Coleman Partners

August 29, 2024

Southern Hills Apartment Complex Jonesboro, Arkansas

Addendum Number One

The following items shall be considered part of the Contract Documents for the above referenced project and shall take precedence over any conflicting statements contained therein. Revise all other notes, schedules, details, elevations, sections as required.

All items noted below apply to bid documents included with bid invite sent on 08/06/2024:

2024-07-31_Southern Hills Apartments – Bid Documents – Drawings (261 Page PDF) 2024-07-31_Southern Hills Apartments – Bid Documents – Specifications (850 Page PDF)

General Items

1) Last day for bidding RFI

In order for Final Addendum to be published September 05, 2024 (in accordance with invitation schedule), all contractor bidding RFI shall be submitted to Coleman Partners by close of business on September 03, 2024.

2) Drawing Set Reference Date

Replace all instances of "09-01-2021" within issued drawings with "07-31-2024"

CREATING PLACES THAT WORK. / cparch.com

3701 Kirby Drive, Suite 988 / Houston, TX 77098 / 832.947.1038

Architectural Drawings

1) Sheet LS2.41 – BLDG 'G/J' Egress Plans (Townhouses)

Replace sheet with attached revised sheet LS2.41 addressing correction of Townhouse demising walls from 1-HR to 2-HR construction, and additional general notes pertaining to protection of Townhouse units

2) Sheet A2.31a – BLDG 'L' Partial First Floor Plans

Replace sheet with attached revised sheet A2.31a addressing correction to 2A – ADA Unit type located at unit #1111

3) Sheet A2.32 – BLDG 'L' Second Floor Plan

Replace sheet with attached revised sheet A2.32 addressing correction of Unit Type 1A vs 1B labels. Unit types have been revised to match Project Summary unit quantities on sheet G1.00

Note: Partial Floor Plan sheet A2.32a also included for clarity

4) Sheet A2.33 – BLDG 'L' Second Floor Plan

Replace sheet with attached revised sheet A2.33 addressing correction of Unit Type 1A vs 1B labels. Unit types have been revised to match Project Summary unit quantities on sheet G1.00

Note: Partial Floor Plan sheet A2.33a also included for clarity

5) Sheet A2.41 – BLDG 'G/J' Floor Plans (Townhouses)

Replace sheet with attached revised sheet A2.41 addressing correction of Townhouse demising walls from 1-HR to 2-HR construction

6) Sheet A3.41 – BLDG 'G/J' Enlarged Floor Plans (Townhouses)

Replace sheet with attached revised sheet A3.41 addressing correction of Townhouse demising walls from 1-HR to 2-HR construction

7) Sheet A7.41 – Building Sections (Townhouses)

Replace sheet with attached revised sheet A7.41 which has been revised to show correct 2-HR unit separations for un-sprinklered Townhouses (drawing 1/A7.41)

8) Sheet A8.41 – Interior Wall Sections

Replace sheet with attached revised sheet A8.41 which has been revised to show correct 2-HR unit separations for un-sprinklered Townhouses (drawing 4/A8.41)

Civil/Landscape Drawings

1) Sheet C5.1 – Site Details

Insert attached sheet C5.1 that was included on the sheet index, but inadvertently omitted from issued bid drawings

2) Sheet L1.0 – Overall Landscape Plan

Insert attached sheet L1.0 that was included on the sheet index, but inadvertently omitted from issued bid drawings

3) Sheet L1.1 – Enlarged Landscape Plans

Insert attached sheet L1.1 that was included on the sheet index, but inadvertently omitted from issued bid drawings

3377 North Blvd. / Baton Rouge, LA 70806 / 225.387.4414

Specifications

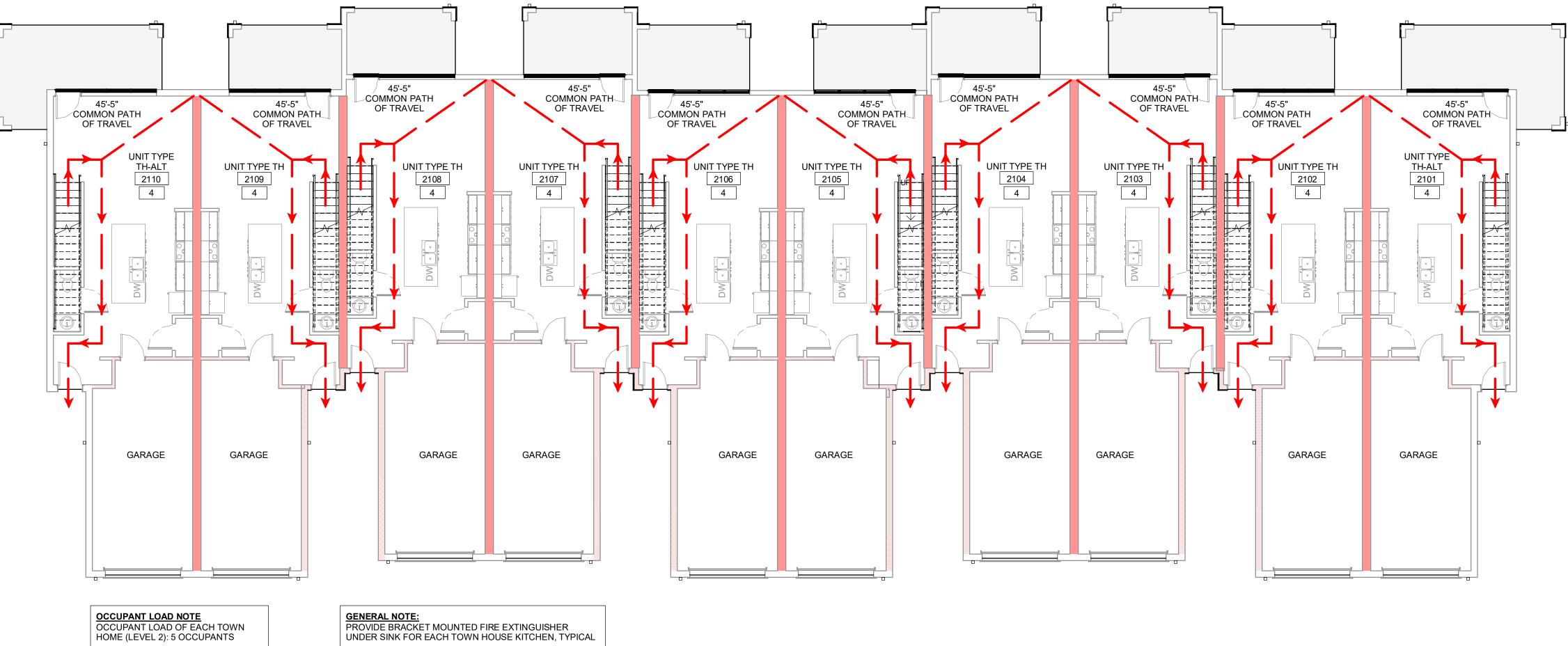
1) 211313 – Wet Pipe Sprinkler Systems

Replace section 2.1 "Piping Materials" as follows:

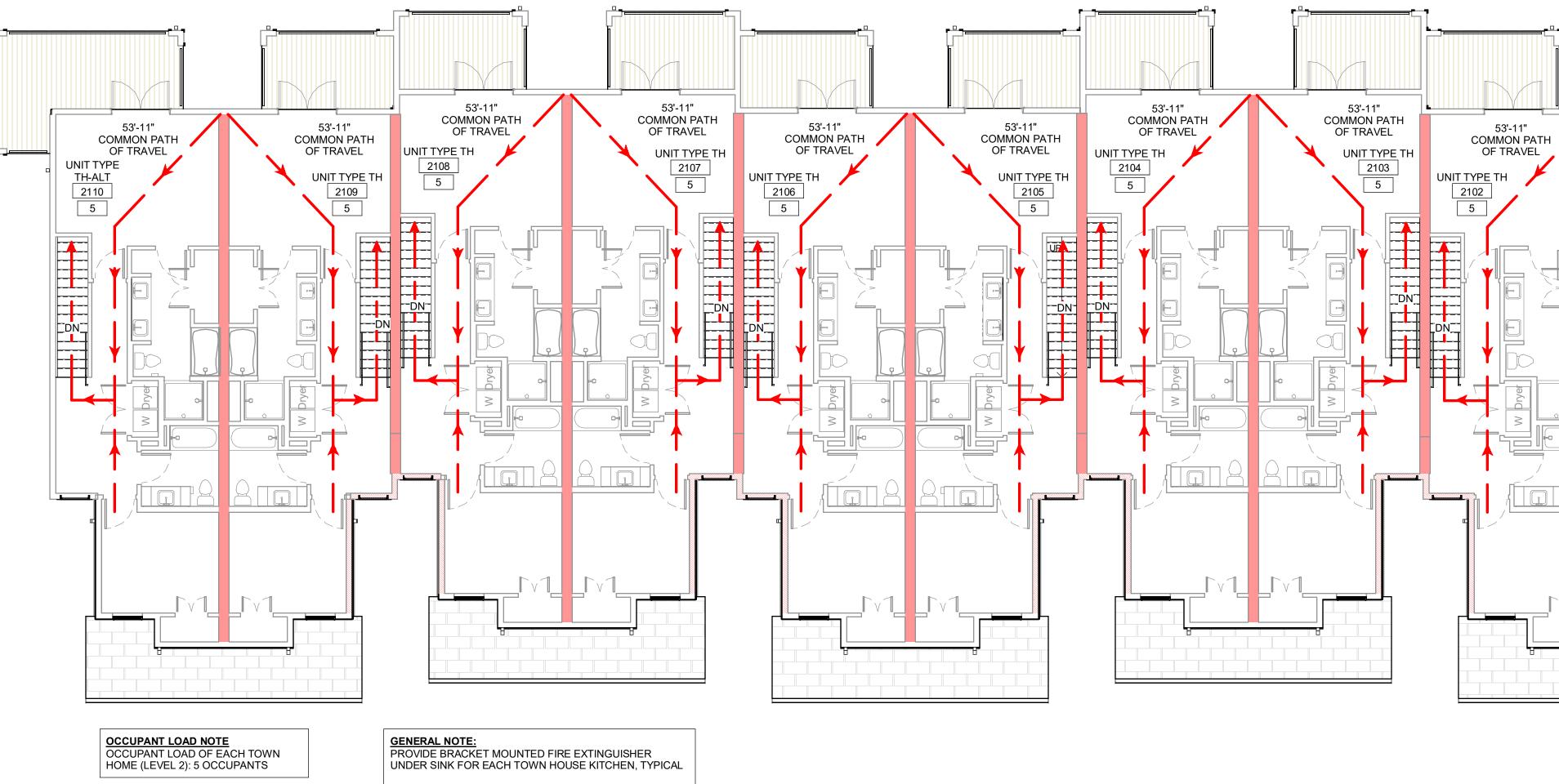
"FlameGuard CPVC Sprinkler Piping or similar product is allowed. Stainless steel flexible metal hose up to 72" long is also approved. All piping and fittings must be strictly in accordance with NFPA 13R

End of Addendum-001

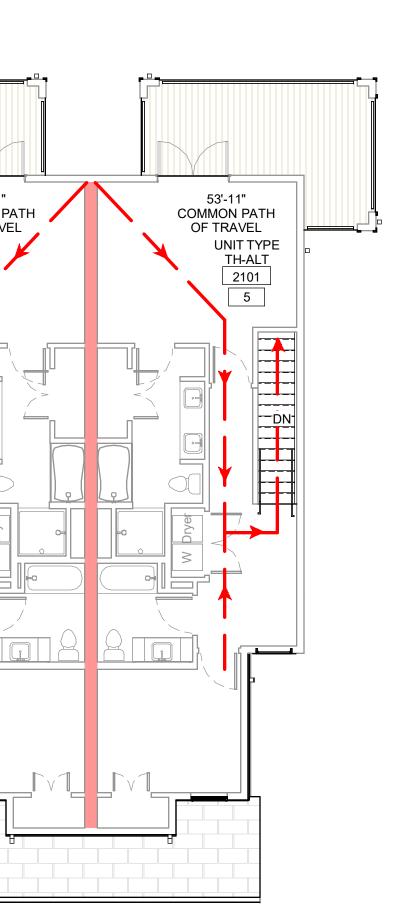
BY: Brent J. Guilbeau, Architect, AIA Coleman Partners Architects, LLC

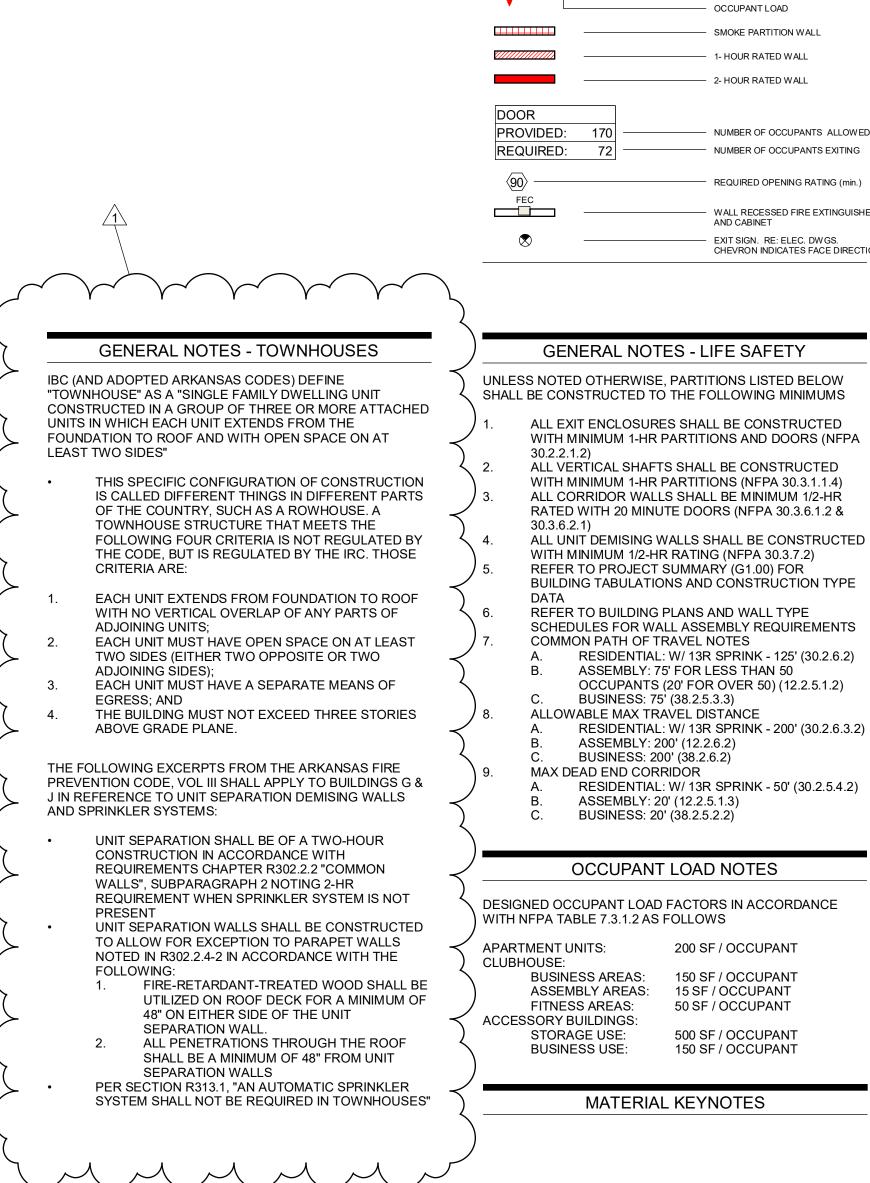






Coleman Partners **ARCHITECTS**





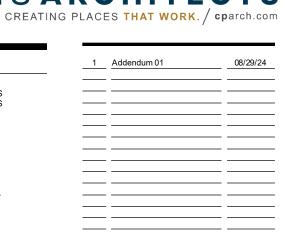
LIFE SAFETY LEGEND NUMBER OF OCCUPANTS

ALONG PATH OF EGRESS

DIRECTION OF EGRESS OCCUPANT LOAD 1- HOUR RATED WALL

> NUMBER OF OCCUPANTS ALLOWED NUMBER OF OCCUPANTS EXITING REQUIRED OPENING RATING (min.) WALL RECESSED FIRE EXTINGUISHER AND CABINET - EXIT SIGN. RE: ELEC. DWGS. CHEVRON INDICATES FACE DIRECTION

50 SF / OCCUPANT 500 SF / OCCUPANT



Revisions / Submission

The drawings, specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use solely with respect to this project and, unless otherwise provided, the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including reproducible copies, of the Architect's drawings, specifications and other document for information and reference in connection with the Owner's use and occupancy of the project. The Architect's drawings, specifications or other documents shall not be used by the Owner or others on other projects, for additions to this project or for completion of this project by others, unless the Architect is adjudged to be in default under this agreement, except by agreement in writing and with appropriate compensation to the Architect.





3377 North Boulevard Baton Rouge, LA 70806 tel 225.387.4414 3701 Kirby Drive, Suite 830 Houston, TX 77098 tel 832.947.1038 935 Gravier Street New Orleans, LA 70112 tel 504.322.3191

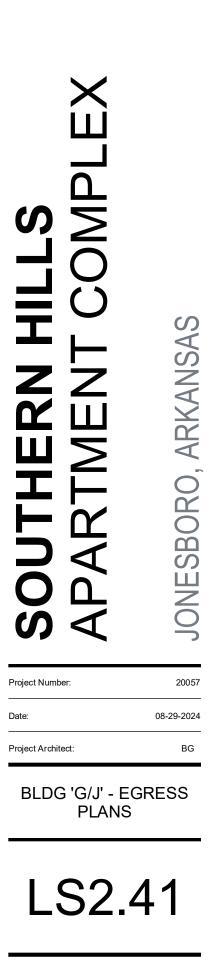
CIVIL ENGINEER FISHER ARNOLD 1801 Lafourette Drive Jonesboro, AR 72404 tel 870.932.2019

STRUCTURAL ENGINEER **INNOVATIVE STRUCTURAL** 13333 NW Fwy, Ste 650 Houston, TX 77041 tel 832.767.2251

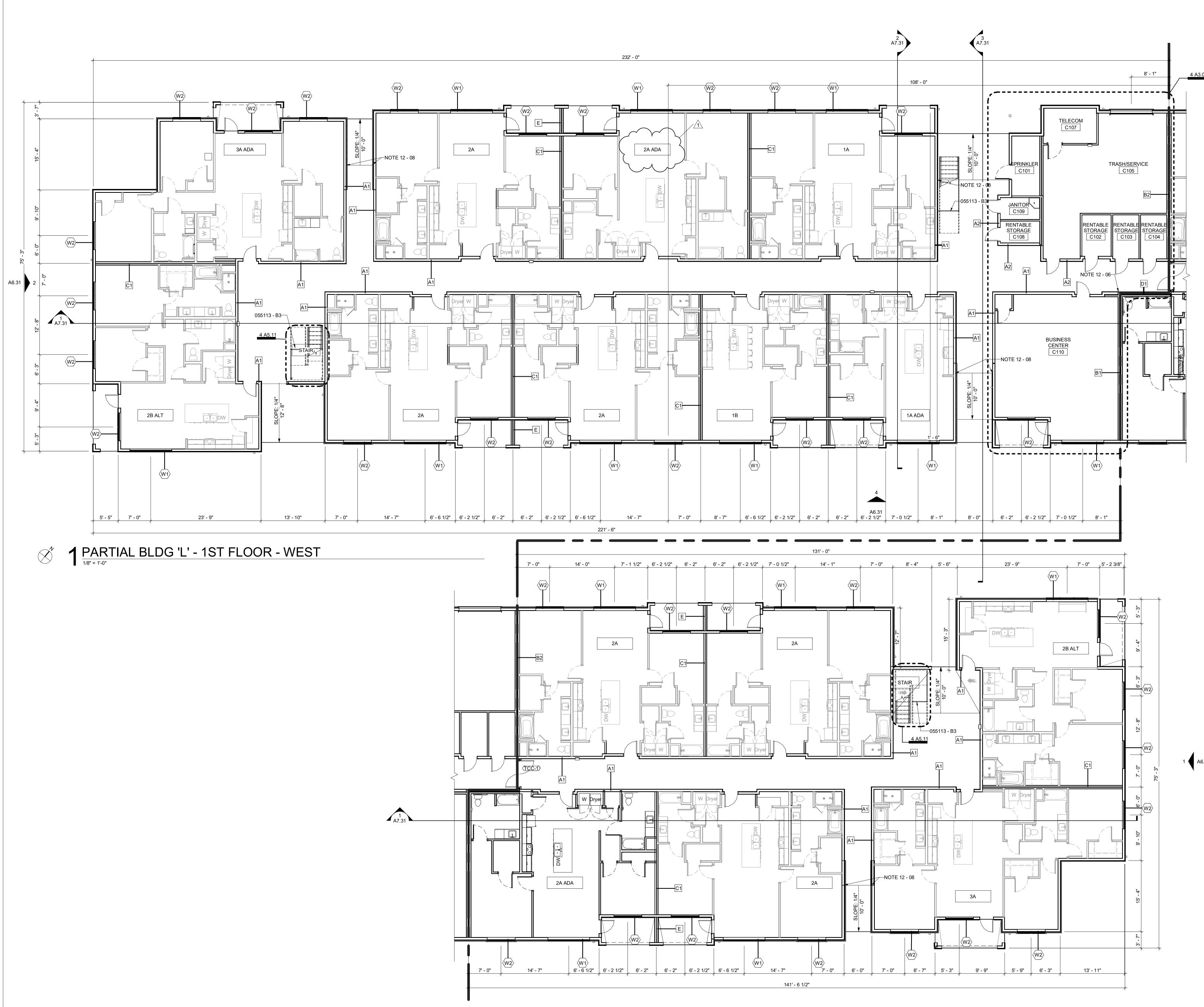
MECHANICAL ENGINEER THOMPSON LUKE & ASSOCIATES 10705 Rieger Rd, Ste 101 Baton Rouge, LA 70809 tel 225.293.9474

LANDSCAPE ARCHITECT FISHER ARNOLD 1801 Lafourette Drive Jonesboro, AR 72404 tel 870.932.2019

> **INTERIOR DESIGN** ANCORA STUDIO 9485 Cal Rd Baton Rouge, LA 70809 tel 225.939.0953

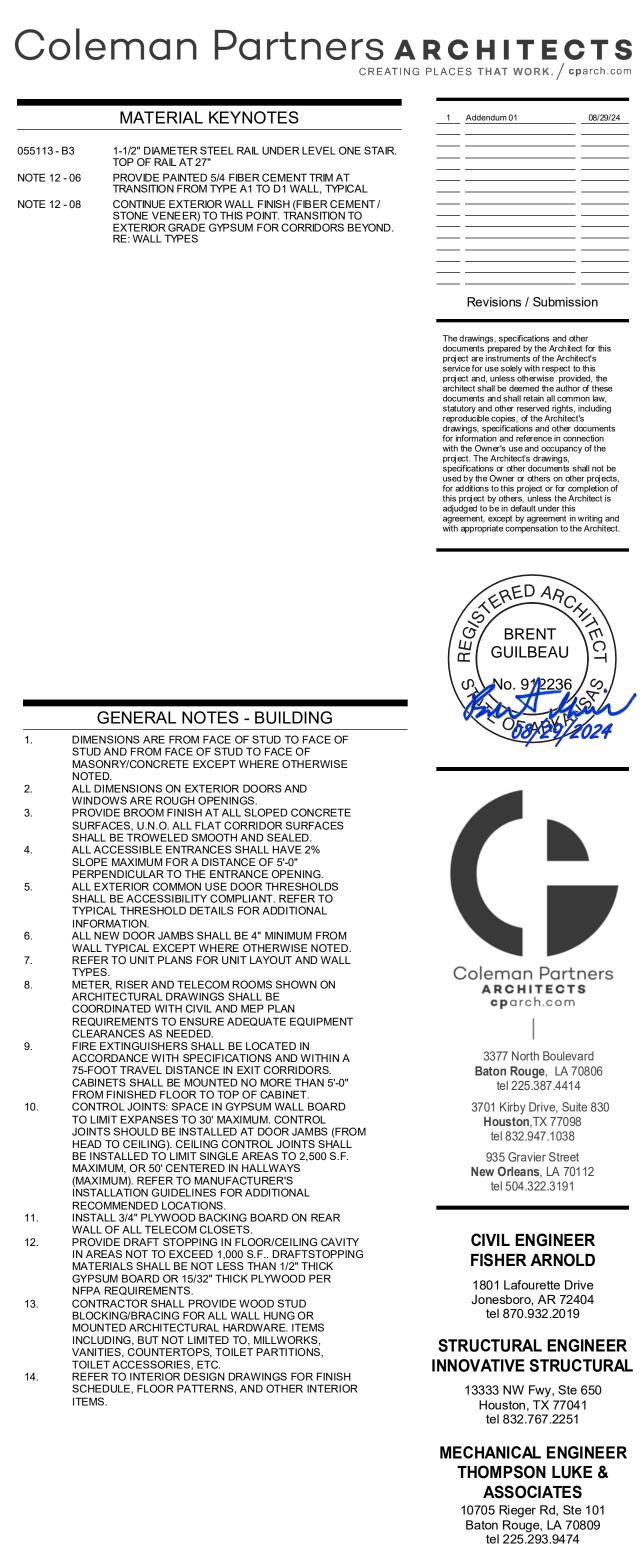


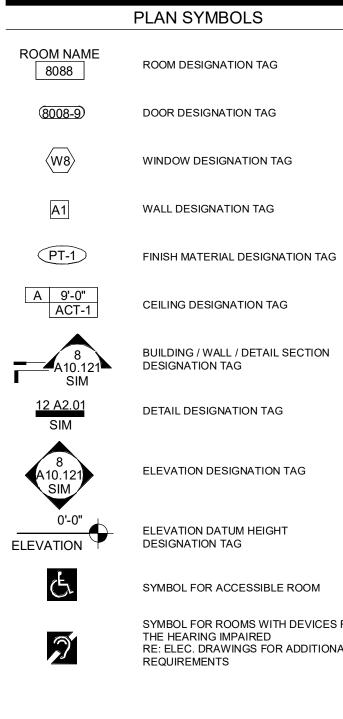




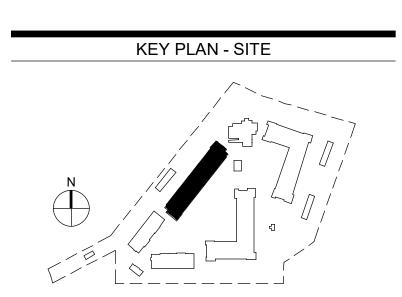
 $\sum_{1/8"=1'-0"}^{1} 2 \frac{\text{PARTIAL BLDG 'L' - 1ST FLOOR - EAST}}{1/8"=1'-0"}$

055113 - B3 NOTE 12 - 06





A6.31



- SYMBOL FOR ROOMS WITH DEVICES FOR RE: ELEC. DRAWINGS FOR ADDITIONAL



LANDSCAPE ARCHITECT

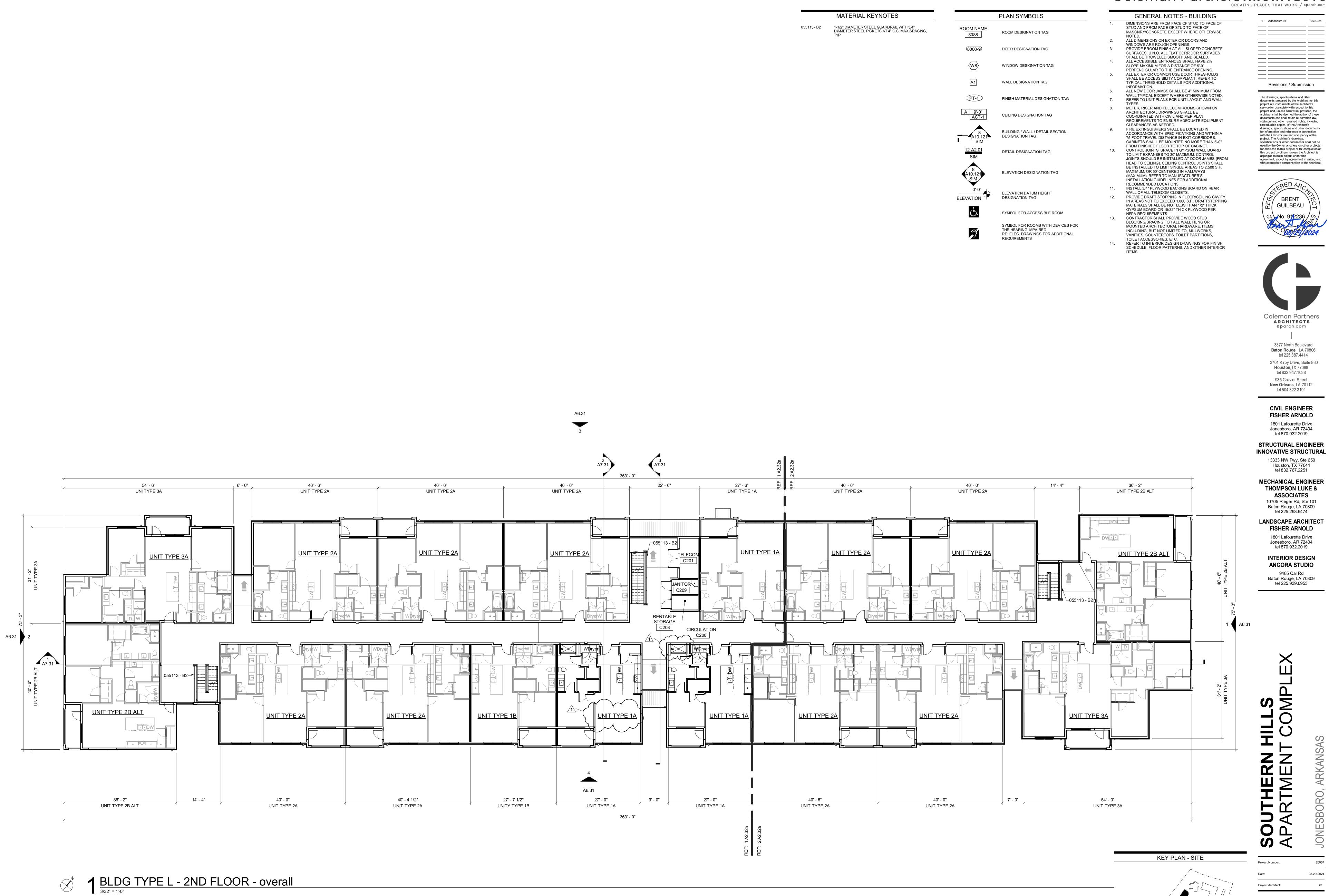
FISHER ARNOLD 1801 Lafourette Drive Jonesboro, AR 72404 tel 870.932.2019

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Baton Rouge, LA 70809

tel 225.939.0953

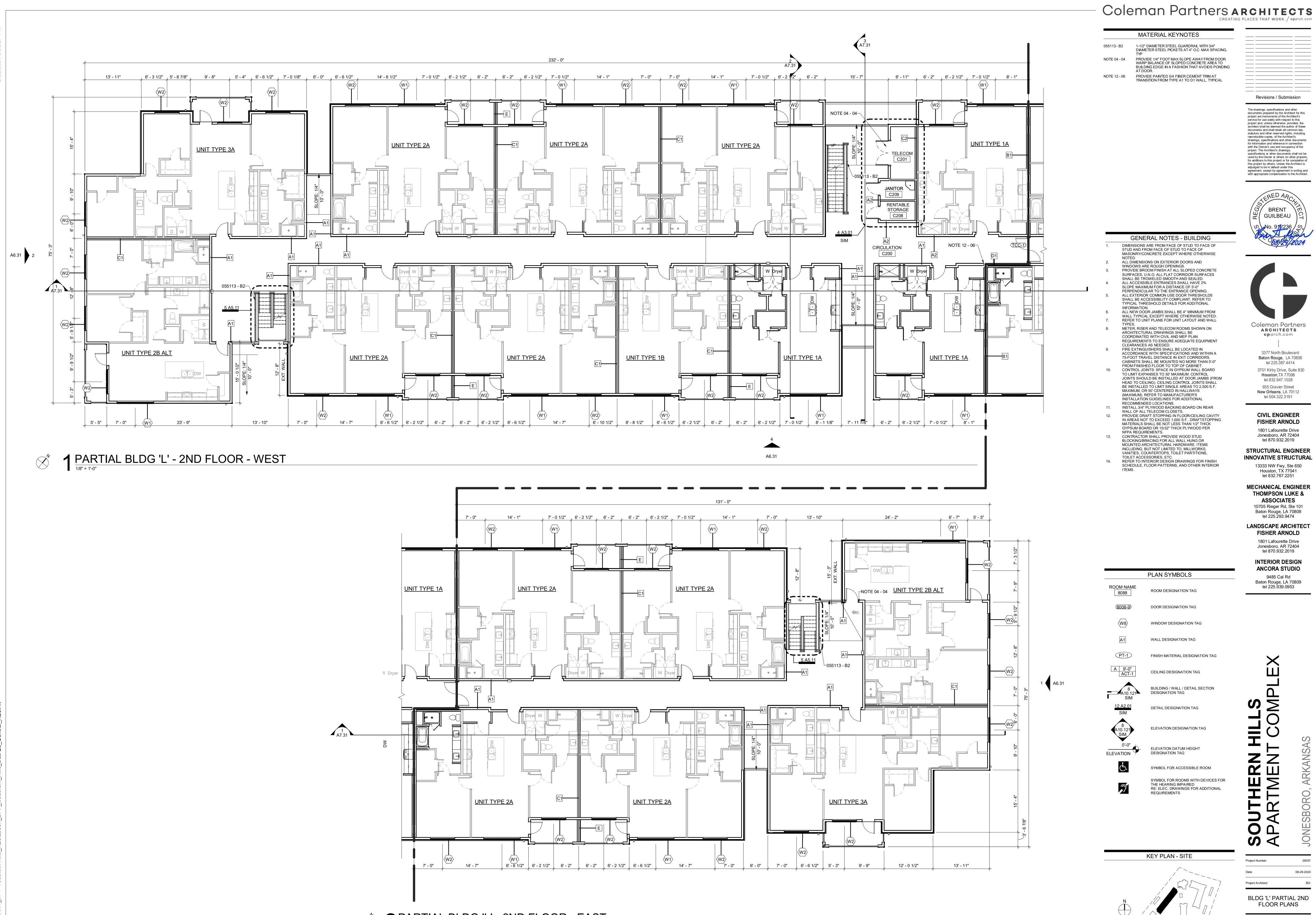


Coleman Partners **ARCHITECTS**

	MATERIAL KEYNOTES		PLAN SYMBOLS		GENERAL NOTES - BUILDI
32	1-1/2" DIAMETER STEEL GUARDRAIL WITH 3/4" DIAMETER STEEL PICKETS AT 4" O.C. MAX SPACING, TYP	ROOM NAME 8088	ROOM DESIGNATION TAG	1.	DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD AND FROM FACE OF STUD TO FACE OF MASONRY/CONCRETE EXCEPT WHERE OTHE NOTED. ALL DIMENSIONS ON EXTERIOR DOORS AND
		(8008-9)	DOOR DESIGNATION TAG	3.	WINDOWS ARE ROUGH OPENINGS. PROVIDE BROOM FINISH AT ALL SLOPED COI SURFACES, U.N.O. ALL FLAT CORRIDOR SUR
		(W8)	WINDOW DESIGNATION TAG	4.	SHALL BE TROWELED SMOOTH AND SEALED ALL ACCESSIBLE ENTRANCES SHALL HAVE 2 SLOPE MAXIMUM FOR A DISTANCE OF 5'-0" PERPENDICULAR TO THE ENTRANCE OPENIN
		A1	WALL DESIGNATION TAG	5.	ALL EXTERIOR COMMON USE DOOR THRESH SHALL BE ACCESSIBILITY COMPLIANT. REFEI TYPICAL THRESHOLD DETAILS FOR ADDITION INFORMATION.
		PT-1	FINISH MATERIAL DESIGNATION TAG	6. 7.	ALL NEW DOOR JAMBS SHALL BE 4" MINIMUM WALL TYPICAL EXCEPT WHERE OTHERWISE REFER TO UNIT PLANS FOR UNIT LAYOUT AN TYPES.
		A 9'-0" ACT-1	CEILING DESIGNATION TAG	8.	METER, RISER AND TELECOM ROOMS SHOW ARCHITECTURAL DRAWINGS SHALL BE COORDINATED WITH CIVIL AND MEP PLAN REQUIREMENTS TO ENSURE ADEQUATE EQU
		A10.121	BUILDING / WALL / DETAIL SECTION DESIGNATION TAG	9.	CLEARANCES AS NEEDED. FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH SPECIFICATIONS AND W 75-FOOT TRAVEL DISTANCE IN EXIT CORRIDO CABINETS SHALL BE MOUNTED NO MORE TH
		<u>12 A2.01</u> SIM	DETAIL DESIGNATION TAG	10.	FROM FINISHED FLOOR TO TOP OF CABINET. CONTROL JOINTS: SPACE IN GYPSUM WALL I TO LIMIT EXPANSES TO 30' MAXIMUM. CONTR JOINTS SHOULD BE INSTALLED AT DOOR JAM
		8 A10.121 SIM	ELEVATION DESIGNATION TAG		HEAD TO CEILING). CEILING CONTROL JOINT BE INSTALLED TO LIMIT SINGLE AREAS TO 2, MAXIMUM, OR 50' CENTERED IN HALLWAYS (MAXIMUM). REFER TO MANUFACTURER'S INSTALLATION GUIDELINES FOR ADDITIONAL
			ELEVATION DATUM HEIGHT DESIGNATION TAG	11. 12.	RECOMMENDED LOCATIONS. INSTALL 3/4" PLYWOOD BACKING BOARD ON WALL OF ALL TELECOM CLOSETS. PROVIDE DRAFT STOPPING IN FLOOR/CEILIN IN AREAS NOT TO EXCEED 1,000 S.F DRAFT
		G	SYMBOL FOR ACCESSIBLE ROOM	13.	MATERIALS SHALL BE NOT LESS THAN 1/2" T GYPSUM BOARD OR 15/32" THICK PLYWOOD NFPA REQUIREMENTS. CONTRACTOR SHALL PROVIDE WOOD STUD
		Ĩ	SYMBOL FOR ROOMS WITH DEVICES FOR THE HEARING IMPAIRED RE: ELEC. DRAWINGS FOR ADDITIONAL REQUIREMENTS		BLOCKING/BRACING FOR ALL WALL HUNG OF MOUNTED ARCHITECTURAL HARDWARE. ITE INCLUDING, BUT NOT LIMITED TO, MILLWORK VANITIES, COUNTERTOPS, TOILET PARTITION TOILET ACCESSORIES, ETC.
				14.	REFER TO INTERIOR DESIGN DRAWINGS FOR SCHEDULE, FLOOR PATTERNS, AND OTHER I ITEMS.

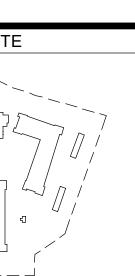
BLDG 'L' - LEVEL 2

A2.32



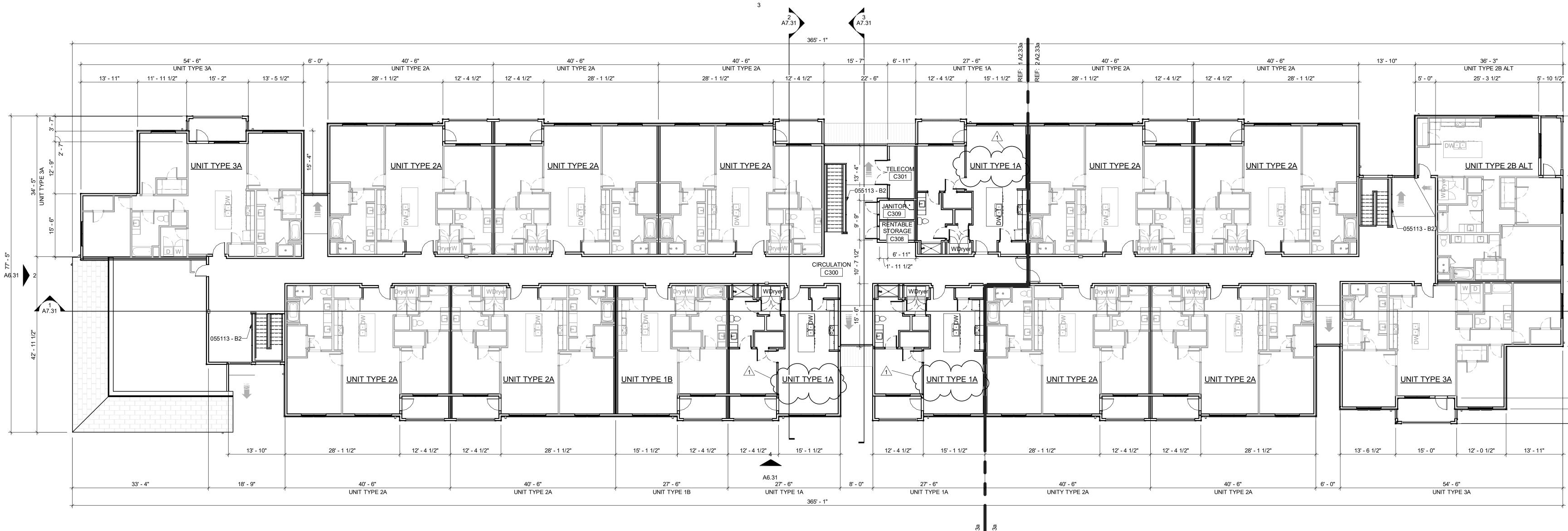








 $\int_{3/32"=1'-0"}^{4} 1 \frac{BLDG TYPE L - 3RD FLOOR - overall}{3/32"=1'-0"}$

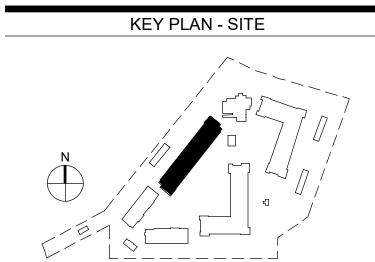


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A6.31

Coleman Partners ARCHITECTS

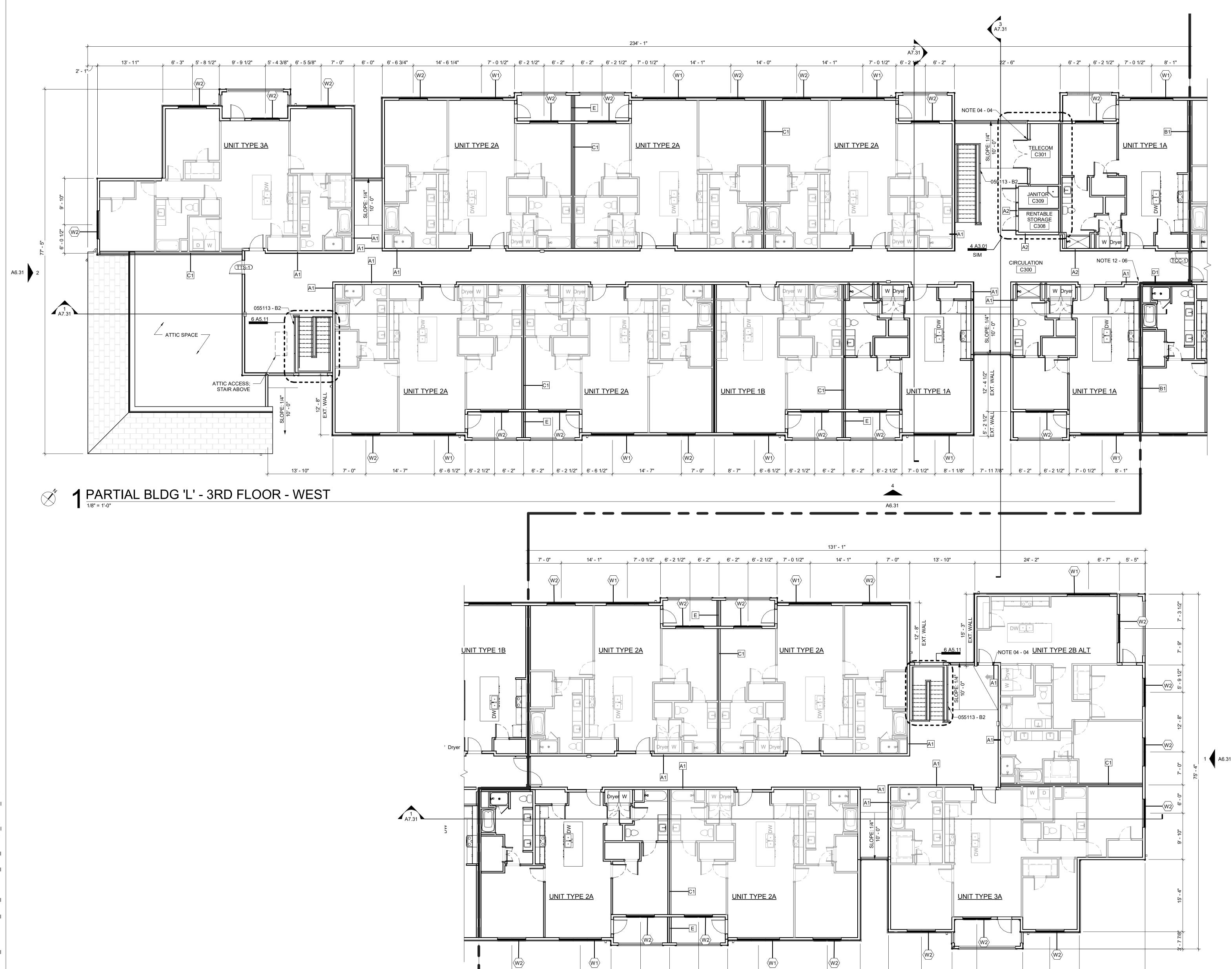
	MATERIAL KEYNOTES		PLAN SYMBOLS		GENERAL NOTES - BUIL
5113 - B2	1-1/2" DIAMETER STEEL GUARDRAIL WITH 3/4" DIAMETER STEEL PICKETS AT 4" O.C. MAX SPACING, TYP	ROOM NAME 8088	ROOM DESIGNATION TAG	1.	DIMENSIONS ARE FROM FACE OF STUD STUD AND FROM FACE OF STUD TO FAC MASONRY/CONCRETE EXCEPT WHERE (NOTED.
		(8008-9)	DOOR DESIGNATION TAG	2. 3.	ALL DIMENSIONS ON EXTERIOR DOORS A WINDOWS ARE ROUGH OPENINGS. PROVIDE BROOM FINISH AT ALL SLOPED SURFACES, U.N.O. ALL FLAT CORRIDOR
		(W8)	WINDOW DESIGNATION TAG	4.	SHALL BE TROWELED SMOOTH AND SEA ALL ACCESSIBLE ENTRANCES SHALL HA SLOPE MAXIMUM FOR A DISTANCE OF 5' PERPENDICULAR TO THE ENTRANCE OP
		A1	WALL DESIGNATION TAG	5.	ALL EXTERIOR COMMON USE DOOR THR SHALL BE ACCESSIBILITY COMPLIANT. R TYPICAL THRESHOLD DETAILS FOR ADD INFORMATION.
		PT-1	FINISH MATERIAL DESIGNATION TAG	6. 7.	ALL NEW DOOR JAMBS SHALL BE 4" MIN WALL TYPICAL EXCEPT WHERE OTHERV REFER TO UNIT PLANS FOR UNIT LAYOU TYPES.
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			REQUIREMENTS	14.	TOILET ACCESSORIES, ETC. REFER TO INTERIOR DESIGN DRAWINGS SCHEDULE, FLOOR PATTERNS, AND OTH ITEMS.



D STUD HUNG OR ARE. ITEMS LWORKS, ARTITIONS, NGS FOR FINIS OTHER INTER	17 14		STR INNC ME T 1 LAN	CIVIL ENGI Saton Rouge, tel 225.387 3701 Kirby Drive Houston, TX 7 tel 832.947.1 935 Gravier S New Orleans, L tel 504.322.3 CIVIL ENGI FISHER AR 1801 Lafourett Jonesboro, AF tel 870.932.3 CHANICAL E OVATIVE STE 13333 NW Fwy, Houston, TX tel 832.767.3 CHANICAL E HOMPSON ASSOCIA 0705 Rieger Ro Baton Rouge, L tel 225.293.9 CHANICAL E HOMPSON ASSOCIA 0705 Rieger Ro Baton Rouge, L tel 225.293.9	CTS om Dulevard LA 70806 .4414 2, Suite 830 77098 1038 Breet A 70112 3191 NEER NOLD e Drive 2, 72404 2019 ENGINEEF RUCTURA Ste 650 77041 2251 ENGINEEF LUKE & TES 1, Ste 101 A 70809 9474 RCHITEC NOLD e Drive 2, 72404 2019
	15' - 10'' 15' - 1	UNIT TYPE 3A 75' - 4" 9 UNIT TYPE 2B ALT		PAR	A 70809

BLDG 'L' - LEVEL 3

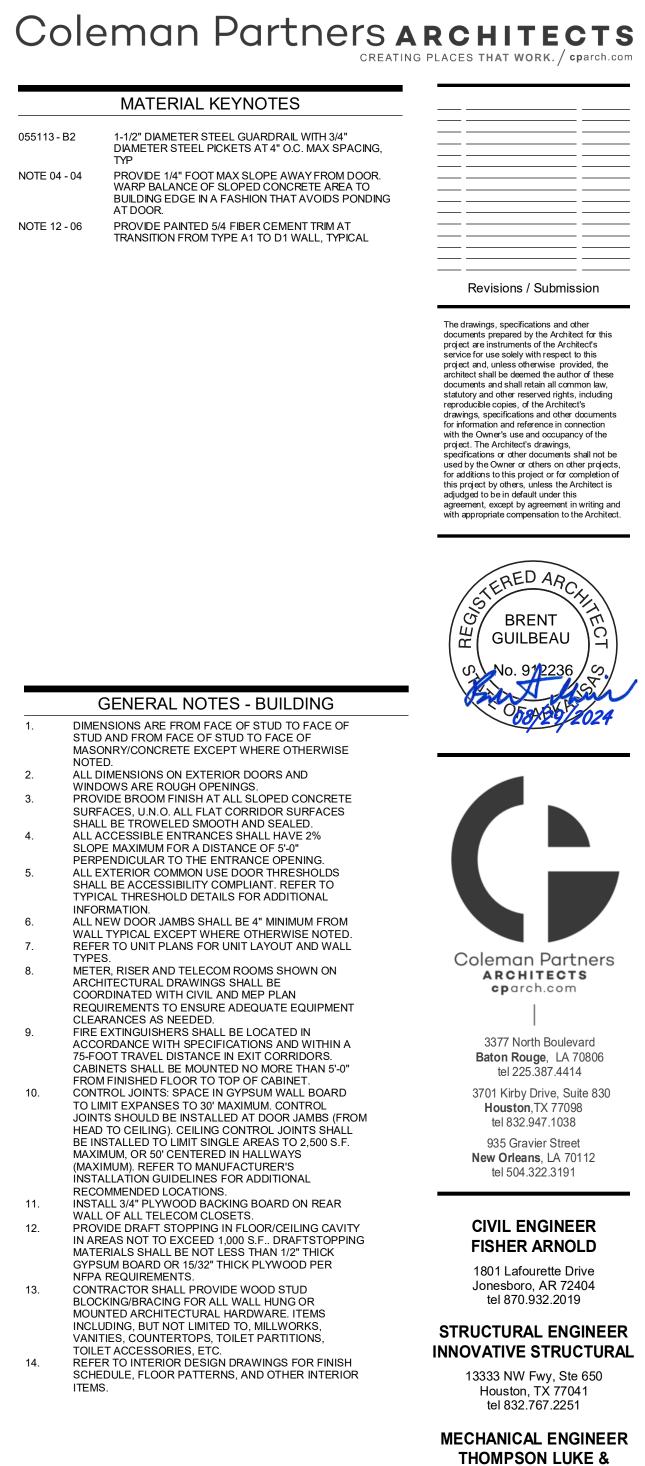
A2.33

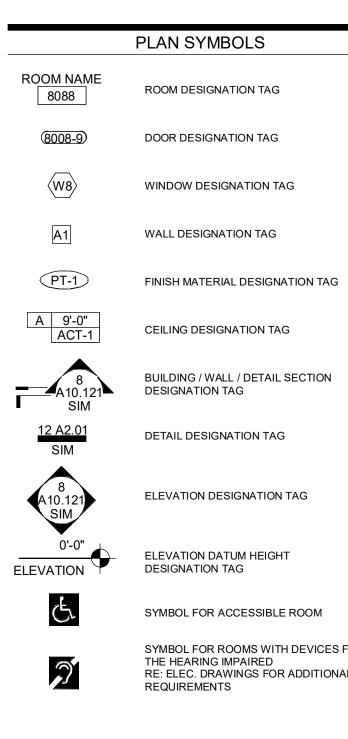


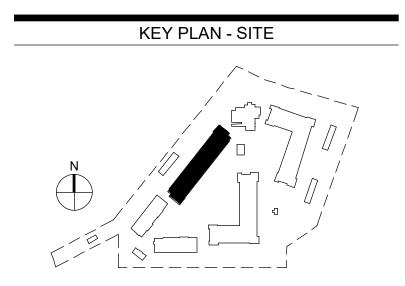




055113 - B2 NOTE 04 - 04 ATDOOR







SYMBOL FOR ROOMS WITH DEVICES FOR RE: ELEC. DRAWINGS FOR ADDITIONAL

SOUTHERN HILLS APARTMENT COMPLE	JONESBORO, ARKANSAS	
Project Number:	20057	
Date:	08-29-2024	
Project Architect:	BG	

ASSOCIATES 10705 Rieger Rd, Ste 101

Baton Rouge, LA 70809 tel 225.293.9474

LANDSCAPE ARCHITECT

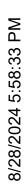
FISHER ARNOLD 1801 Lafourette Drive

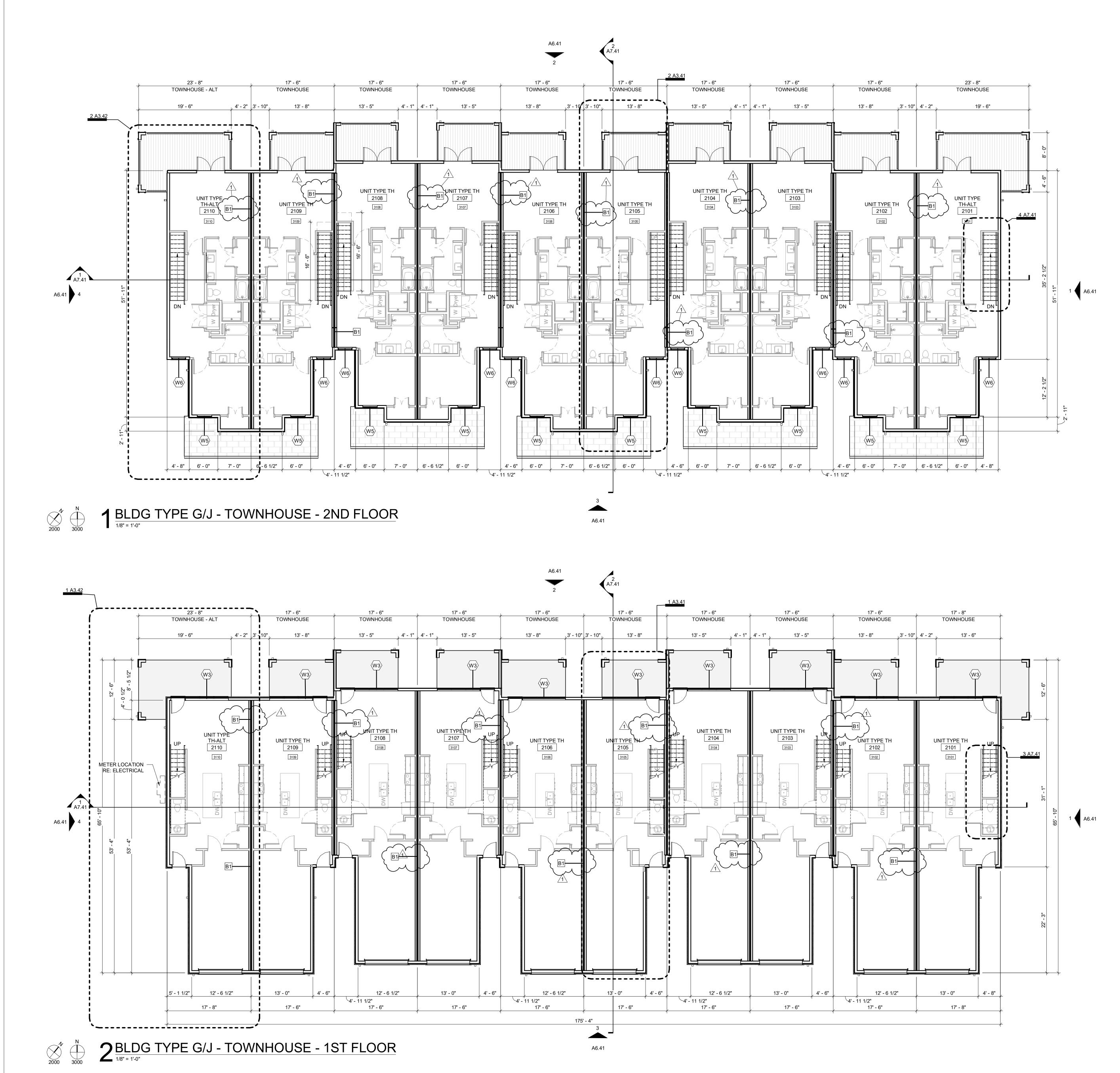
Jonesboro, AR 72404 tel 870.932.2019

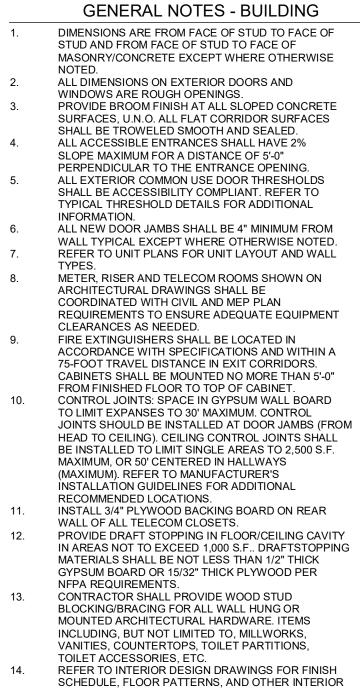
INTERIOR DESIGN ANCORA STUDIO

9485 Cal Rd Baton Rouge, LA 70809 tel 225.939.0953

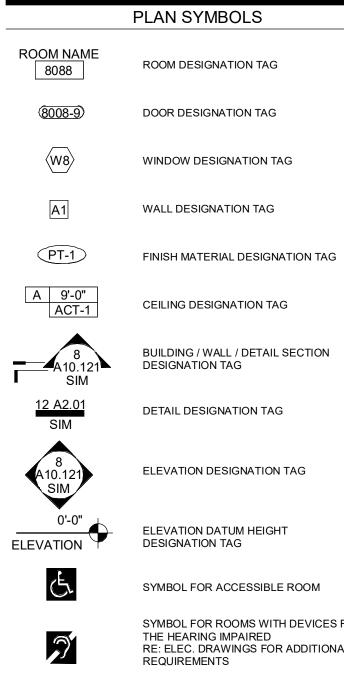


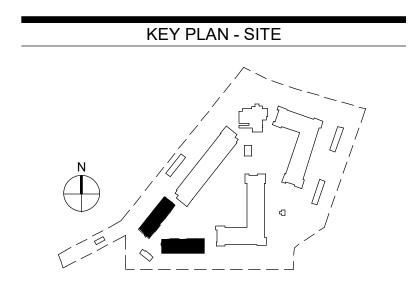






ITEMS.







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SYMBOL FOR ROOMS WITH DEVICES FOR RE: ELEC. DRAWINGS FOR ADDITIONAL

Coleman Partners ARCHITECTS **cp**arch.com 3377 North Boulevard

Baton Rouge, LA 70806 tel 225.387.4414 3701 Kirby Drive, Suite 830 Houston, TX 77098 tel 832.947.1038 935 Gravier Street New Orleans, LA 70112 tel 504.322.3191

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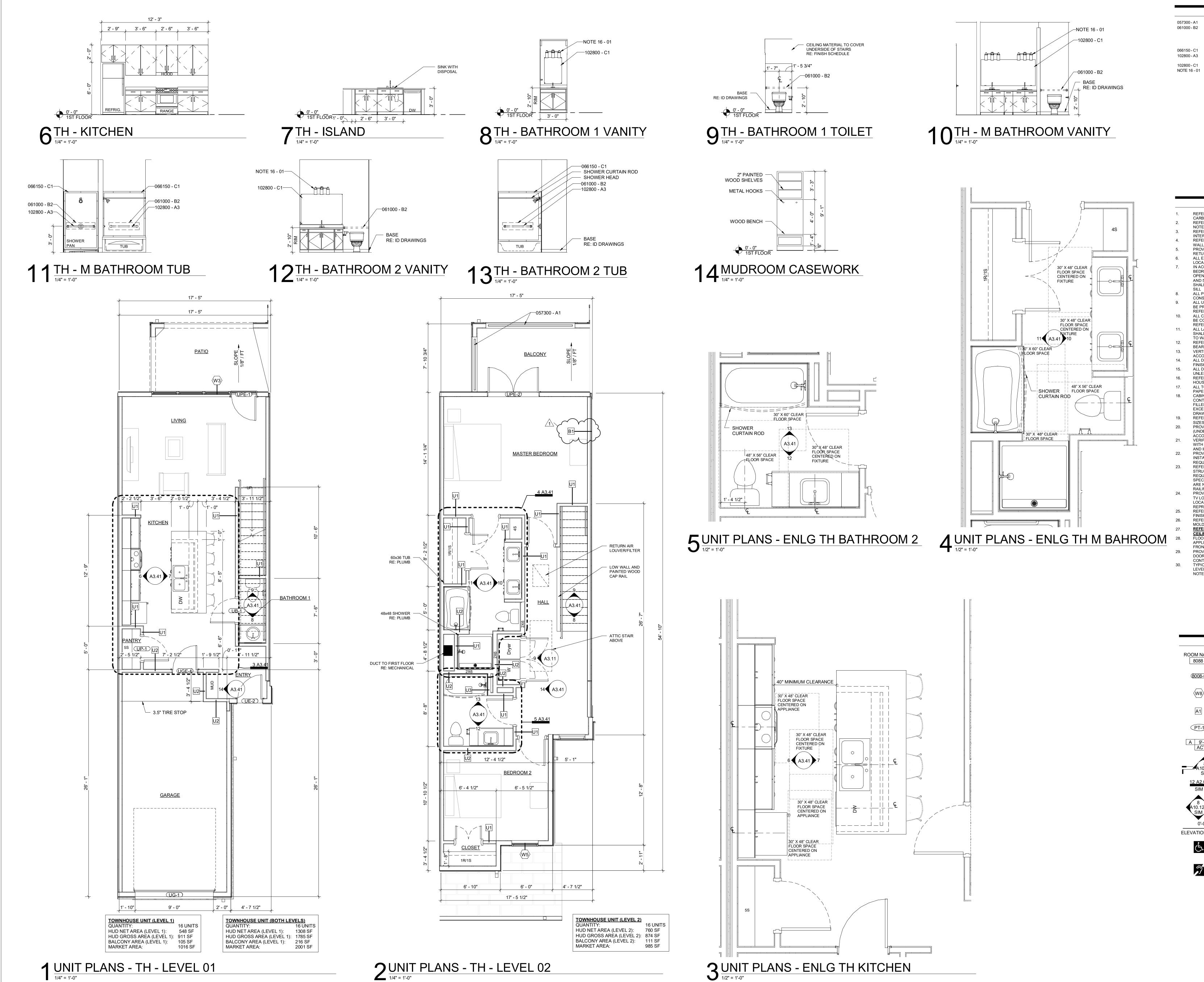
LANDSCAPE ARCHITECT FISHER ARNOLD 1801 Lafourette Drive Jonesboro, AR 72404 tel 870.932.2019

> **INTERIOR DESIGN** ANCORA STUDIO 9485 Cal Rd Baton Rouge, LA 70809 tel 225.939.0953

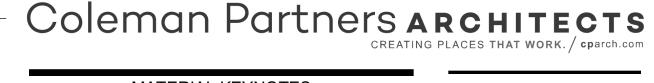


BLDG 'G/J' (TOWNHOUSE) LEVEL 1 & 2

A2.41







NOTES AND ABBREVIATIONS

INTERIOR ELEVATION DATA

LOCAL GLAZING STANDARDS

REFER TO SPECIFICATIONS

BEARING WALL LOCATIONS.

FINISH FACE TO FINISH FACE

UNLESS NOTED OTHERWISE

SIZES AND LOCATIONS

REPRESENTATIVE ON SITE

FRONTS

CONTROLS

NOTED OTHERWISE

TO WALL TYPES

WALL TYPES

RETURN AIR FLOW

	PLAN SYMBC
ROOM NAME 8088	ROOM DESIGNATI
(8008-9)	DOOR DESIGNATI
W8	WINDOW DESIGN
A1	WALL DESIGNATION
PT-1	FINISH MATERIAL
A 9'-0" ACT-1	CEILING DESIGNA
8 A10.121 SIM	BUILDING / WALL / DESIGNATION TAG
<u>12 A2.01</u> SIM	DETAIL DESIGNAT
8 A10.121 SIM	ELEVATION DESIG
	ELEVATION DATU DESIGNATION TAG
£.	SYMBOL FOR ACC
Ń	Symbol for roc The Hearing Imp Re: Elec. Drawii Requirements

MATERIAL KEYNOTES PREFINISHED STEEL GUARDRAIL PROVIDE AND INSTALL SOLID BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN ACCORDANCE WITH FHA/ADA GUIDELINES. VERIFY REQUIRED LOCATIONS AND ELEVATIONS PRIOR TO CLOSING WALLS CAST MARBLE SHOWER PANELS 36" ADA COMPLAINT GRAB BAR. INSTALL IN WALL BLOCKING AS REQUIRED. MIRROR. RE: INTERIOR DESIGN NEW LIGHT FIXTURE. RE: ELECTRICAL.

CREATING PLACES THAT WORK. / cparch.com 08/29/24 Addendum 01 _____ _____ _ _ ____ _____ _____ _____ _____ _____ ___ ____ _____ ____ _____ ____ _____ _____ _____ _____ _____ Revisions / Submission

> he drawings, specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use solely with respect to this project and, unless otherwise provided, the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including reproducible copies, of the Architect's drawings, specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Architect's drawings, specifications or other documents shall not be used by the Owner or others on other projects, for additions to this project or for completion of this project by others, unless the Architect is adjudged to be in default under this agreement, except by agreement in writing and with appropriate compensation to the Architect.



GENERAL NOTES - UNITS

REFER TO MEP DRAWINGS FOR LOCATION OF SMOKE, CARBON MONOXIDE AND FIRE DETECTORS REFER TO GENERAL INFORMATION SHEETS FOR TYPICAL

REFER TO GENERAL INFORMATION SHEETS FOR TYPICAL REFER TO A4.XX SERIES DRAWINGS FOR DOOR, WINDOW AND PROVIDE 3/4" UNDERCUT ON ALL INTERIOR DOORS FOR

ALL EXTERIOR WINDOWS SHALL MEET FEDERAL, STATE AND IN ACCORDANCE WITH NFPA AND IBC STANDARDS, ALL

BEDROOMS SHALL HAVE WINDOWS WITH AT LEAST ONE OPENING WITH 20" NET CLEAR WIDTH, 24" NET CLEAR HEIGHT AND 5.7 S.F. NET CLEAR AREA WHEN OPEN. THESE WINDOWS SHALL BE MAXIMUM OF 44" FROM FINISH FLOOR TO TOP OF ALL PLUMBING WALLS SHALL BE MINIMUM 2X6

CONSTRUCTION, UNLESS NOTED OTHERWISE ALL UNIT BATHROOM WALLS AND OTHER WET WALLS SHALL BE PROVIDED WITH MOISTURE RESISTANT GYPSUM BOARD. ALL CORRIDOR WALLS AND UNIT SEPARATION WALLS SHALL

BE COMPLETELY FILLED WITH SOUND BATT INSULATION. REFER TO WALL TYPES AND SPECIFICATIONS ALL LAUNDRY ROOMS, HVAC CLOSETS AND PLUMBING WALLS SHALL BE PROVIDED WITH SOUND BATT INSULATION. REFER REFER TO STRUCTURAL DRAWINGS FOR SHEARWALLS AND

VERTICAL CHASES WITHIN UNITS SHALL BE FIRESTOPPED IN ACCORDANCE WITH LOCAL REQUIREMENTS ALL DIMENSIONS NOTING "CLEAR", "MIN" OR "MAX" ARE FROM ALL DOORS SHALL BE MINIMUM 4" FROM ADJACENT WALL,

REFER TO GENERAL INFORMATION PAGES FOR INTERIOR FAIR HOUSING ACT AND ACCESSIBILITY REQUIREMENTS ALL TOWEL BARS SHALL BE MOUNTED AT 46" AFF AND TOILET PAPER DISPENSERS AT 18" AFF, UNLESS NOTED OTHERWISE CABINET ELEVATIONS ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROVIDE STRIPS AS NECESSARY, FILLER STRIPS SHALL N EXCEED 2" IN WIDTH MAX. COORDINATE WITH CABINET SHOP

REFER TO INTERIOR DESIGN DRAWINGS FOR ALL MIRROR PROVIDE FIRE EXTINGUISHER AT EACH TOWNHOUSE KITCHEN (UNDER SINK MOUNT). EXTINGUISHER TYPE SHALL BE IN ACCORDANCE WITH NFPA REQUIREMENTS VERIFY ALL TUB/SHOWER WALL LENGTHS AND DIMENSIONS WITH ACTUAL EQUIPMENT PROVIDED. COORDINATE FRAMING

AND INSTALLATION WITH FOUIPMENT PROVIDER PROVIDE SOLID BLOCKING IN WALLS FOR FUTUR INSTALLATION OF GRAB BARS PER FAIR HOUSING ACT REQUIREMENTS (REFER TO GENERAL INFORMATION SHEETS) REFER TO ARCHITECTURAL ELEVATIONS, MEP AND STRUCTURAL DRAWINGS FOR EXTERIOR FEATURES

REQUIRING BLOCKING OR OTHER COORDINATION NEEDS SPECIFIC TO UNIT LOCATIONS. ITEMS MAY CONSIST OF, BUT ARE NOT LIMITED TO, SIGNAGE, CANOPIES, AWNINGS, RAILINGS, LIGHTING, MECHANICAL EQUIPMENT, ETC. PROVIDE OUTLETS AT 18" AFF AND 54" AFF AT ALL ASSUMED TV LOCATIONS. PROVIDE 2Z10 BLOCKING FOR ALL TV

LOCATIONS. COORDINATE WITH MEP DRAWINGS AND OWNERS REFER TO INTERIOR DESIGN DRAWINGS FOR SCHEDULED FINISHES, ADDITIONAL ROOM NOTES AND SPECIFICATIONS REFER TO INTERIOR DESIGN DRAWINGS FOR DECORATIVE MOLDINGS LOCATIONS SIZES AND FINISHES

REFER TO INTERIOR DESIGN DRAWINGS FOR REFLECTED CEILING PLANS FLOOR FINISHES SHALL EXTEND UNDER ALL REMOVABLE APPLIANCES AND CABINETRY INDICATED WITH "REMOVABLE PROVIDE TEMPERED GLAZING FOR ALL GLASS SHOWER DOORS. SWING DOOR IN OPPOSITE DIRECTION OF SHOWER TYPICAL UNIT AND CORRIDOR CEILING HEIGHT IS 9'-1" FOR

LEVELS ONE AND TWO, 10'-1" FOR LEVEL THREE, UNLESS

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Coleman Partners

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> **INTERIOR DESIGN ANCORA STUDIO** 9485 Cal Rd Baton Rouge, LA 70809 tel 225.939.0953

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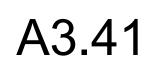
JM HEIGHT

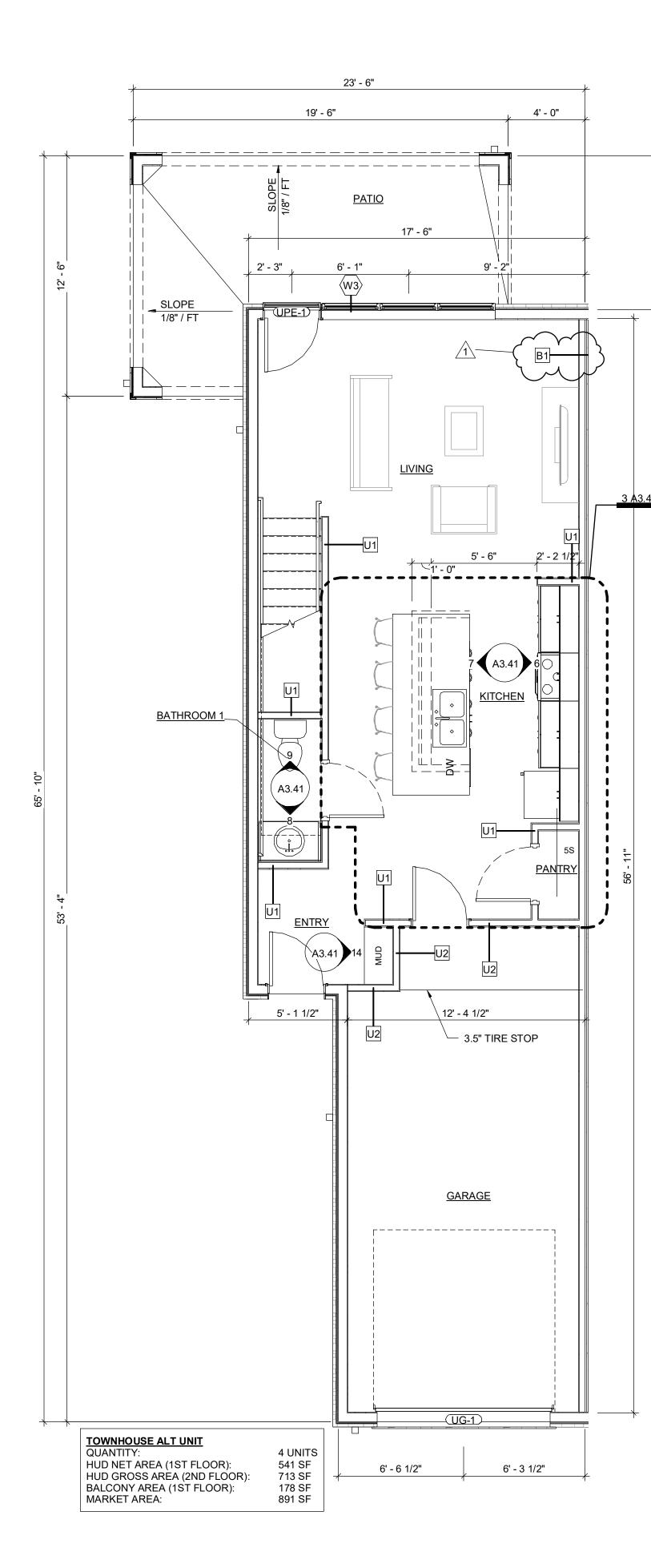
CESSIBLE ROOM

OMS WITH DEVICES FOR PAIRED INGS FOR ADDITIONAL

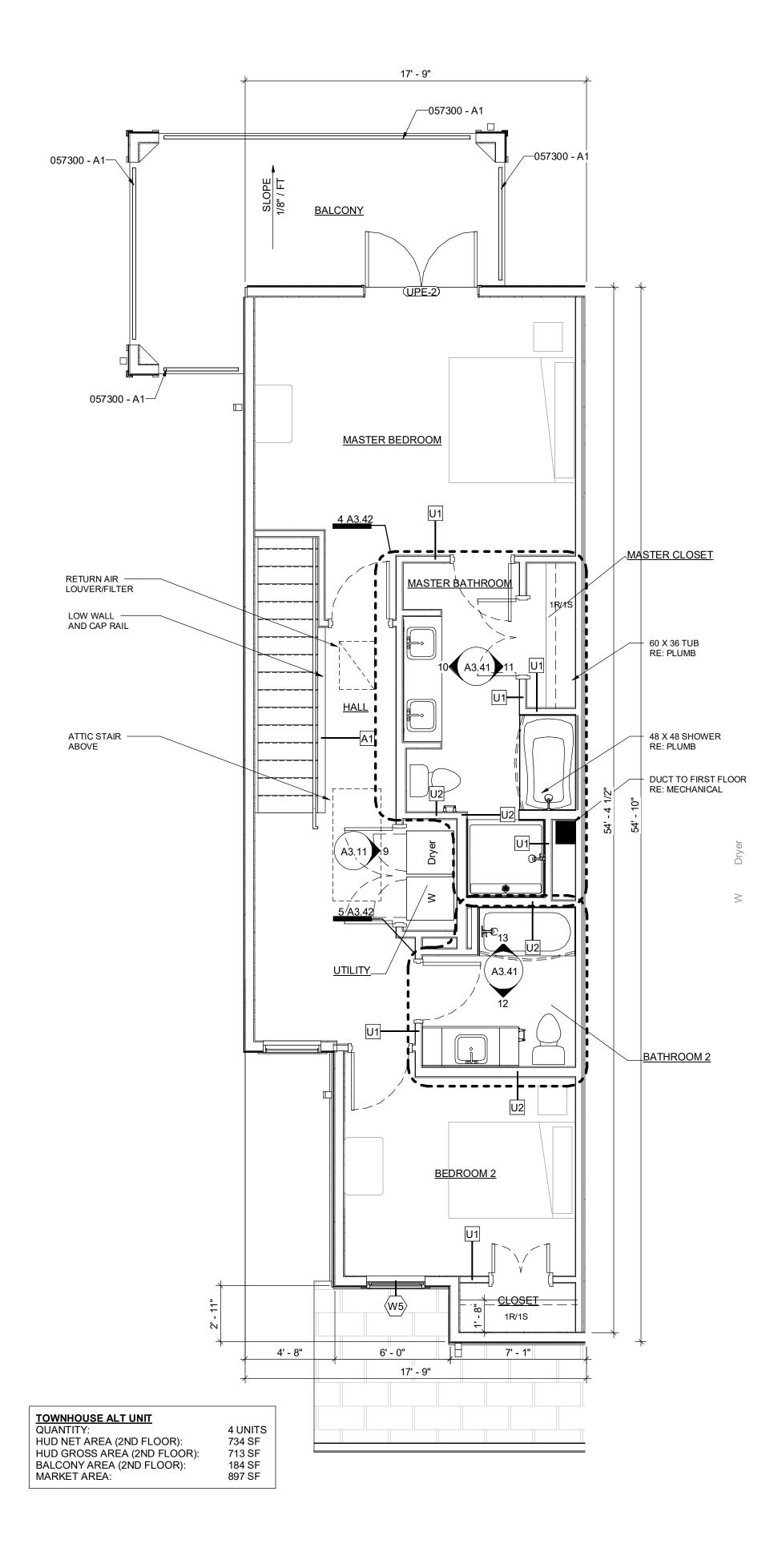
SOUTHERN HILLS APARTMENT COMPLEX	JONESBORO, ARKANSAS
Project Number:	20057
Date:	08-29-2024

TOWNHOUSE PLANS



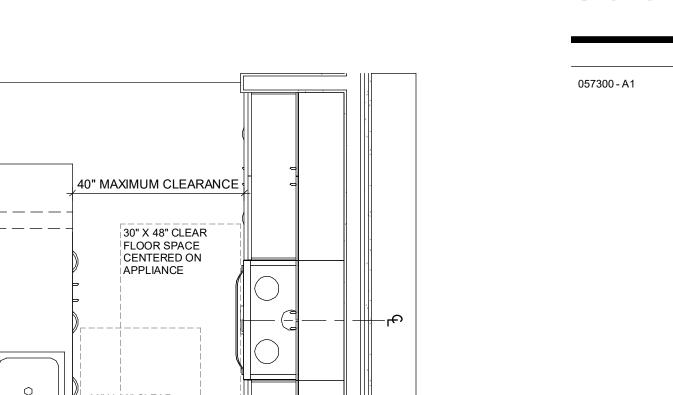


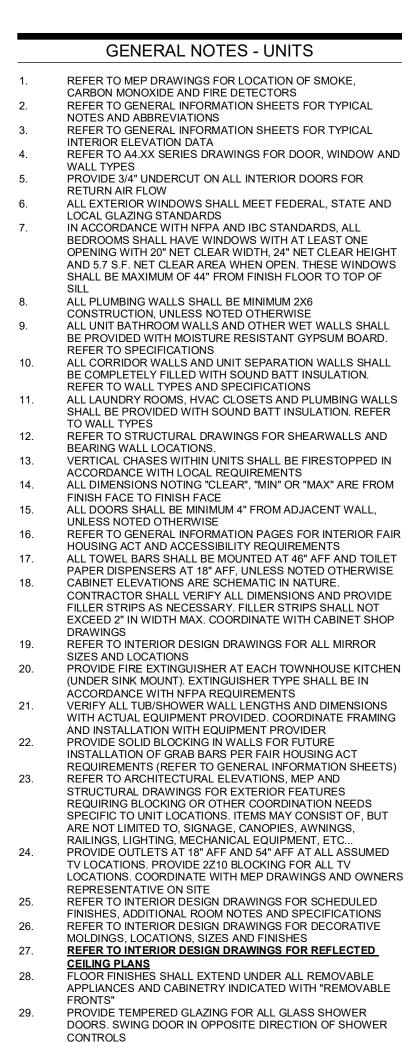
1 <u>UNIT PLANS - TH ALT - LEVEL 01</u>



2 UNIT PLANS - TH ALT - LEVEL 02

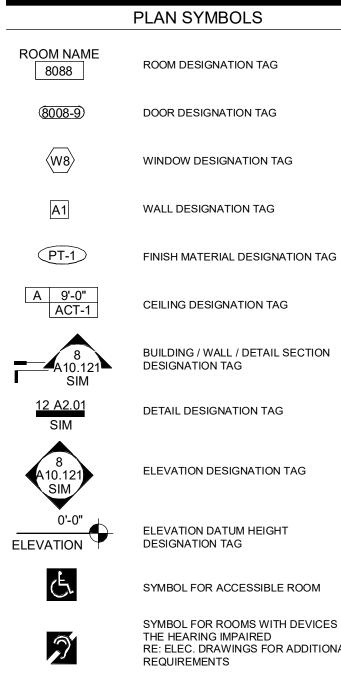


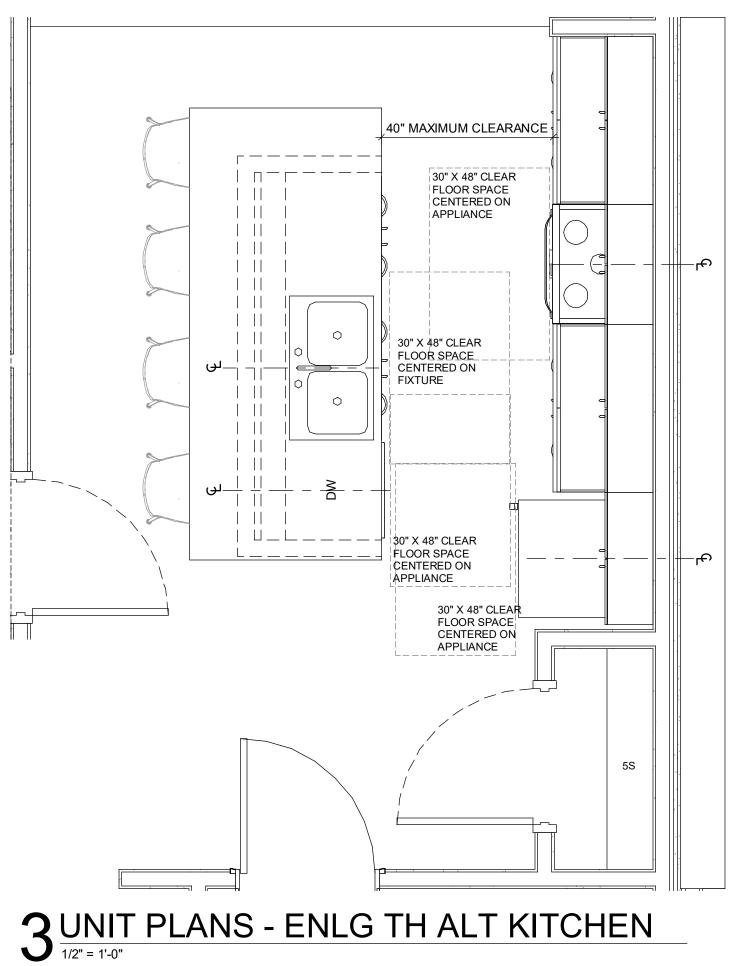


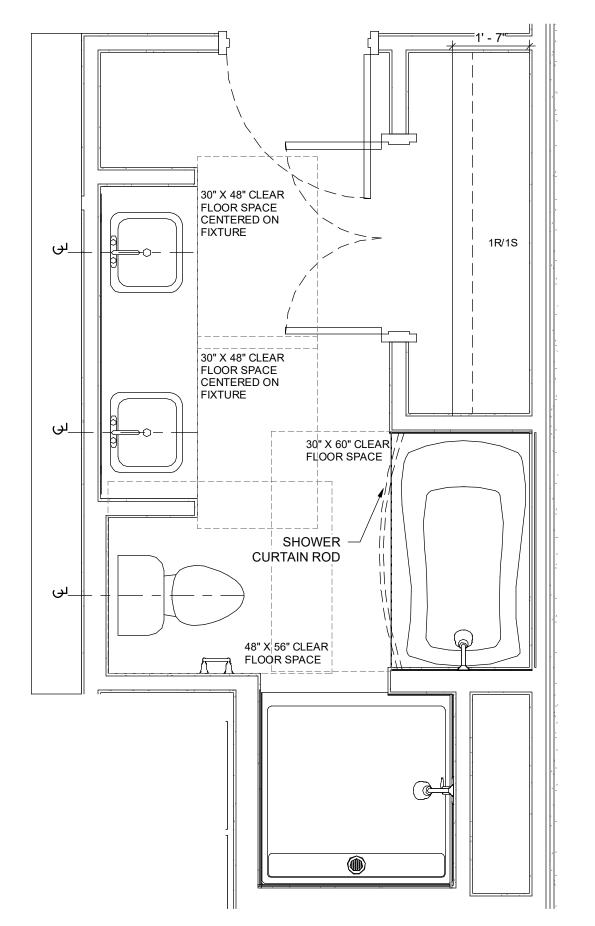


30.

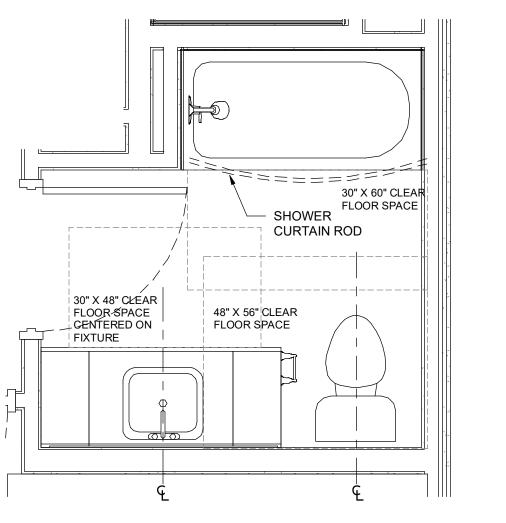
NOTED OTHERWISE







 $4 \frac{\text{UNIT PLANS} - \text{ENLG TH ALT M BATH}}{\frac{1}{2^{"}} = 1^{"} - 0^{"}}$



 $5_{\frac{1}{2^{"}=1^{-0}}}$

MATERIAL KEYNOTES

PREFINISHED STEEL GUARDRAIL

CREATING PLACES THAT WORK. / cparch.com

Addendum 01 08/29/24 _____ _____ _____ _____

_____ Revisions / Submission

_____ _____

_____ _____ _____ ____ _____ _____ _____ _____

The drawings, specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use solely with respect to this project and, unless otherwise provided, the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including reproducible copies, of the Architect's drawings, specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Architect's drawings, specifications or other documents shall not be used by the Owner or others on other projects, for additions to this project or for completion of this project by others, unless the Architect is adjudged to be in default under this agreement, except by agreement in writing and with appropriate compensation to the Architect





TYPICAL UNIT AND CORRIDOR CEILING HEIGHT IS 9'-1" FOR LEVELS ONE AND TWO, 10'-1" FOR LEVEL THREE, UNLESS



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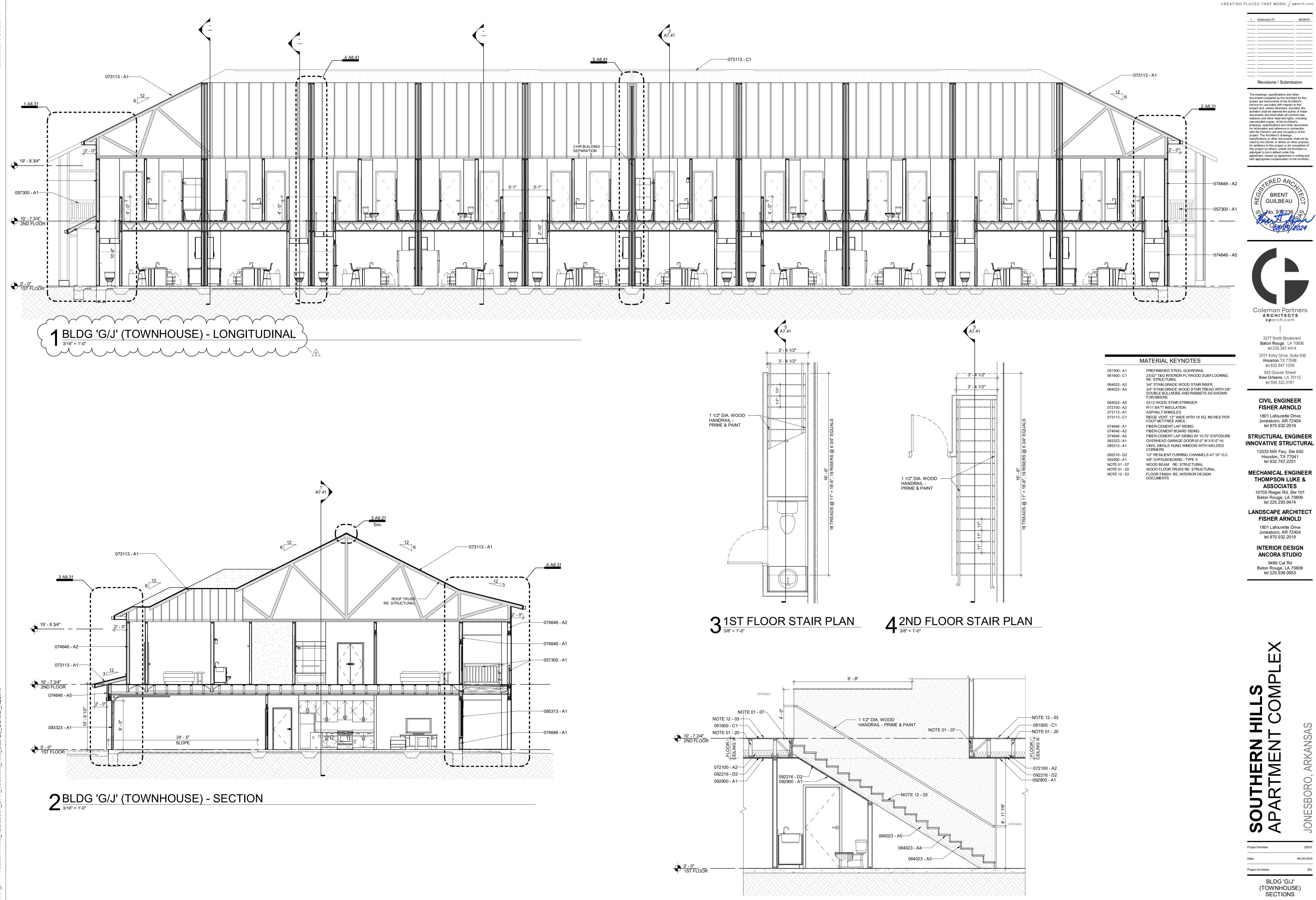
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SYMBOL FOR ROOMS WITH DEVICES FOR RE: ELEC. DRAWINGS FOR ADDITIONAL



PLANS

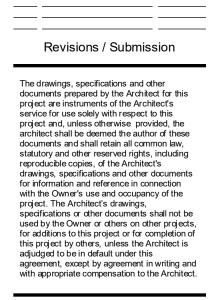




	MATERIAL KEYN
957300 - A1 961600 - C1	PREFINISHED STEEL (23/32" T&G INTERIOR F RE: STRUCTURAL
64023 - A3 164023 - A4	3/4" STAIN GRADE WO 3/4" STAIN GRADE WO DOUBLE BULLNOSE A FOR RISERS
64023 - A5 172100 - A2 173113 - A1 173113 - C1	2X12 WOOD STAIR STI R-11 BATT INSULATION ASPHALT SHINGLES RIDGE VENT. 12" WIDE FOOT NET FREE AREA
174646 - A1 174646 - A2 174646 - A5 183323 - A1 185313 - A1	FIBER-CEMENT LAP S FIBER-CEMENT BOARI FIBER CEMENT LAP S OVERHEAD GARAGE I VINYL SINGLE HUNG W CORNERS
92216 - D2 192900 - A1 IOTE 01 - 07 IOTE 01 - 20 IOTE 12 - 03	1/2" RESILIENT FURRIN 5/8" GYPSUM BOARD - WOOD BEAM RE: STI WOOD FLOOR TRUSS FLOOR FINISH. RE: INT DOCUMENTS

 $5_{\frac{3}{8}=1^{-0}}^{\frac{5}{3}}$





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08/29/24





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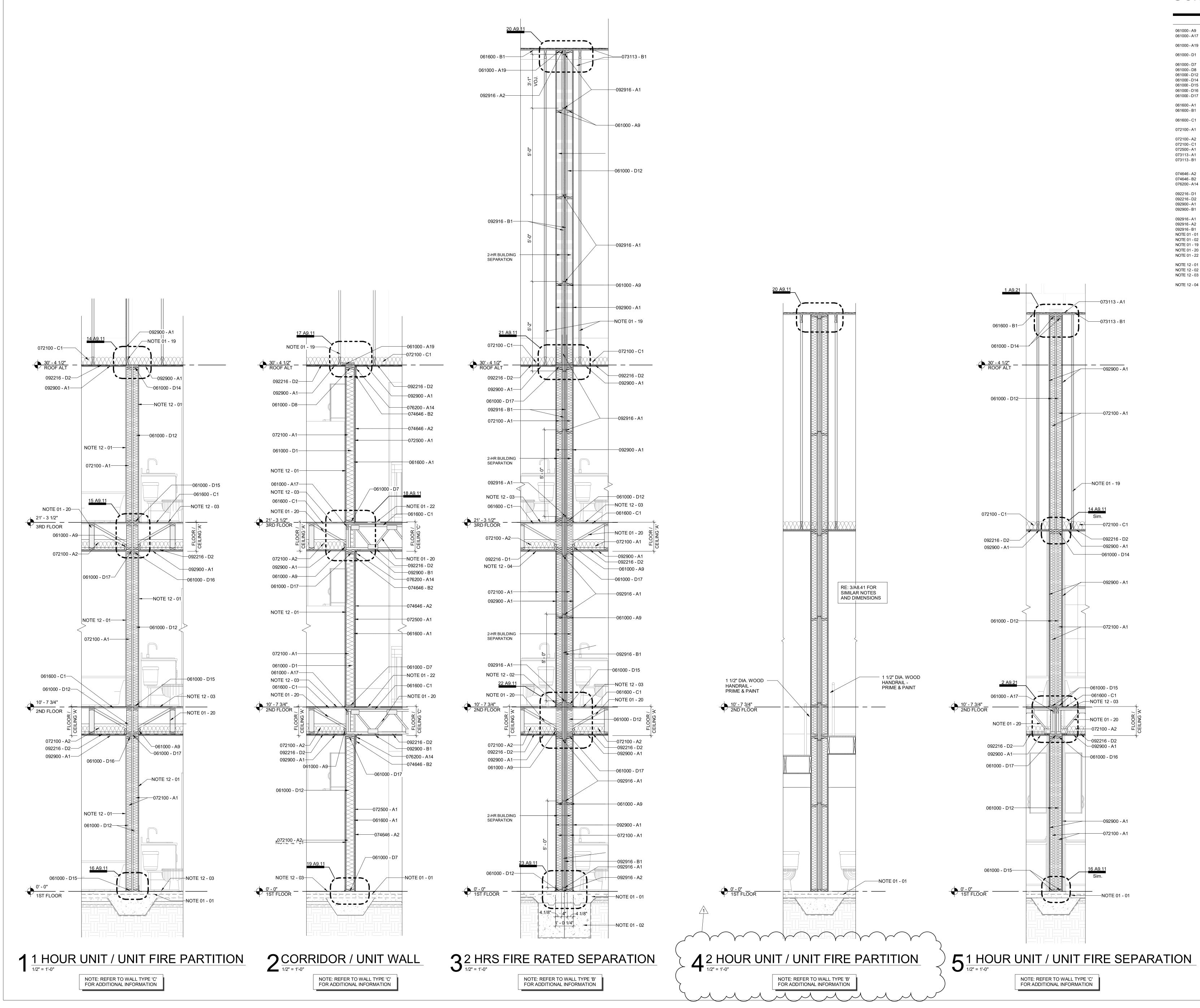
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360://20057_BPP Southern Hills_R20/20057_BPP_Southern_Hills_BLDGs_Central_



	MATERIAL	KEYN
1000 - A9	2X4 CONT. W	OOD TIE N
1000 - A17	2X WOOD BL STRUCTURA	
1000 - A19	2X CONT. WO DRAWINGS F	
1000 - D1	2X6 STUD FF DRAWINGS	RAMING. RE
1000 - D7	2X6 SILL PLA	
1000 - D8	2X6 TOP PLA	
1000 - D12	2X4 STUD FF	
1000 - D14	2X4 TOP PLA	
1000 - D15	2X4 SILL PLA	
1000 - D16	2X BEARING	
1000 - D17	2X TOP BEAF RE: STRUCTU	
1600 - A1	1/2" EXTERIC	R SHEATH
1600 - B1	19/32" CDX E SHEATHING.	
1600 - C1	23/32" T&G IN RE: STRUCTI	
2100 - A1	BATT INSULA FRAMING	TION - THIC
2100 - A2	R-11 BATT IN	SULATION
2100 - C1	R-38 BLOWN	INSULATIO
2500 - A1	AIR BARRIER	- BUILDING
3113 - A1	ASPHALT SH	INGLES
3113 - B1	SELF ADHEF INSTALL TWO THAN 4:12	
4646 - A2	FIBER-CEME	NT BOARD
4646 - B2	FIBER-CEME	NT 7 1/4" TF
6200 - A14	METAL TOP F	
2216 - D1	1 1/2" FURRIN	IG CHANNE
2216 - D2	1/2" RESILIEN	IT FURRING
2900 - A1	5/8" GYPSUM	BOARD - T
2900 - B1	5/8" MOISTUF BOARD - TYP	
2916 - A1	4" METAL C-ł	I STUDS AT
2916 - A2	4" METAL RU	NNER "J" TI
2916 - B1	1" GYPSUM S	SHAFTLINE
DTE 01 - 01	CONCRETE F	LOOR SLA
DTE 01 - 02	FOUNDATION	
DTE 01 - 19	WOOD ROOF	
DTE 01 - 20	WOOD FLOO	
DTE 01 - 22	CONCRETE E THICKNESS).	
DTE 12 - 01	WALL FINISH	. RE: INTER
DTE 12 - 02	BASE. RE: IN	
DTE 12 - 03	FLOOR FINIS DOCUMENTS	
DTE 12 - 04	CEILING FINK SCHEDULE	SH. RE: CE

NAIL RE: STRUCTURAL BETWEEN TRUSSES RE: CKING RE: STRUCTURAL JIREMENTS RE: STRUCTURAL

BLE WHERE SHOWN T 16" O.C. BLE WHERE SHOWN

ATE (WITH AS REQUIRED) THING. RE: STRUCTURAL ? PLYWOOD ROOF JCTURAL PLYWOOD SUB FLOORING. IICKNESS SAME AS WALL

I ON IG WRAP

ET UNDERLAYMENT. 3 AT ROOF SLOPES LESS D SIDING

TRIM BOARD S PER FIBER CEMENT COMMENDATIONS NELS AT 24" O.C. NG CHANNELS AT 16" O.C. - TYPE X IOLD-RESISTANT GYPSUM

AT 24" O.C. ' TRACKS IER BOARD - TYPE X LAB RE: STRUCTURAL STRUCTURAL

RE: STRUCTURAL RE: STRUCTURAL

DECK (MINIMUM 1.5" ICTURAL

ERIOR DESIGN DOCUMENTS DESIGN DOCUMENTS TERIOR DESIGN EILING PLAN AND FINISH

CREATING PLACES THAT WORK. / cparch.com 08/29/24 _____ _____ _____ _ _ ____ _____ _____ _____ _____ ------_____ _____ _____ ____ _____ _____ _____ _____

Revisions / Submission

The drawings, specifications and other documents prepared by the Architect for this project are instruments of the Architect's service for use solely with respect to this project and, unless otherwise provided, the architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including reproducible copies, of the Architect's drawings, specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Architect's drawings, specifications or other documents shall not be used by the Owner or others on other projects, for additions to this project or for completion of this project by others, unless the Architect is adjudged to be in default under this agreement, except by agreement in writing and with appropriate compensation to the Architect.





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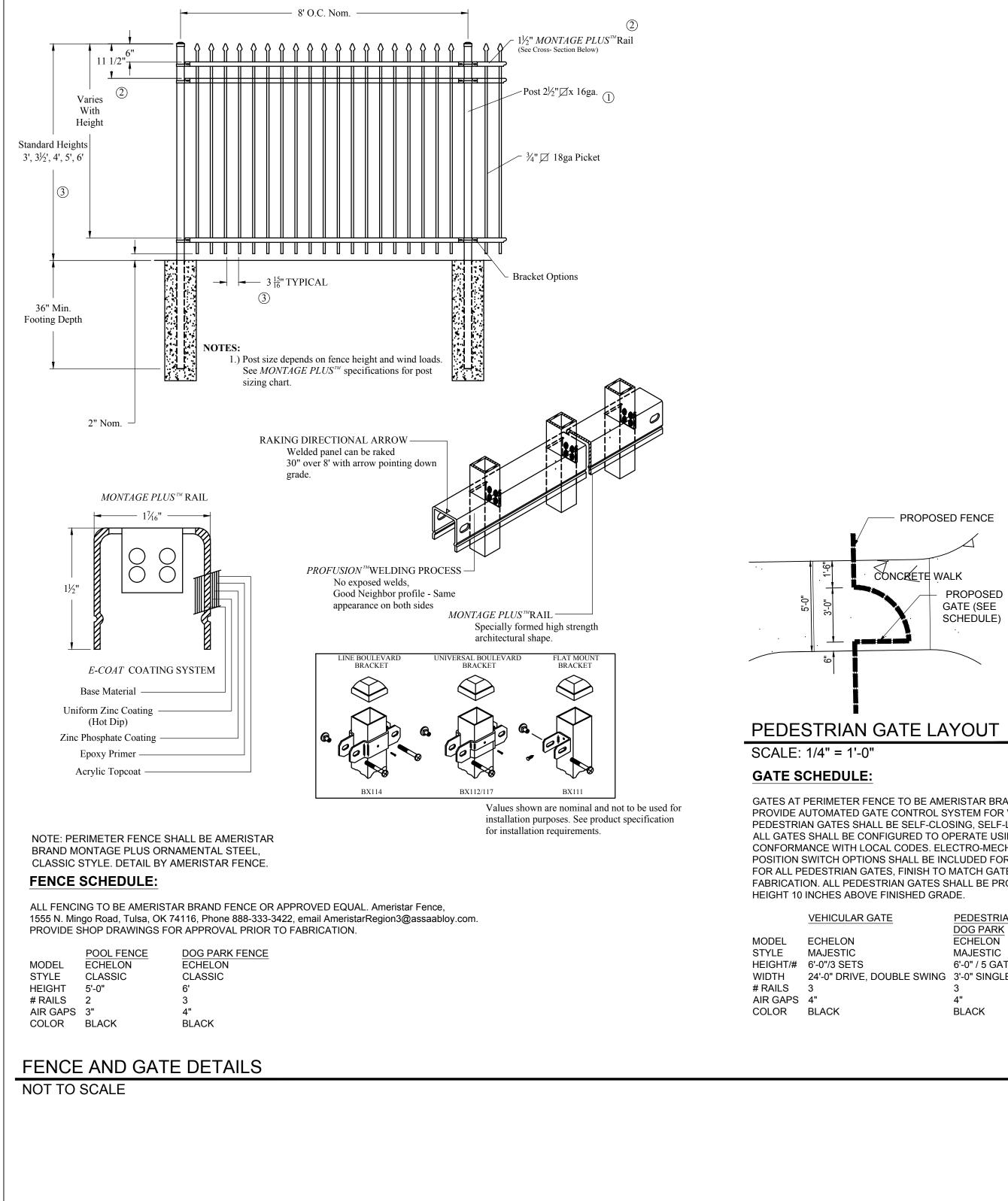
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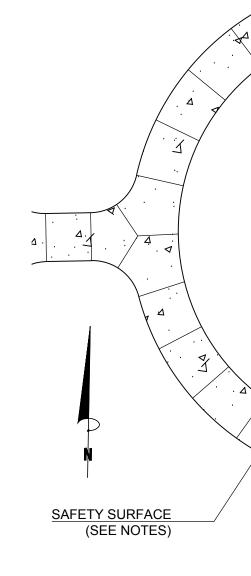
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GATES AT PERIMETER FENCE TO BE AMERISTAR BRAND WELDED ORNAMENTAL STEEL OR APPROVED EQUAL. PROVIDE AUTOMATED GATE CONTROL SYSTEM FOR VEHICULAR GATES, SWING DIRECTION AS SHOWN. PEDESTRIAN GATES SHALL BE SELF-CLOSING, SELF-LATCHING AND LOCKABLE, SWING DIRECTION AS SHOWN. ALL GATES SHALL BE CONFIGURED TO OPERATE USING BUILDING AND / OR SITE SECURITY SYSTEM AND IN CONFORMANCE WITH LOCAL CODES. ELECTRO-MECHANICAL LOCK, AUTOMATIC DOOR CLOSER, AND DOOR POSITION SWITCH OPTIONS SHALL BE INCLUDED FOR ALL GATES. METAL FABRIC MESH SHALL BE PROVIDED FOR ALL PEDESTRIAN GATES, FINISH TO MATCH GATES. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ALL PEDESTRIAN GATES SHALL BE PROVIDED ADA-COMPLIANT KICK PLATES, TO A MINIMUM

/EHICULAR GATE	PEDESTRIAN GATE AT
	DOG PARK
ECHELON	ECHELON
MAJESTIC	MAJESTIC
6'-0"/3 SETS	6'-0" / 5 GATES
24'-0" DRIVE, DOUBLE SWING	3'-0" SINGLE SWING
3	3
1"	4"
BLACK	BLACK

PEDESTRIAN GATE AT POOL FENCE ECHELON MAJESTIC 5'-0" / 3 GATES 3'-0" SINGLE SWING

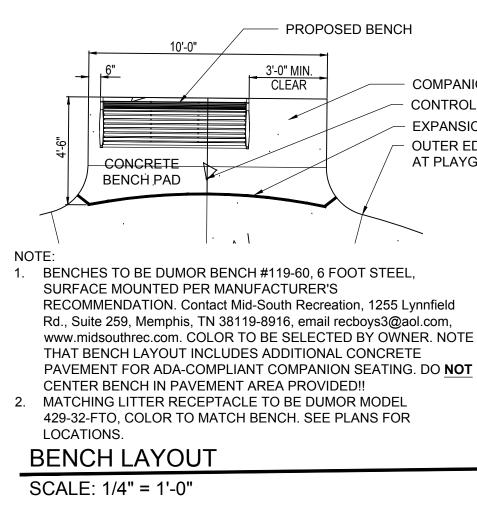
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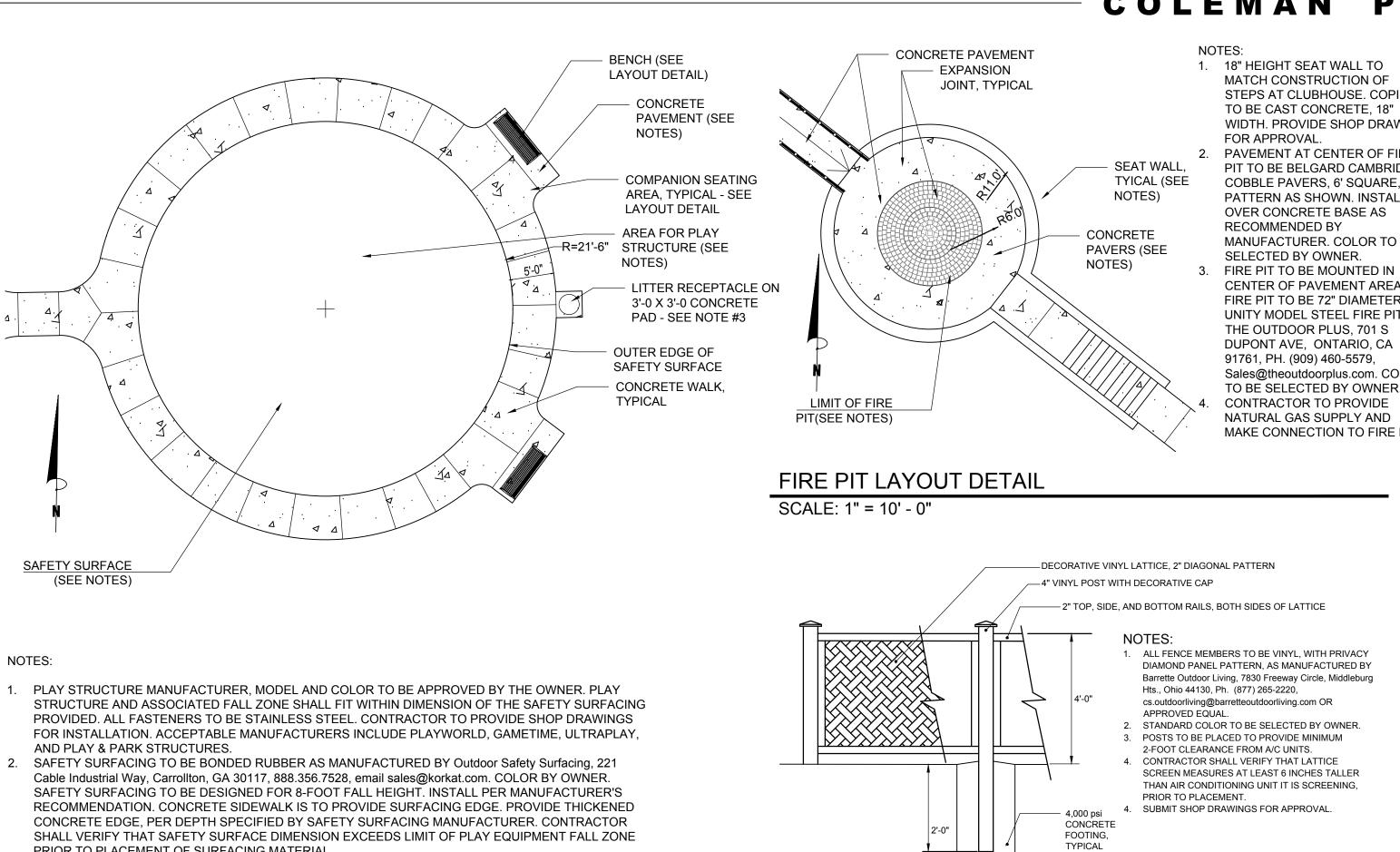


NOTES:

- AND PLAY & PARK STRUCTURES.
- PRIOR TO PLACEMENT OF SURFACING MATERIAL.
- OWNER
- MOUNTED IN LOCATION SHOWN ON PLAN.

PLAYGROUND LAYOUT DETAIL SCALE: 1" = 10' - 0"





3. BENCHES TO BE DUMOR, INC. STEEL SLAT BENCH MODEL 119, STANDARD COLOR AS SELECTED BY

4. LITTER RECEPTACLE TO BE DUMOR MODEL MODEL 429-32-FTO, COLOR TO MATCH BENCH, SURFACE

HVAC UNIT SCREEN FENCE DETAIL SCALE: 1/2" = 1' - 0"

ELEVATION

16" SQUARE

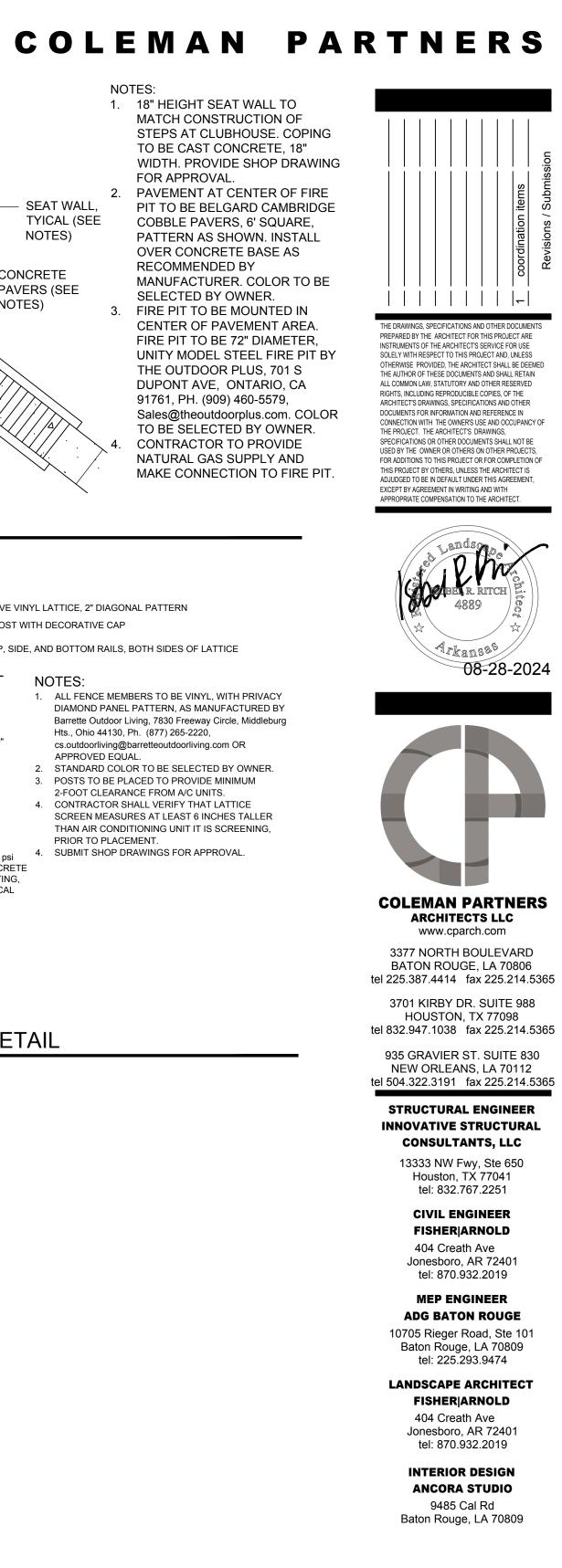
SECTION

PROPOSED BENCH

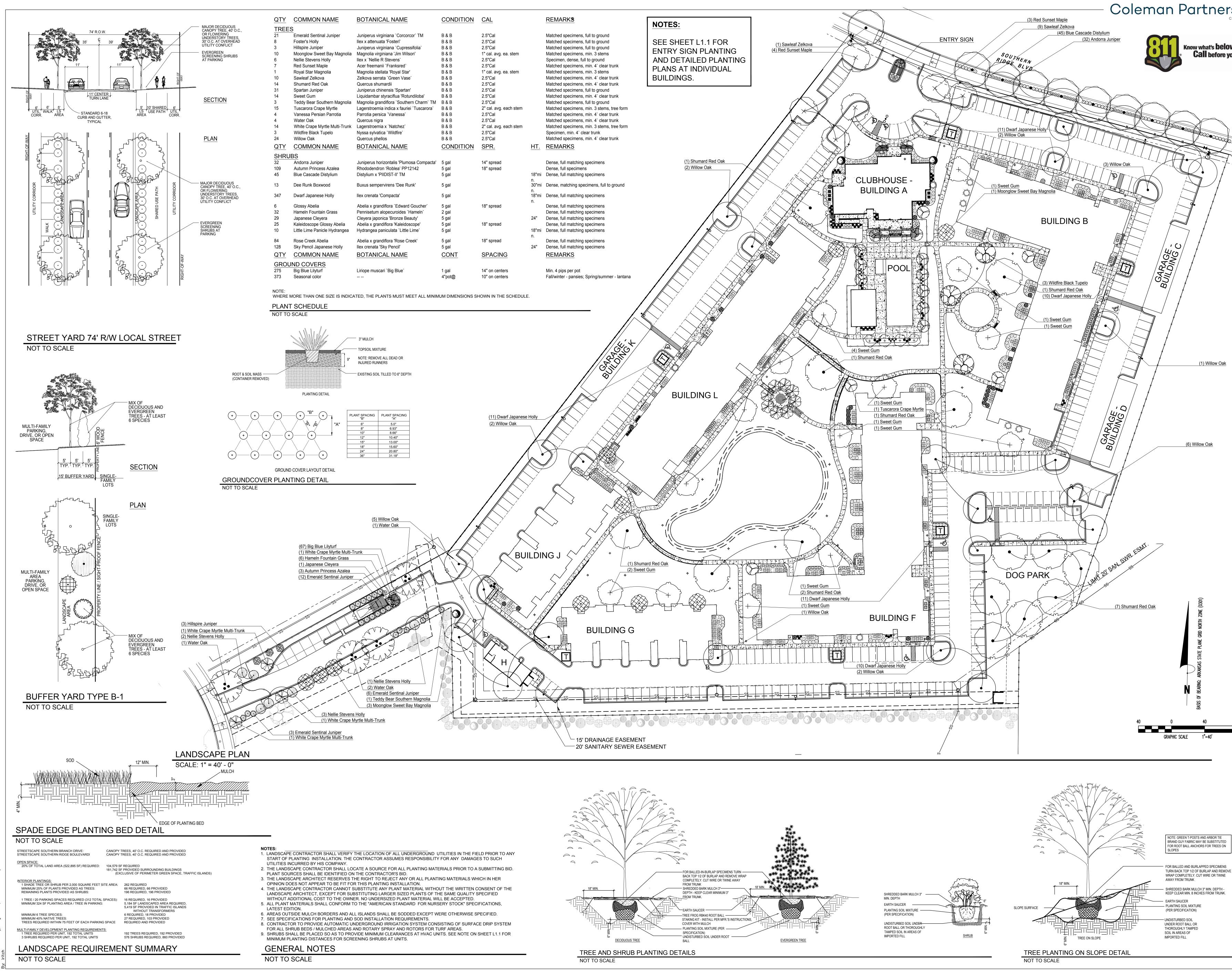
<u>3'-0" MIN.</u> CLEAR

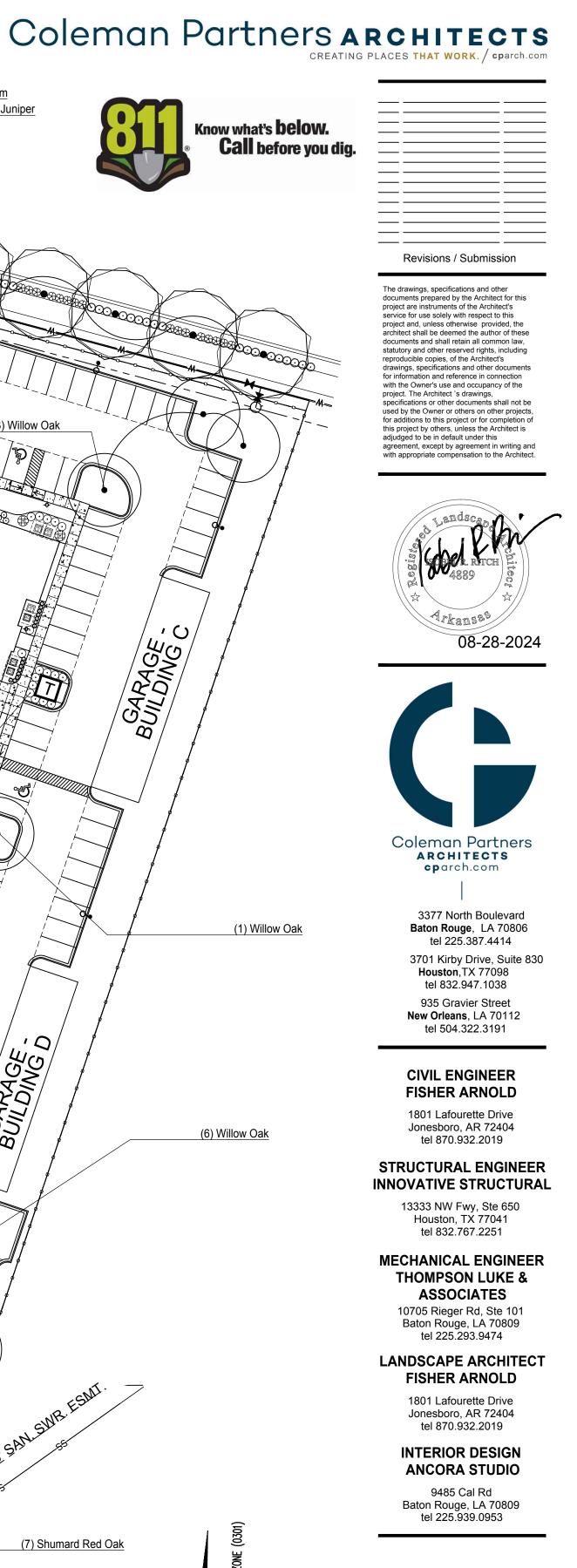
COMPANION SEATING AREA CONTROL JOINT - EXPANSION JOINT OUTER EDGE OF WALK AT PLAYGROUND

MATCH CONSTRUCTION OF STEPS AT CLUBHOUSE. COPING TO BE CAST CONCRETE, 18" WIDTH. PROVIDE SHOP DRAWING 2. PAVEMENT AT CENTER OF FIRE PIT TO BE BELGARD CAMBRIDGE COBBLE PAVERS, 6' SQUARE, PATTERN AS SHOWN. INSTALL OVER CONCRETE BASE AS MANUFACTURER. COLOR TO BE CENTER OF PAVEMENT AREA. FIRE PIT TO BE 72" DIAMETER, UNITY MODEL STEEL FIRE PIT BY THE OUTDOOR PLUS, 701 S DUPONT AVE, ONTARIO, CA 91761, PH. (909) 460-5579, Sales@theoutdoorplus.com. COLOR TO BE SELECTED BY OWNER. CONTRACTOR TO PROVIDE NATURAL GAS SUPPLY AND MAKE CONNECTION TO FIRE PIT.



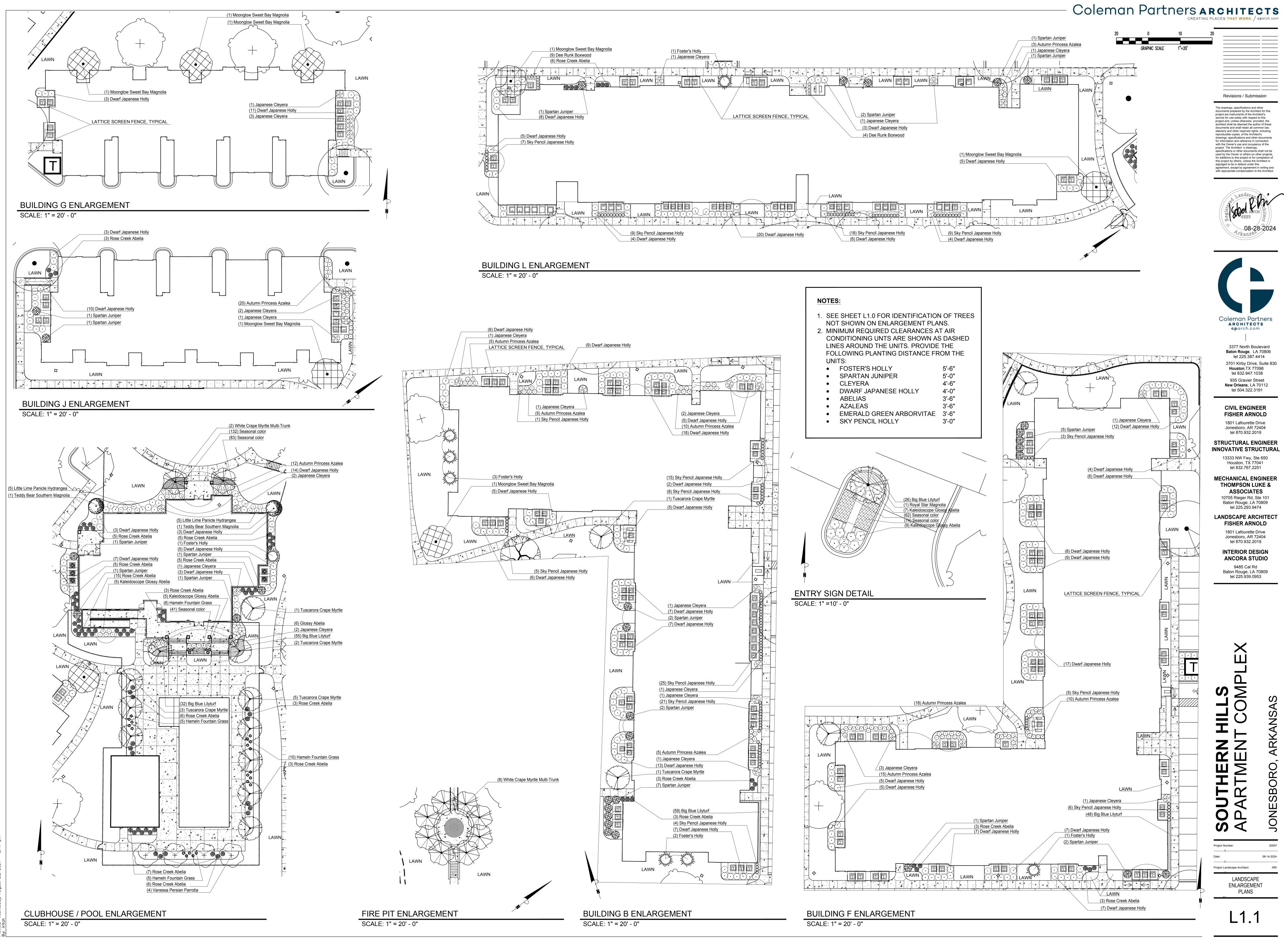






1"=40'





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