEATHERSTRIPPING AT ALL EXTERIOR DOORS, WHETHER SCHEDULED OR NOT.

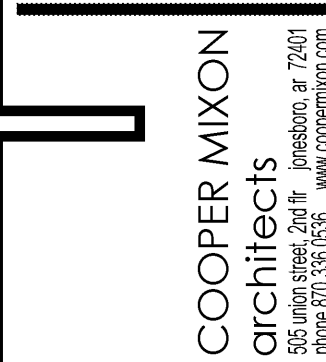
7 TYP. DOOR HEAD
3" = 1'-0"

DOOR SCHEDULE													
DOOR NO.	DOOR		DOOR			FRAME			FRAME DETAIL		HDW SET	FIRE RATING	REMARKS
	WIDTH	HEIGHT	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	HEAD DETAIL	JAMB DETAIL			
1	6'-0"	6'-8"	B	ALUM / GLS	CLR ANODIZED	AF-1	ALUM	CLR ANODIZED					
2	6'-0"	6'-8"	B	ALUM / GLS	CLR ANODIZED	AF-1	ALUM	CLR ANODIZED					
3	3'-0"	6'-8"	A	SCWD	PAINT	1	HM	PAINT					
4	6'-0"	6'-8"	B	ALUM / GLS	CLR ANODIZED	AF-1	ALUM	CLR ANODIZED					
5	6'-0"	6'-8"	B	ALUM / GLS	CLR ANODIZED	AF-1	ALUM	CLR ANODIZED					
6	3'-0"	6'-8"	A	SCWD	PAINT	1	WD	PAINT					
7	6'-0"	6'-0"	C	SCWD	PAINT	SD-1	WD	PAINT					

ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	COMMENTS	
				NORTH	EAST	SOUTH	WEST			
01	VESTIBULE 1	EXIST TILE	RB-1	P-1	P-1	P-1	P-1	P-3	PAINT EXIST & NEW	
02	VESTIBULE 2	EXIST TILE	RB-1	P-1	P-1	P-1	P-1	P-3	PAINT EXIST & NEW	
03	TICKET BOOTH	LVT	RB-1	P-2	P-2	P-2	P-2	P-3		
04	LOBBY	EXIST CPT	RB-1							
05	CONCESSION	LVT	RB-1	P-2	P-2	P-2	P-2		CEILING - TOUCH UP PAINT AS REQ.	
06	UPSTAIRS LOBBY	EXIST CPT	RB-1	P-2					PAINT NEW WALL	

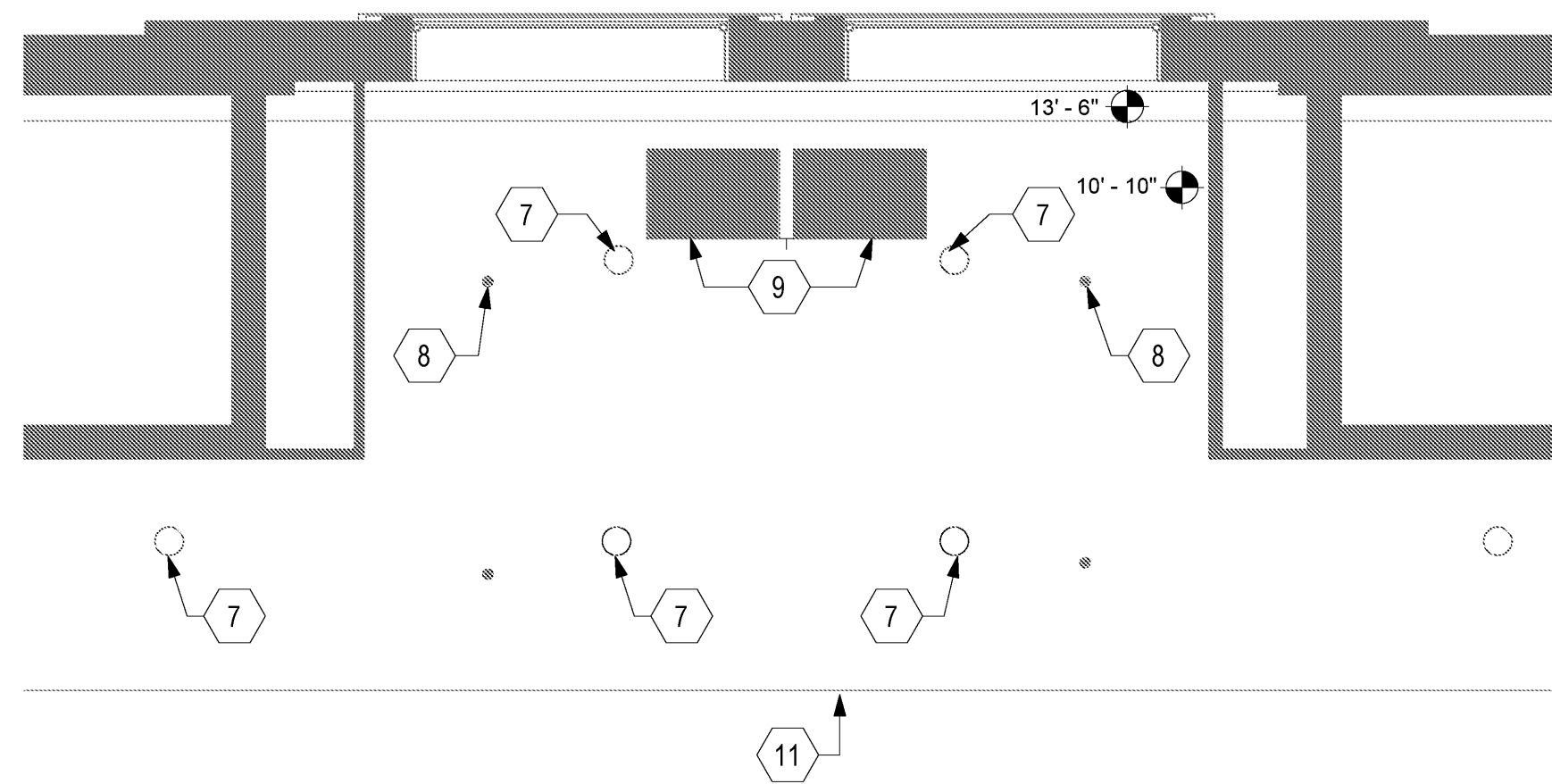
ROOM FINISH LEGEND						
FINISH CODE	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES
BASE						
RB-1	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES
FLOOR						
LVT-1	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES
WALLS						
P-1	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES
P-2	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES
P-3	MANUFACTURER	MODEL / TILE	COLOR NAME / NUMBER	PATTERN	DESCRIPTION	LOCATION / NOTES

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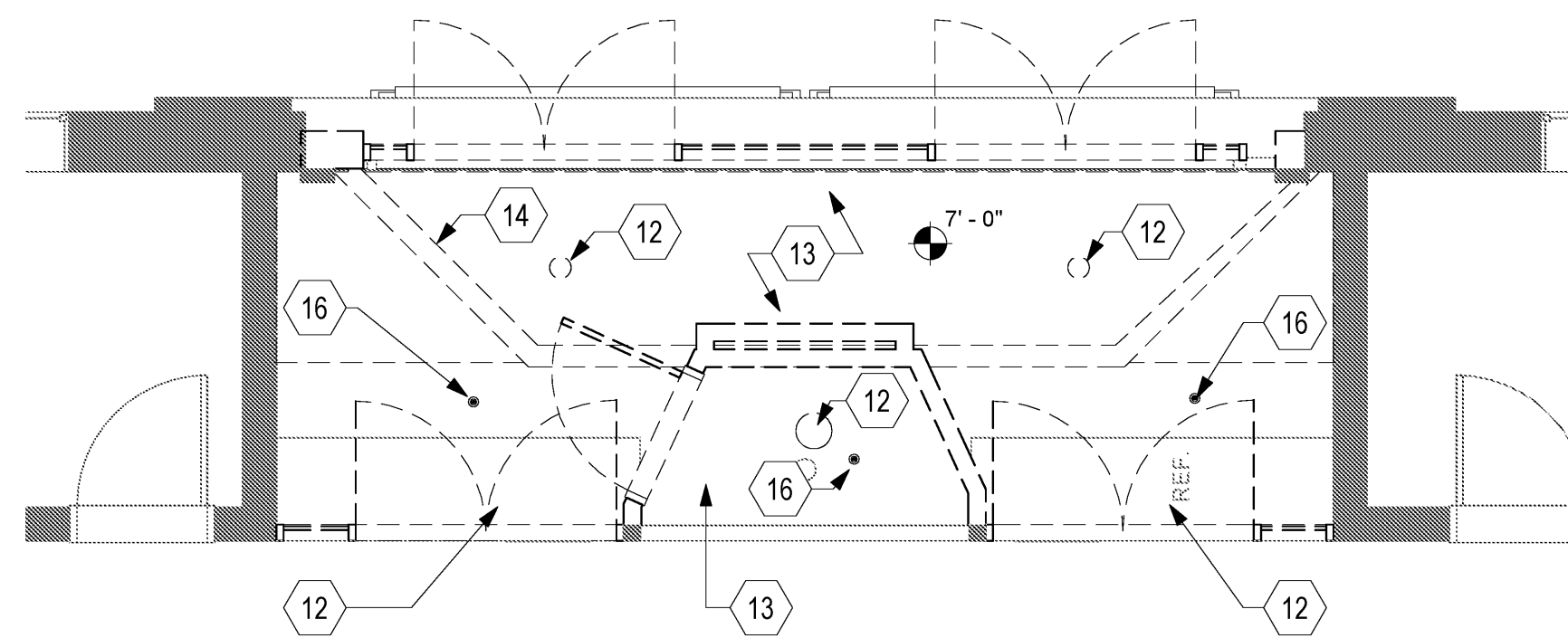
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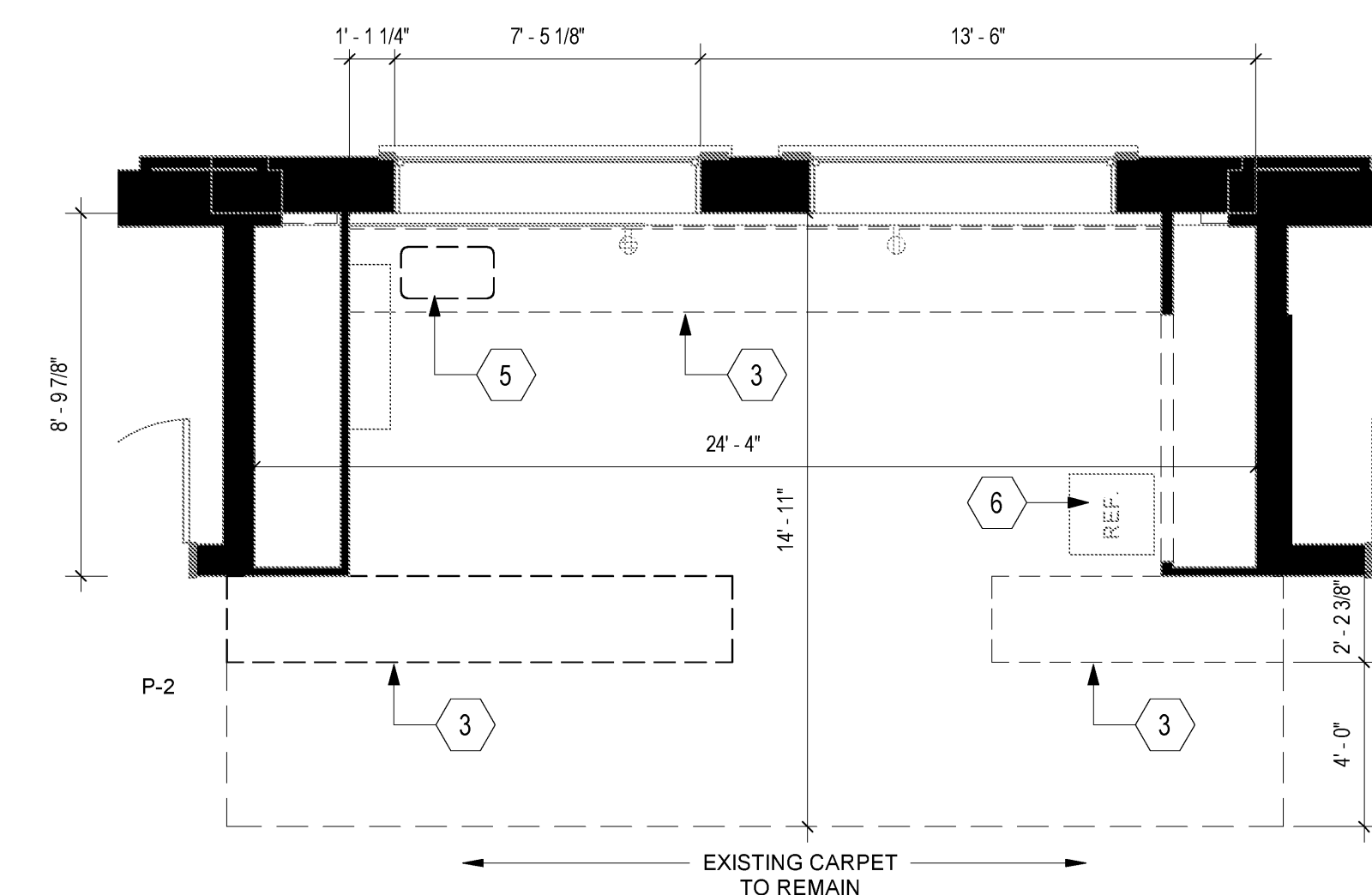
4 MEZZANINE REFLECTED CEILING DEMOLITION PLAN

1/4" = 1'-0" 2 / A-202



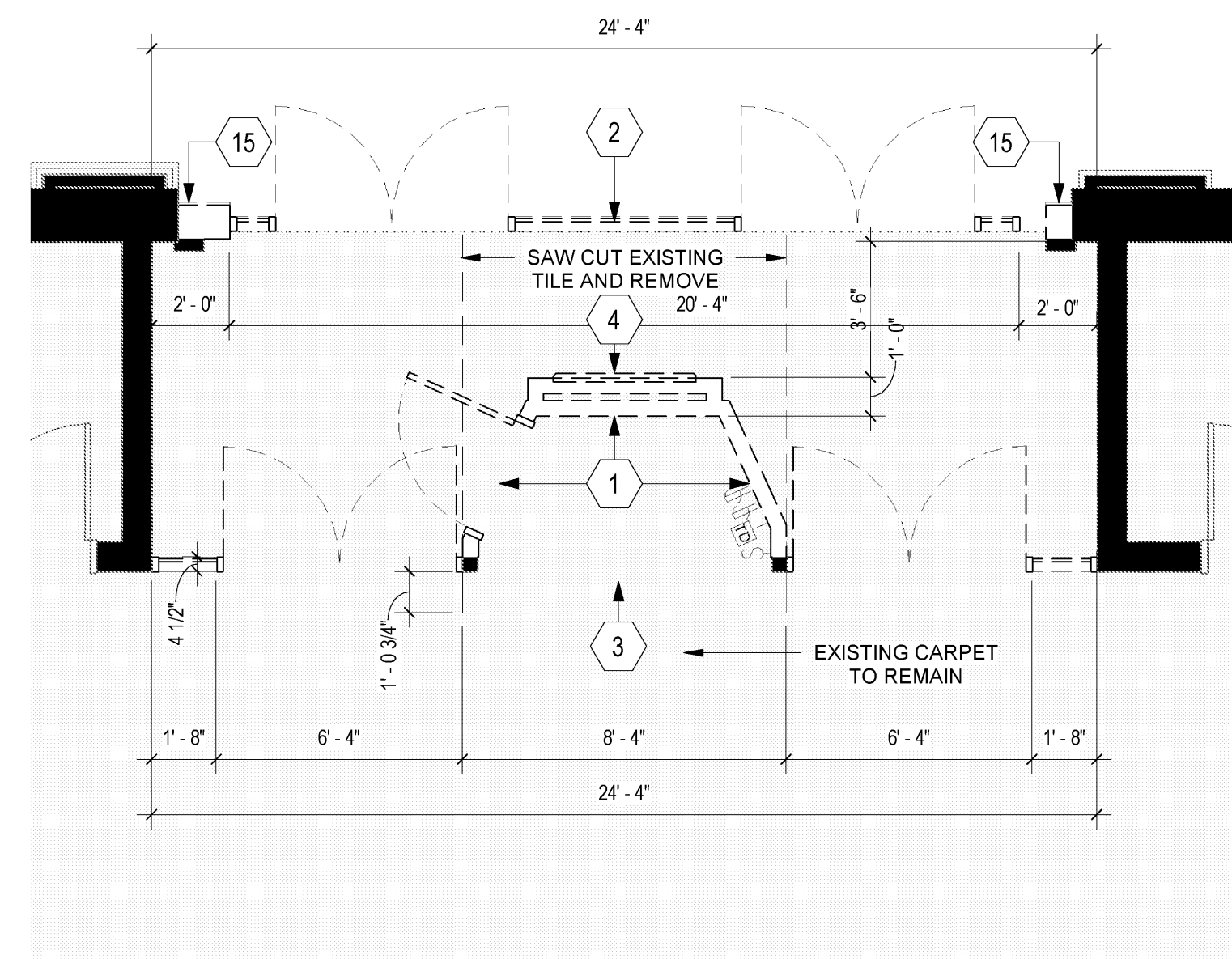
3 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN

1/4" = 1'-0" 6 / A-201



2 MEZZANINE FLOOR DEMOLITION PLAN

1/4" = 1'-0" 2 / A-202



1 FIRST FLOOR DEMOLITION PLAN

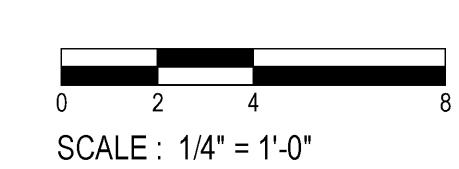
1/4" = 1'-0" 6 / A-201

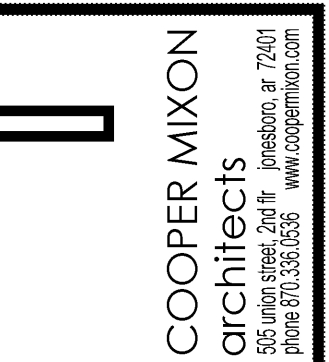
SHEET NOTES - DEMOLITION

1. THE TOTAL AMOUNT OF DEMOLITION REQUIRED FOR THE PROJECT IS NOT INDICATED ON THE DEMOLITION PLANS. THEY ARE INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR. THEY INDICATE THE GENERAL EXTENT OF THE REMOVAL WORK REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FULLY INSPECT THE BUILDING AND VERIFY ALL CONDITIONS AND FULL EXTENT OF DEMOLITION PRIOR TO SUBMITTING BID.
2. THE SUBCONTRACTORS FOR PLUMBING, ELECTRICAL, HVAC AND FIRE PROTECTION ARE RESPONSIBLE FOR ESTABLISHING THE SCOPE OF DEMOLITION REQUIRED TO PERFORM THE WORK FOR THEIR RESPECTIVE TRADE. DEMOLITION DRAWINGS FOR THESE DISCIPLINES ARE INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR.
3. MAINTAIN BUILDING IN STRUCTURALLY SOUND CONDITION AT ALL TIMES. DO NOT REMOVE ANY PORTION OF THE BUILDING STRUCTURE INCLUDING COLUMNS, LOAD BEARING WALLS, BEAMS FLOOR CONSTRUCTION, PERIMETER WALLS OR FIREPROOFING OF STRUCTURAL ELEMENTS UNLESS SPECIFICALLY NOTED.
4. PROTECT ALL FINISHES AND COMPONENTS OF BUILDING WHICH ARE TO REMAIN. ANY DAMAGED MATERIALS, EQUIPMENT OR ITEMS TO REMAIN SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONSTRUCTION, AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. VERIFY CONCEALED CONSTRUCTION CONDITIONS PRIOR TO REMOVAL OF ANY ITEMS. CAREFULLY ASSESS EACH ITEM TO BE REMOVED FOR DETRIMENTAL RESULTS IF REMOVED. PERFORM EXPLORATORY DEMOLITION TO DETERMINE METHODS OF ATTACHMENTS, UTILITY INTERFACES, INTERCONNECTIONS AND OTHER CONCEALED CONDITIONS PRIOR TO DEMOLITION.
6. ITEMS DESIGNATED TO BE REMOVED AND SALVAGED SHALL BE DELIVERED TO A SAFE REMOTE LOCATION FOR RETROFITTING OR A SAFE LOCATION ON SITE FOR CLEANING AND STORAGE BY THE CONTRACTOR.
7. MAINTAIN CODE COMPLIANT AND UNOBSTRUCTED EXIT PATHS AT ALL TIMES.
8. PRIOR TO DEMOLITION WORK, THE CONTRACTOR SHALL ASSESS AND IDENTIFY UTILITIES WITHIN THE DEMOLITION AREA THAT SERVE OCCUPIED SPACES OUTSIDE OF THE AREA OF THAT PHASE OF WORK. THOSE UTILITIES SHALL BE PROTECTED AND RESUPPORTED WHERE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE.
9. AREAS SURROUNDING THE AREA OF THIS CONTRACT SHALL REMAIN FULLY OCCUPIED DURING THE WORK. CAREFULLY SCHEDULE AND COORDINATE THIS WORK WITH THE OWNER TO MINIMIZE DISRUPTION TO ANY ACTIVITIES. SOME OF THE WORK MAY NEED TO BE PERFORMED OFF HOURS.
10. WHERE PARTIAL DEMOLITION IS NOT INDICATED BUT IS NECESSARY TO PERFORM NEW WORK, THAT AREA SHALL BE REMOVED AS NECESSARY AND REFINISHED/REPLACED TO MATCH THE EXISTING CONTIGUOUS CONSTRUCTION.

KEYNOTES - DEMOLITION

1. REMOVE EXISTING WALL AND ALL ASSOCIATED FRAMES, DOORS, WIRING, ETC.
2. REMOVE EXISTING STOREFRONT AND ALL ASSOCIATED DOORS AND HARDWARE.
3. REMOVE EXISTING MILLWORK AND COUNTERTOPS CAREFULLY.
4. REMOVE EXISTING PRECAST SIGN AND STORE FOR INSTALLATION IN NEW LOCATION.
5. REMOVE EXISTING SINK AND STORE FOR REINSTALLATION, ALL PLUMBING TO BE TEMPORARY CAPPED AND RECONNECTED.
6. OWNER TO REMOVE REFRIGERATOR FOR OWNER'S REINSTALLATION.
7. LIGHT FIXTURES TO REMAIN. DO NOT PAINT.
8. SPRINKLER HEAD TO REMAIN. DO NOT PAINT.
9. RETURN AIR REGISTER TO REMAIN. DO NOT PAINT.
10. REMOVE AND REUSE LIGHT FIXTURE.
11. EXISTING CEILING TRANSITIONS FROM FLAT TO SLOPING.
12. DEMOLISH LIGHT FIXTURE.
13. DEMOLISH EXISTING GYP BD CEILING AND ASSOCIATED FRAMING.
14. DEMOLISH EXISTING FURR DOWN AND ASSOCIATED FRAMING.
15. DEMOLISH FACE BRICK.
16. PROTECT SPRINKLER HEAD DURING DEMOLITION OF CEILING.





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 CONTENTS DEMOLITION PLANS

SHEET NUMBER AD101