

## ARCHITECT'S ADDENDUM

### ADDENDUM NUMBER: 2

Date: **Tuesday, December 14, 2021**  
RE: NEA Board of Realtors Renovation  
912 Congress Cir, Jonesboro, AR  
Prepared by: Jamey McFadden, AIA  
To: Prospective Bidders  
Subject: Addendum 2 to the Construction Documents for NEA Board of Realtors Renovation

Except as described below, the original bid document remains unchanged. The bid documents are modified and/or clarified, as follows:

1. **Doors 105A, 107A, 107B:** 105A and 107A were not shown as demolished on the Demo Plan but are to be demolished and replaced as shown on the door schedule. 107B is existing to remain.
2. **Infill at existing overhead door:** The exterior side of the wall is to be infilled to match adjacent existing metal panel.
3. **Tongue and groove soffits:** Species – Spruce; stain and seal appropriate to application (exterior @ canopy, interior @ reception area).
4. **Acoustic ceiling system:** Existing tegular ceiling system to remain except where rework is required at new walls/bulkheads and/or to accommodate new lighting. Ceiling heights to remain at existing heights. Replace damaged tiles as needed. New suspended acoustical tile system in the training room to match existing system in the office areas (tegar system, acoustical tiles).
5. **Ceiling height in Training Room:** Ceiling height to be 12' – 6" A.F.F. Bid should include relocation of existing electrical/plumbing to accommodate this height. Please disregard Deductive Alternate bid.
6. **Millwork:** Base cabinets and upper cabinets to have finished ends and matching edge banding, Wilsonart Slate Grey D91-60; cabinet doors – Wilsonart Lujo Collection, Daintree 8235; interior – White TFL. Solid Surface countertops (other than reception desk) - Durasein DM5015 Eventide. Provide Mockett DP3 series 3" Tab Pull hardware.

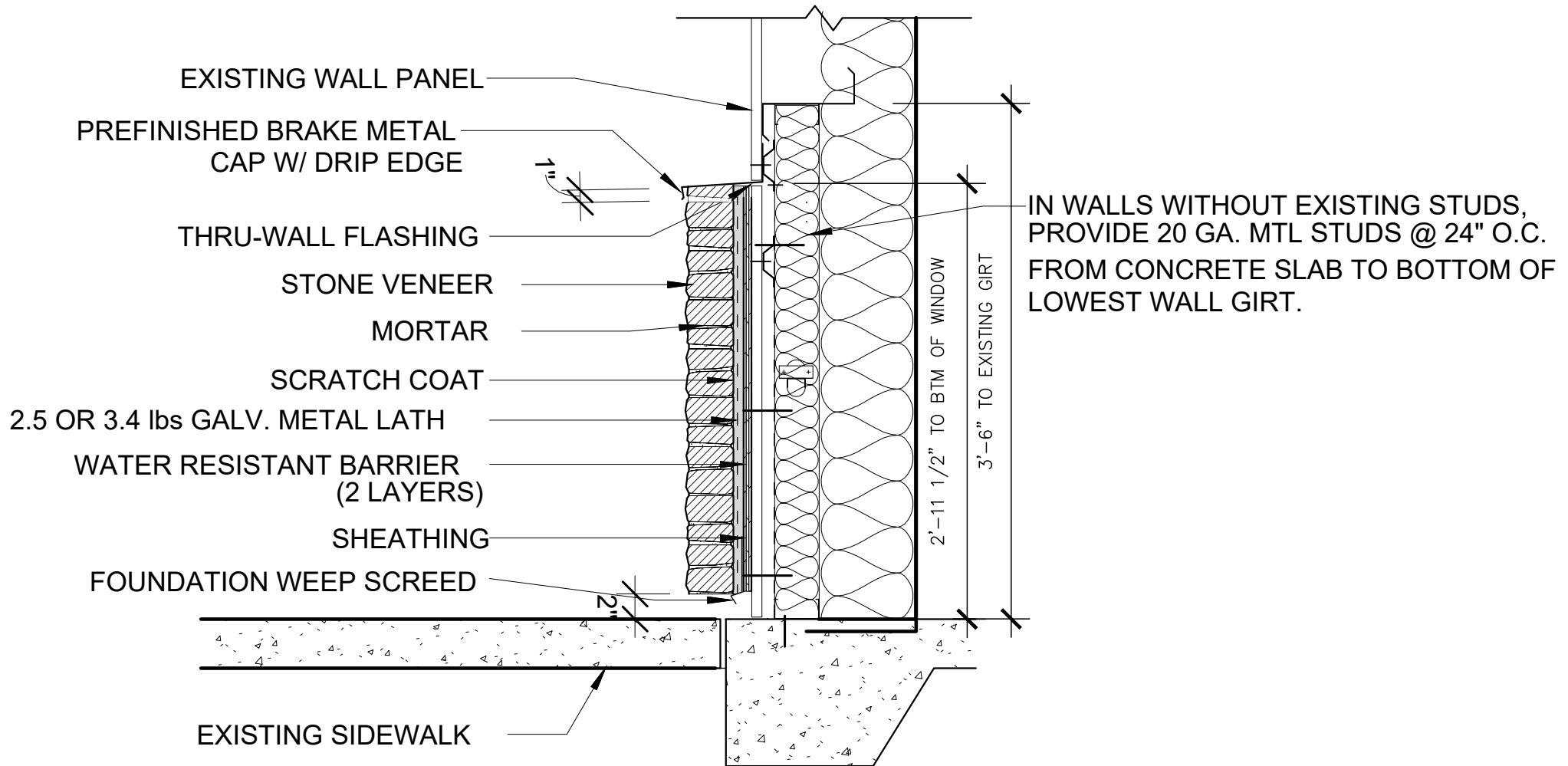
Alternate similar products may be submitted for approval.

7. **Reception Desk:** Sheet A6 updated to show drawings of reception desk. Provide

double door base as shown. Provide file drawer and utility drawers as shown. Finished ends with matching edge banding Wilsonart Slate Grey D91-60.

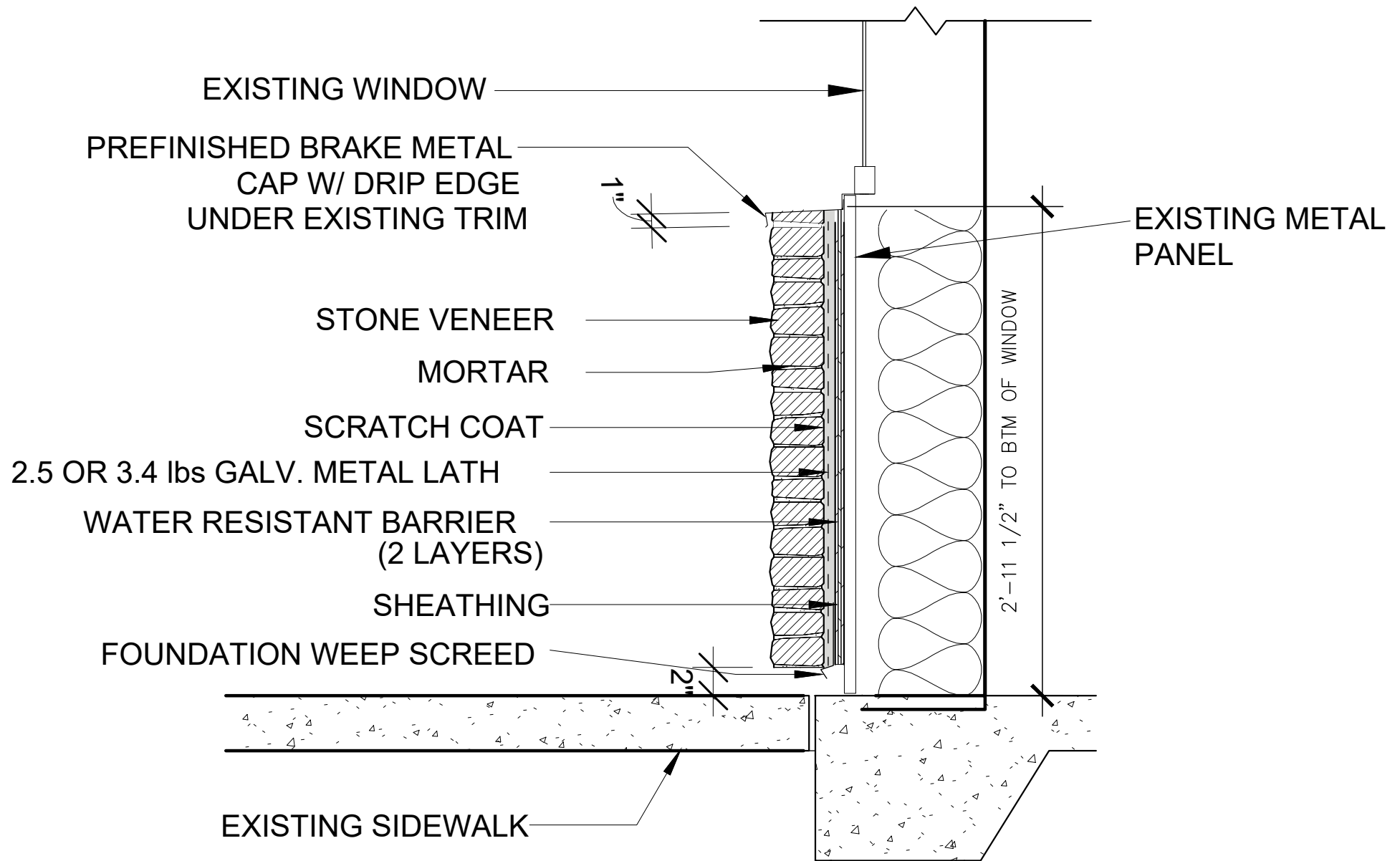
8. **Canopy:** Bid canopy as shown in the drawings; contractor to provide a waterproof solution.
9. **Microwave:** Appliances will be specified by owner (see note on P1); coordinate casework with appliances.
10. **Sound batts:** Sound batts to be installed in new partitions at Conference Room and above ceiling in conference room; sound batts above ceiling in Training Room.
11. **Stone wainscot:** See attached details for clarification of installation. Provide studs in walls without existing studs for support.
12. **Stone wainscot:** eliminate stone veneer wainscot on the north exterior wall. Turn corners at east and west and extend 2' along north wall to avoid termination at corners. Metal panel infill on north wall to extend to match existing adjacent.
13. **Concrete floor:** The front office area concrete floor is already stained. This area to be cleaned and re-sealed. The concrete floor in the training room to be stained to match the front office area and sealed. Use high-performance, non-yellowing, clear acrylic-based sealer with matte finish. Comply with manufacturer installation recommendations.
14. **Toilet 105:** to be A.D.A. compliant (see Enlarged Toilet Plan 10/A6).

If you need further clarification, please contact Jamey McFadden, Architect (417) 631-7608.



INSTALL PER MANUFACTURER INSTRUCTION

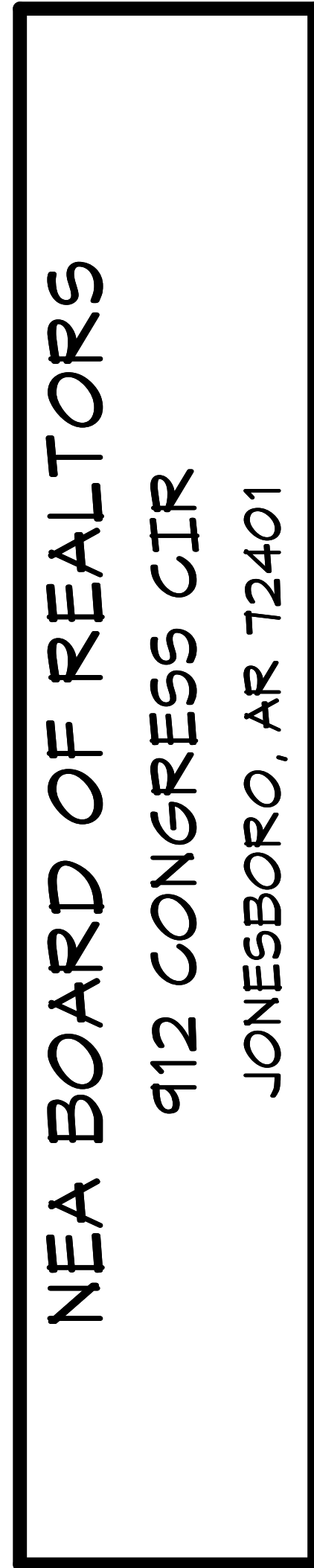
# 1 STONE VENEER WAINSCOT @ METAL PANEL



INSTALL PER MANUFACTURER INSTRUCTION

1

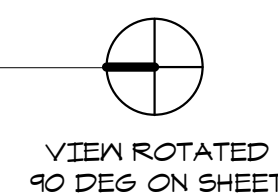
STONE VENEER WAINSCOT @ WINDOW



**JAMES  
MCFADDEN  
ARCHITECT**

6801 PINE DR  
PARAGOULD, AR  
(417) 631-7608

A3

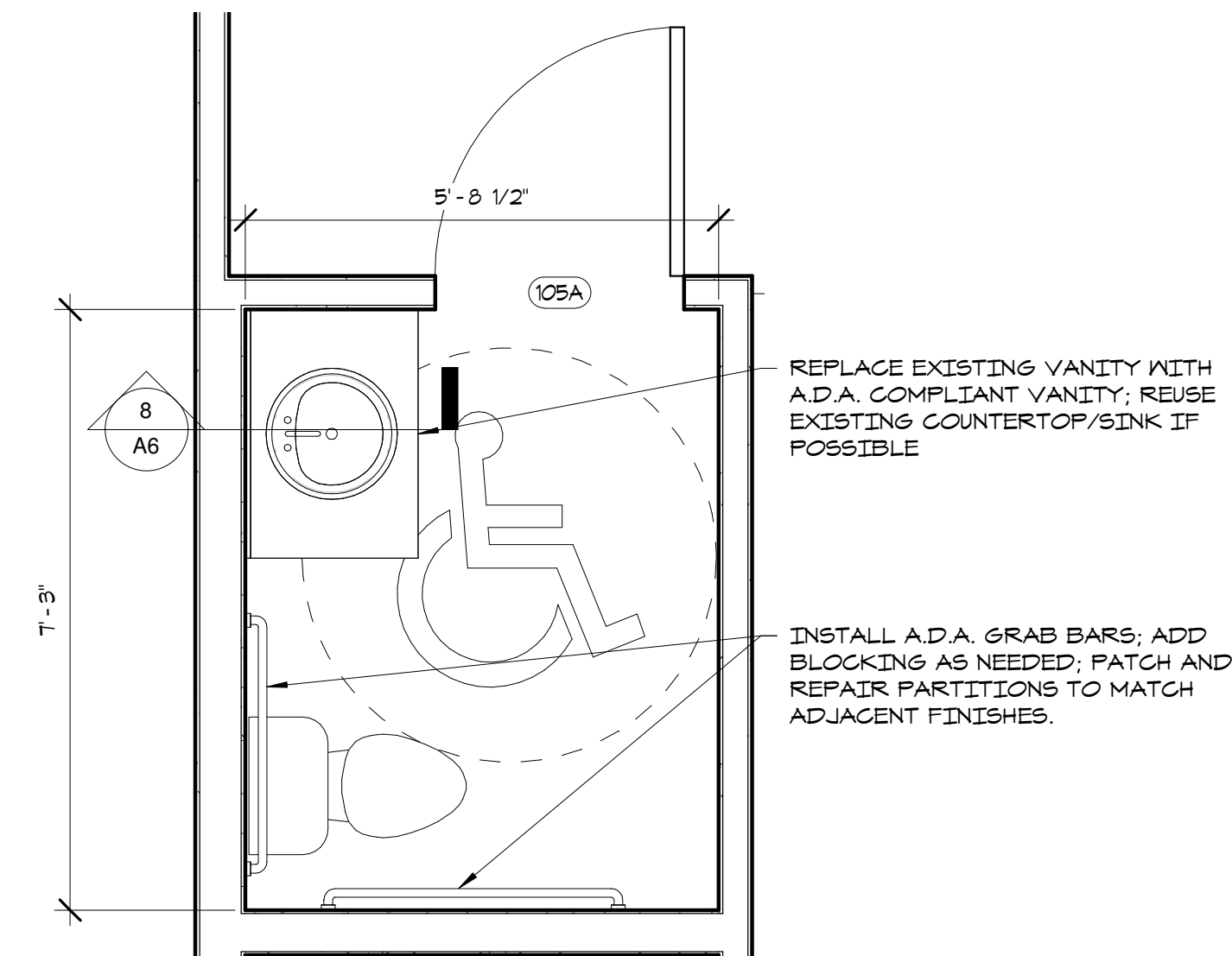




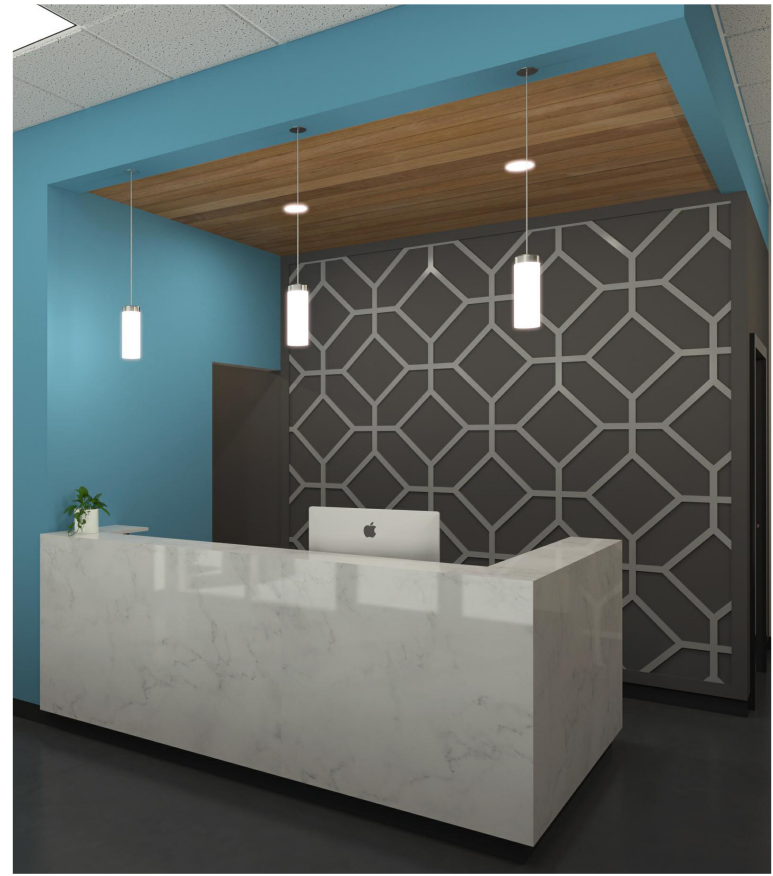
ROOM FINISH SCHEDULE						
NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
101	LOBBY/RECEPTION	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	ACCENT WALL COVERING: EKENA MILLWORK PVC WALL PANEL, LARGE "CAMERON FRETWORK" SEE 6/A6 FOR REFERENCE.
102	CONFERENCE	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN; RENOV. AROUND NEW PARTITIONS
103	BREAK ROOM	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
104	KITCHEN	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
105	TOILET	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
106	COPY/WORK ROOM	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN; RENOV. AROUND NEW PARTITIONS
107	TOILET	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
107B	DATA	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
108	OFFICE	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
109	OFFICE	CLEAN & RESEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	EXISTING CEILING TO REMAIN
201	TRAINING ROOM	CONCRETE, STAIN & SEAL	RUBBER	PAINTED GYP	2' x 2' S.A.T.	MATCH STAIN TO EXISTING IN LOBBY
202	UTILITY ROOM	CONCRETE, STAIN & SEAL	RUBBER	PAINTED GYP	OPEN TO ABOVE	MATCH STAIN TO EXISTING IN LOBBY

FINISH NOTES

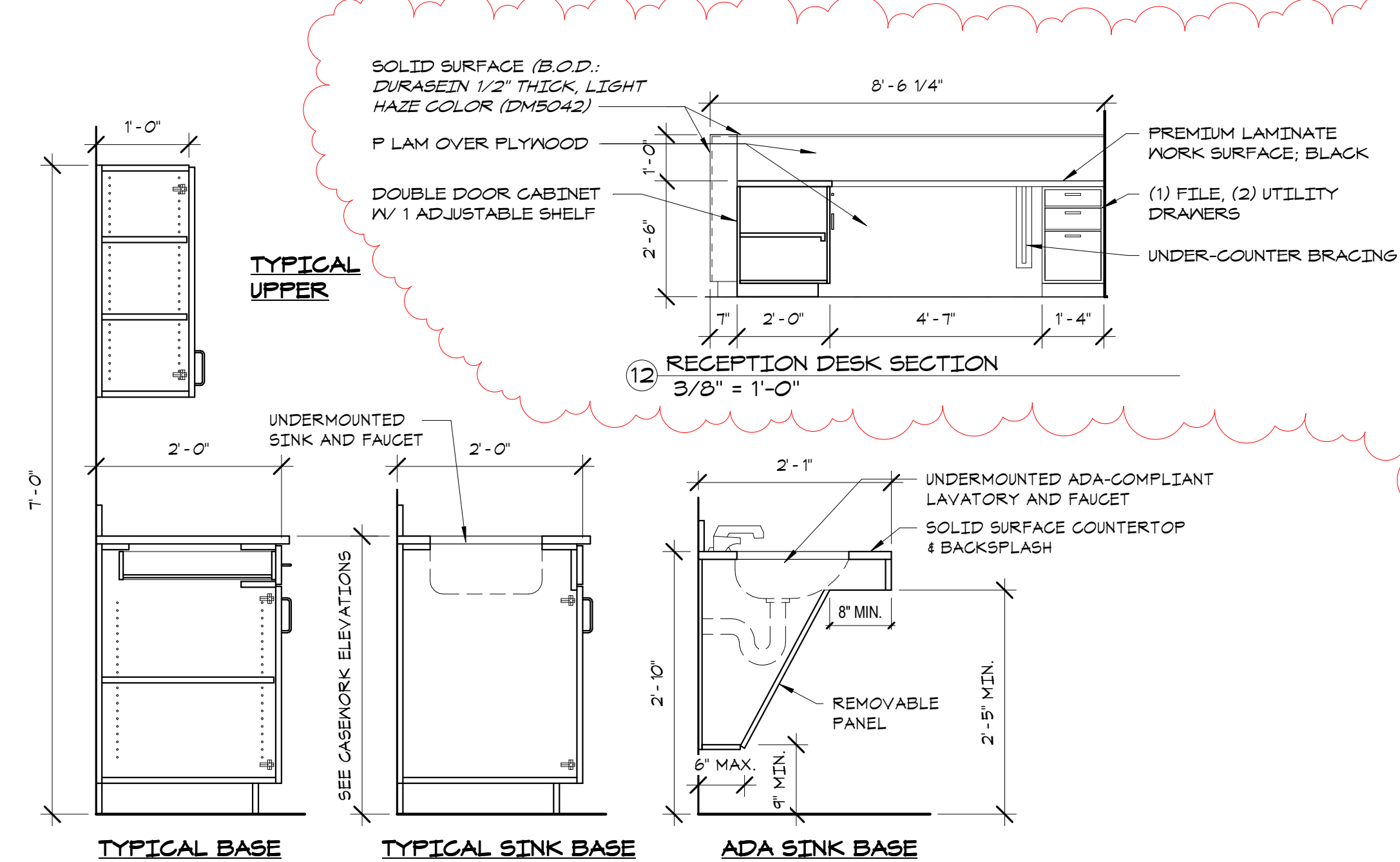
- CONTRACTOR TO VERIFY ALL FINISHES WITH OWNER PRIOR TO ORDERING.
- ALL WALLS WITH PLUMBING FIXTURES SHALL RECEIVE MOISTURE-RESISTANT GYPSUM BOARD.
- PAINT DOOR FRAMES AND MISC. METAL WITH PRIMER +2 COATS (OIL BASED) WITH SEMI GLOSS SHEEN. (DARKER COLOR THAN WALLS)
- SUBCONTRACTORS TO VERIFY ALL NOTED SQUARE FOOTAGES, SEE DIMENSIONED FLOOR PLAN.
- SEE CASEWORK NOTES FOR RELATED FINISHES.
- GYPSUM BOARD SHALL BE FINISHED PER 6A-214 "RECOMMENDED LEVELS OF GYPSUM BOARD FINISH", UNLESS OTHERWISE NOTED, FINISH LEVEL SHALL BE LEVEL 3 AT CEILINGS AND LEVEL 4 WALLS.
- "UTILITY ROOM 202" SHALL RECEIVE LEVEL 2 GYP BD ONLY.



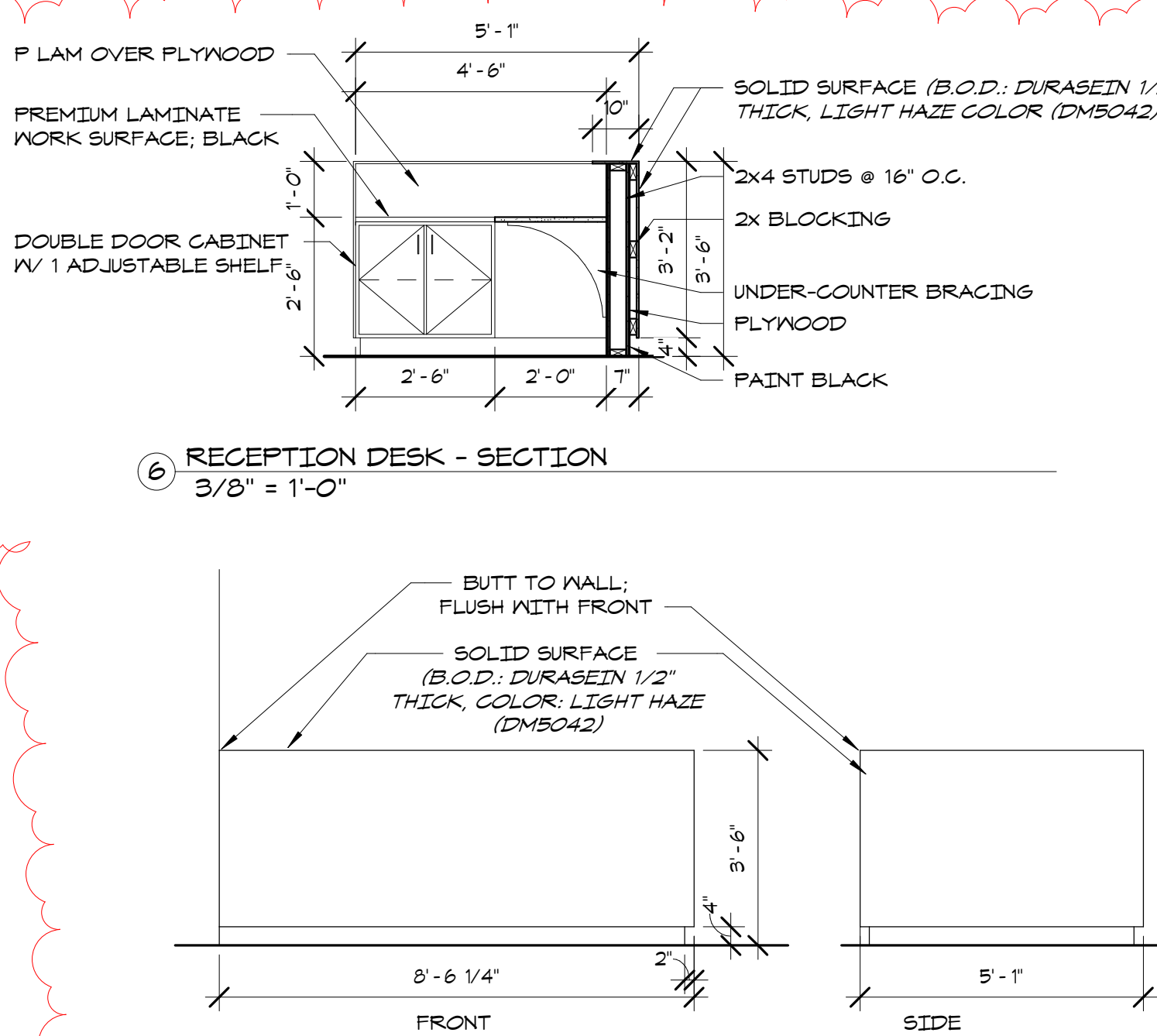
10 ENLARGED PLAN - TOILET 105  
1/2" = 1'-0"



7 RECEPTION DESK RENDERING  
NOT TO SCALE



8 CASEWORK SECTIONS  
3/4" = 1'-0"



5 RECEPTION DESK ELEVATIONS  
3/8" = 1'-0"

DOOR SCHEDULE										
NO.	DOOR SIZE	ELEV. MARK	DOOR TYPE	DOOR FINISH	GLAZING	FIRE RATING	FRAME TYPE	FRAME ELEV.	FRAME FINISH	COMMENTS
101A	PAIR 1 3/4" x 36" x 84"	BB	ALUMINUM	PREFINISHED	1/4" TEMPERED	NA	ALUMINUM	4	PREFINISHED	EXISTING TO REMAIN
101B	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#1
102A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#2
103A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#1
104A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#5
104B	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#5
105A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#3
106A	36" x 84" C.O.	-	-	-	-	NA	WOOD	-	PAINT	CASED OPENING
107A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#3
107B	-	-	HOLLOW CORE WOOD	PAINTED	-	NA	WOOD	3	PAINT	EXISTING TO REMAIN
108A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#2
109A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#2
201A	1 3/4" x 36" x 96"	B	ALUMINUM	PREFINISHED	1/4" TEMPERED	NA	ALUMINUM	1	PREFINISHED	HW#1
201B	PAIR 1 3/4" x 36" x 96"	CC	SOLID CORE WOOD	PREFINISHED	1/4" TEMPERED	NA	HOLLOW METAL	2	PAINT	HW#1; EXTERIOR "FRENCH DOORS";
202A	1 3/4" x 36" x 96"	A	SOLID CORE WOOD	STAINED	-	NA	HOLLOW METAL	1	PAINT	HW#4

DOOR HARDWARE SCHEDULE

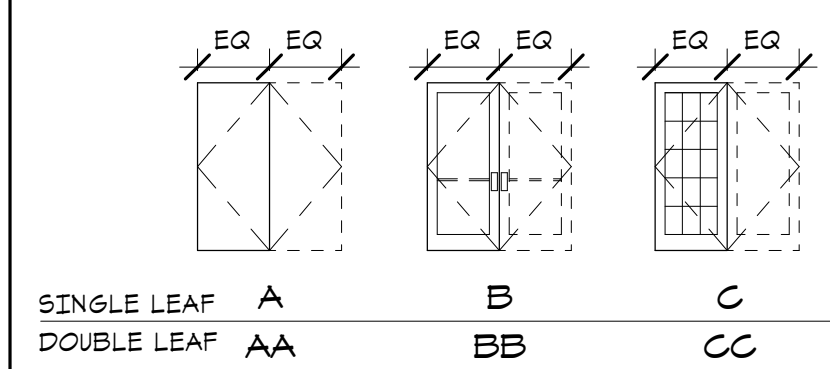
- NOTES:
- CONTRACTOR RESPONSIBLE FOR FINAL KEYING. HARDWARE SUPPLIER SHALL COORDINATE KEYING REQUIREMENTS WITH OWNER AND SUBMIT DETAILED KEYING SCHEDULE ACCORDINGLY.
  - INSTALLED HARDWARE SHALL BE A.D.A. COMPLIANT.
  - VERIFY HARDWARE FINISH WITH OWNER PRIOR TO ORDERING.
  - SIMILAR HARDWARE FROM ALTERNATE/EQUAL MANUFACTURERS MAY BE SUBMITTED TO OWNER FOR APPROVAL.

QTY.	ITEM:	DESCRIPTION:	MANUFACTURER:
HN SET #1			
3	EA	HINGE	BB12T9 4 1/2 X 4 1/2 US26D
1	EA	ENTRANCE LOCK	GP116PHL 2 3/4 ASA US26D
1	EA	DOOR CLOSER	7414 ARP COV SNB1 689/US27
1	EA	WALL STOP	236M US26D
HN SET #2			
3	EA	HINGE	BB12T9 4 1/2 X 4 1/2 US26D
1	EA	ENTRANCE LOCK	GP116PHL 2 3/4 ASA US26D
1	EA	WALL STOP	236M US26D
HN SET #3			
3	EA	HINGE	BB12T9 4 1/2 X 4 1/2 US26D
1	EA	PRIVACY LOCK	GP116PHL 2 3/4 ASA US26D
1	EA	DOOR CLOSER	7414 ARP COV SNB1 689/US27
1	EA	KICK PLATE	1405 8" X 34 3/2D
1	EA	WALL STOP	236M US26D
HN SET #4			
3	EA	HINGE	BB12T9 4 1/2 X 4 1/2 US26D
1	EA	STOREROOM LOCK	GP116PHL 2 3/4 ASA US26D
1	EA	WALL STOP	236M US26D
HN SET #5			
3	EA	HINGE	BB12T9 4 1/2 X 4 1/2 US26D
1	EA	PASSAGE LOCK	GP126PHL 2 3/4 ASA US26D
1	EA	WALL STOP	236M US26D

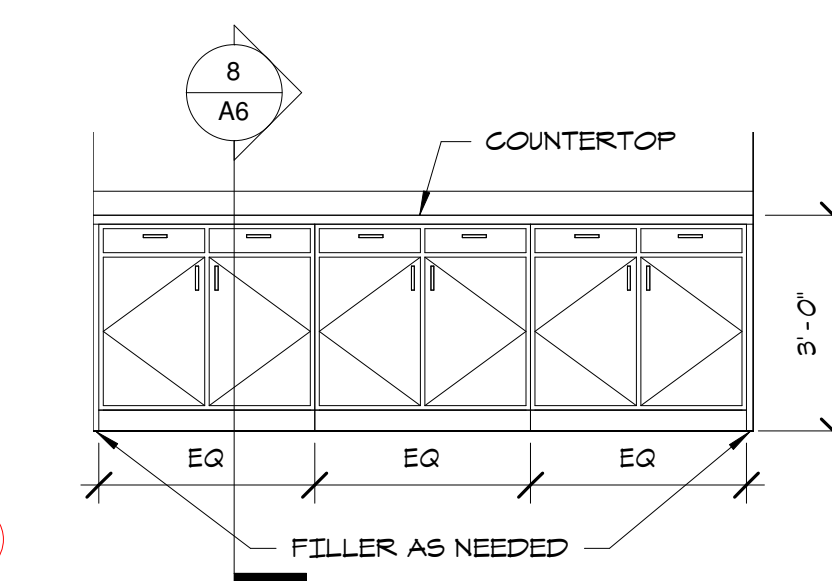
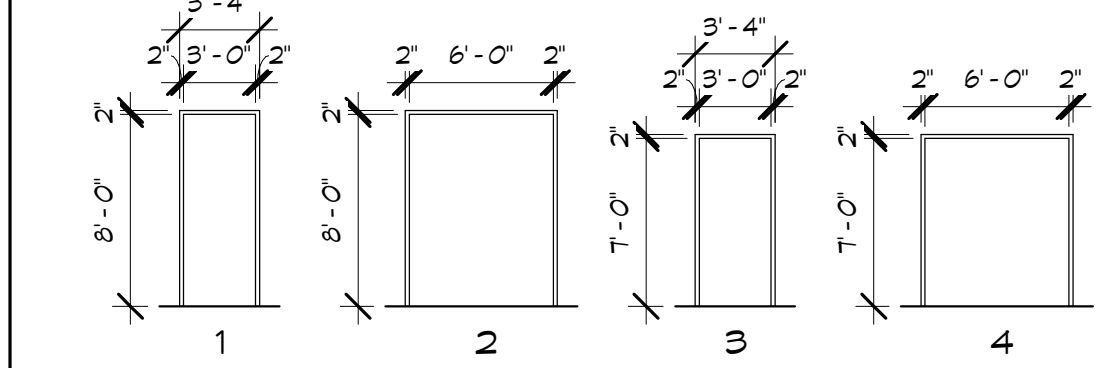
GENERAL DOOR SCHEDULE NOTES

- ALL DOORS TO BE 1 3/4" THICK UNLESS NOTED OTHERWISE.
- SEE FLOOR PLAN FOR DOOR TAGS.
- SEE HARDWARE SCHEDULE THIS SHEET.
- PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- DOOR ELEVATION MARK COLUMN WITH MULTIPLE MARKS INDICATE MULTI-LEAF DOORS. ALL LEAFS ARE TO BE EQUAL WIDTH, UNLESS NOTED OTHERWISE.
- SOLID CORE DOORS TO BE STAIN-GRADE BIRCH MOUNTED TO HOLLOW METAL FRAME

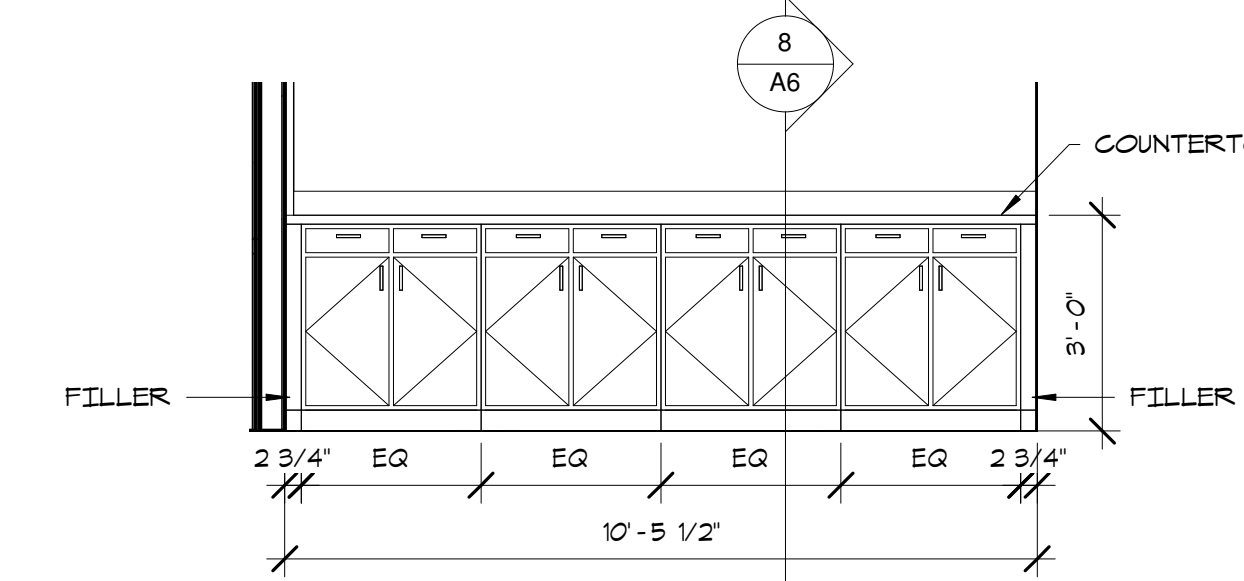
DOOR ELEVATIONS



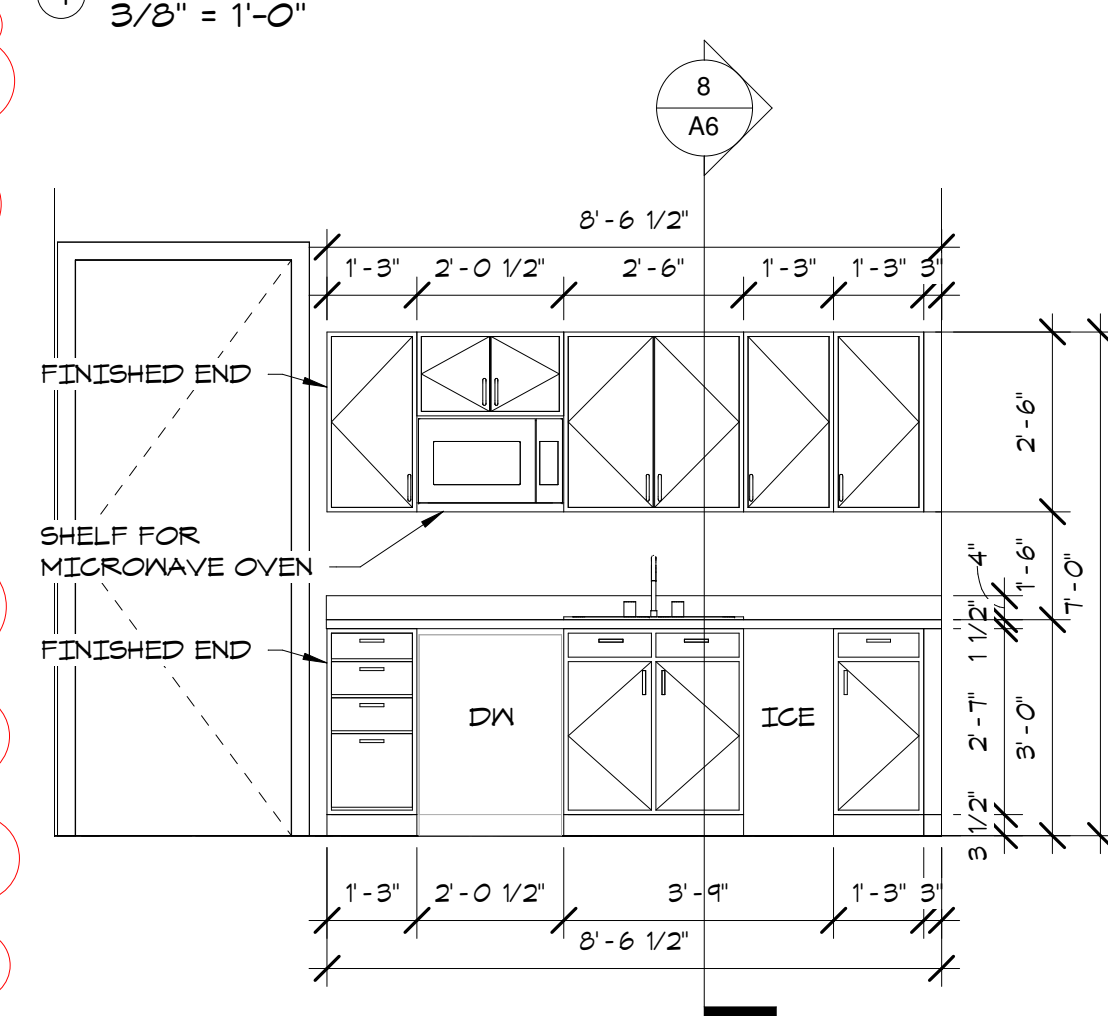
DOOR FRAME (HOLLOW METAL) ELEVATIONS



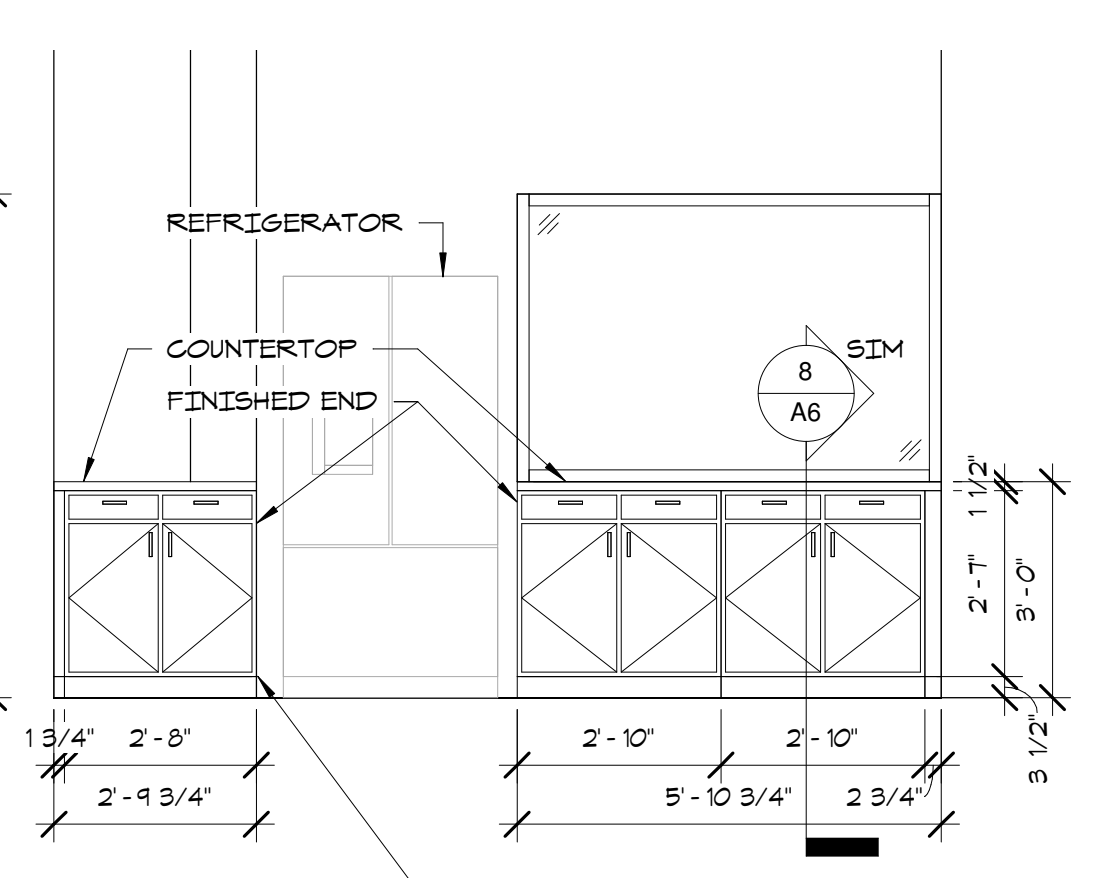
4 CW4  
3/8" = 1'-0"



2 CW3  
3/8" = 1'-0"

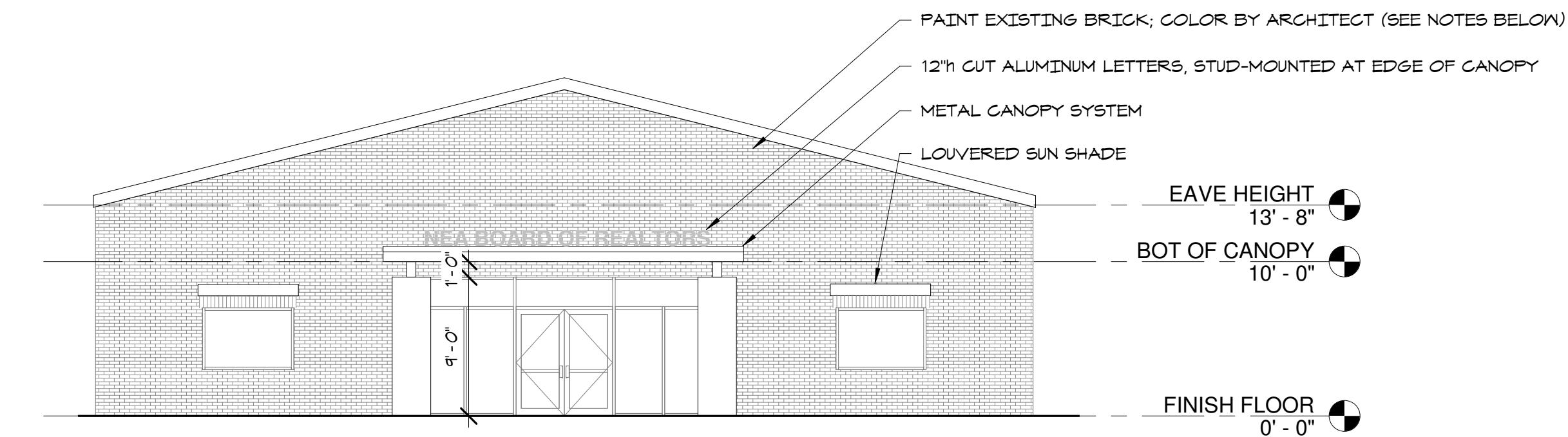
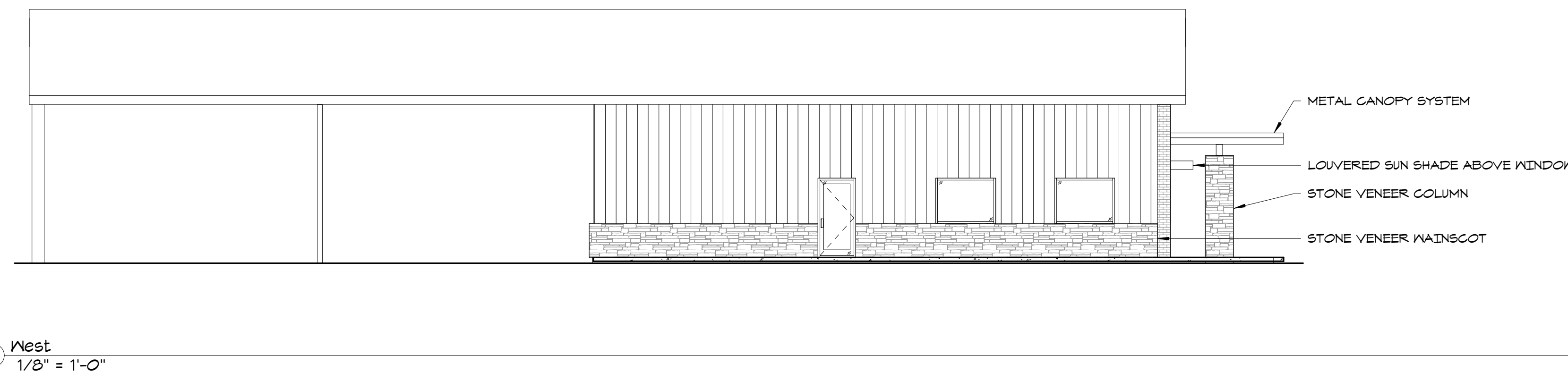
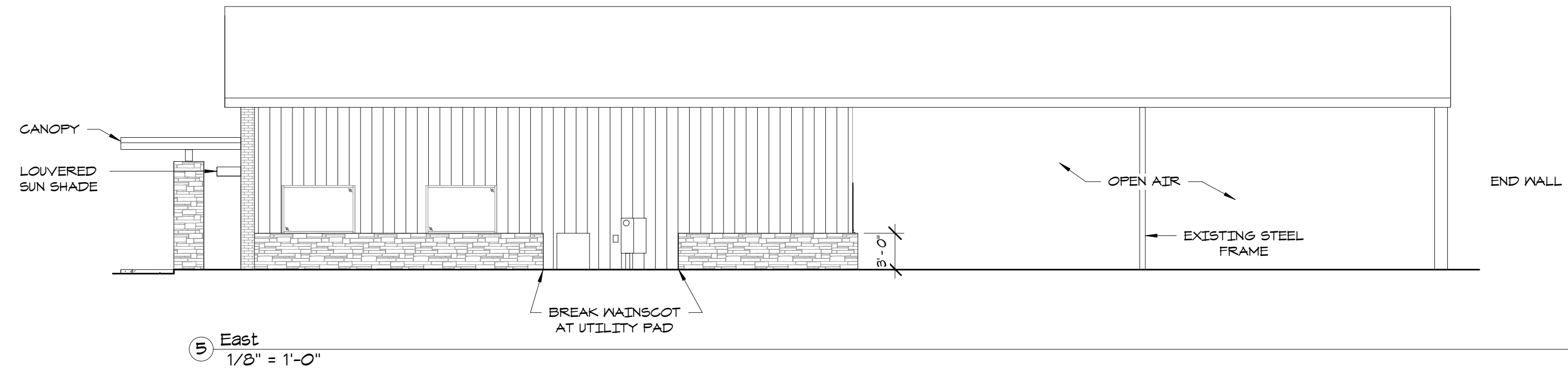
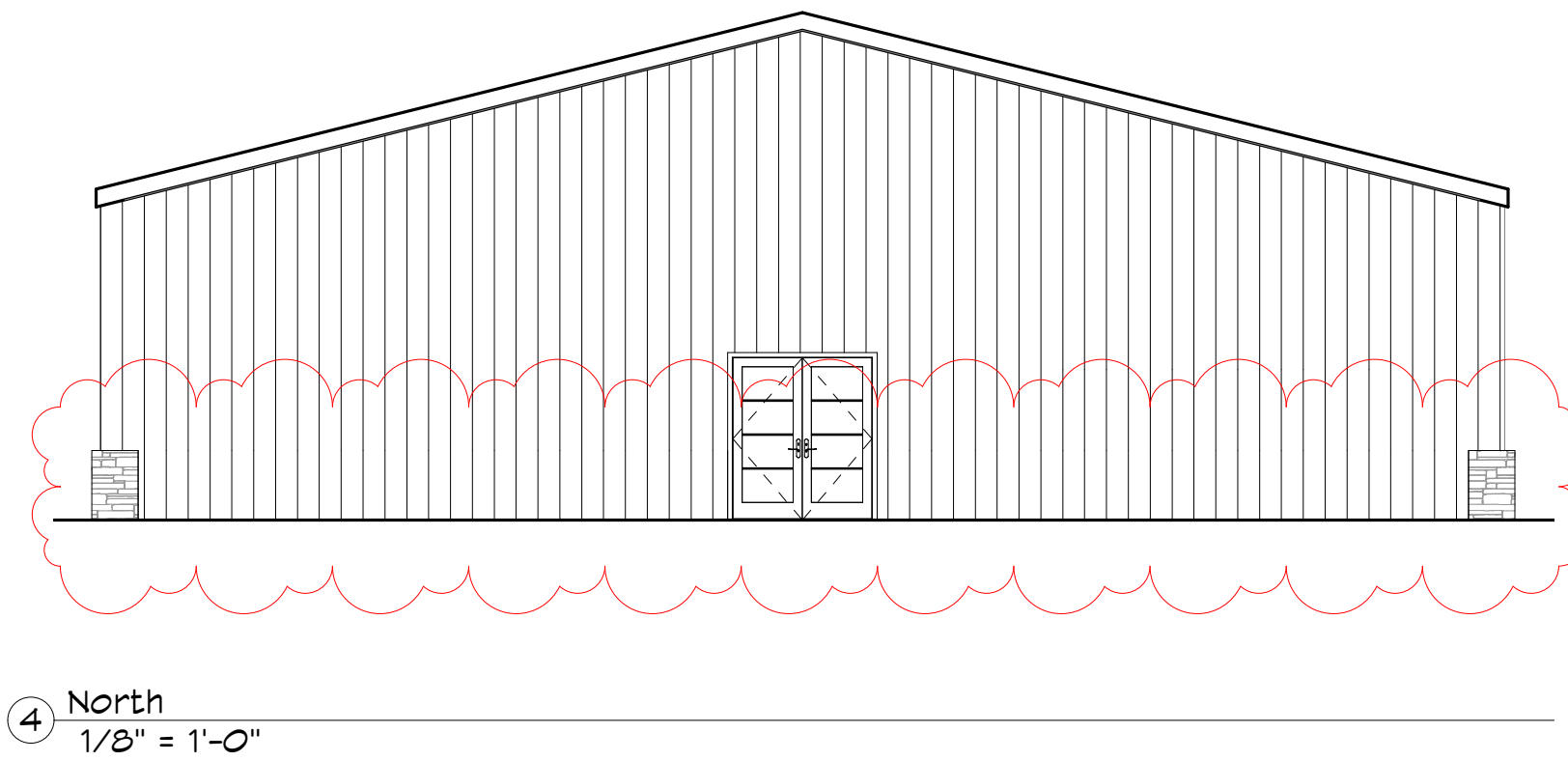


3 CW2  
3/8" = 1'-0"



1 CW1  
3/8" = 1'-0"



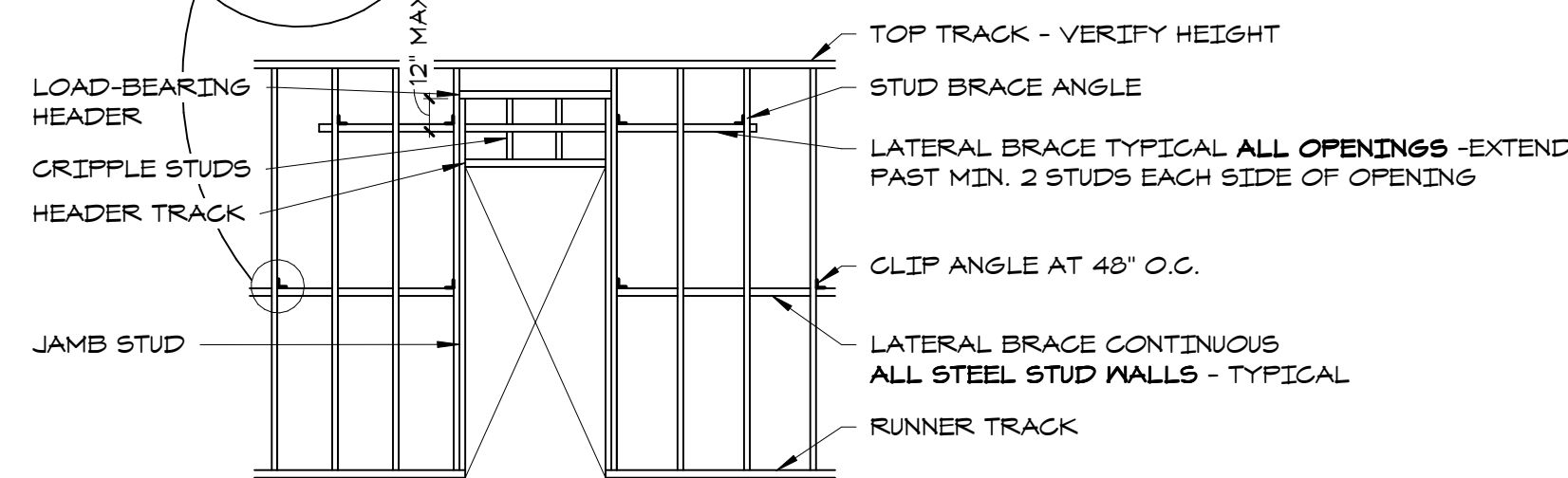
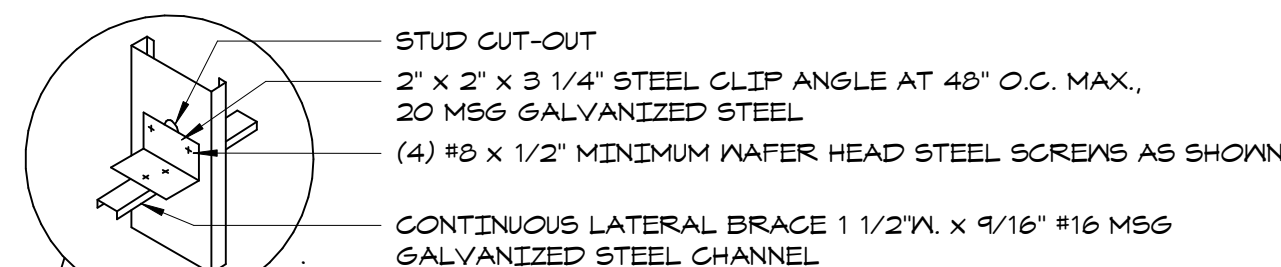


EXTERIOR PAINTING NOTES:

BEFORE PAINTING, THOROUGHLY CLEAN ENTIRE BRICK SURFACE WITH WATER AND STIFF-BRISTLED BRUSH. ANY BRICK INSTALLED RECENTLY (PATCHING HOLES AT CANOPY CONNECTION, WALL PACK REMOVAL, ETC.) SHOULD BE ALLOWED TO DRY. CHECK MORTAR FOR DAMAGE AND REPOINT BRICK IF NECESSARY. BRICK MUST BE COMPLETELY DRY FOR PAINT TO ADHERE SUCCESSFULLY. DELAY PAINTING AT LEAST 24 HOURS AFTER CLEANING.

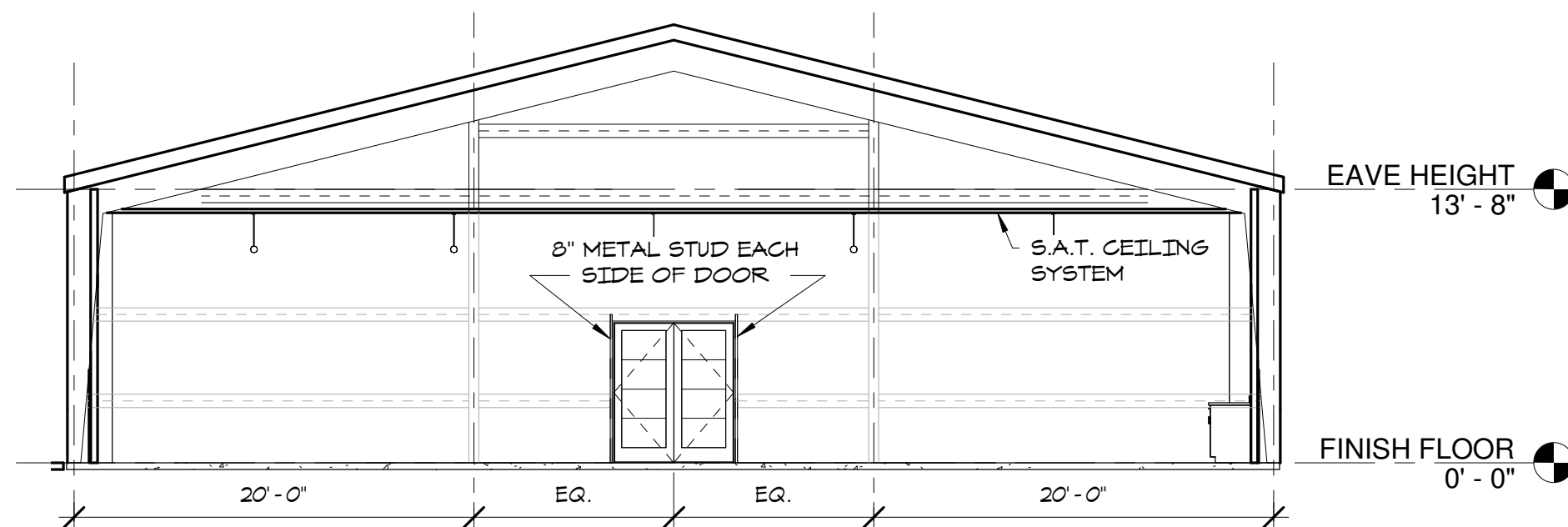
- FIRST COAT: BENJAMIN MOORE ULTRA SPEC MASONRY INTERIOR/EXTERIOR 100% ACRYLIC MASONRY SEALER 608 (46 G/L), MPI #3
- SECOND COAT: AURA WATERBORNE EXTERIOR SEMI-GLOSS FINISH 632 (46 G/L)
- THIRD COAT: BENJAMIN MOORE AURA WATERBORNE EXTERIOR SEMI-GLOSS FINISH 632 (46 G/L)

(ALTERNATIVE PAINT MAY BE SUBMITTED FOR APPROVAL)

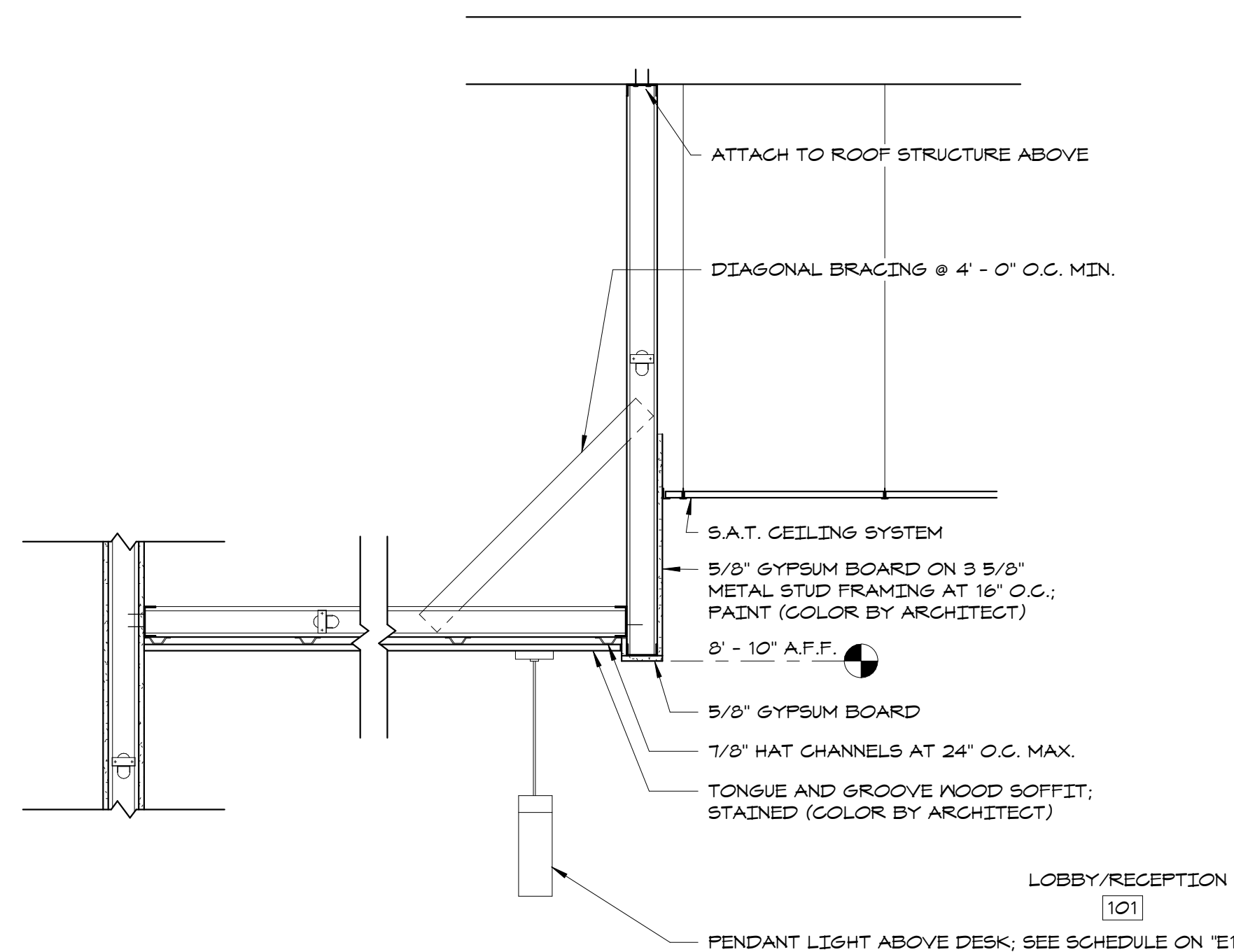


BRACING REQUIRED AT ALL METAL STUD WALL AREAS

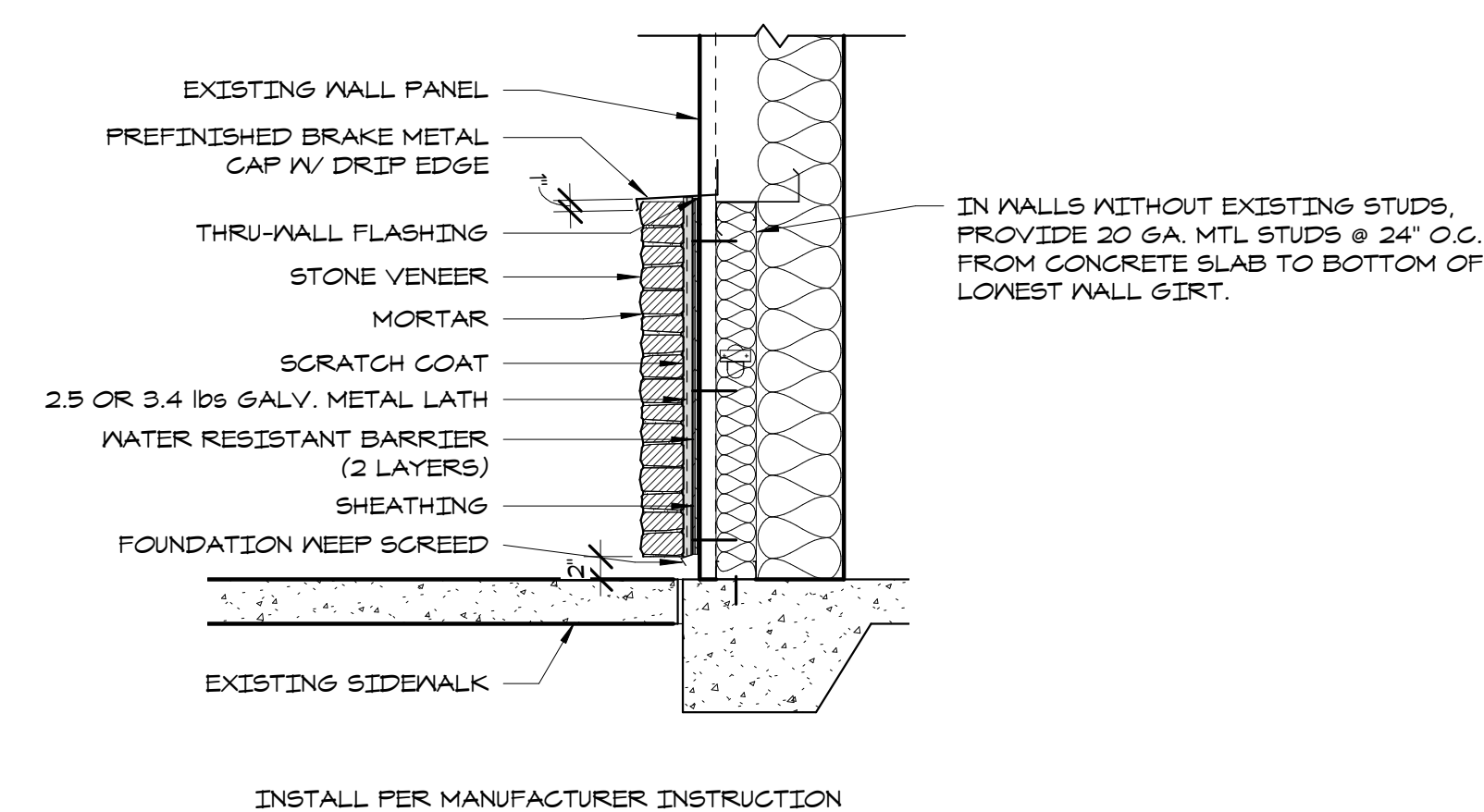
STEEL STUD LATERAL BRACE LOCATIONS  
1/4" = 1'-0"



SECTION @ TRAINING ROOM 201  
1/8" = 1'-0"



SECTION @ SOFFIT ABOVE RECEPTION DESK  
3/4" = 1'-0"



STONE VENEER MAINSCOT @ METAL PANEL  
3/4" = 1'-0"