

ADDENDUM NO. 4

New Regional Office for
First Community Bank
HWY. 62/412 AND BIG CREEK ROAD
Jonesboro, AR

Roark · Perkins · Perry · Yelvington
Architects
713 W. 2nd Street
Little Rock, AR 72201
501-372-0272

Project #1711

January 27, 2023

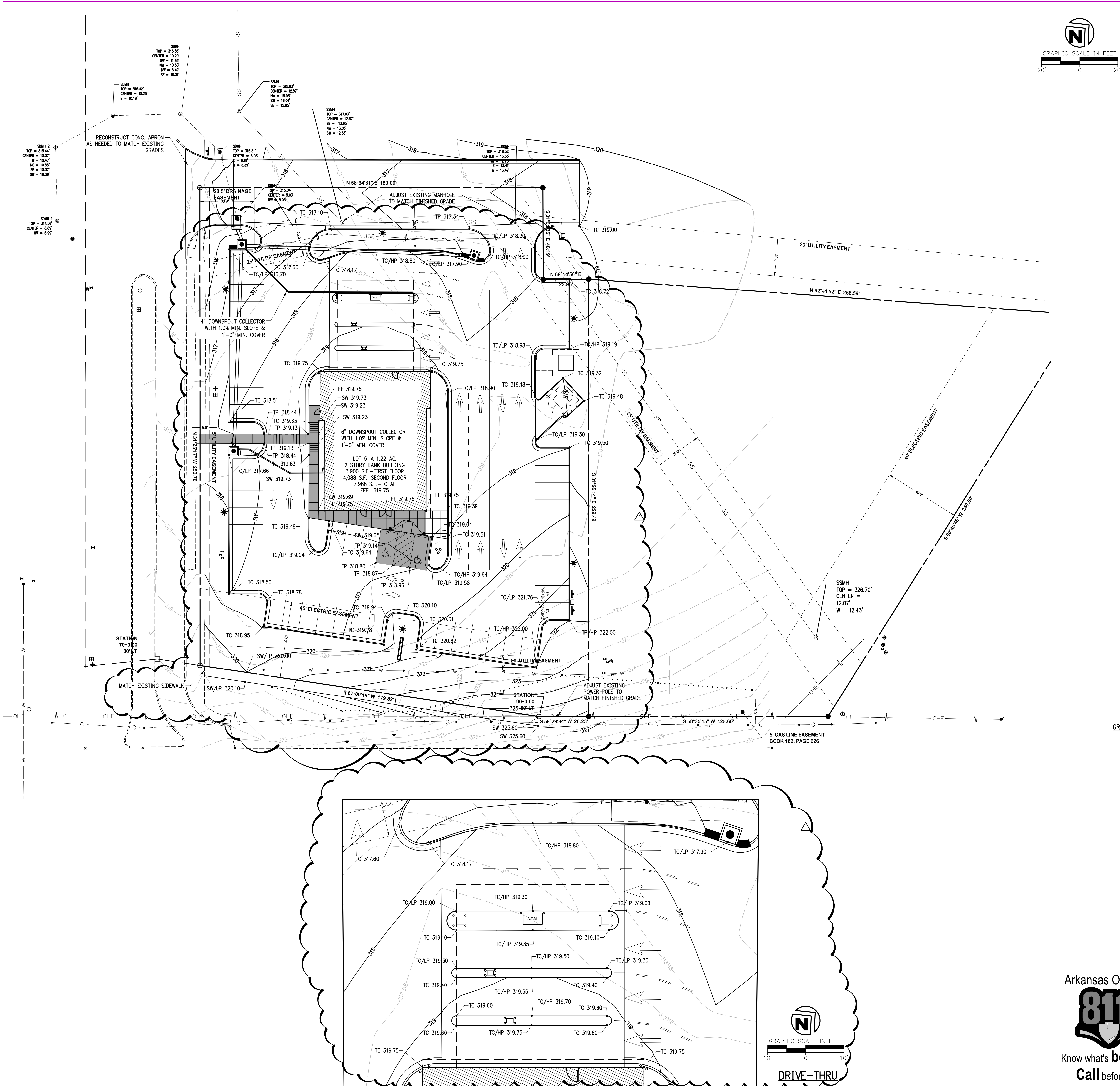
This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated December 7, 2022 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This addendum consists of 1 page, and 6 reissued Sheets, C1.1, C1.2, C1.3, C2.1, L1.1, and LI1.1.

I. CHANGES TO DRAWINGS

- A. Refer to attached reissued Sheets C1.1, C1.2, C1.3, C2.1, L1.1, and LI1.1 for revised site design.

END OF ADDENDUM



GRADING AND DRAINAGE NOTES

1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING START.
4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
8. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H200 LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
19. IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND REPLACEMENT OF A FRENCH DRAIN SYSTEM.
20. CRAFTON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED MINIMUM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IN THIS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT ESTABLISHED AND NOTED, THE ULTIMATE RESPONSIBILITY FOR THE PROPER GRADING OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S OWNER. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD BE AT LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB ELEVATION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS REQUIRED BY LOCAL AND STATE CODES.

ACCESSIBILITY NOTES

- INDICATES ACCESSIBLE ROUTE.
1. THE AREAS ON THIS SHEET INDICATED BY THIS HATCH PATTERN ARE CONSIDERED AN ACCESSIBLE ROUTE AND SHALL MEET THE LATEST EDITIONS AND GUIDELINES PROVIDED BY THE FAIR HOUSING ACT (FHA) AND/OR THE AMERICANS WITH DISABILITIES ACT (ADA).
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THESE PLANS AND THE FHA/ADA GUIDELINES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY IN THE DETAILS AND GRADES PROVIDED ON THE GRADING PLAN PRIOR TO PLACING ANY CONCRETE.
 3. THE MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2% FOR ANY ACCESSIBLE ROUTE.
 4. THE MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% FOR AN ACCESSIBLE ROUTE UNLESS A RAMP IS PROVIDED THAT MEETS THE REQUIREMENTS OF AN ACCESSIBLE ROUTE (SEE DETAILS).
 5. THE MAXIMUM SLOPE OF AN ACCESSIBLE PARKING STALL NOT EXCEED 2% IN ANY DIRECTION.
 6. ACCESSIBLE ROUTE DETAILS FOR SIDEWALKS, CROSSWALKS, RAMPS, HANDRAILS, AND HANDICAP PARKING STALLS ARE PROVIDED ON SHEETS C-5.1/C5.2.
 7. NEITHER THE OWNER NOR THE ENGINEER WILL MAKE EXHAUSTIVE CHECKS OF THE CONTRACTOR'S WORK ON THE ACCESSIBLE ROUTES. RATHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THE PLANS AND DETAILS TO ENSURE COMPLIANCE WITH THE FHA/ADA.
 8. AT HIS OWN EXPENSE, THE CONTRACTOR SHALL REMOVE AND REPLACE ANY SECTIONS OF AN ACCESSIBLE ROUTE THAT EXCEED THE MAXIMUM GRADES. THIS SHALL BE STRICTLY ENFORCED.

GRADING PLAN SPOT ELEVATIONS

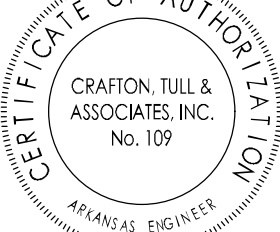
FG	FINISHED GRADE
TW	TOP WALL
BW	BOTTOM WALL
FL	FLOW LINE
TC	TOP CURB
G	GUTTER
SW	SIDEWALK
TP	TOP PAVEMENT
X	EXISTING GRADE

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PERRY
YELVINGTON
ARCHITECTURE · INTERIOR DESIGN
713 W. SECOND STREET · LITTLE ROCK, AR 72201-2297
501.572.5895

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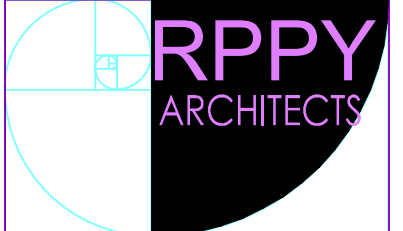


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No. Revision Date

Revision Schedule

GRADING PLAN



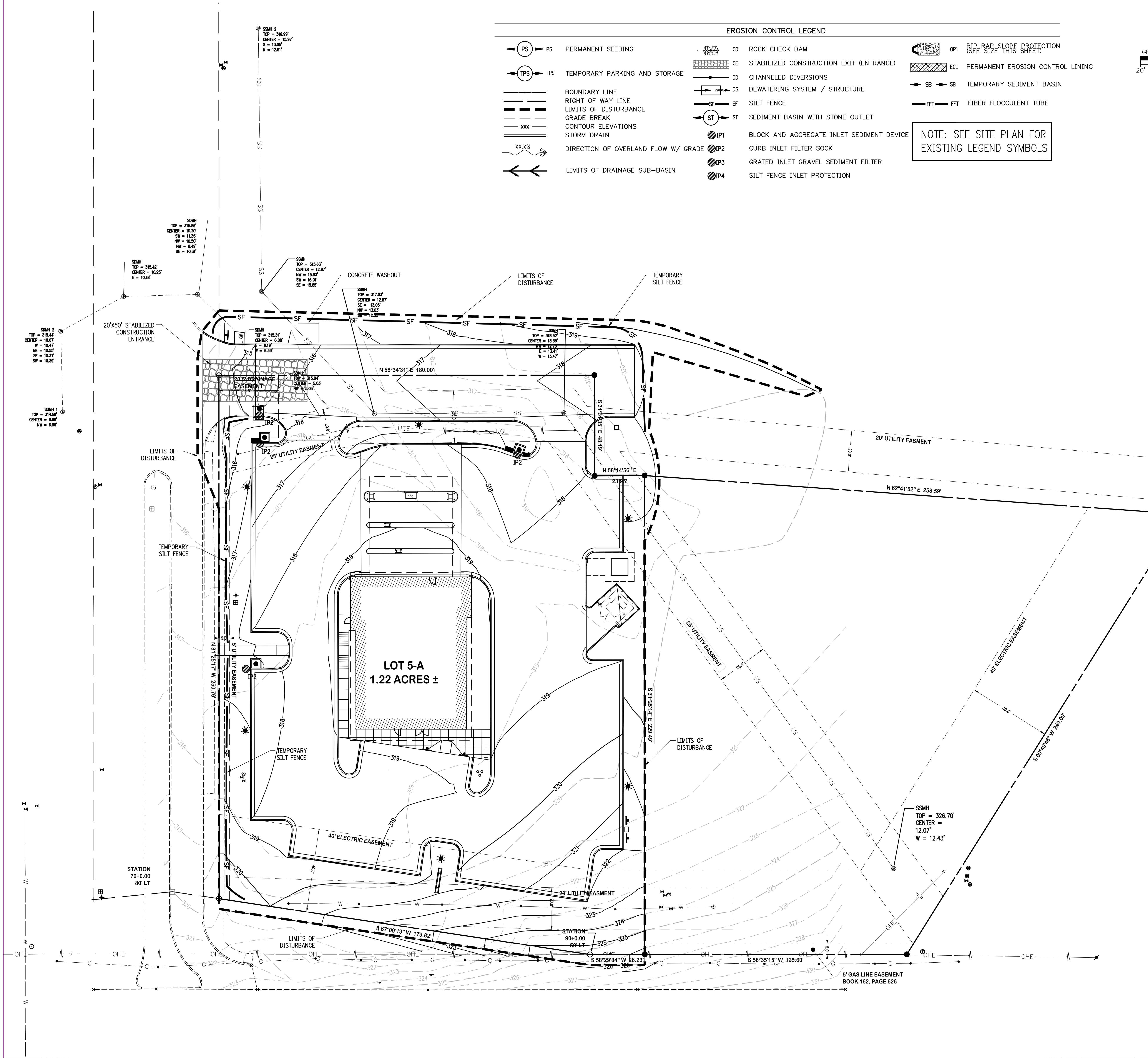
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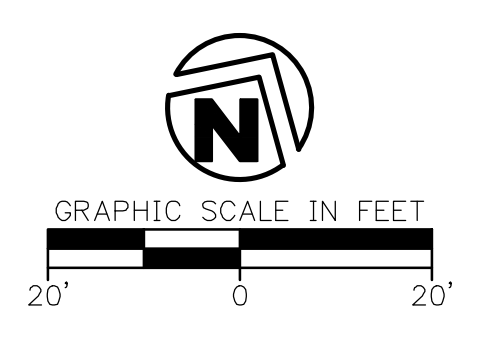
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EROSION CONTROL LEGEND

PS	PERMANENT SEEDING	CD	ROCK CHECK DAM	CE	STABILIZED CONSTRUCTION EXIT (ENTRANCE)	CP1	RIP RAP SLOPE PROTECTION (SEE SIZE THIS SHEET)
TPS	TEMPORARY PARKING AND STORAGE	DS	CHANNELED DIVERSIONS	EOL	PERMANENT EROSION CONTROL LINING	SB	TEMPORARY SEDIMENT BASIN
	BOUNDARY LINE	FFT	FIBER FLOCCULENT TUBE	ST	SEDIMENT BASIN WITH STONE OUTLET		
	RIGHT OF WAY LINE						
	LIMITS OF DISTURBANCE						
	GRADE BREAK						
	CONTOUR ELEVATIONS						
	STORM DRAIN						
	DIRECTION OF OVERLAND FLOW W/ GRADE						
	LIMITS OF DRAINAGE SUB-BASIN						
		IP1	BLOCK AND AGGREGATE INLET SEDIMENT DEVICE				
		IP2	CURB INLET FILTER SOCK				
		IP3	GRATED INLET GRAVEL SEDIMENT FILTER				
		IP4	SILT FENCE INLET PROTECTION				


NOTE: SEE SITE PLAN FOR EXISTING LEGEND SYMBOLS



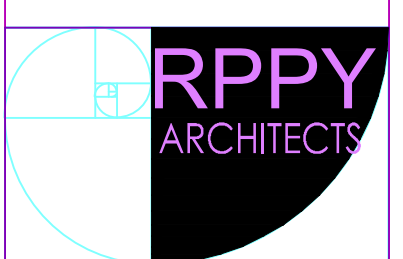
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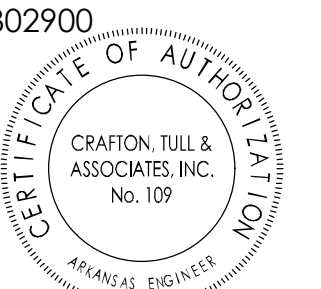
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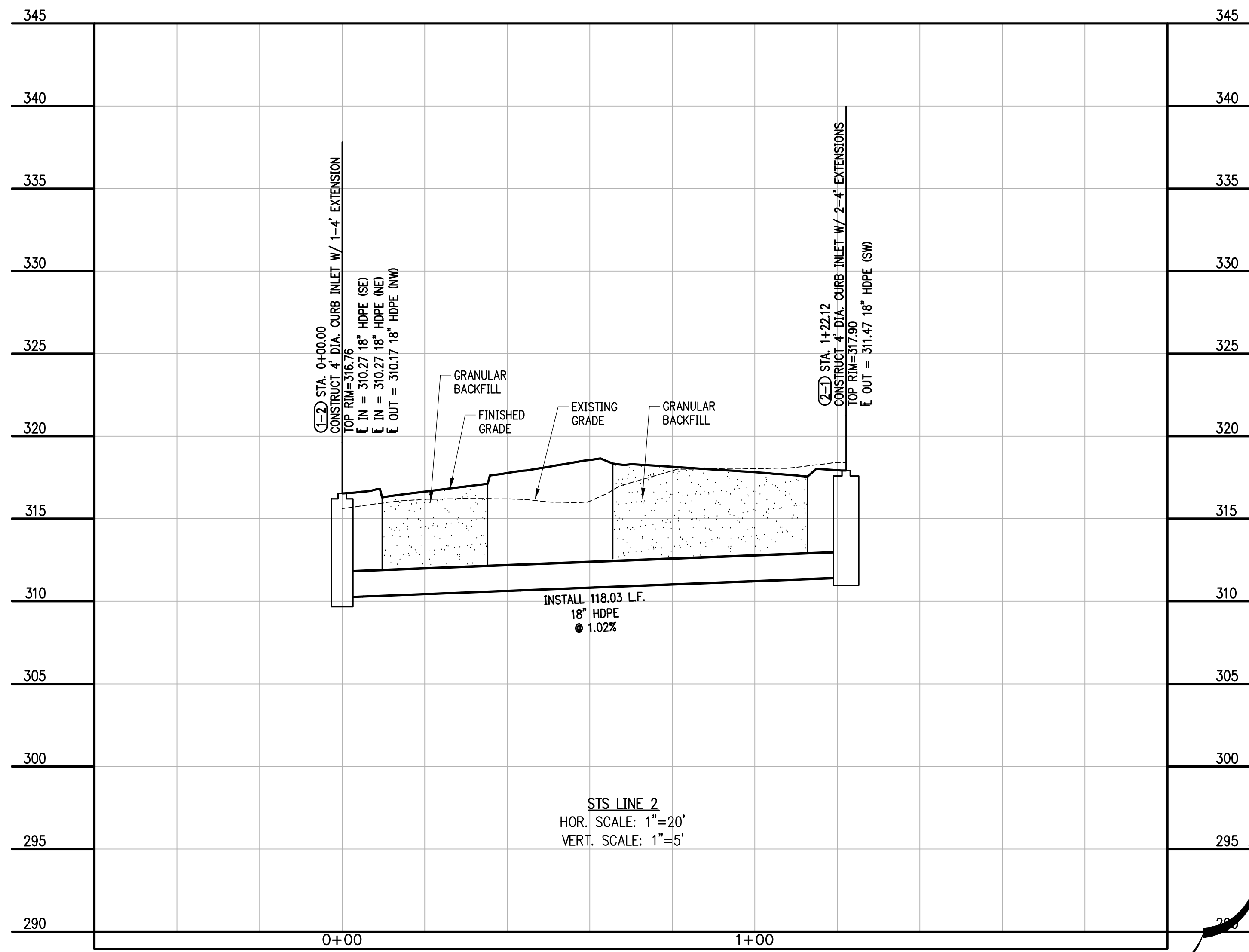
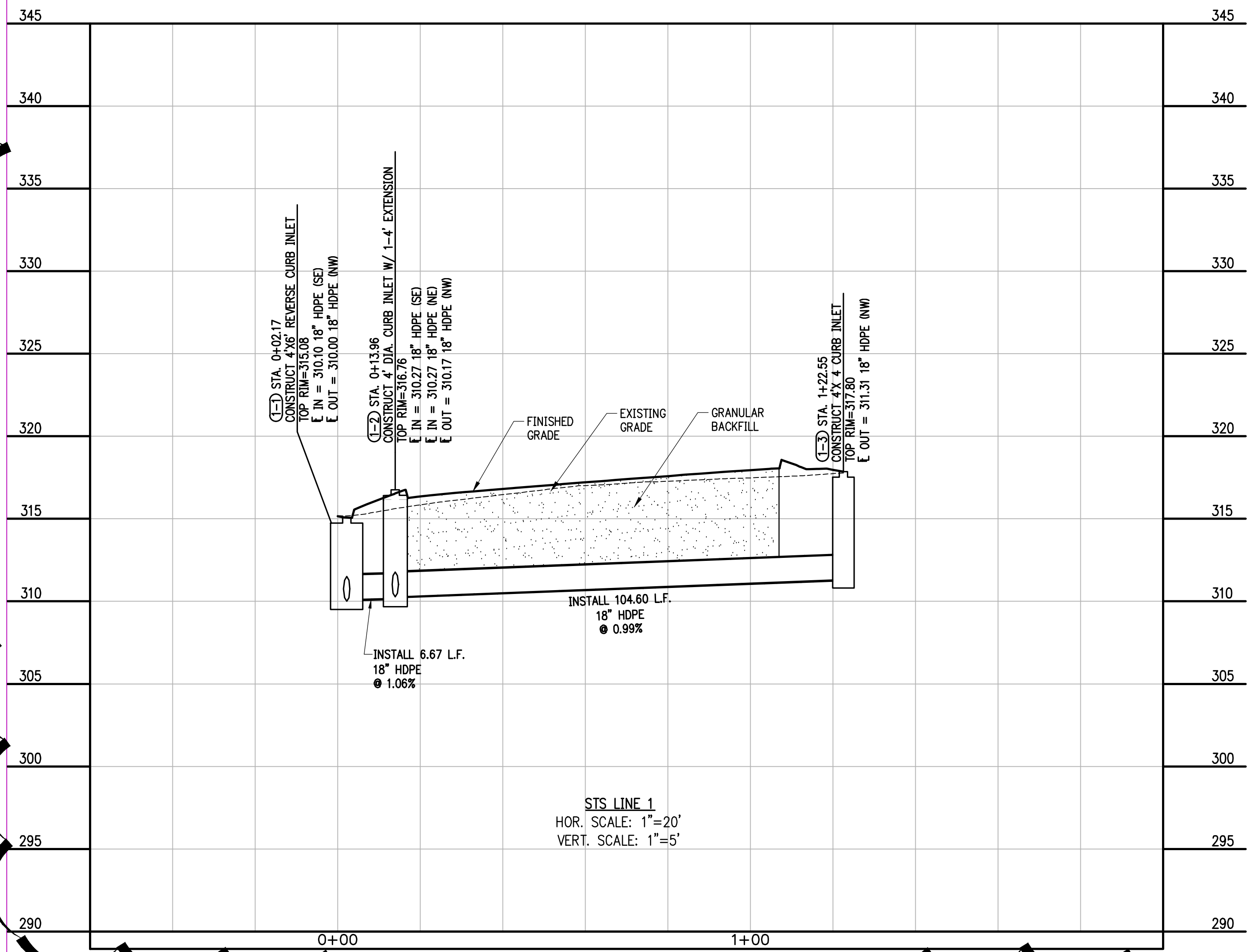
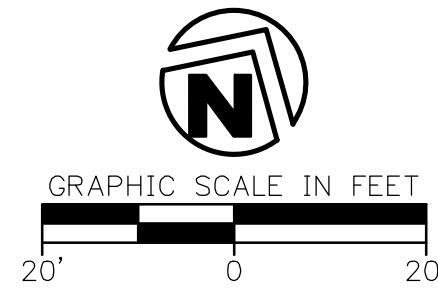
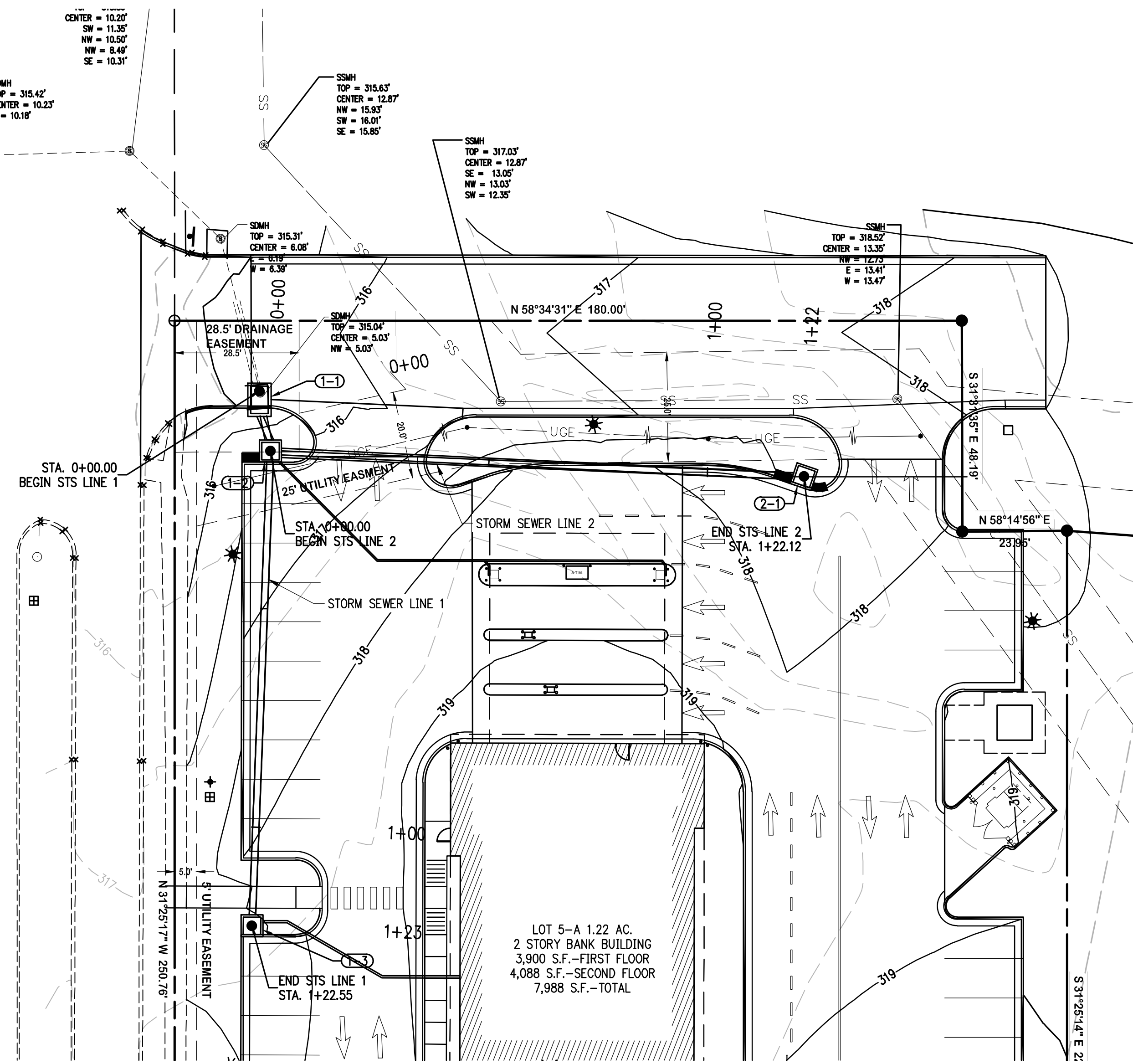
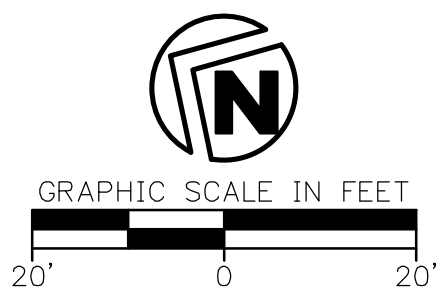
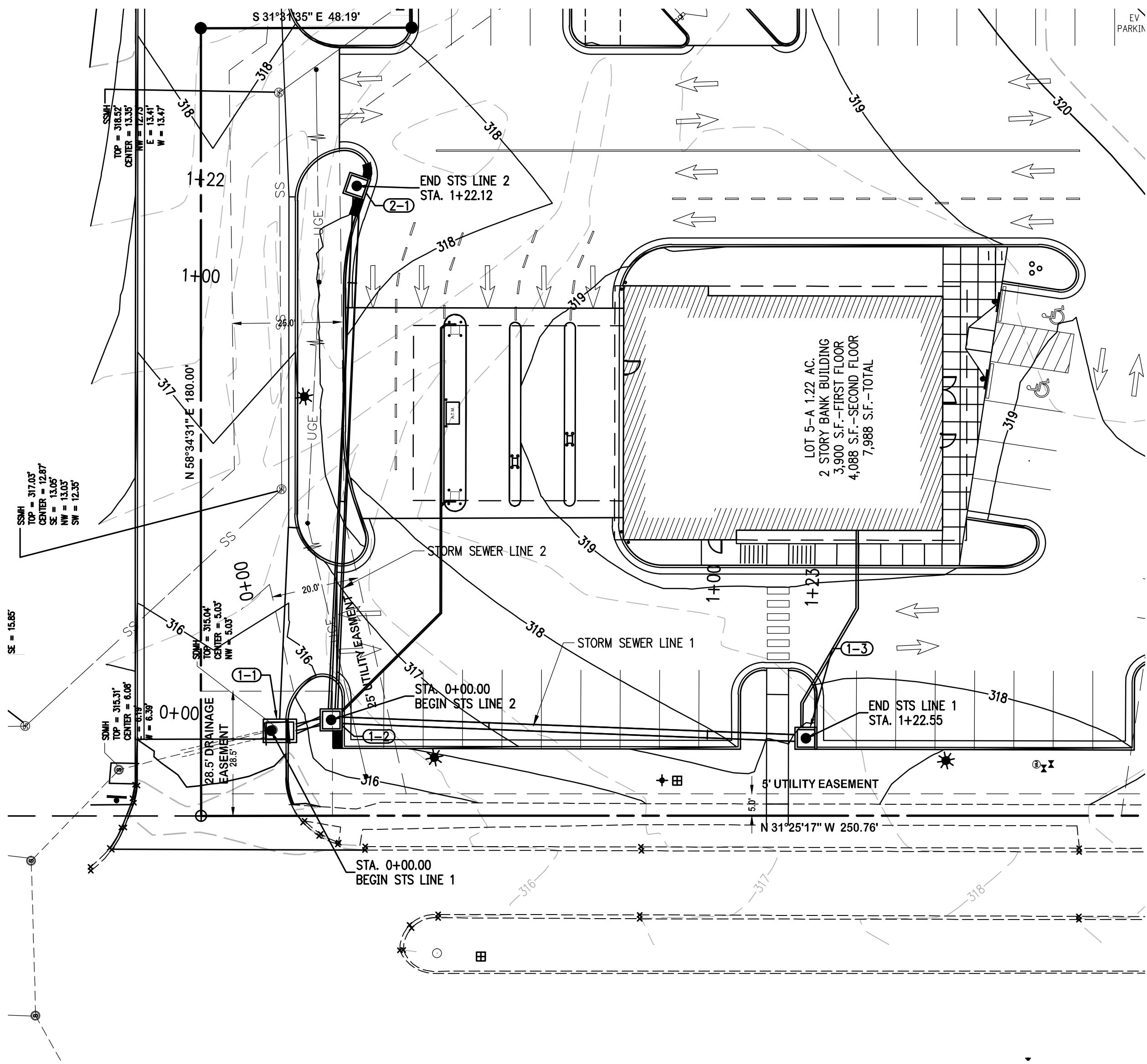
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ARCHITECTS

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A New Branch Office for First Community Bank
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STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
BRADLEY A. PETERSON
1/27/22

No.	Revision	Date
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STS P&P

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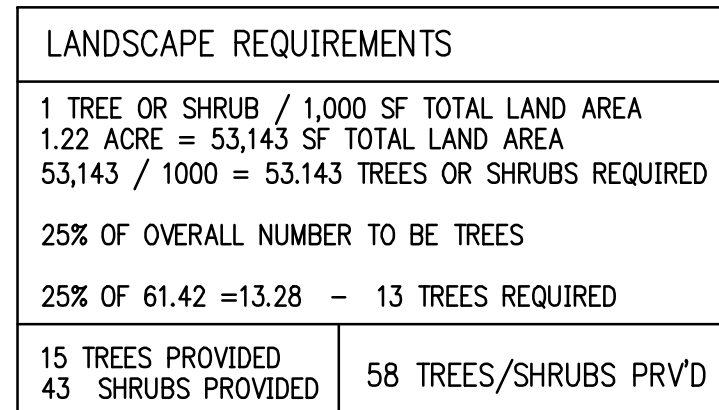
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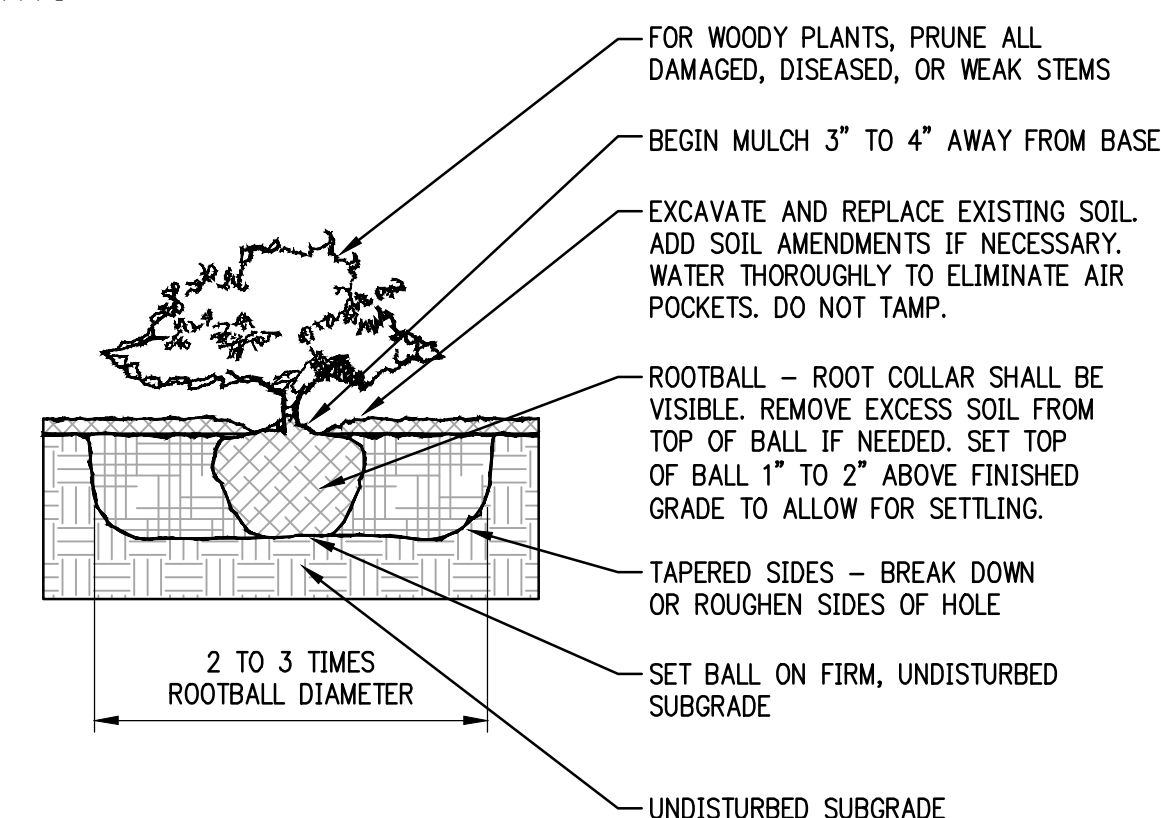


1. AREAS WHERE GROUND COVER OR SHRUB MASS PLANTINGS BORDER CURB WILL NOT HAVE EDGING.
2. CHAMFER EDGING TO BE FLUSH WITH FINISHED GRADE OF ADJACENT PAVING OR CURBS.
3. STAKE AS PER MANUFACTURER'S RECOMMENDATIONS.
4. IF EDGING EXTENDS ABOVE PAVING DUE TO SITE CONDITIONS, CHAMFER EDGE ABUTTING PAVEMENT.



NOTES TO CONTRACTOR:

1. TREE SHALL MATCH CALIPER & MIN. HEIGHT SPECIFIED IN PLANT SCHEDULE.
2. THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
3. STAKE ONLY IF NECESSARY AND AS DIRECTED BY THE ARBORIST.
4. REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
5. PRUNE ONLY DEAD/BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
6. ROOTBALL SHALL BE PLANTED WITH NO EXCESS SOIL FROM TOP OF BALL IF NEEDED.
7. SET TOP OF ROOT BALL "1" TO "2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
8. AFTER SETTING ROOT BALL IN PLANTING HOLE, PUT IN ONE (1) ROUND OF WIRE BASKETS, ROPE/TWINE, AND/OR BURLAP.
9. IF ROOT BALL BEGINS FALLING APART DURING INSTALLATION OR REMOVAL OF WIRE BASKETS/BURLAP, PEEL WIRE AND/OR BURLAP BACK TO EXPOSE ROOT BALL AND REMOVE, ONLY PEELED-BACK MATERIAL



NTS

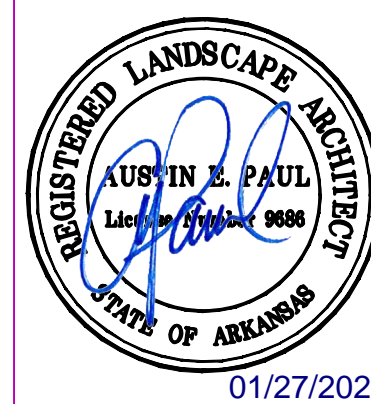
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| <p>1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK BY CONTACTING THE ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY INFORMATION, SITE DEVELOPMENT PLAN AND RECORD DRAWINGS.</p> <p>2. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK. ANY DAMAGES TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF LANDSCAPE CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT NO COST TO OWNER.</p> <p>3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN (CONTAINER OR BALLED & BURLAPPED) AND SHALL MEET OR EXCEED THE SIZE AND GRADING REQUIREMENTS ESTABLISHED BY THE LATEST EDITION OF "LANDSCAPE TREES STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.</p> <p>4. ALL PLANT MATERIALS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND/OR DISEASE. ALL PLANT MATERIALS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER CONSTRUCTION.</p> <p>5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS PRIOR TO PRICING THE WORK.</p> <p>6. LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAAYOUT OR QUANTITY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.</p> <p>7. NO CHANGES TO THE LANDSCAPE SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND/OR THE CITY OF CHICAGO. ANY CHANGES MUST BE IN THE SAME CRITERIA FOR TYPE, SIZE, AND FUNCTION AS THOSE SHOWN ON LANDSCAPE PLAN.</p> <p>8. PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED UNLESS APPROVED ORIGINALLY BY THE OWNER.</p> <p>9. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED. </p> | <p>10. ALL LAWN AREAS SHALL RECEIVE 4" OF TOPSOIL. MEET TO FINAL GRADE IN ACCORDANCE WITH GRADING PLAN.</p> <p>11. ALL PLANTING BED AREAS SHALL BE PREPARED BY REMOVING EXISTING SOIL AND WEEDS. PLANTING BEDS SHALL RECEIVE 6" OF TOPSOIL. MEET TO ENHANCE FAVORABLE GROWING CONDITIONS. SOIL MIX SHALL BE TILLED INTO BED AREA TO A MINIMUM DEPTH OF 12".</p> <p>12. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 3" SHREDED HAIRPIN MULCH. ALL TREES NOT INSTALLED IN PLANTING BEDS SHALL RECEIVE A MULCHER SAUCER PER DETAIL.</p> <p>13. CONTRACTOR TO FIELD VERIFY THE LIMITS OF DISTURBANCE. ALL DISTURBED AREAS MUST BE STABILIZED PER CITY CODE PRIOR TO PROJECT CLOSE-OUT.</p> <p>14. THE LANDSCAPE SHALL BE MAINTAINED FOR ONE YEAR. REFER TO PLANT SCHEDULE, LANDSCAPE NOTES, AND HYDROSEEDING NOTES FOR SPECIES AND INSTALLATION REQUIREMENTS.</p> <p>15. ALL SLOPES OF 4:1 OR GREATER SHALL RECEIVE SOIL. ON SLOPES OF 4:1 OR GREATER, SOIL SHALL BE STAPLED IN PLACE.</p> <p>16. ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREETS AND ALL SITE ENTRANCES/EXITS PER CITY CODE.</p> <p>17. ALL PLANTING DETAILS SHALL BE INSTALLED IN ACCORDANCE WITH THE CONTRACT. ALL SUBMIT LAIOUT TO LANDSCAPE ARCHITECT FOR APPROVAL. (UNLESS APPROVED, LANDSCAPE CONTRACTOR SHALL CONFIRM LOCATION OF PLANNED IRRIGATION LINE WITH THE IRRIGATION CONTRACTOR.)</p> <p>18. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) IN ALL PLANTING AREAS AND LAWN AREAS UNTIL THE WORK IS APPROVED AND ACCEPTED IN TOTAL BY OWNER.</p> |
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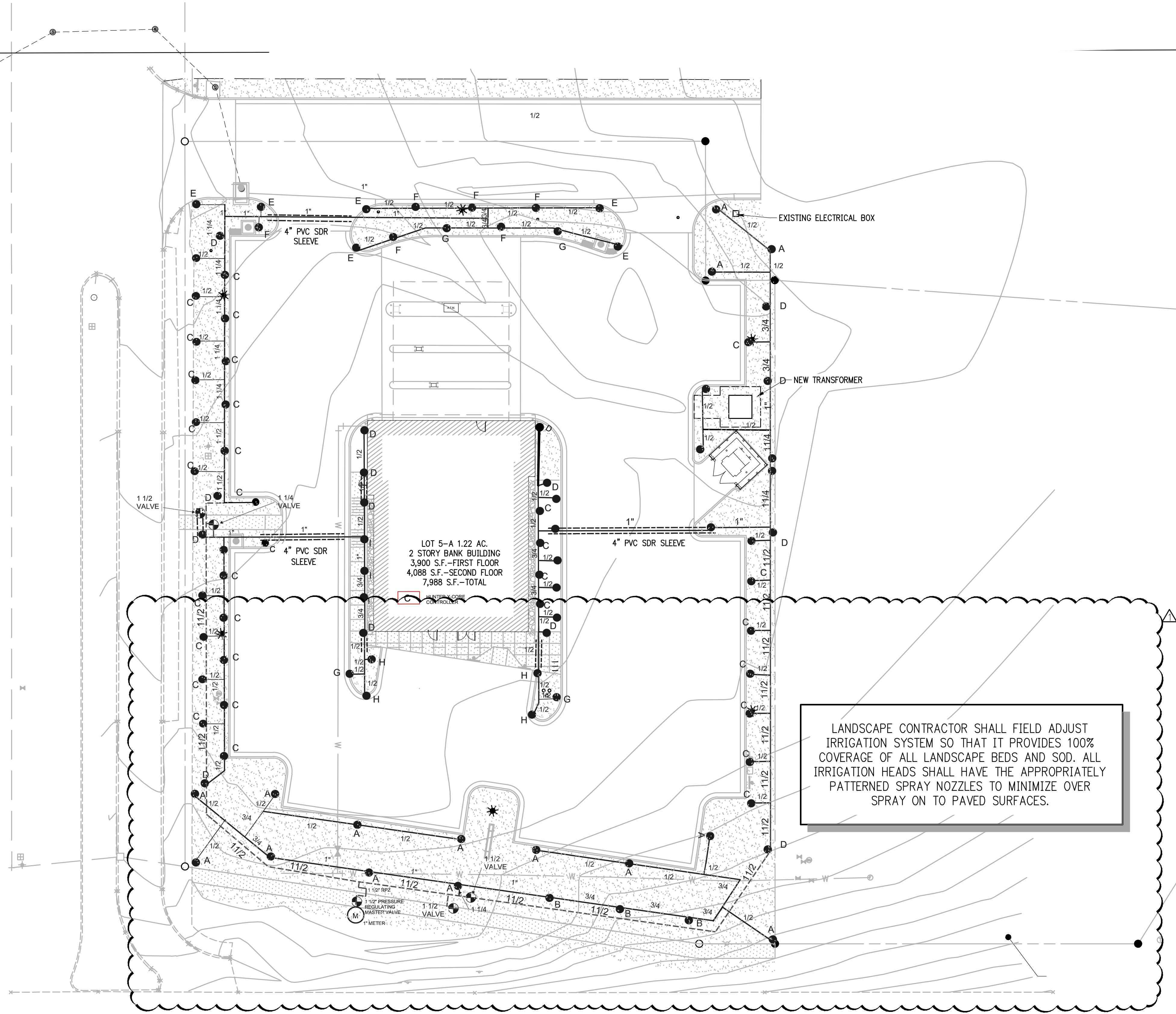
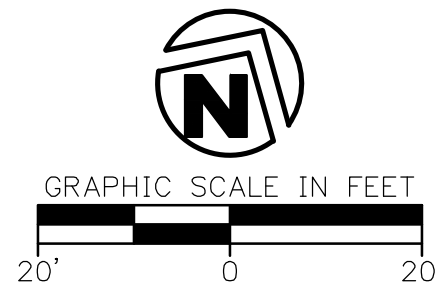
LANDSCAPE
PLAN

12-07-22	1711
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L1.1 R1	12
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IRRIGATION SCHEDULE	
A	HUNTER MP3000 ROTATOR
B	HUNTER MP1000 ROTATOR
C	SIDE STRIP PRS 30 HEADS
D	END STRIP PRS 30 HEADS
E	12' 120' PRS 30 HEADS
F	12' 180' PRS 30 HEADS
G	12' 240' PRS 30 HEADS
H	12' 90' PRS 30 HEADS
I	CENTER STRIP PRS 30 HEADS

----- MAIN

----- CIRCUIT LINE

----- 4" PVC SDR SLEEVE

● HEAD

● HUNTER PGV VALVES

MINIMUM PRESSURE REQUIRED 60 PSI

MINIMUM VOLUME 50 GPM

IRRIGATION NOTES

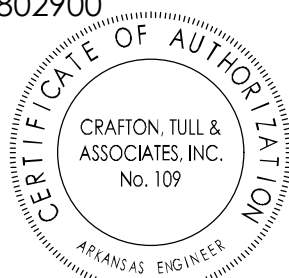
- 4" SCHEDULE 40 PVC TO BE PLACED UNDER SIDEWALKS, DRIVEWAYS, ETC. FOR IRRIGATION SLEEVING.
- INSTALL CONTROLLER INSIDE BUILDING AS DIRECTED BY THE GENERAL CONTRACTOR.
- FIBERGLASS ENCLOSURE TO BE INSTALLED OVER RPZ ASSEMBLY.
- VALVE BOXES TO BE INSTALLED AT ALL VALVE LOCATIONS.
- ALL SPRAY HEADS IN PLANTING BEDS TO BE 12" POP-UPS. ALL SPRAY HEADS IN LAWN AREAS TO BE 4" POP-UPS.
- ALL FEES, METER, AND INSPECTIONS ASSOCIATED WITH THE IRRIGATION SYSTEM TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
- CONTRACTOR SHALL CONFIRM THE LOCATION OF THE UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE BASED ON SURVEY INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC.

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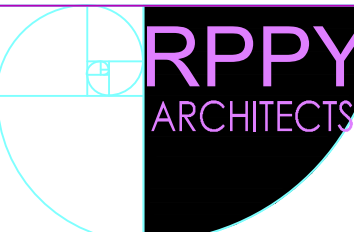
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