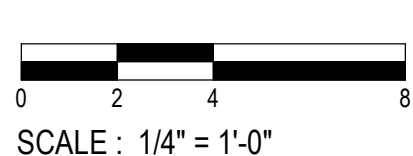
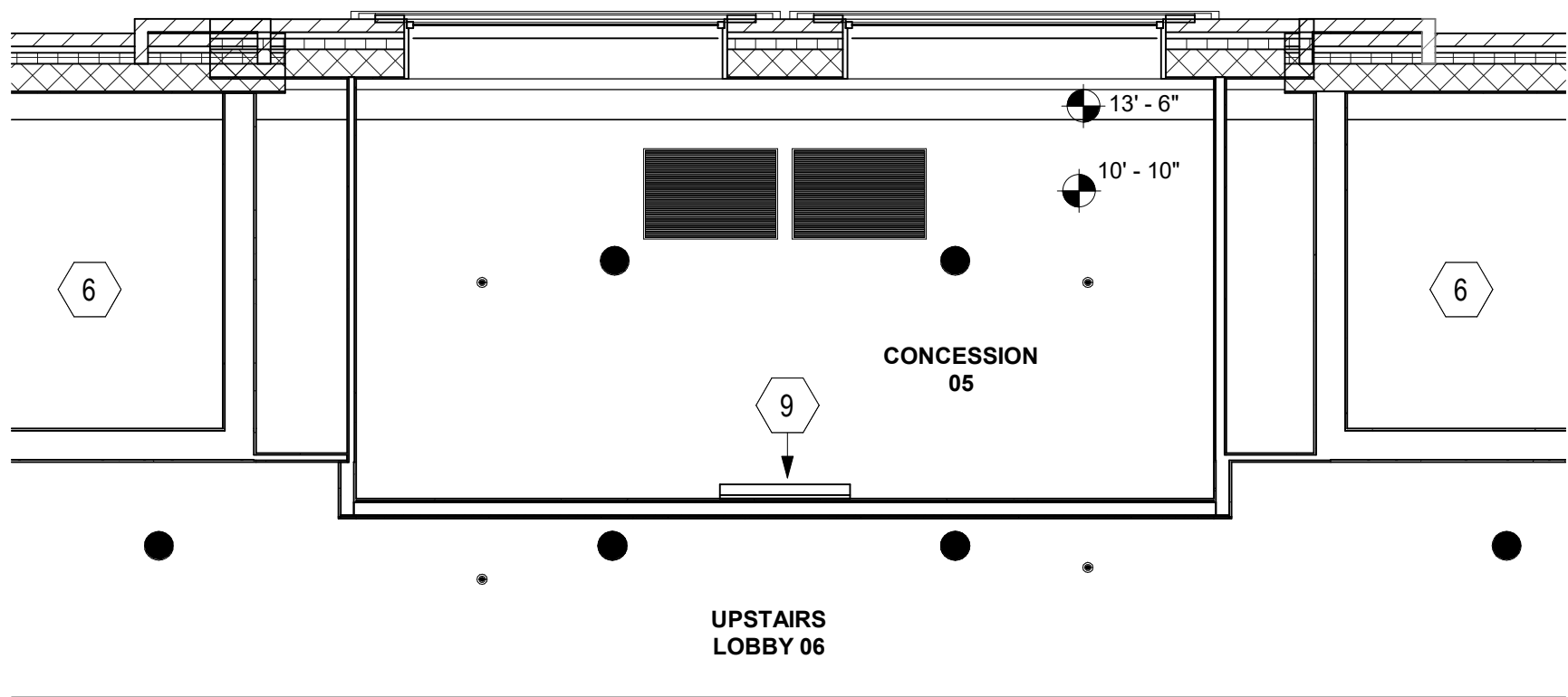




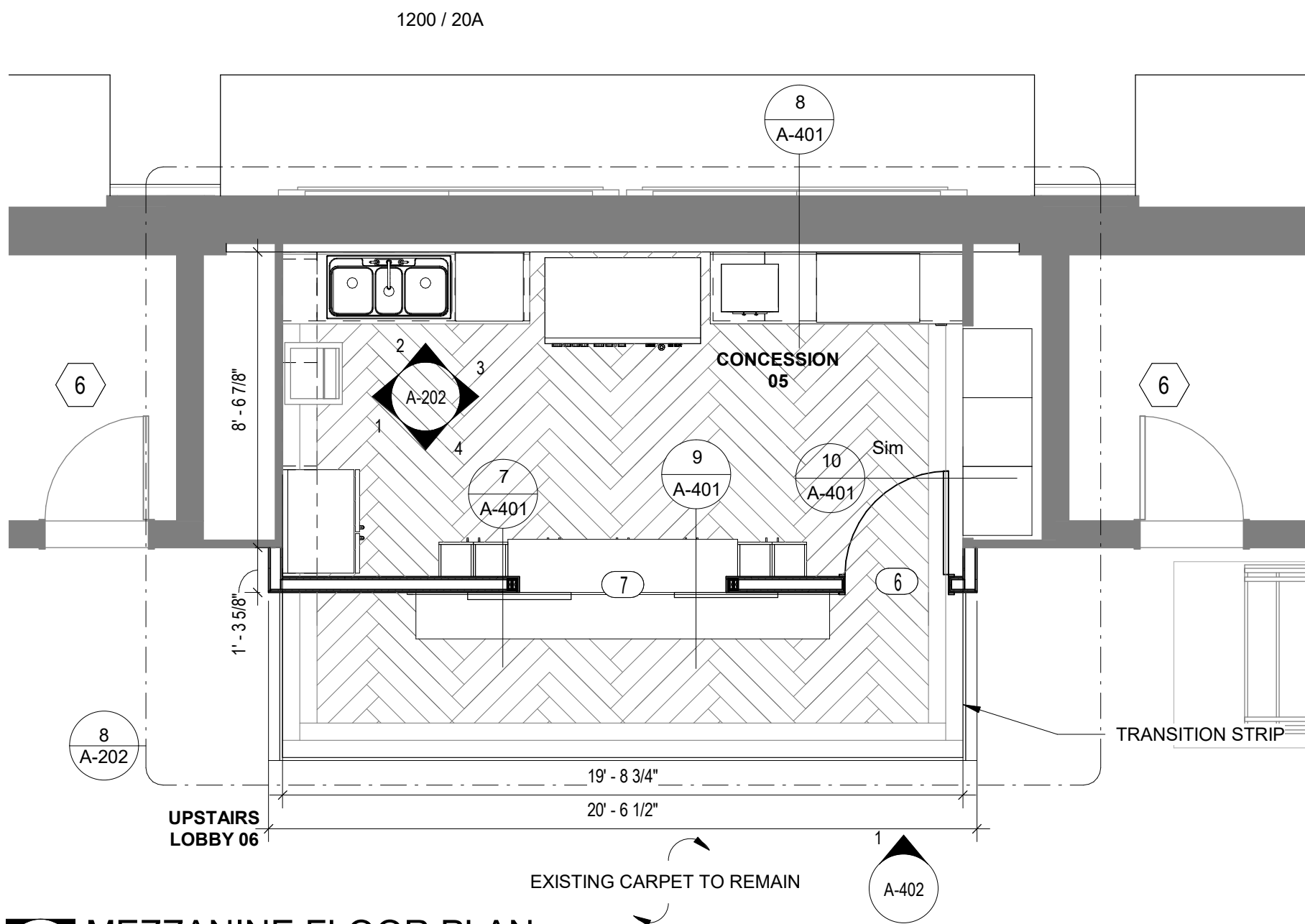
10. WHERE PARTIAL DEMOLITION IS NOT INDICATED BUT IS NECESSARY TO PERFORM NEW WORK, THAT AREA SHALL BE REMOVED AS NECESSARY AND REFINISHED/REPLACED TO MATCH THE EXISTING CONTIGUOUS CONSTRUCTION

1. REMOVE EXISTING WALL AND ALL ASSOCIATED FRAMES, DOORS, WIRING, ETC.
2. REMOVE EXISTING STOREFRONT AND ALL ASSOCIATED DOORS AND HARDWARE.
3. REMOVE EXISTING MILLWORK AND COUNTERTOPS CAREFULLY.
4. REMOVE EXISTING PRECAST SIGN AND STORE FOR INSTALLATION IN NEW LOCATION.
5. REMOVE EXISTING SINK. ALL PLUMBING TO BE TEMPORARY CAPPED AND RECONNECTED.
6. REMOVE TILE FOR NEW TICKET BOOTH. SAW CUT AT NEW WALL. ALL OTHER TILE TO REMAIN.
7. LIGHT FIXTURES TO REMAIN. DO NOT PAINT.
8. SPRINKLER HEAD TO REMAIN. DO NOT PAINT.
9. RETURN AIR REGISTER TO REMAIN. DO NOT PAINT.
10. REMOVE EXISTING FLOORING DOWN TO SUBFLOOR
11. EXISTING CEILING TRANSITIONS FROM FLAT TO SLOPING.
12. DEMOLISH LIGHT FIXTURE.
13. DEMOLISH EXISTING GYP BD CEILING AND ASSOCIATED FRAMING.
14. DEMOLISH EXISTING FURR DOWN AND ASSOCIATED FRAMING.
15. DEMOLISH EXISTING WALL TO ACCOMMODATE NEW WALL CABINET.
16. PROTECT SPRINKLER HEAD DURING DEMOLITION OF CEILING, AND RAISE TO NEW CEILING HEIGHT.

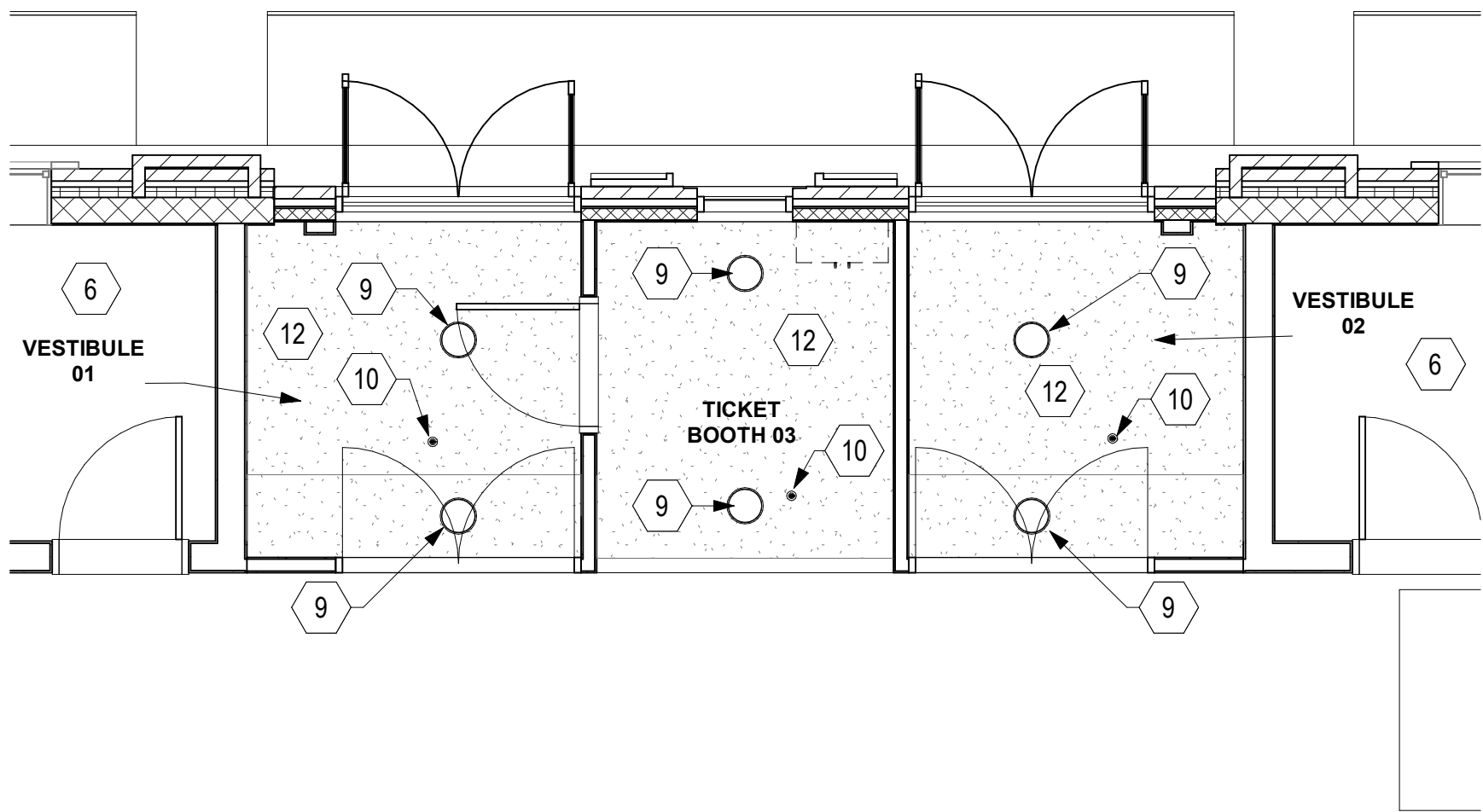




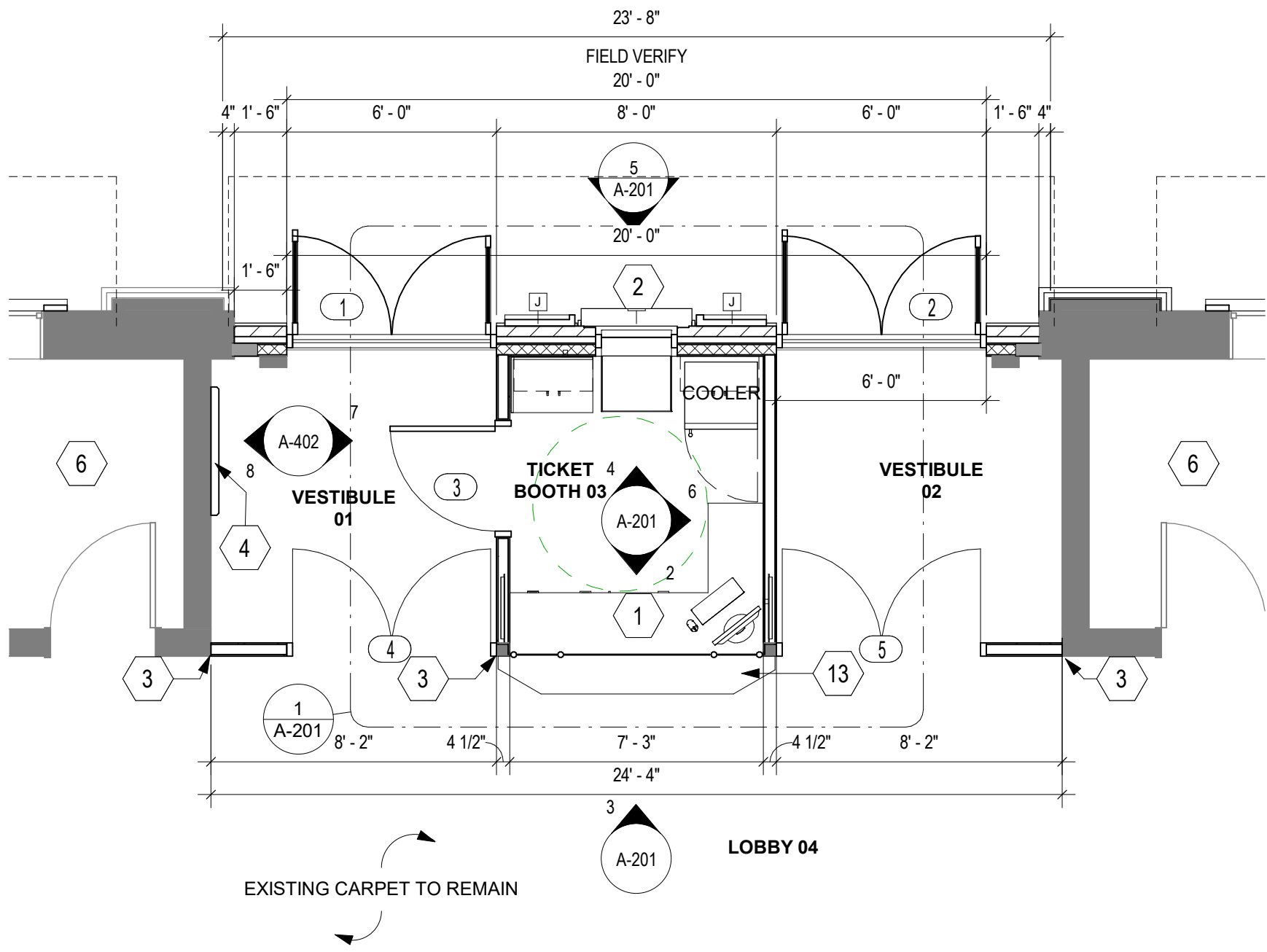
4 SECOND FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0" 2 / A-202



2 MEZZANINE FLOOR PLAN
1/4" = 1'-0" 2 / A-202



3 FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0" 6 / A-201



1 FIRST FLOOR PLAN
1/4" = 1'-0" 6 / A-201

SHEET NOTES - CLG PLAN

1. ALL CEILING HEIGHT NOTATIONS TAKEN FROM FINISHED FLOOR ELEVATION OF THIS LEVEL UNLESS NOTED OTHERWISE.

LEGEND - CEILING PLAN

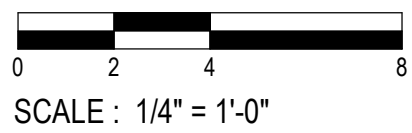
- NEW GYP. BD. CEILING
- NEW DOWN LIGHT
- EXISTING TO REMAIN
- NEW SURFACE MOUNTED WALL FIXTURE

SHEET NOTES - FLOOR PLAN

- ALL PARTITIONS SHALL BE TYPE 1 U.N.O. REFER TO SHEET G002 FOR PARTITION TYPES.
- ALL DOORS SHALL BE LOCATED 4" FROM ADJACENT WALL (DOOR FRAME SHALL BE 2" FROM ADJACENT WALL) U.N.O.
- RATED ASSEMBLIES SHALL BE ERECTED IN ENTIRETY PRIOR TO NON-RATED ASSEMBLIES. REFER TO LIFE SAFETY DRAWINGS FOR EXTENT OF RATED PARTITIONS.
- DEVICES WHICH PENETRATE FIRE RATED WALLS MUST BE SEALED AND DAMPERED TO RESIST FIRE & SMOKE.
- ALL DIMENSIONS ARE TO FACE OF MATERIAL U.N.O.
- REFER TO A3 SHEET SERIES FOR REFLECTED CEILING PLANS.
- REFER TO A7 SHEET SERIES FOR FINISHES AND EQUIPMENT.
- REFER TO A8 SERIES FOR OPENINGS SCHEDULE.
- A SURVEY OF ALL FLOOR SURFACES SHALL BE MADE PRIOR TO CONSTRUCTION TO DETERMINE OUT-OF-LEVEL CONDITIONS THAT WOULD PROHIBIT THE LEVEL PLACEMENT OF FLOORING, FILES, FURNITURE OR INTERFERE WITH THE INSTALLATION OF ARCHITECTURAL OR MILLWORK ELEMENTS. ANY UNACCEPTABLE AREAS SHALL BE REPAIRED PRIOR TO ANY WORK BY OTHER TRADES
- GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL ARCHITECTURAL DRAWINGS WITH ARCHITECTURAL SCHEDULES. ANY DISCREPANCY REASONABLY DISCOVERABLE WITH DUE DILIGENCE SHALL BE NOTED AS A QUALIFICATION TO THE GENERAL CONTRACTOR'S BID SUBMISSION. ANY REASONABLY DISCOVERABLE DISCREPANCY NOT INDICATED AS A QUALIFICATION SHALL BE CONSTRUED IN FAVOR OF THE OWNER AT NO COST.
- PROVIDE CONTROL JOINTS IN GYP. BD. AT 30' MAXIMUM INTERVALS, OR WHEN APPROPRIATE.
- FIELD VERIFY ALL DIMENSIONS LOCATED IN EXISTING CONSTRUCTION PRIOR TO PROCEEDING WITH ANY WORK.
- PROVIDE ACCESS PANELS WHERE PLUMBING AND HEATING VALVES, WATER SWITCHES, OXYGEN PRESSURE SWITCHES, VENTILATION SPLITTER DAMPERS, ETC. ARE SHOWN ON MEP DRAWINGS. COORDINATE FINAL LOCATION WITH ARCHITECT.
- MILLWORK BASIS OF DESIGN IS ARISTOKRAFT CABINETRY ([HTTPS://WWW.ARISTOKRAFT.COM/](https://www.aristokraft.com/)) - DOOR STYLE BENTON - FINISH STAINED TO BE SELECTED.

KEYNOTES - FLOOR PLAN

- INTERIOR TRANSACTION COUNTER.
- EXTERIOR TRANSACTION COUNTER.
- ALIGN FINISHED FACE OF NEW AND EXISTING WALLS.
- NEW LOCATION OF RELOCATED PRECAST SIGN.
- RESERVED
- NO WORK IN THIS AREA.
- RESERVED
- RESERVED
- NEW LIGHT FIXTURE.
- RAISE EXISTING SPRINKLER HEAD AND REMOUNT IN NEW RAISED CEILING.
- RESERVED
- RESERVED
- NEW GYP BD CEILING TO BE INSTALLED AT THE HIGHEST ELEVATION POSSIBLE.
- RESERVED



NORTH

THE FORUM



115 E. MONROE AVE., JONESBORO, ARKANSAS

4/30/2019 / ADDENDUM 001



COOPER MIXON
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DATE

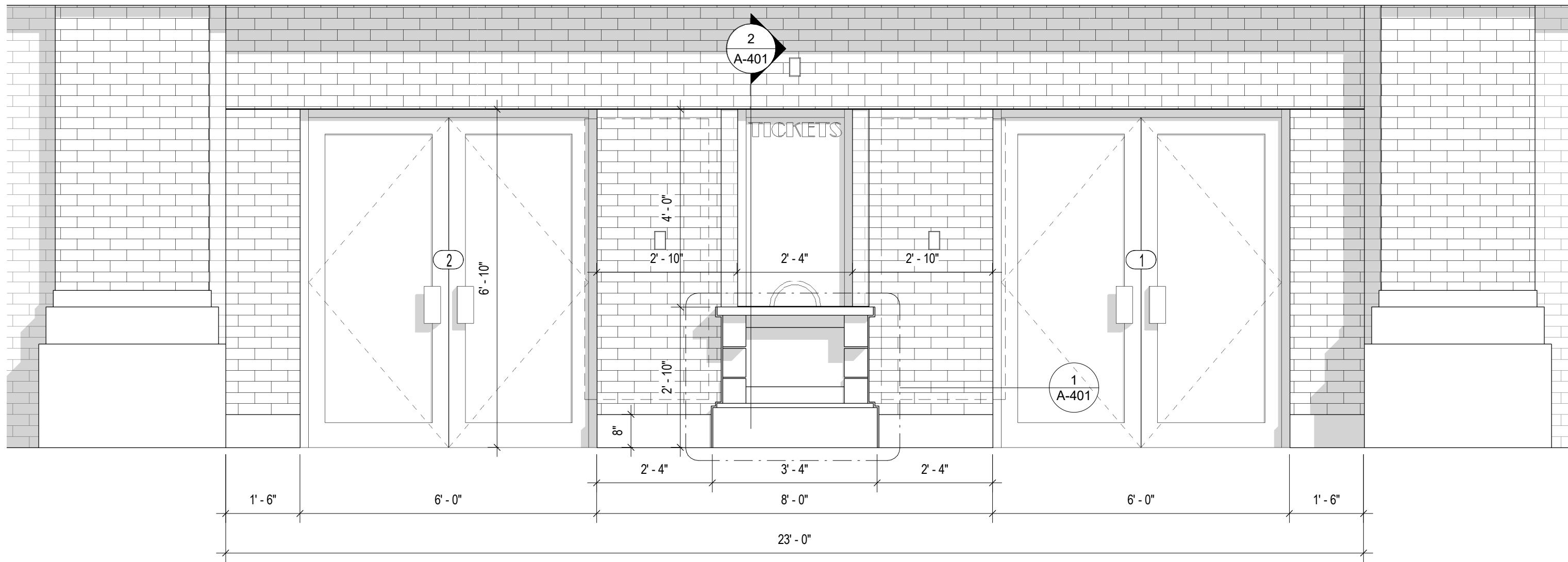
04/15/2019

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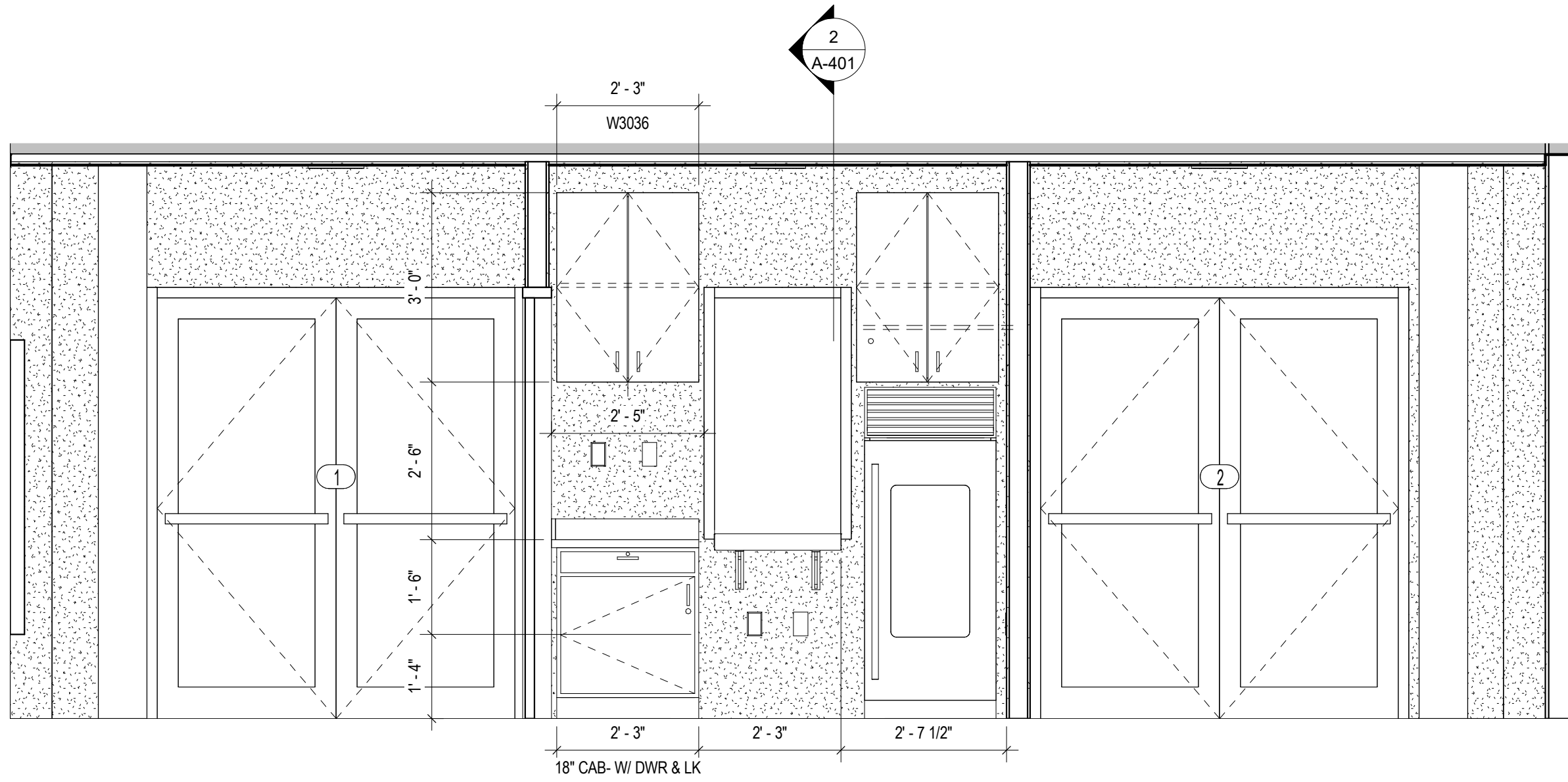
FIRST & MEZZANINE
FLOOR PLAN / RCP

SHEET NUMBER

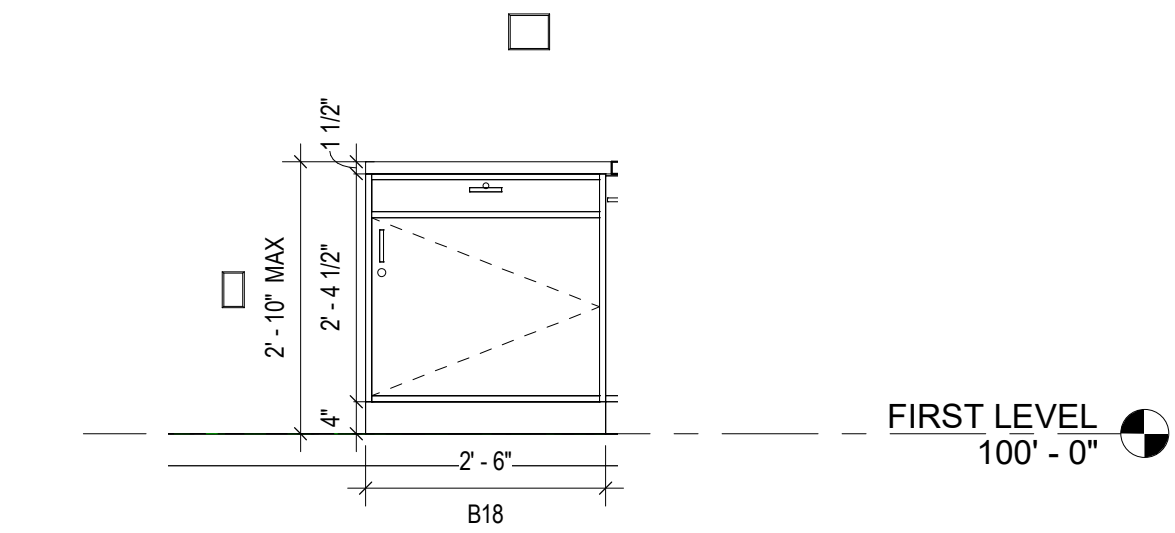
A-101



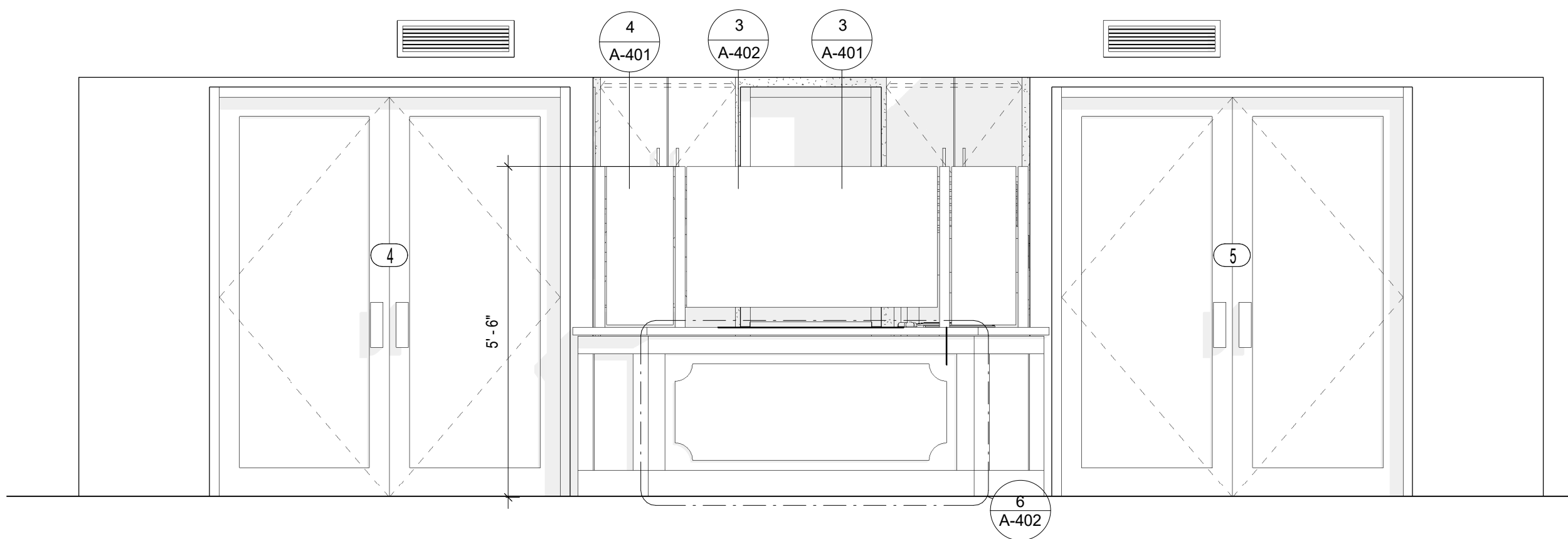
5 NORTH EXTERIOR ELEVATION
1/2" = 1'-0" 1 / A-101



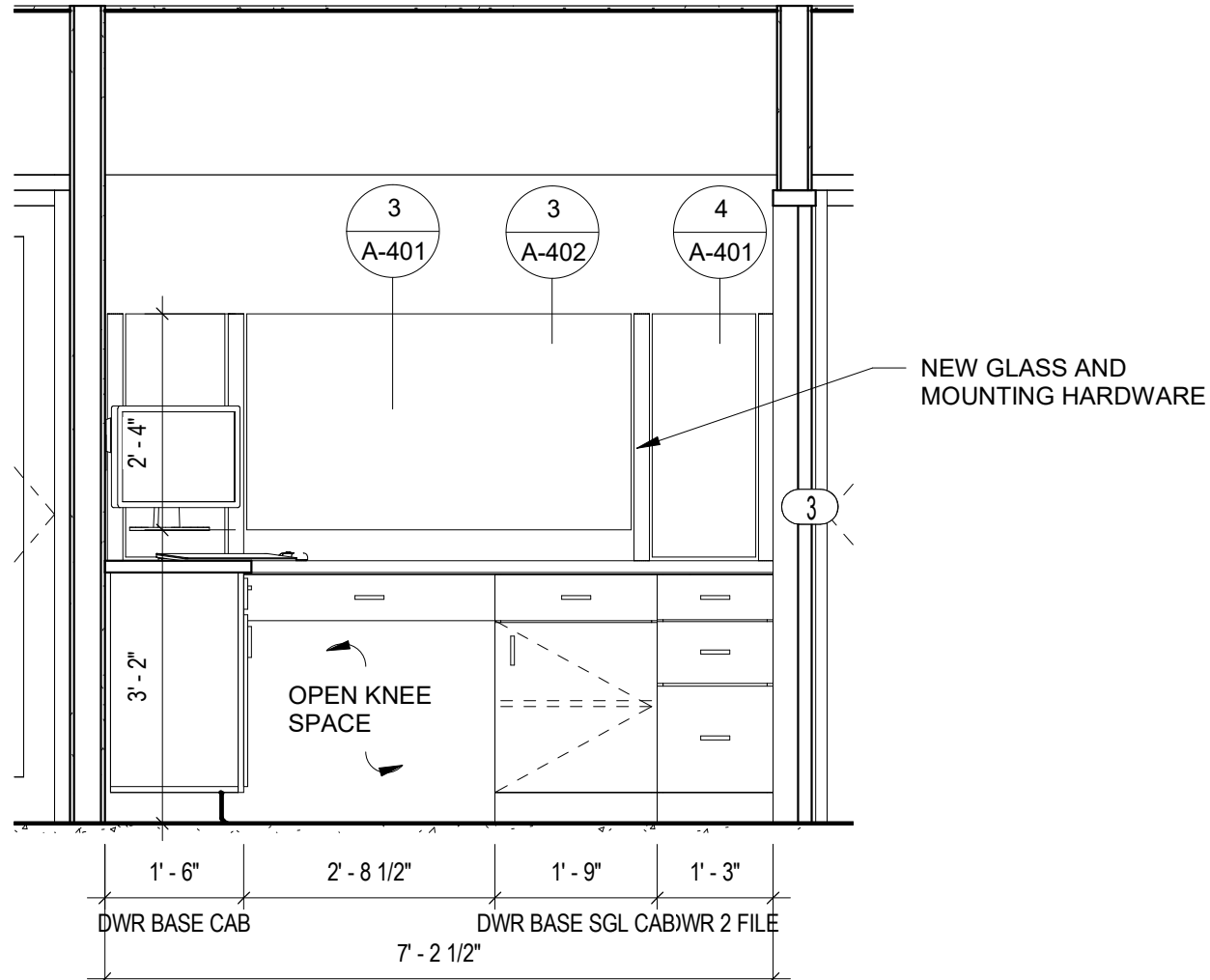
4 TICKET BOOTH LOOKING OUTSIDE
1/2" = 1'-0" 1 / A-101



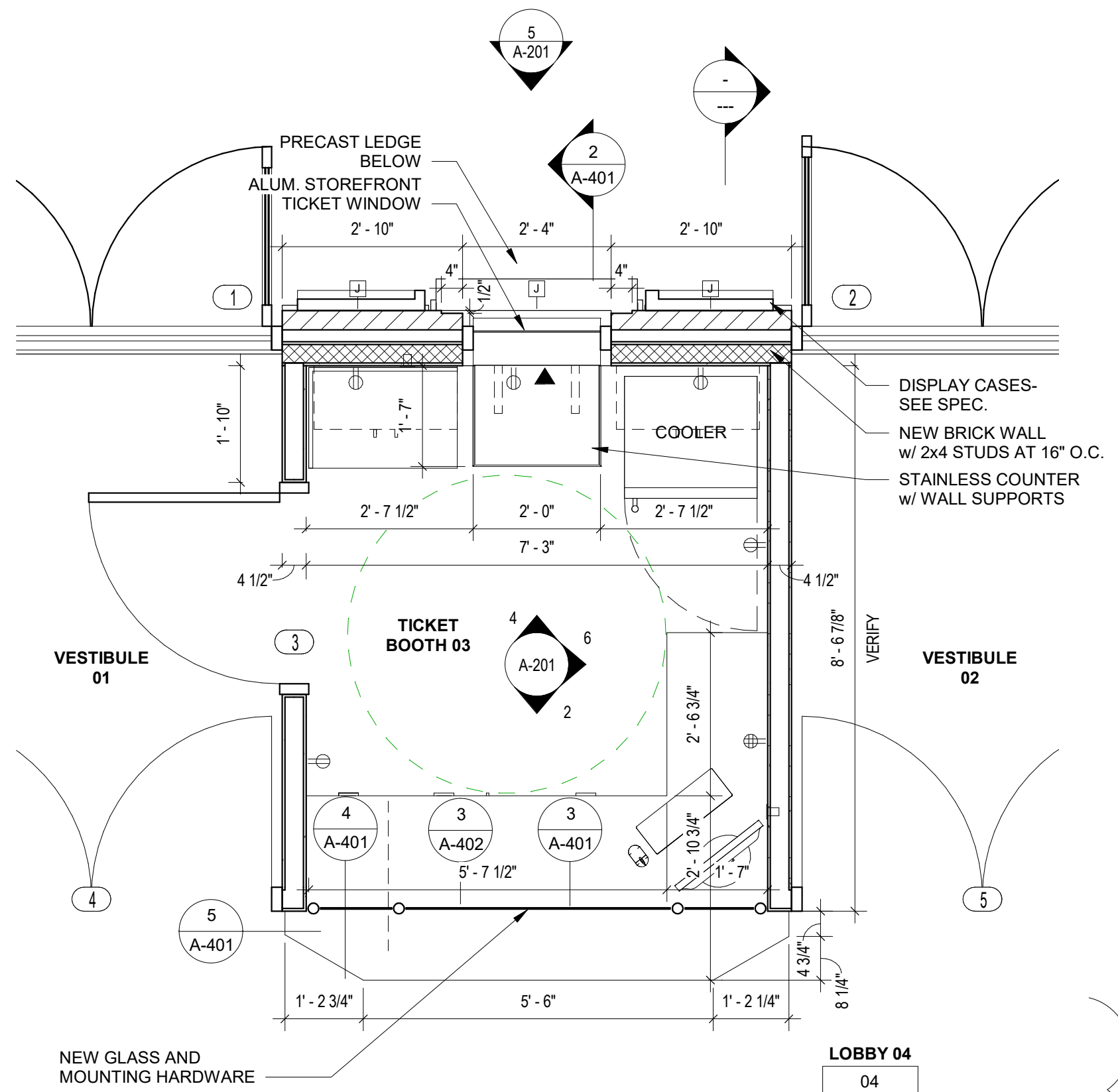
6 TICKET BOOTH - MILLWORK WITH LOCK
1/2" = 1'-0" 1 / A-101



3 LOBBY LOOKING AT CONCESSION
1/2" = 1'-0" 1 / A-101



2 TICKET BOOTH LOOKING ONTO LOBBY
1/2" = 1'-0" 1 / A-101



1 ENLARGED PLAN AT TICKET BOOTH
1/2" = 1'-0" 1 / A-101





COOPER MIXON
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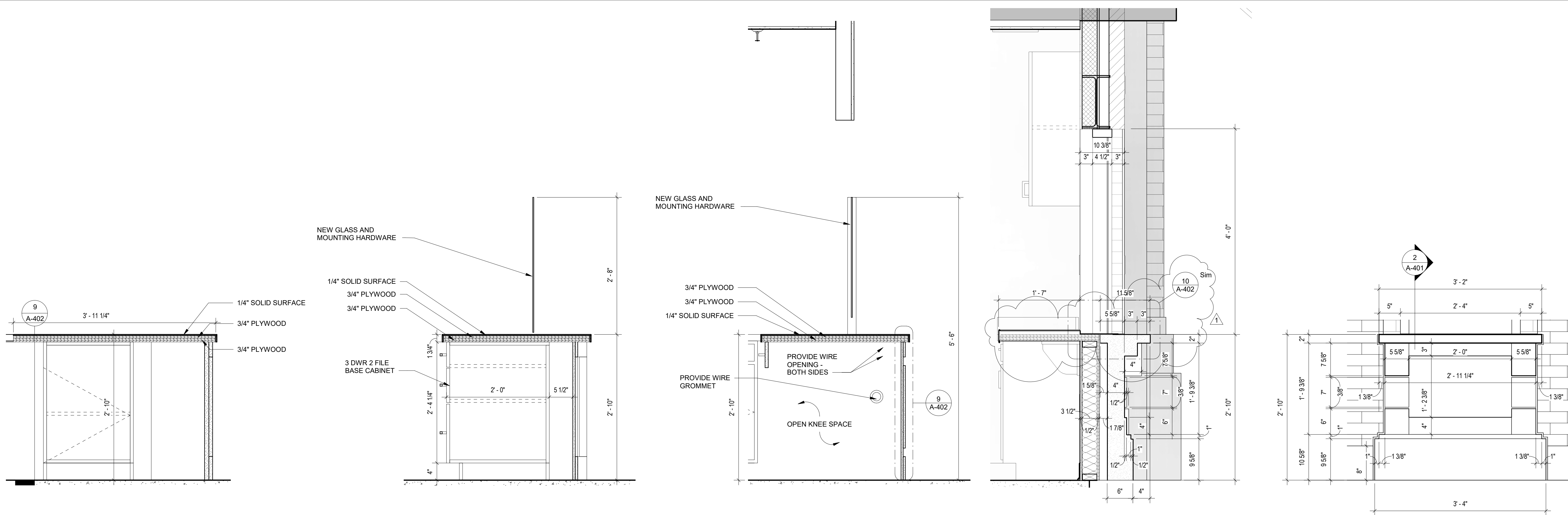
04/15/2019

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WALL SECTIONS AND
ENLARGED
ELEVATIONS

SHEET NUMBER

A-401



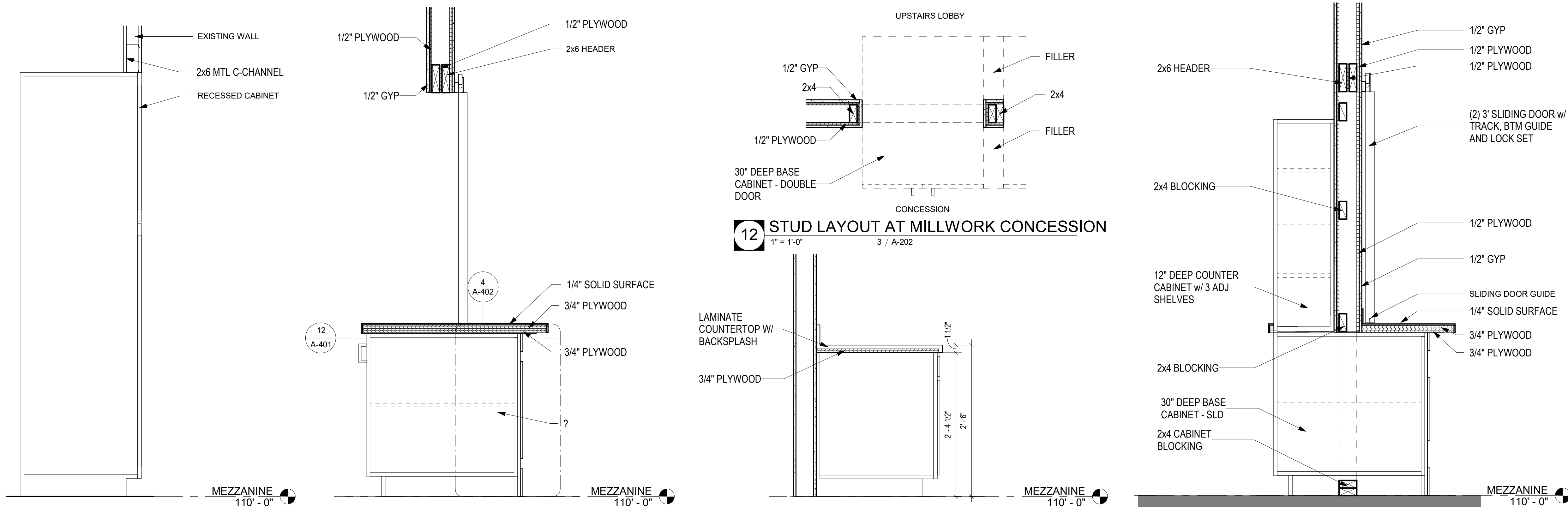
5 SECTION AT TICKET SIDE WALL
1" = 1'-0" 1 / A-201

4 SECTION AT TICKET MILLWORK
1" = 1'-0" 1 / A-201

3 SECTION AT TICKET KNEE SPACE
1" = 1'-0" 1 / A-201

2 SECTION AT TICKET WINDOW
1" = 1'-0" 1 / A-201

1 TICKET PRECAST ELEVATION
1" = 1'-0" 5 / A-201



10 SECTION AT RECESSED CABINET
1" = 1'-0" 2 / A-101

9 SECTION AT FRONT CONCESSION
1" = 1'-0" 2 / A-101

8 SECTION AT BACK OF CONCESSION MILLWORK
1" = 1'-0" 2 / A-101

7 SECTION AT CONCESSION - WALL
1" = 1'-0" 2 / A-101

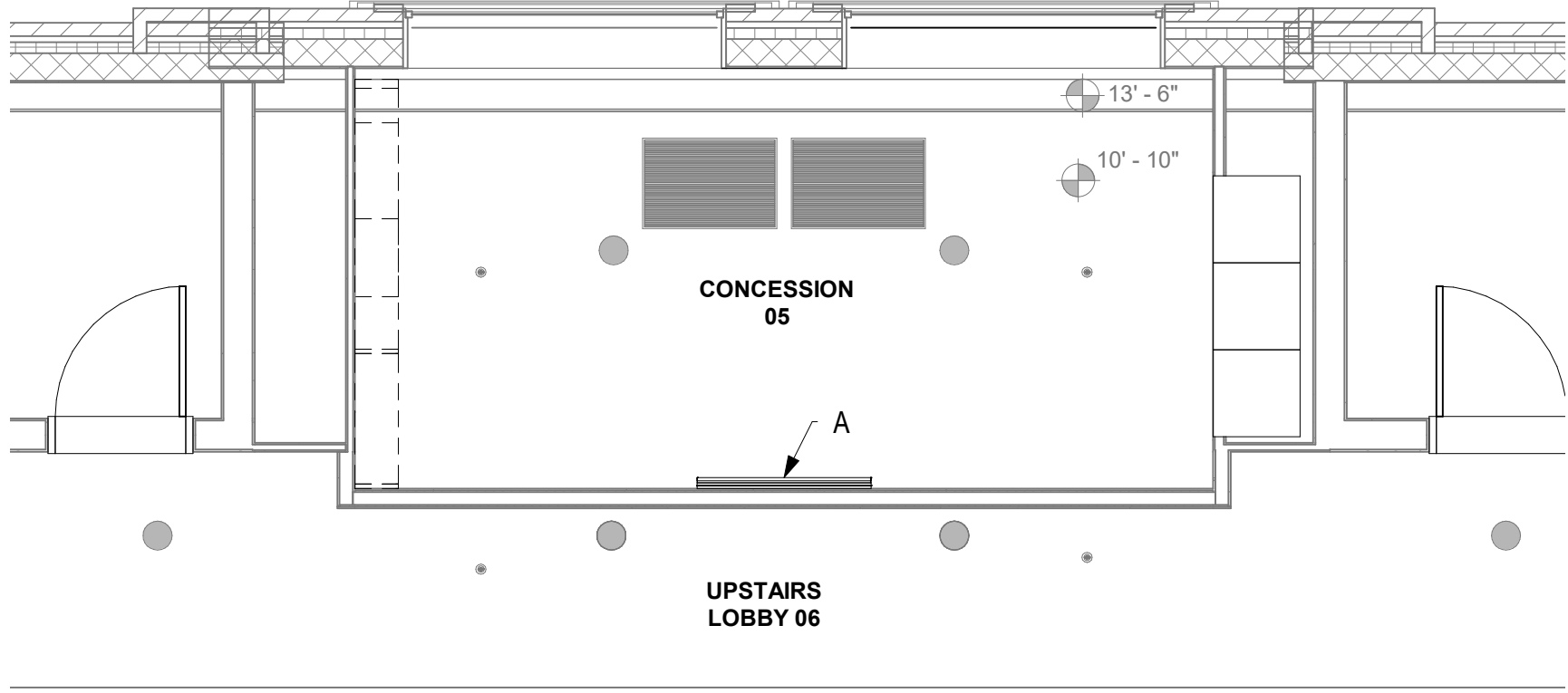
12 STUD LAYOUT AT MILLWORK CONCESSION
1" = 1'-0" 3 / A-202



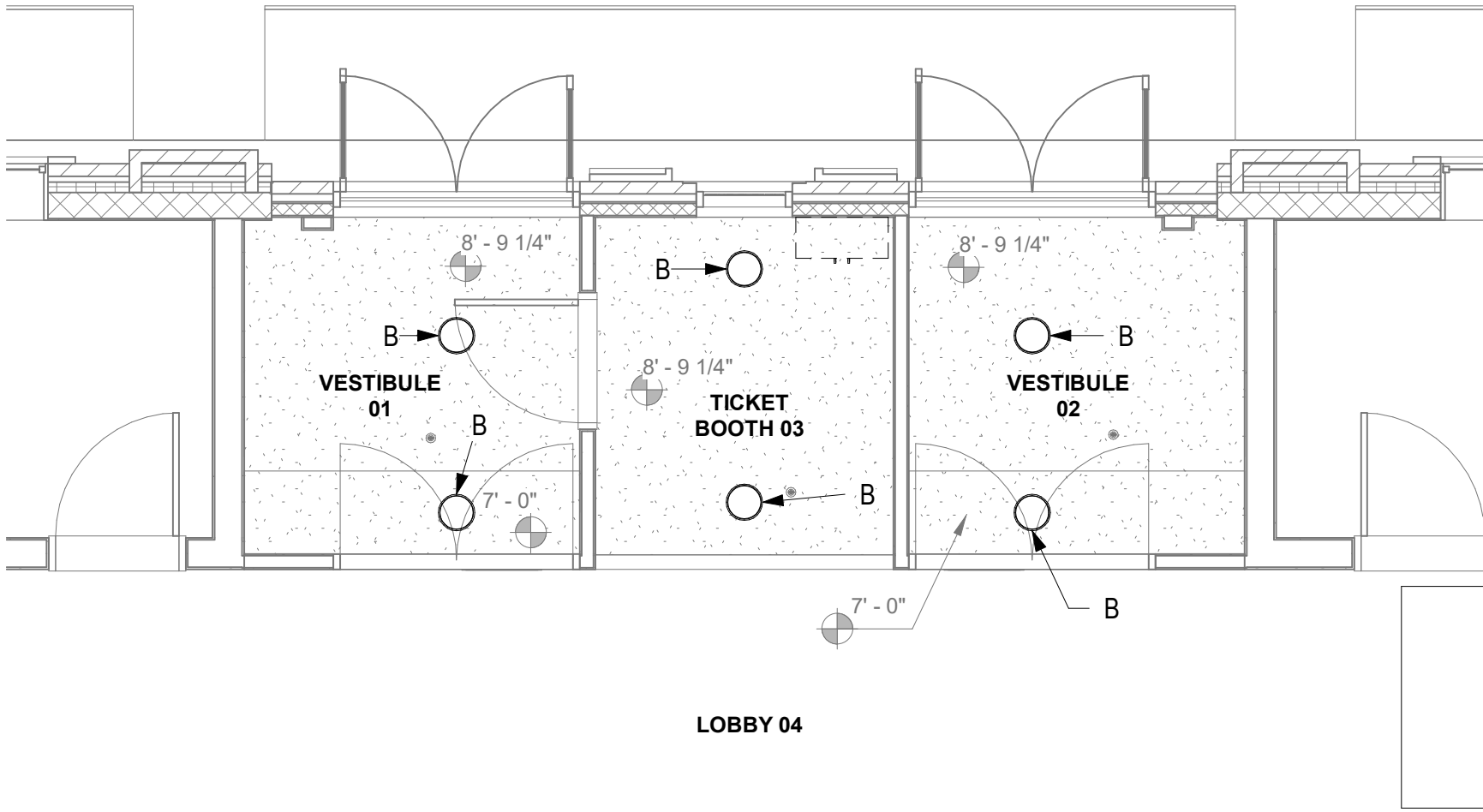


DOOR SCHEDULE									
DOOR						FRAME			REMARKS
DOOR NO.	OPENING SIZE		DOOR TYPE	DOOR MATERIAL	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	
	WIDTH	HEIGHT							
1	5'- 8"	6'- 8"	B	ALUM / GLS	BRONZE ANODIZED	AF-1	ALUM	BRONZE ANODIZED	MAXIMIZE DOOR SIZE. FIELD MEASUREMENTS SUGGEST A MAXIMUM OF 6'-10" DOOR.
2	5'- 8"	6'- 8"	B	ALUM / GLS	BRONZE ANODIZED	AF-1	ALUM	BRONZE ANODIZED	MAXIMIZE DOOR SIZE. FIELD MEASUREMENTS SUGGEST A MAXIMUM OF 6'-10" DOOR.
3	3'- 0"	6'- 8"	A	SCWD	PAINT	1	HM	PAINT	
4	5'- 8"	6'- 8"	B	ALUM / GLS	BRONZE ANODIZED	AF-1	ALUM	BRONZE ANODIZED	MAXIMIZE DOOR SIZE. FIELD MEASUREMENTS SUGGEST A MAXIMUM OF 6'-10" DOOR.
5	5'- 8"	6'- 8"	B	ALUM / GLS	BRONZE ANODIZED	AF-1	ALUM	BRONZE ANODIZED	MAXIMIZE DOOR SIZE. FIELD MEASUREMENTS SUGGEST A MAXIMUM OF 6'-10" DOOR.
6	3'- 0"	6'- 8"	A	SCWD	PAINT	1	WD	PAINT	
7	6'- 0"	6'- 0"	C	SCWD	PAINT	SD-1	WD	PAINT	

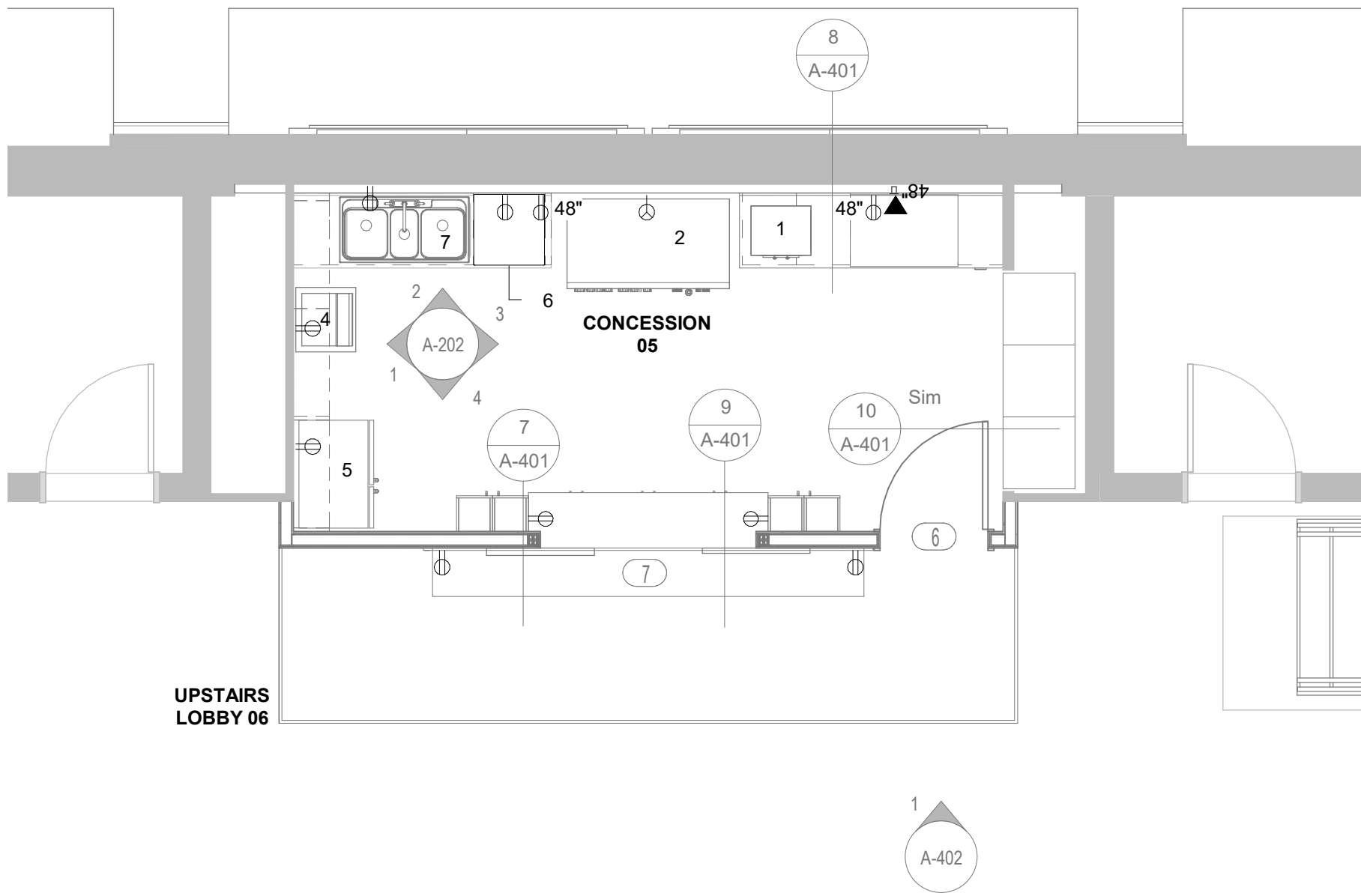
ROOM FINISH SCHEDULE									
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	COMMENTS
				NORTH	EAST	SOUTH	WEST		
01	VESTIBULE 01	EXIST TILE	RB-1	P-1	P-1	P-1	P-1	P-3	PAINT EXIST & NEW
02	VESTIBULE 02	EXIST TILE	RB-1	P-1	P-1	P-1	P-1	P-3	PAINT EXIST & NEW
03	TICKET BOOTH 03	LVT	RB-1	P-2	P-2	P-2	P-2	P-3	
04	LOBBY 04	EXIST CPT	RB-1						
05	CONCESSION 05	LVT	RB-1	P-2	P-2	P-2	P-2		CEILING - TOUCH UP PAINT AS REQ.
06	UPSTAIRS LOBBY 06	EXIST CPT	RB-1	P-2					PAINT NEW WALL



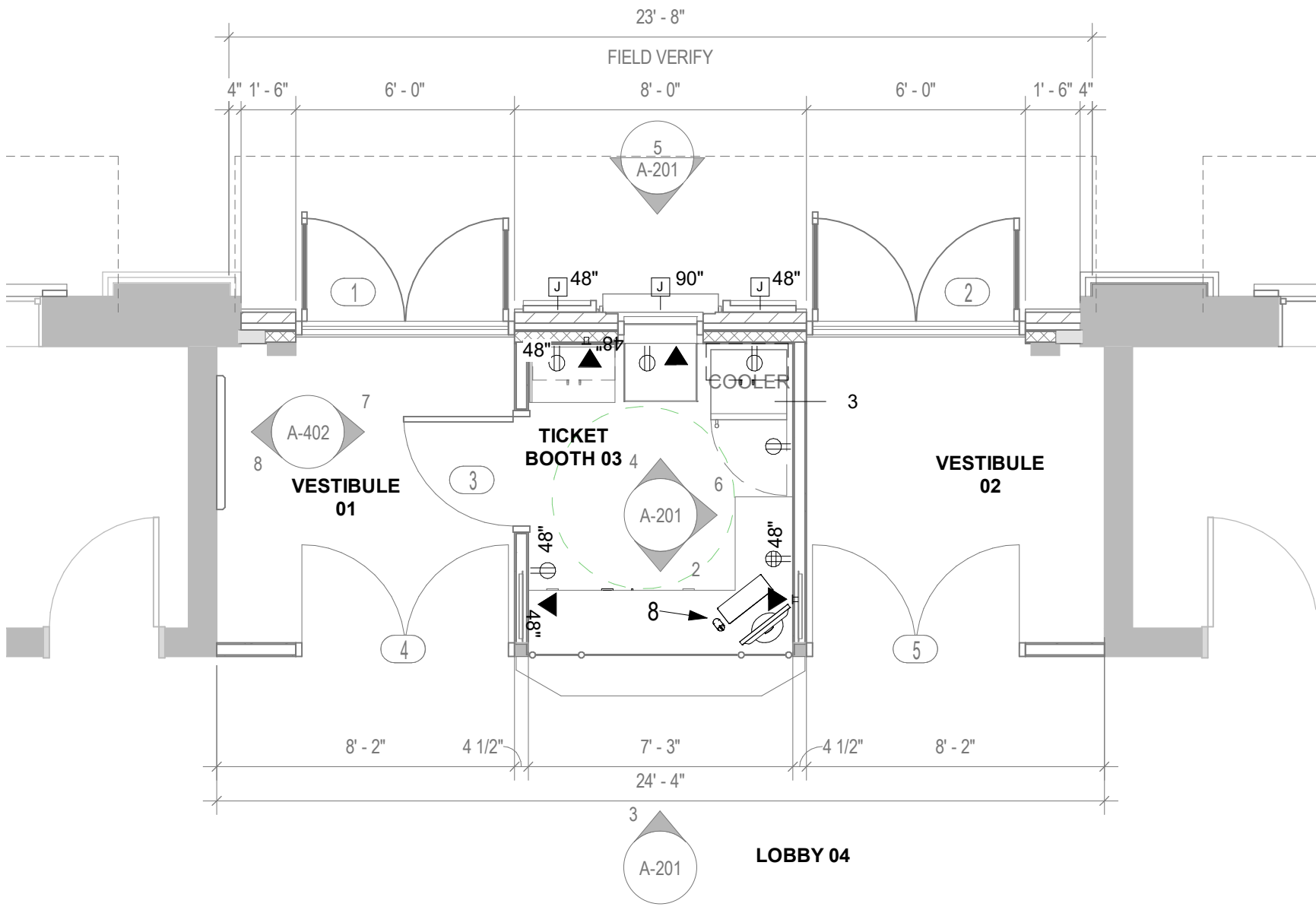
4 SECOND FLOOR REFLECTED CEILING PLAN LIGHTING
1/4" = 1'-0" 2 / A-202



3 FIRST FLOOR REFLECTED CEILING PLAN LIGHTING
1/4" = 1'-0" 6 / A-201



2 MEZZANINE FLOOR PLAN POWER
1/4" = 1'-0" 2 / A-202



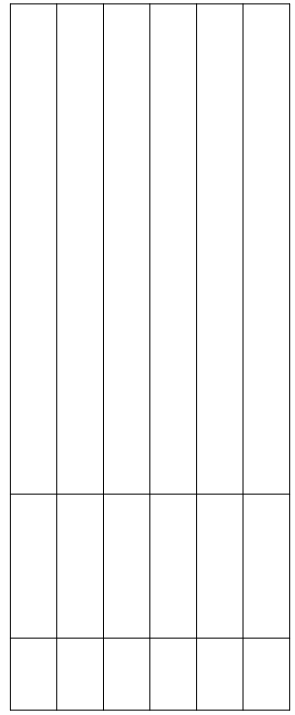
1 FIRST FLOOR PLAN POWER
1/4" = 1'-0" 6 / A-201

Lighting Fixture Schedule				
Type Mark	Count	Manufacturer	Model	Description
A	1	Day-Brite	FSS440L840-UNV	4', 4000lm, 80CRI, 4000K
B	6	Lightolier	S7R935K10BK	7", 1000lm, 90CRI, 3500K

Equipment Schedule	
Type Mark	Description
1	POPCORN MACHINE
2	COCA COLA COOLER - LARGE
3	COCA COLA COOLER - SMALL
4	ICE MACHINE
5	REFRIGERATOR
6	UNDERCOUNTER DISHWASHER
7	GARBAGE DISPOSAL
8	COMPUTER / PRINTER

LEGEND - POWER & DATA

	QUAD OUTLET
	SINGLE OUTLET
	120V / 20A
	JUNCTION BOX
	EMPTY BOX FOR DATA



SCHEMATIC DESIGN

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ELECTRICAL POWER & LIGHTING

SHEET NUMBER

E-101