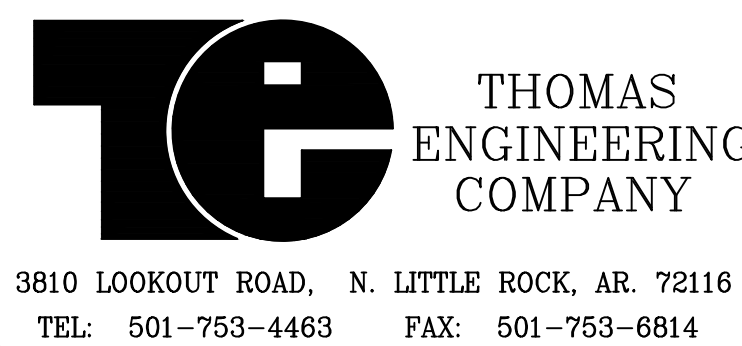
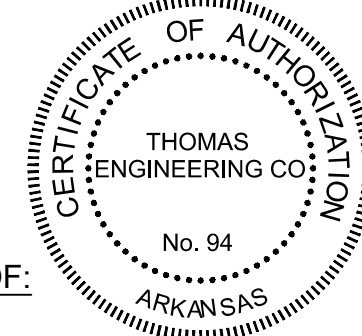


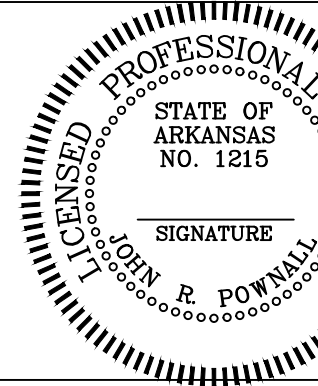
1. THE INFORMATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THIS SURVEY IS BASED ON RECORDS OF EXISTING UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS WERE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS IN ADVANCE BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. BASIS OF BEARINGS: ARKANSAS STATE PLANE, NORTH ZONE (ARDOT).
3. THIS PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PLAN, NUMBER 095119C U456 H DATED JUNE 7, 2019.
4. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT TITLE SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

A vertical list of 18 musical symbols and notation elements, including various note heads, rests, and clefs.

FOR USE & BENEFIT OF:  
CITY OF LITTLE ROCK



# TOPOGRAPHIC SURVEY FOR THE



: SHEET NUMBER

# V100

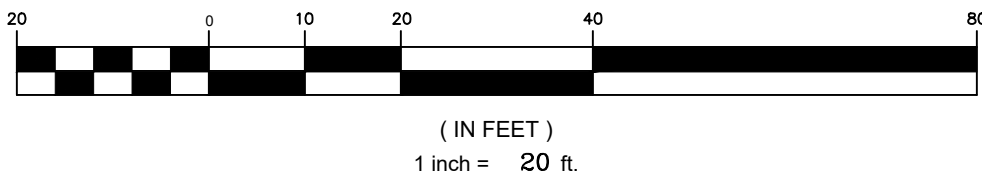


LITTLE ROCK MICRO HOME VILLAGE 23-0180.dwg

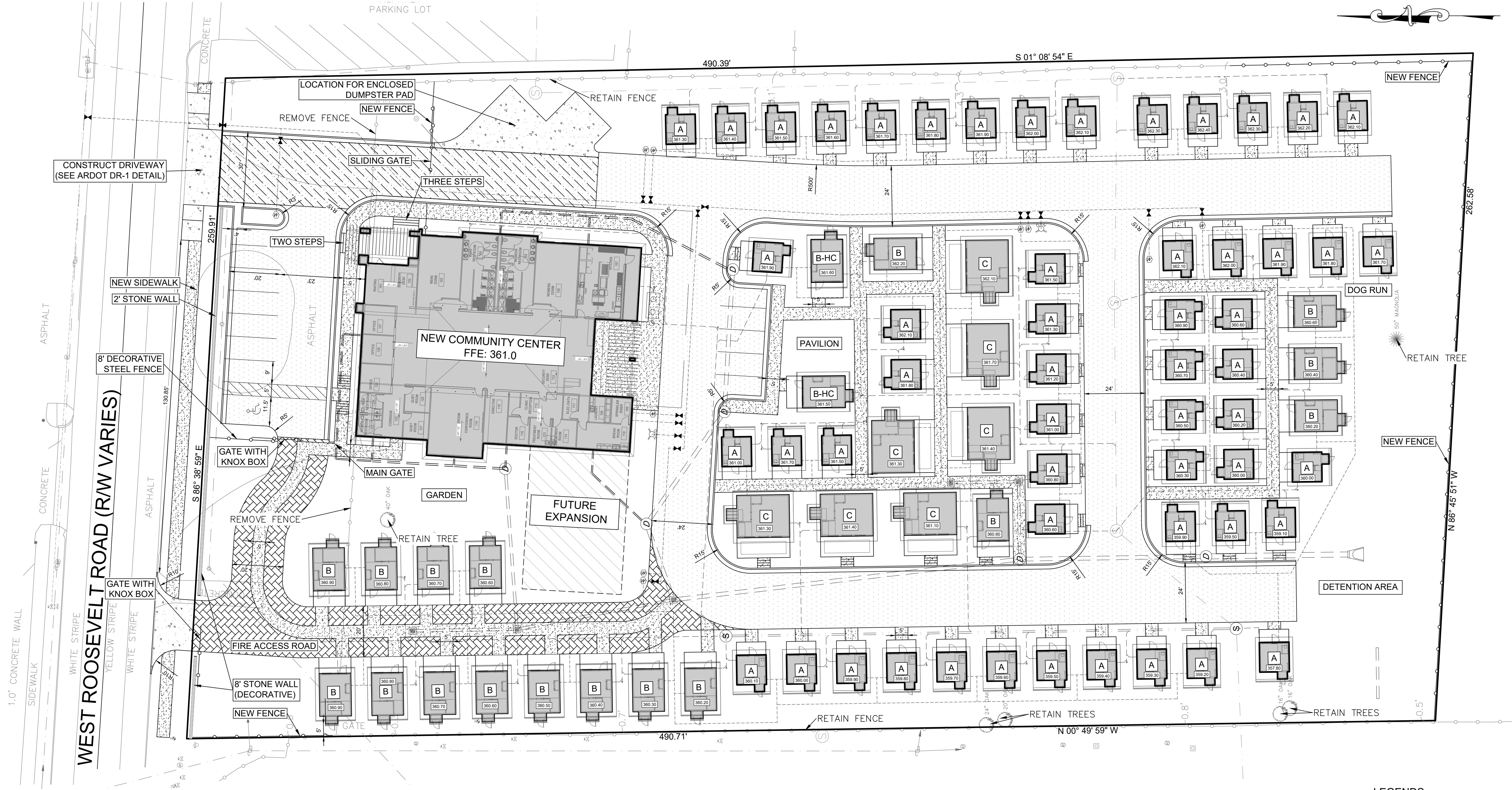
PLOTTED: 12/16/2024



VICINITY MAP



GRAPHIC SCALE



GENERAL NOTES:

- ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED. RADII ARE 5 FEET UNLESS OTHERWISE INDICATED.
- SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH O.S.H.A. AND ANY OTHER APPLICABLE LOCAL, STATE OR FEDERAL SAFETY REGULATIONS, INCLUDING THE USE OF TRENCH SHORING, ETC.
- REPAIR, REPLACE OR EXTEND EXISTING DAMAGED OR MISSING CURB AND GUTTER, SIDEWALK, RAMPS OR CONCRETE APRONS ON SITE & WITHIN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE. REMOVE ABANDONED DRIVEWAYS. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY STANDARDS AND ADA GUIDELINES.
- CONTACT CITY OF LITTLE ROCK FOR INSPECTIONS OF ANY WORK IN PUBLIC RIGHT-OF-WAY PRIOR TO PLACEMENT OF CONCRETE OR ASPHALT OR FOR CLARIFICATION OF REQUIREMENTS PRIOR TO COMMENCING WORK. FAILURE TO DO SO CAN RESULT IN REMOVAL OF ANY IMPROPERLY PLACED CONCRETE OR ASPHALT AT THE EXPENSE OF THE CONTRACTOR.
- CONTACT LOCAL FIRE DEPARTMENT FOR LOCATION AND REQUIREMENTS FOR FIRE LANE STRIPING ON SITE BEFORE APPLICATION.
- ANY WORK WITH THE STATE HIGHWAY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH ARDOT STANDARDS.

TRAFFIC ENGINEERING REMARKS:

- OBTAIN PERMITS PRIOR TO DOING ANY STREET CUTS OR CURB CUTS. OBTAIN BARRICADE PERMIT PRIOR TO DOING ANY WORK IN THE RIGHT-OF-WAY. CONTACT CITY OF LITTLE ROCK FOR MORE INFORMATION.
- ALL SIGNAGE, PAVEMENT MARKINGS AND PARKING LOT STRIPING SHALL CONFORM TO REQUIREMENTS GIVEN IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD REQUIRES THAT PARKING SPACES BE MARKED IN WHITE.
- CONTRACTOR SHALL NOT REMOVE OR ALTER EXISTING TRAFFIC SIGNAGE OR PAVEMENT MARKING WITH OUT PRIOR PERMISSION FROM THE CITY OF LITTLE ROCK TRAFFIC SERVICES DEPARTMENT. IF ANY SIGNAGE NEEDS TO BE RELOCATED, CONTACT CITY OF LITTLE ROCK FOR PRIOR INSPECTION AND APPROVAL. IF CONSTRUCTION WORK IS GOING TO AFFECT ANY EXISTING SIGNAGE OR PAVEMENT MARKING, CONTRACTOR SHALL USE APPROPRIATE TEMPORARY TRAFFIC CONTROL DEVICES TO GUIDE MOTORISTS IN ACCORDANCE WITH MUTCD DURING THE COURSE OF CONSTRUCTION.

SITE PLAN REVIEW NOTES

- THIS SITE CONTAINS MICRO HOME COMMUNITY VILLAGE AND A COMMUNITY CENTER FOR VILLAGE.
- BASIS OF BEARINGS: PAGIS
- THE PROPERTY IS NOT SHOWN IN THE 100 YEAR FLOOD PLAIN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 05119C 0466H DATED JULY 6, 2015.
- THIS TRACT CONTAINS 2.934 ACRES, MORE OR LESS
- THIS PROPERTY IS ZONED C-4 (OPEN DISPLAY AREA).
- SETBACKS SHOWN ARE:  
45' FRONT  
15' SIDE  
25' REAR

TYPE	NUMBER
MICROHOME A	54
MICROHOME B	17
MICROHOME B-HC	02
MICROHOME C	07
TOTAL	80

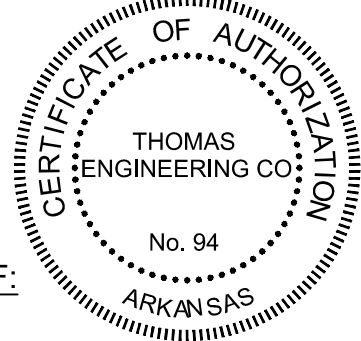
LEGEND

	PROPERTY LINE	
	BUILDING LINE	
	EASEMENT	
	FENCE - WOOD	
	FENCE CHAIN LINK	
	CURB & GUTTER	
	WATER SHUT OFF VALVE	
	WATER METER	
	ELECTRIC METER	
	ELECTRIC BOX	
	LIGHT POLE	
	WATER VALVE	
	SANITARY SWER CLEAN OUT	
	TELEPHONE PEDESTAL	
	SIGN	
	A.C. UNIT	
	SHOWS 1/2" PIPE WITH CAP PLS 1215	
	SHOWS FOUND SURVEY MARKER AS DESCRIBED	

LEGENDS

	SHOWS SIDEWALK
	SHOWS CONCRETE PAVEMENT
	SHOWS STANDARD DUTY ASPHALT PAVEMENT
	SHOWS GRASS POROUS PAVERS
	SHOWS HEAVY DUTY ASPHALT PAVEMENT

FOR USE & BENEFIT OF:  
CITY OF LITTLE ROCK



**THOMAS ENGINEERING COMPANY**  
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116  
TEL: 501-753-4463 FAX: 501-753-6814

SITE PLAN FOR THE

LITTLE ROCK MICRO HOME VILLAGE

LITTLE ROCK, AR 72204



:STAMP

CONSTRUCTION DOCUMENTS

:SHEET TITLE

SITE PLAN

:REVISIONS

NO.	DESCRIPTION	DATE

DECEMBER 13, 2024 :ISSUE DATE

24-031 :PROJECT NUMBER

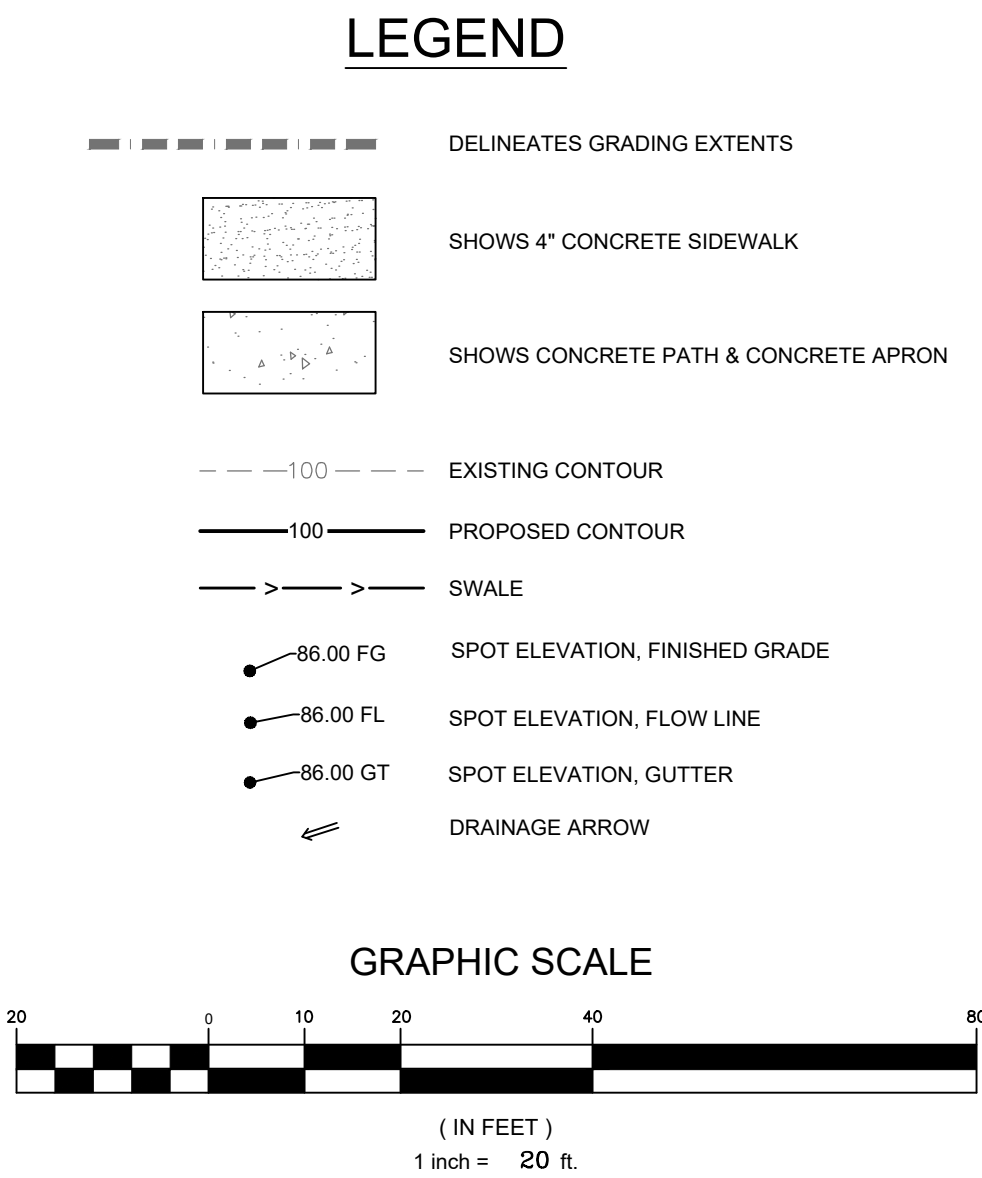
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LITTLE ROCK MICRO HOME VILLAGE 23-0180.dwg

PLOTTED: 12/16/2024



WEST ROOSEVELT ROAD (RW VARIES)

WHITE STRIPE

YELLOW STRIPE

WHITE STRIPE

ASPHALT

CONCRETE

PARKING LOT

NEW COMMUNITY CENTER  
FFE: 361.0

FUTURE EXPANSION

DRAINAGE SWALE

40" OAK

GATE

50' MAGNOLIA

TOP OF DETENTION: 356.0

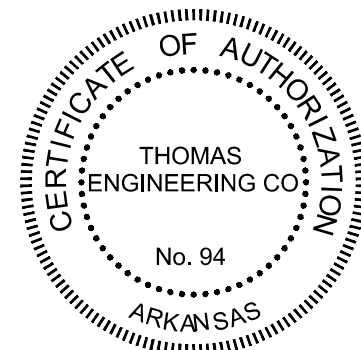
FL 352.3

FL 352.2

**GRADING PLAN**  
**GENERAL NOTES:**

- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- WARRANTY/DISCLAIMER. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED AT THIS TIME. HOWEVER, NEITHER THOMAS ENGINEERING COMPANY, INC., NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THOMAS ENGINEERING COMPANY PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ENGINEER'S NOTICE TO CONTRACTOR. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- SEE ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE RAMPS AND SIDEWALKS ATTACHED TO BUILDINGS.
- FINISHED GRADE CONTOURS ARE INDICATED ALONG TOP OF COMPLETED STRUCTURES, TOP OF PAVEMENT AND GUTTER LINE OF CURB, UNLESS OTHERWISE SHOWN. FOR ROUGH GRADING, CONTRACTOR SHALL ALLOW FOR DEPTHS OF TOPSOIL AND CONCRETE STRUCTURES. FOR FINISH GRADING, CONTRACTOR SHALL INSTALL TOPSOIL AND CONCRETE STRUCTURES TO FINISHED GRADE AS INDICATED ON THIS SHEET.
- GRADE TO DRAIN AWAY FROM BUILDING AT MINIMUM 1% SLOPE.
- THE GENERAL CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS AT END OF PROJECT.
- ALL STORM DRAIN LINES AND UTILITY LINES UNDER THE PAVEMENT SHALL BE BACK FILLED WITH CRUSHED STONE.
- PLACE A 6" MINIMUM DEPTH OF TOPSOIL OVER ALL LAWN AND LANDSCAPE AREAS.
- REFER TO LANDSCAPE PLAN FOR PERMANENT TURF SOD AND SEEDING AREAS.
- PROVIDE TEMPORARY SEEDING AND EROSION CONTROL PER STATE AND LOCAL CODES.



**TE** THOMAS ENGINEERING COMPANY

3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116  
TEL: 501-753-4463 FAX: 501-753-6814

GRADING PLAN FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204



**CONSTRUCTION DOCUMENTS**

**GRADING PLAN**

REVISIONS		
NO.	DESCRIPTION	DATE

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:SHEET NUMBER

**C200**

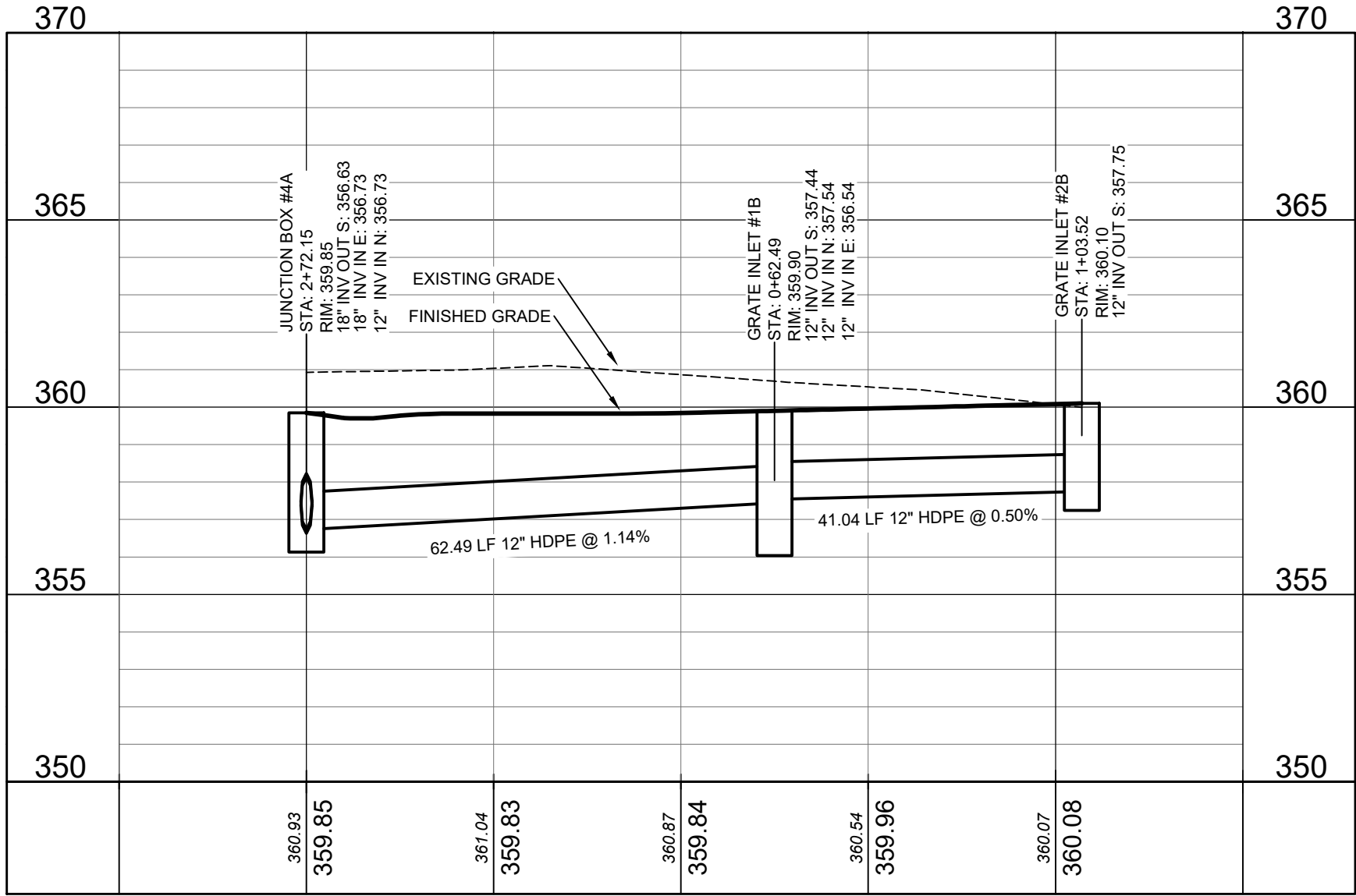
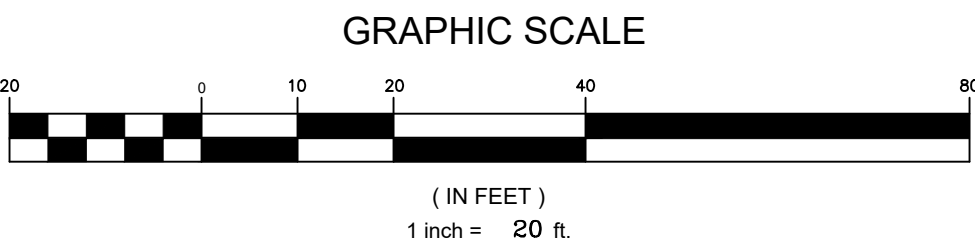
**WILLIAMS & DEAN**  
ARCHITECTURE | INTERIOR DESIGN

18 CORPORATE HILL DRIVE, SUITE 210  
LITTLE ROCK, AR 72205  
P: 501.224.1900  
WWW.WILLIAMSDEAN.COM

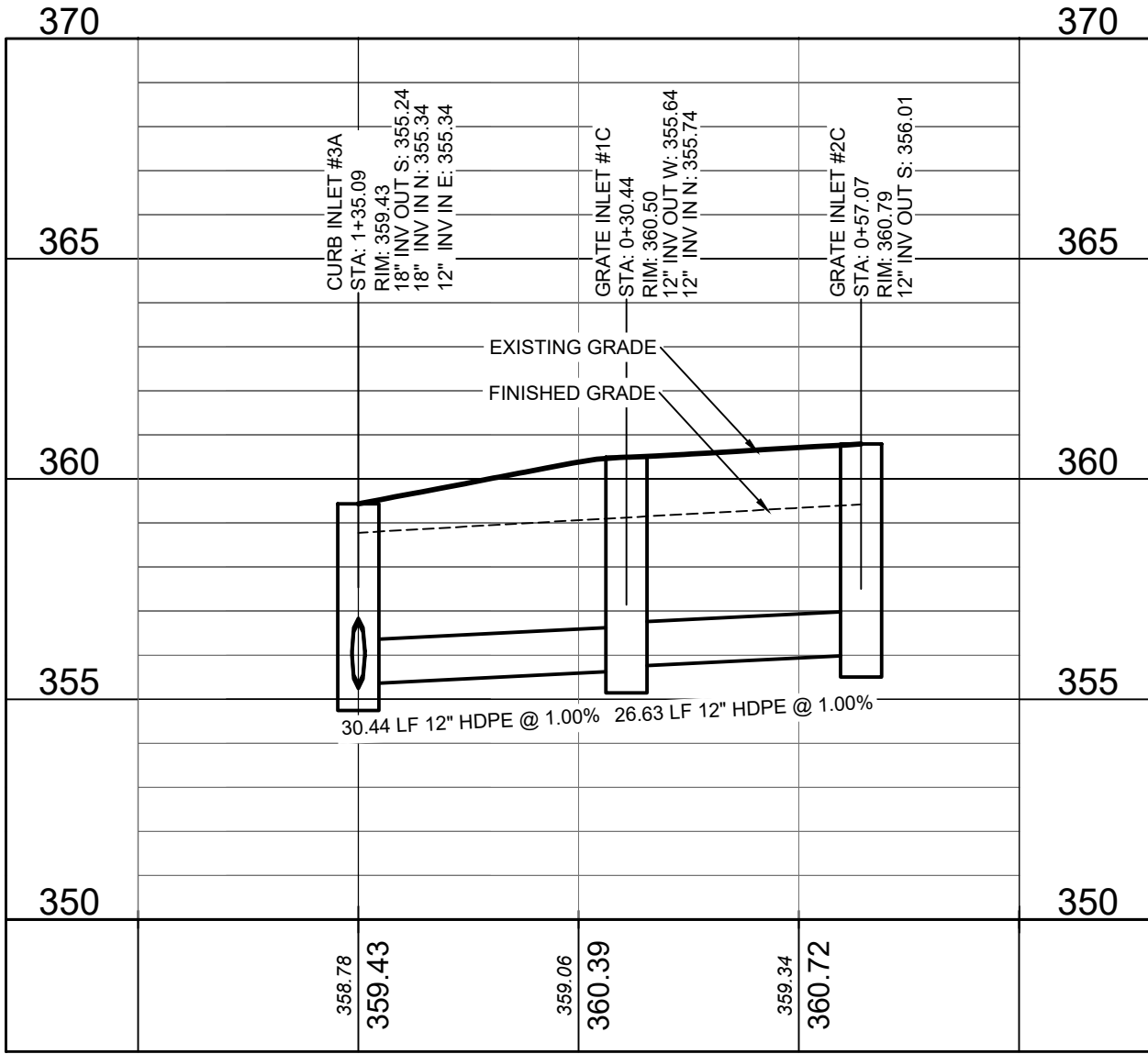


LITTLE ROCK MICRO HOME VILLAGE 23-0180.dwg

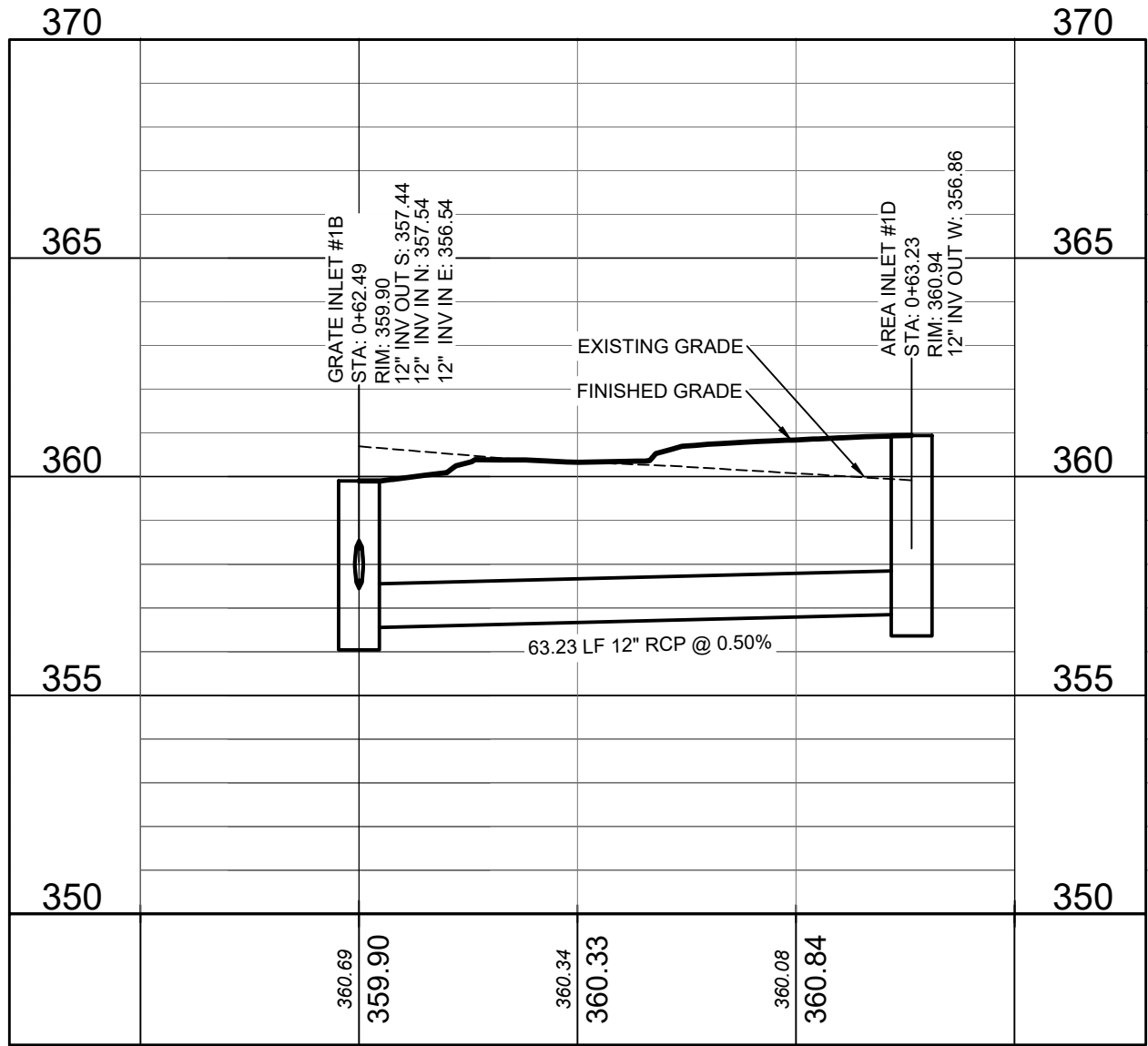
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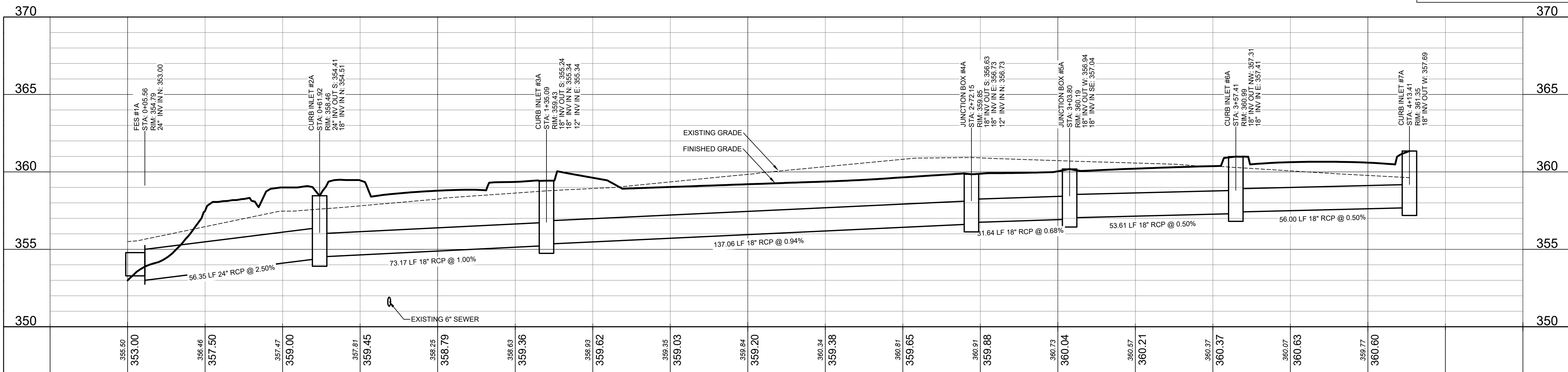
STORM DRAIN B



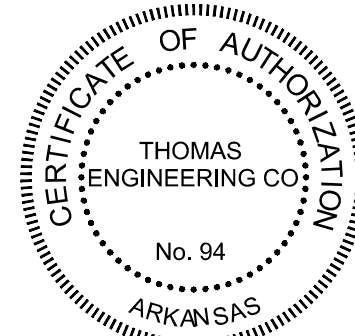
STORM DRAIN C



STORM DRAIN D



STORM DRAIN A



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WWW.WILLIAMSDEAN.COM

STORM DRAIN - PLAN & PROFILE FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204

STAMP

CONSTRUCTION DOCUMENTS

SHEET TITLE  
**STORM DRAIN -  
PLAN & PROFILE**

REVISIONS

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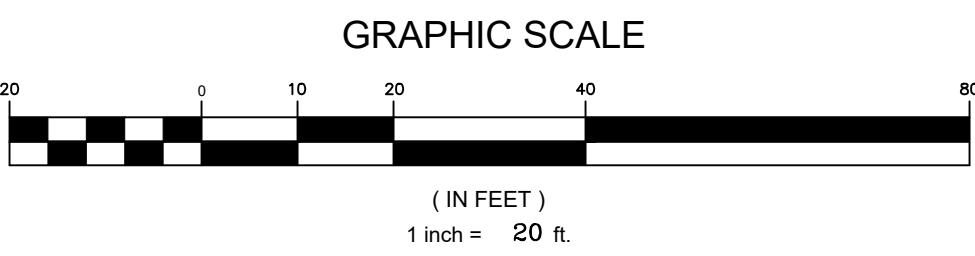
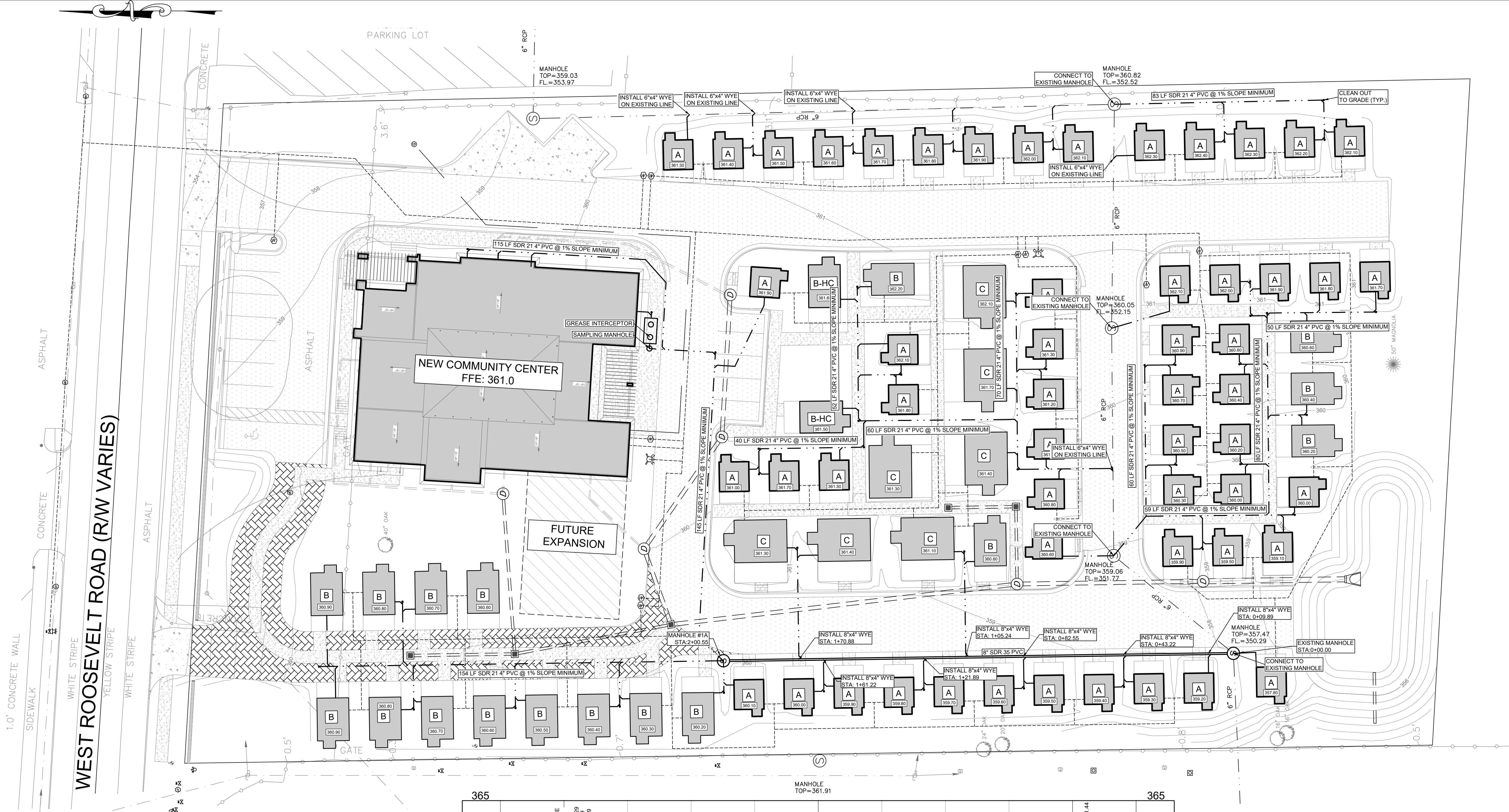
24-031 :PROJECT NUMBER

:SHEET NUMBER  
**C300**

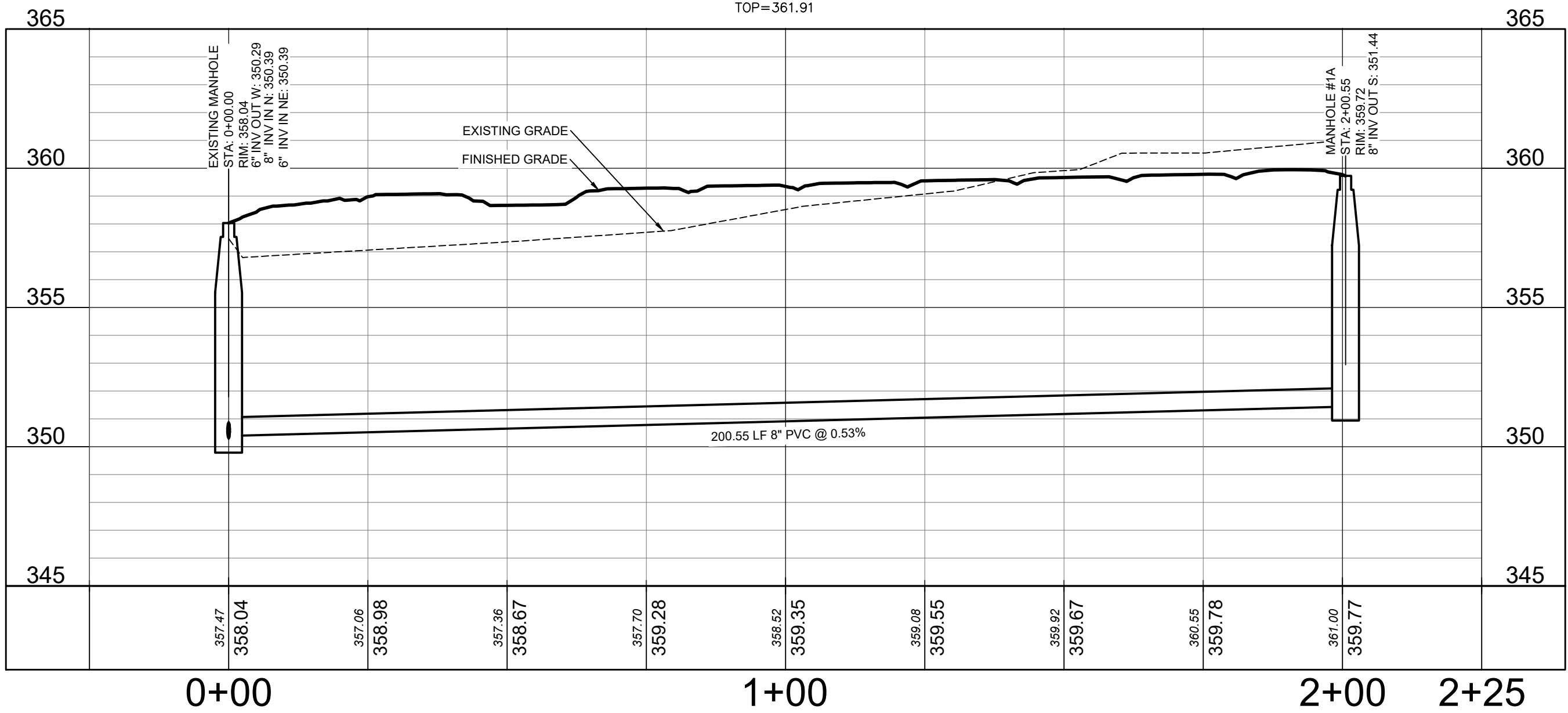


LITTLE ROCK MICRO HOME VILLAGE 23-0180.dwg

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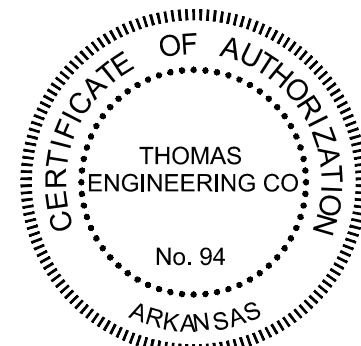
VICINITY MAP



SANITARY SEWER A

SANITARY SEWER GENERAL NOTES

1. ALL SEWER MAINS SHALL BE INSTALLED ACCORDING TO LITTLE ROCK WATER RECLAMATION AUTHORITY SPECIFICATIONS.
2. ALL PVC SEWER PIPE SHALL HAVE ASTM C33 #7 STONE BEDDING, 6\" ALL SIDES.
3. SERVICE LINES AND STUBS SHALL BE LAID ON MINIMUM 1% SLOPE.
4. MAINTAIN 10\" MINIMUM CLEARANCE BETWEEN WATER AND SEWER LINES.
5. CLASS \"B\" CONCRETE SHALL BE INSTALLED UNDER EACH WYE BRANCH TO PREVENT CRACKING OR TWISTING UNDER EARTH LOADS.
6. A 4\" SERVICE LINE SHALL BE INSTALLED AT EACH WYE AT A MINIMUM OF 5 LF OR THE DISTANCE TO THE PROPERTY LINE, WHICHEVER IS GREATER.
7. WYES & ENDS OF LONG SERVICE LINES SHALL BE MARKED WITH SKI ROPE OR DETECTABLE TAPE TERMINATED AT THE GROUND SURFACE.
8. PVC SEWER MAIN PIPE SHALL CONFORM TO ASTM D-3034 TYPE SDR 35.
9. PVC SEWER SERVICE SHALL CONFORM TO ASTM D-2513 TYPE SDR 21.
10. SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED PER SPECIFICATIONS.



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COMPANY  
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**WILLIAMS & DEAN**  
ARCHITECTURE | INTERIOR DESIGN  
18 CORPORATE HILL DRIVE, SUITE 210  
LITTLE ROCK, AR 72205  
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WWW.WILLIAMSDEAN.COM

SANITARY SEWER - PLAN & PROFILE FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204



CONSTRUCTION DOCUMENTS

SANITARY SEWER -  
PLAN & PROFILE

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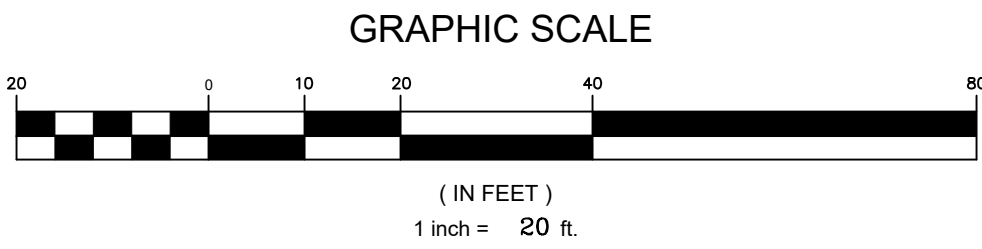
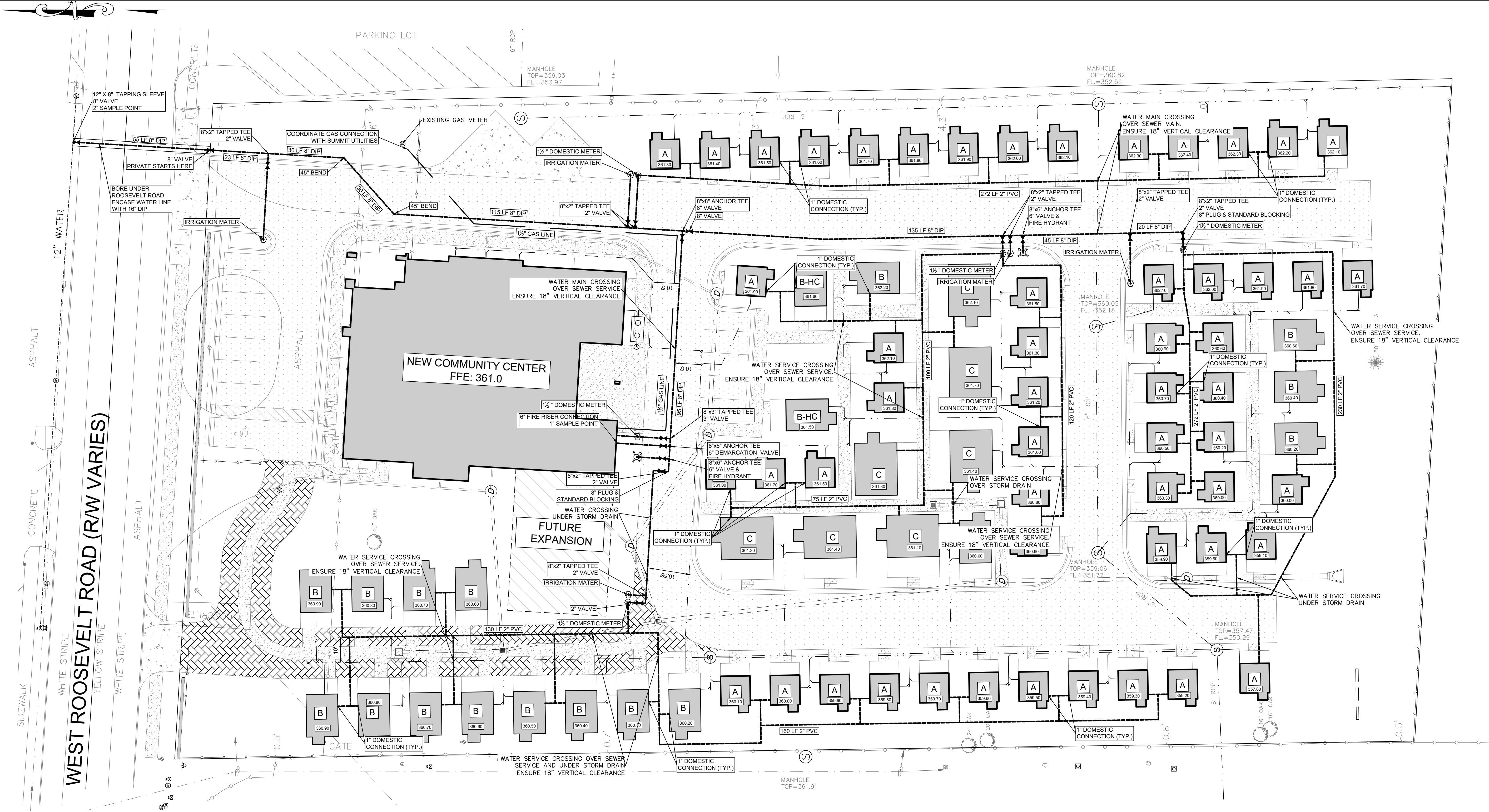
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LITTLE ROCK MICRO HOME VILLAGE 23-0180.dwg

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VICINITY MAP

41 - WATER & SANITARY SEWER CROSSINGS

41.1 WATER MAINS INSTALLED OVER A SANITARY SEWER MAIN OR SEWER SERVICE MUST HAVE A CLEAR DISTANCE BETWEEN PIPES OF AT LEAST EIGHTEEN (18) INCHES.

41.1.1 SEWER AND WATER SHOULD HAVE AT LEAST 18" VERTICAL AND 10' HORIZONTAL CLEARANCE.

41.1.2 FOR WATER MAINS OVER SANITARY SEWER MAINS, IF 18" VERTICAL CLEARANCE CAN NOT BE PROVIDED, EITHER THE SANITARY SEWER MAIN OR THE WATER MAIN SHALL BE ENCASED IN TWENTY FEET OF WATERTIGHT ENCASEMENT PIPE, CENTERED OVER THE POINT OF CROSSING. THE ENDS OF THE ENCASEMENT PIPE SHALL BE SEALED WATERTIGHT. FOR WATER MAINS UNDER SANITARY SEWER MAINS, AT LEAST 18" OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT.

41.1.3 SANITARY SEWER MAIN AND SERVICE LINE REPLACEMENT SHALL BE APPROVED BY NORTH LITTLE ROCK WASTEWATER UTILITY

41.1.4 ADDITIONAL ENCASEMENT PIPE IS RECOMMENDED BETWEEN THE PIPE AND THE CONCRETE ENCASEMENT.

WATER NOTES:

- ALL DUCTILE IRON PIPE SHALL BE POLY WRAPPED THE ENTIRE LENGTH.
- ALL PIPE TO HAVE A MINIMUM OF 3' OF COVER.
- SERVICE LINES ARE TO BE INSTALLED BY CONTRACTOR.
- ALL PROCEDURES, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST SPECIFICATIONS OF THE CENTRAL ARKANSAS WATER AVAILABLE ONLINE AT WWW.CARWK.COM
- ALL NON-METALLIC MAINS SHALL BE MARKED WITH 12 GA. COPPER WIRE.
- ALL BLOW OFFS SHALL BE REMOVED AFTER SUCCESSFUL TESTING.
- MAINTAIN 5' HORIZONTAL SEPARATION BETWEEN PARALLEL UTILITIES EXCEPT FOR SEWER LINES.
- MAXIMUM ALLOWED DEPTH OF WATER MAIN IN A SHARED GAS TRENCH IS 48".
- WHERE A WATERLINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18" INCHES SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE ENCASEMENT REQUIREMENTS.
- PLEASE SEE CAW STANDARD PIPELINE MATERIALS AND CONSTRUCTION SPECIFICATIONS FOR STANDARD DETAILS.
- THE RISER SHALL BE INSTALLED PRIOR TO PRESSURE TESTING AND BACTERIOLOGICAL SAMPLING WILL BE CONDUCTED UP TO THE BACKFLOW DEVICE PER THE ARKANSAS DEPARTMENT OF HEALTH AND CENTRAL ARKANSAS WATER.
- THE THRUST BLOCKING FOR THE RISER SHALL BE VISUALLY INSPECTED BY A CENTRAL ARKANSAS WATER ENGINEERING TECHNICIAN.
- ALL EXISTING WATER UTILITIES NO LONGER IN SERVICE SHALL BE ABANDONED IN ACCORDANCE WITH CENTRAL ARKANSAS WATER'S LATEST STANDARD SPECIFICATIONS.

OFFSIDE WATER SERVICE INSTALLATION NOTES

- ALL SERVICE LINE INSTALLATIONS SHALL HAVE MINIMUM 36" DEPTH.

CENTRAL ARKANSAS WATER NOTES:

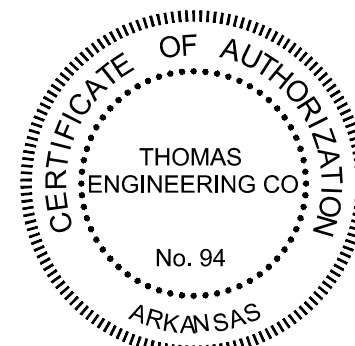
- ALL WATER UTILITY CONSTRUCTION SHALL COMPLY WITH CENTRAL ARKANSAS WATER'S LATEST STANDARD SPECIFICATIONS.
- THE RISER SHALL BE INSTALLED PRIOR TO PRESSURE TESTING AND BACTERIOLOGICAL SAMPLING WILL BE CONDUCTED UP TO THE BACKFLOW DEVICE PER THE ARKANSAS DEPARTMENT OF HEALTH AND CENTRAL ARKANSAS WATER.
- THE THRUST BLOCKING FOR THE RISER SHALL BE VISUALLY INSPECTED BY A CENTRAL ARKANSAS WATER ENGINEERING TECHNICIAN.
- WATER LINES SHALL HAVE A MINIMAL HORIZONTAL SEPARATION OF TEN (10) FEET FROM ALL SEWER LINES EXCEPT FOR CROSSINGS. THE WATER LINE SHALL PASS ABOVE THE SEWER LINE WITH A MINIMUM OF 18" OF VERTICAL SEPARATION AND MAINTAIN A MINIMUM GROUND COVER OF 30" ABOVE THE WATER LINE. WHERE 18" OF VERTICAL SEPARATION AND 30" OF GROUND COVER CANNOT BE MAINTAINED OR WHERE THE WATER LINE PASSES UNDER THE SEWER LINE, THEN EITHER THE WATER LINE OR THE SEWER LINE SHALL BE ENCASED AS PER ADH AND CAW REQUIREMENTS. A MINIMUM OF 6" CLEARANCE SHALL BE MAINTAINED BETWEEN ENCASEMENT PIPE AND UNENCASED LINES IF WATER LINE IS ABOVE THE SEWER, OR 18" CLEARANCE IF WATER IS BELOW THE SEWER.
- ALL EXISTING WATER UTILITIES NO LONGER IN SERVICE SHALL BE ABANDONED IN ACCORDANCE WITH CENTRAL ARKANSAS WATER'S LATEST STANDARD SPECIFICATIONS.

NOTE: APPROVAL FROM CAW STAFF IS REQUIRED FOR ALL WATER MAINS PROPOSED TO BE INSTALLED DEEPER THAN 5 FEET.

PROJECT ADDRESS  
3405 W ROOSEVELT ROAD  
LITTLE ROCK, 72204

CONTACT INFORMATION  
KEVIN HOWARD  
DIRECTOR, DEPARTMENT OF HOUSING  
AND NEIGHBORHOOD PROGRAMS  
CITY OF LITTLE ROCK  
500 W MARKHAM STREET,  
LITTLE ROCK, AR 72201  
PHONE: 501-371-4748

PRESSURE INFORMATION  
AVERAGE STATIC PRESSURE = 55 PSI  
FIRE FLOW @ 1500 GPM = 54 PSI RESIDUAL



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WWW.WILLIAMSDEAN.COM

UTILITY PLAN FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204



CONSTRUCTION DOCUMENTS

UTILITY PLAN

REVISIONS		
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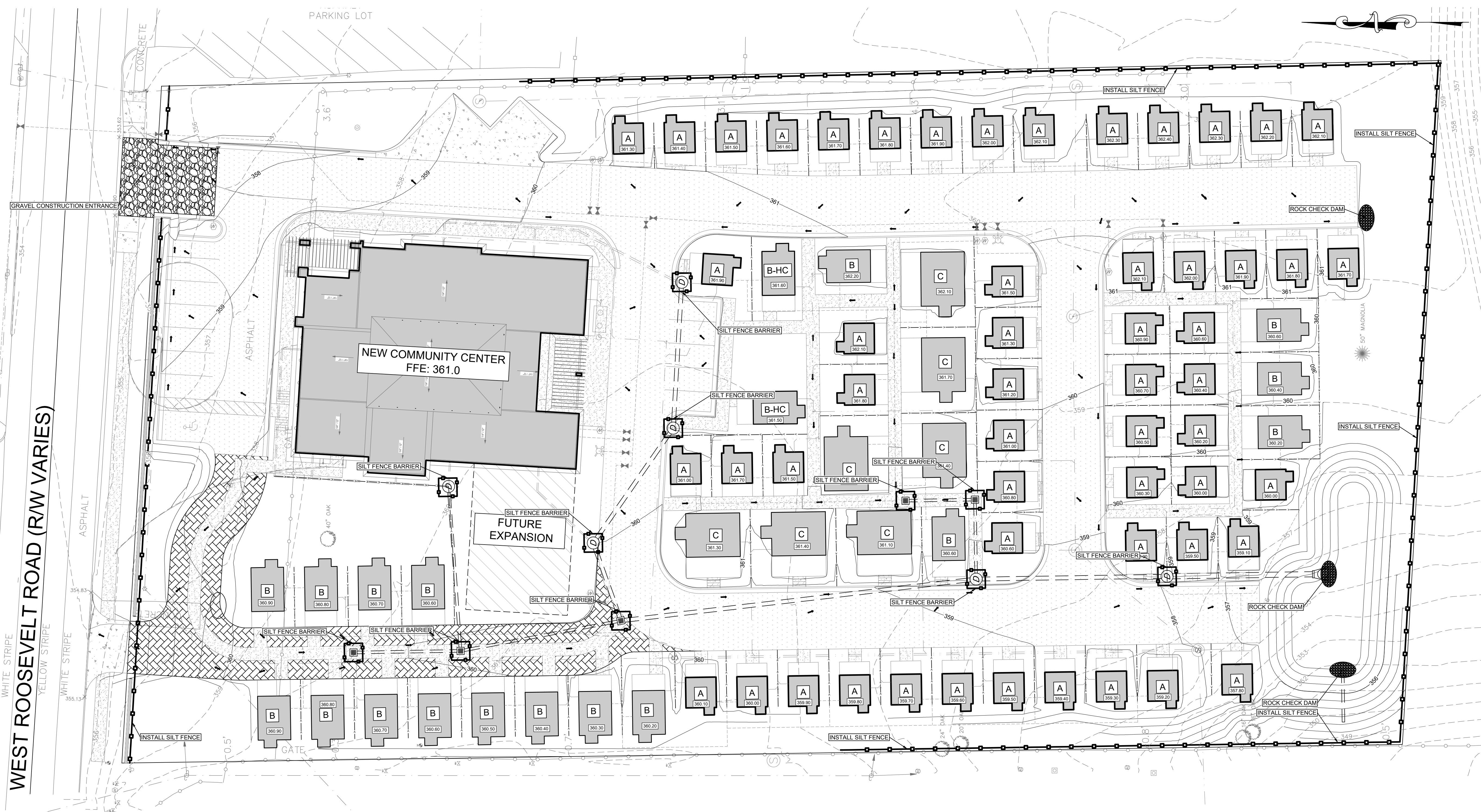
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LITTLE ROCK MICRO HOME VILLAGE 23-0180.dwg

PLOTTED: 12/16/2024

WEST ROOSEVELT ROAD (RW VARIES)



EROSION CONTROL NOTES:

- PHASE 1
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT AND SWPPP INFORMATION SIGN.
  2. INSTALL SILT FENCES ON THE SITE. CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE.
  3. IDENTIFY THE TREES TO BE PROTECTED.
  4. PREPARE TEMPORARY PARKING AND STORAGE IF THERE IS TO BE ONE.
  5. HALT ALL ACTIVITIES AND CONTACT THE CITY OF LITTLE ROCK TO PERFORM INSPECTION AND ACCEPTANCE OF BMP'S.
  6. CONSTRUCT AND STABILIZE SEDIMENT TRAPS WITH APPROPRIATE OUTFALL STRUCTURES. CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL TRAPS.
  7. INSTALL AND STABILIZE HYDRAULIC CONTROL STRUCTURES (DIKES, SWALES, CHECK DAMS, ETC.). CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL HYDRAULIC CONTROL DEVICES.

- PHASE 2
1. BEGIN SITE DEMOLITION, CLEARING AND GRUBBING.
  2. CONTINUE GRADING THE SITE.
  3. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS & GUTTERS.
  4. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.

- PHASE 3
1. CONTINUE GRADING THE SITE.
  2. PREPARE SITE FOR PAVING.
  3. PAVE THE SITE.
  4. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR AREAS AS WORK PROGRESSES.
  5. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.

ADEQ PERMIT PART II SECTION A-4-H

THE SWPPP SHALL CONTAIN A LEGIBLE SITE MAP (OR MULTIPLE MAPS, IF NECESSARY) COMPLETE TO SCALE, SHOWING THE ENTIRE SITE, THAT IDENTIFIES, AT A MINIMUM, THE FOLLOWING:

- 1) PRE-CONSTRUCTION TOPOGRAPHIC VIEW;
- 2) DIRECTION OF STORMWATER FLOW (I.E., USE ARROWS TO SHOW WHICH DIRECTION STORMWATER WILL FLOW) AND APPROXIMATE SLOPES ANTICIPATED AFTER GRADING ACTIVITIES;
- 3) DELINEATE ON THE SITE MAP AREAS OF SOIL DISTURBANCE AND AREAS THAT WILL NOT BE DISTURBED WITH REGARDS TO THE CONSTRUCTION ACTIVITIES AND CONSTRUCTION SUPPORT ACTIVITIES OFF SITE UNDER THE COVERAGE OF THIS PERMIT;
- 4) LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN;
- 5) LOCATION OF MAIN CONSTRUCTION ENTRANCE AND EXIT;
- 6) LOCATION WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR;
- 7) LOCATIONS OF ALL CONSTRUCTION SUPPORT ACTIVITIES OFF-SITE (I.E. MATERIALS, WASTE, BORROW AREA, OR EQUIPMENT STORAGE AREAS);
- 8) LOCATION OF AREAS USED FOR CONCRETE WASH-OUT;
- 9) LOCATION OF ALL WATERS OF THE STATE WITH ASSOCIATED NATURAL BUFFER BOUNDARY LINES. IDENTIFY FLOODPLAIN AND FLOODWAY BOUNDARIES, IF AVAILABLE;
- 10) LOCATIONS WHERE STORMWATER IS DISCHARGED TO WATERS OF THE STATE OR A MUNICIPAL SEPARATE STORM SEWER SYSTEM IF APPLICABLE;
- 11) LOCATIONS WHERE STORMWATER IS DISCHARGED OFF-SITE (SHALL BE CONTINUOUSLY UPDATED);
- 12) AREAS WHERE FINAL STABILIZATION HAS BEEN ACCOMPLISHED AND NO FURTHER CONSTRUCTION PHASE PERMIT REQUIREMENTS APPLY;
- 13) A LEGEND THAT CLEARLY SPECIFIES ANY EROSION AND SEDIMENT CONTROL MEASURE SYMBOLS/LABELS USED IN THE SITE MAP AND/OR DETAIL SHEET; AND
- 14) LOCATIONS OF ANY STORM DRAIN INLETS ON THE SITE AND IN THE IMMEDIATE VICINITY OF THE SITE.

NOTE:  
PLEASE SEE ADEQ PERMIT PART II SECTION A-4-H AND  
PART II SECTION A-4-I-2 (A-B).

ADEQ PERMIT PART II SECTION A-4-I-2 (A-B)

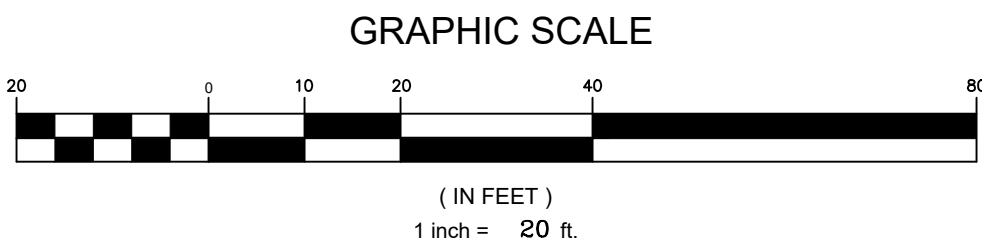
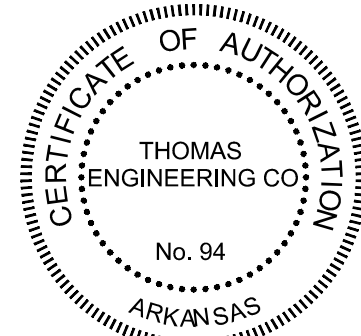
THE SWPPP SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING INFORMATION:

A. DESCRIPTION AND SCHEDULE: A DESCRIPTION OF INITIAL, INTERIM, AND PERMANENT STABILIZATION PRACTICES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE PRACTICES. SITE PLANS SHALL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE AND THAT DISTURBED AREAS ARE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT LIMITED TO: MULCHING, TEMPORARY SEEDING, PERMANENT SEEDING, GEOTEXTILES, SOD STABILIZATION, NATURAL BUFFER STRIPS, PROTECTION OF TREES, AND PRESERVATION OF MATURE VEGETATION AND OTHER APPROPRIATE MEASURES.

B. DESCRIPTION OF NATURAL BUFFER AREAS: DEQ REQUIRES THAT A NATURAL BUFFER ZONE BE ESTABLISHED BETWEEN THE TOP OF STREAM BANK AND THE DISTURBED AREA. THE SWPPP SHALL CONTAIN A DESCRIPTION OF HOW THE SITE WILL MAINTAIN NATURAL BUFFER ZONES. FOR CONSTRUCTION PROJECTS WHERE CLEARING AND GRADING ACTIVITIES WILL OCCUR, SWPPP SHALL PROVIDE AT LEAST TWENTY-FIVE (25) FEET OF NATURAL BUFFER ZONE FROM ANY NAMED OR UNNAMED STREAMS, CREEKS, RIVERS, LAKES OR OTHER WATER BODIES. THE PLAN SHALL ALSO PROVIDE AT LEAST FIFTY (50) FEET OF NATURAL BUFFER ZONE FROM ESTABLISHED TMDL WATERBODIES, WATERBODIES LISTED ON THE 303(D) LIST, AN ERW, ESW, NSW, OR OTHER USES AT THE DISCRETION OF THE DIRECTOR. IF THE SITE WILL BE DISTURBED WITHIN THE RECOMMENDED BUFFER ZONE, THEN THE BUFFER ZONE AREA SHALL BE STABILIZED AS SOON AS POSSIBLE. EXCEPTIONS FROM THIS REQUIREMENT FOR AREAS SUCH AS WATER CROSSINGS, LIMITED WATER ACCESS, AND RESTORATION OF THE BUFFER ARE ALLOWED IF THE PERMITTEE FULLY DOCUMENTS IN THE SWPPP THE CIRCUMSTANCES AND REASONS FOR THE BUFFER ZONE ENCROACHMENT. ADDITIONALLY, THIS REQUIREMENT IS NOT INTENDED TO INTERFERE WITH ANY OTHER ORDINANCE, RULE OR REGULATION, STATUTE OR OTHER PROVISION OF LAW. PLEASE NOTE THAT ABOVE-GRADE CLEARING THAT DOES NOT DISTURB THE SOIL IN THE BUFFER ZONE AREA DOES NOT HAVE TO COMPLY WITH BUFFER ZONE REQUIREMENTS.

LEGEND

- SHOWS SILT FENCE
- SHOWS GRAVEL ENTRANCE DRIVE
- SHOWS ROCK CHECK DAM
- DRAINAGE ARROW



TOTAL SITE AREA: 2.93 ACRES  
TOTAL DISTURBANCE AREA: 2.55 ACRES

**TE** THOMAS  
ENGINEERING  
COMPANY

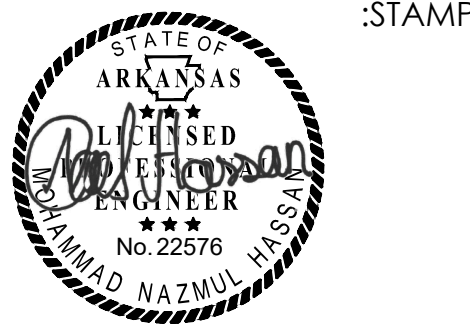
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116  
TEL: 501-753-4463 FAX: 501-753-6814

**WILLIAMS & DEAN**  
ARCHITECTURE | INTERIOR DESIGN

18 CORPORATE HILL DRIVE, SUITE 210  
LITTLE ROCK, AR 72205  
P: 501.224.1900  
WWW.WILLIAMSDEAN.COM

EROSION CONTROL PLAN FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**

LITTLE ROCK, AR 72204



CONSTRUCTION DOCUMENTS

EROSION CONTROL  
PLAN

:REVISIONS		
NO.	DESCRIPTION	DATE

DECEMBER 13, 2024 :ISSUE DATE

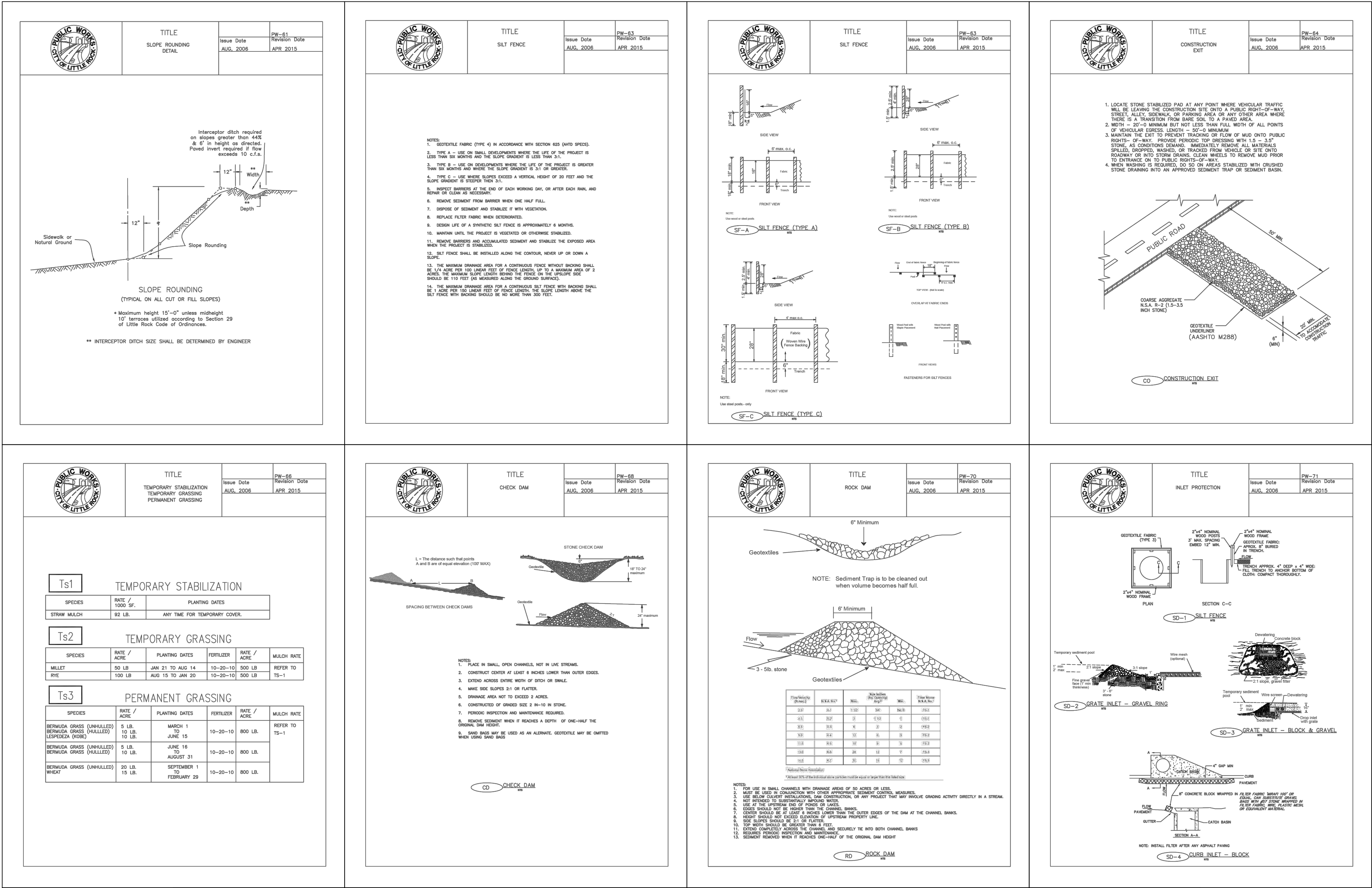
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:SHEET NUMBER

**C600**



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EROSION CONTROL DETAILS FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204



CONSTRUCTION DOCUMENTS

SHEET TITLE  
**EROSION CONTROL  
DETAILS**

REVISIONS

NO.	DESCRIPTION	DATE

DECEMBER 13, 2024 :ISSUE DATE

24-031 :PROJECT NUMBER

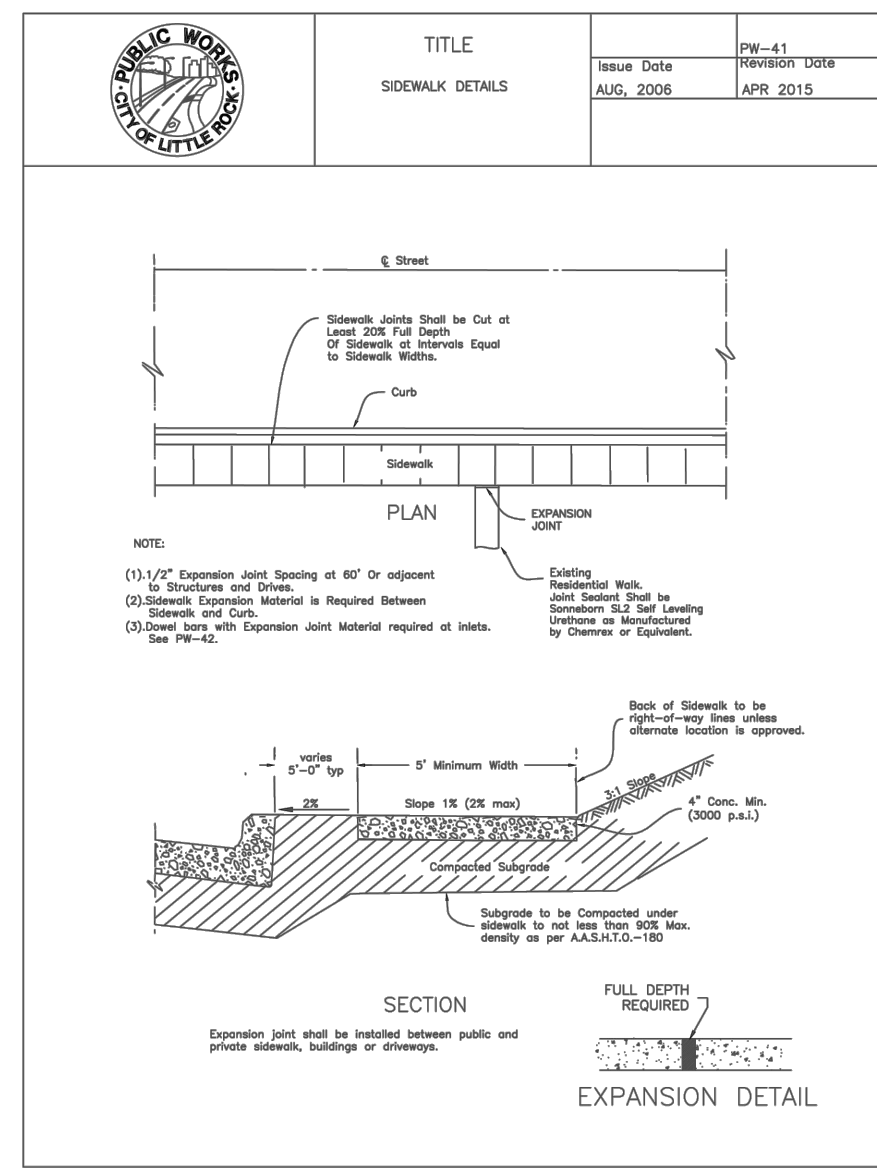
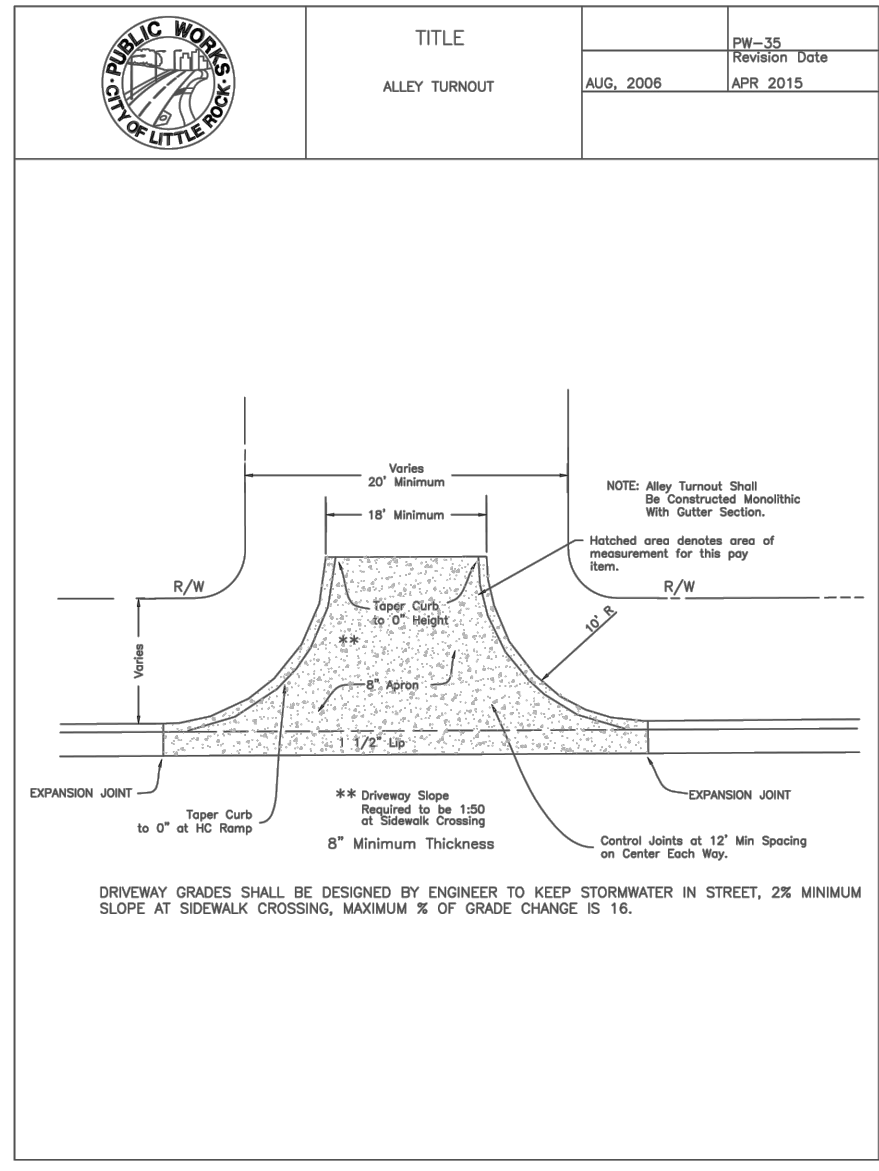
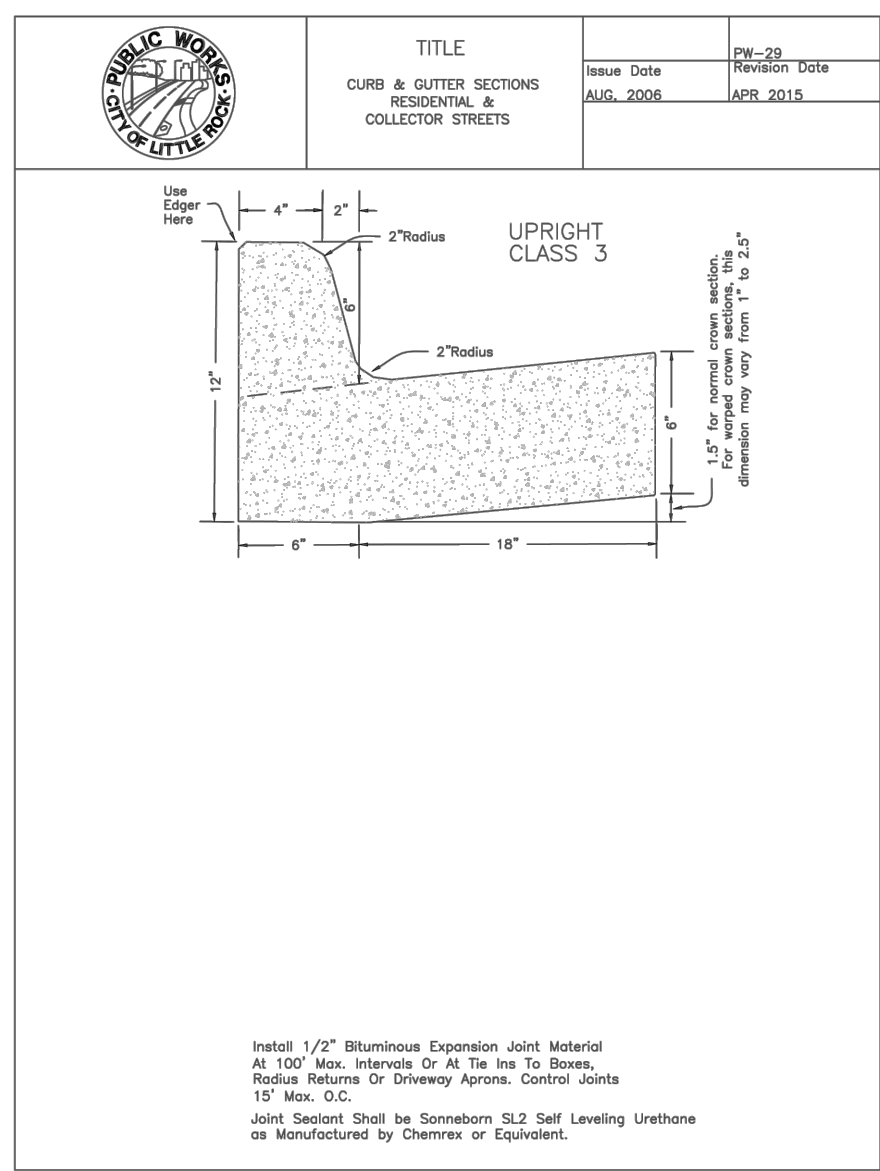
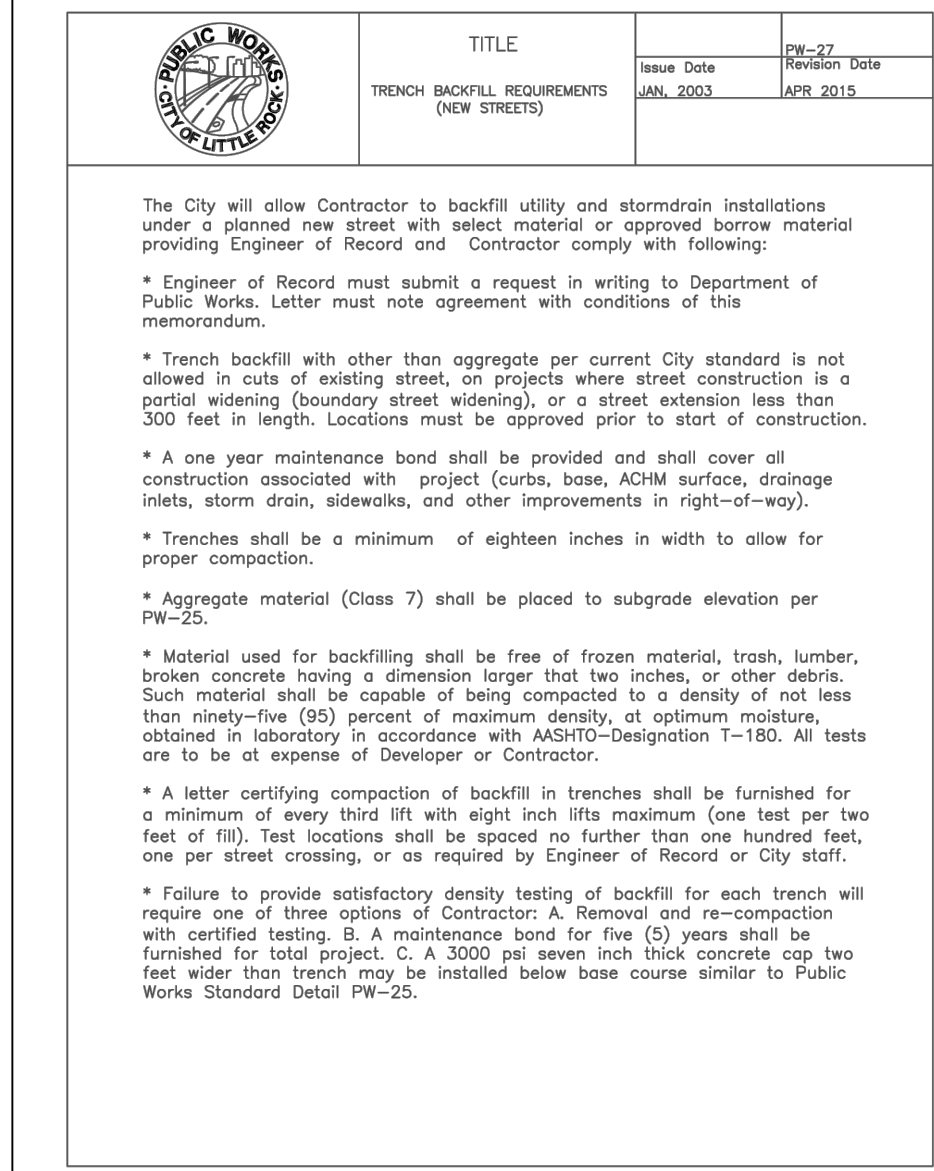
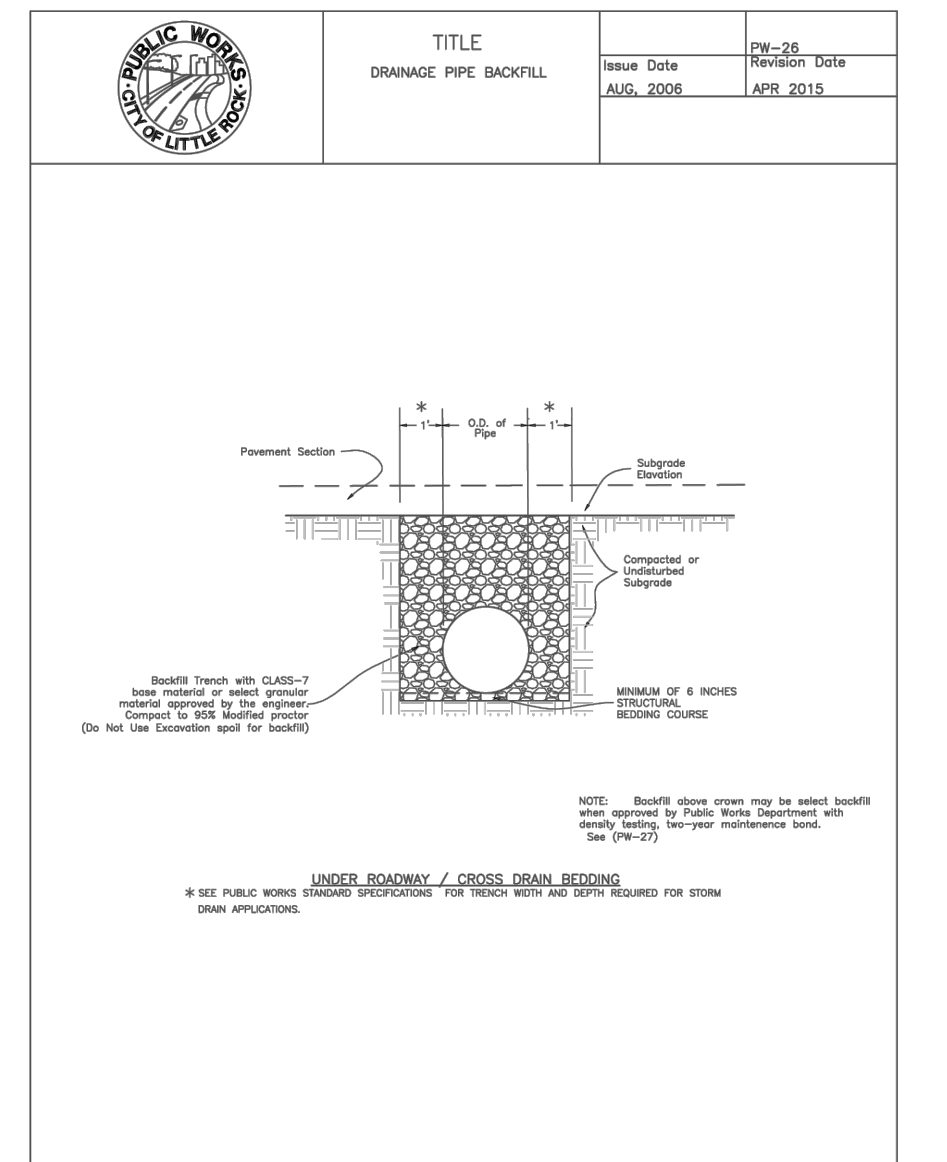
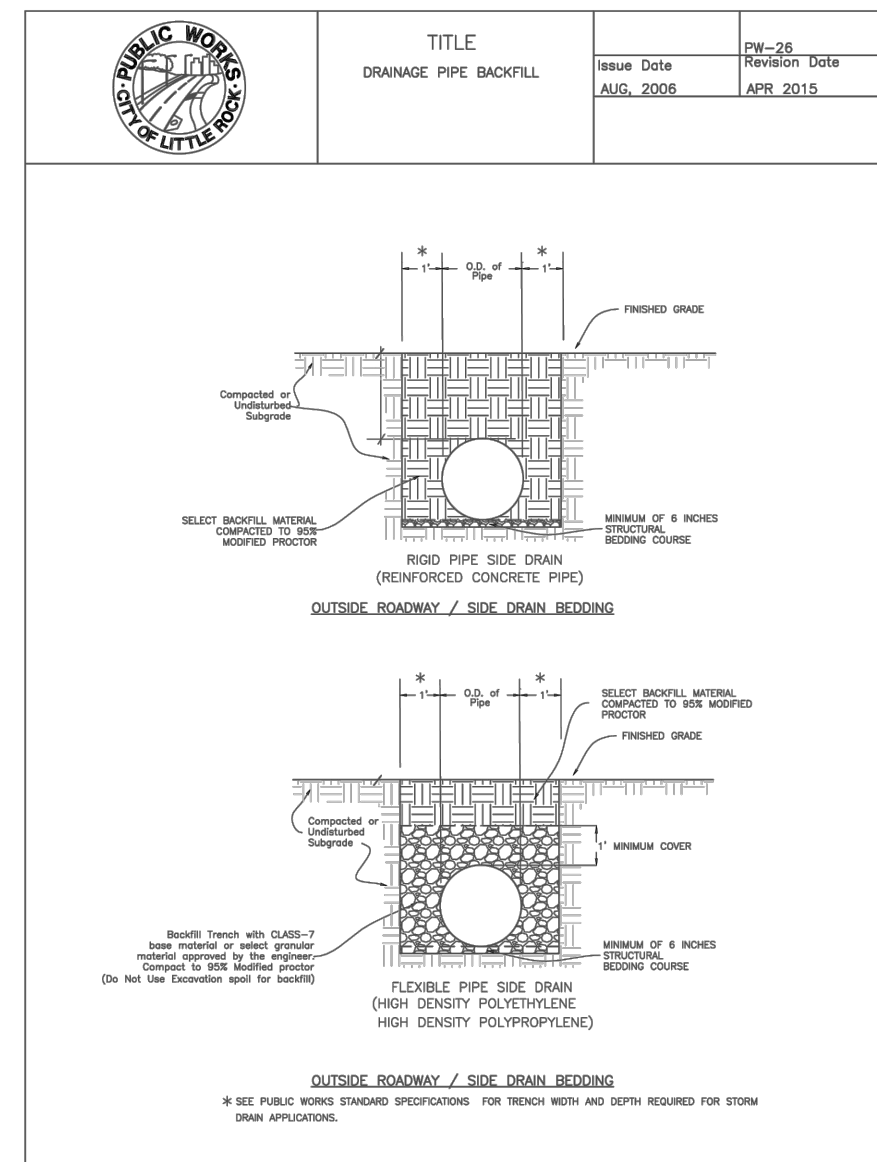
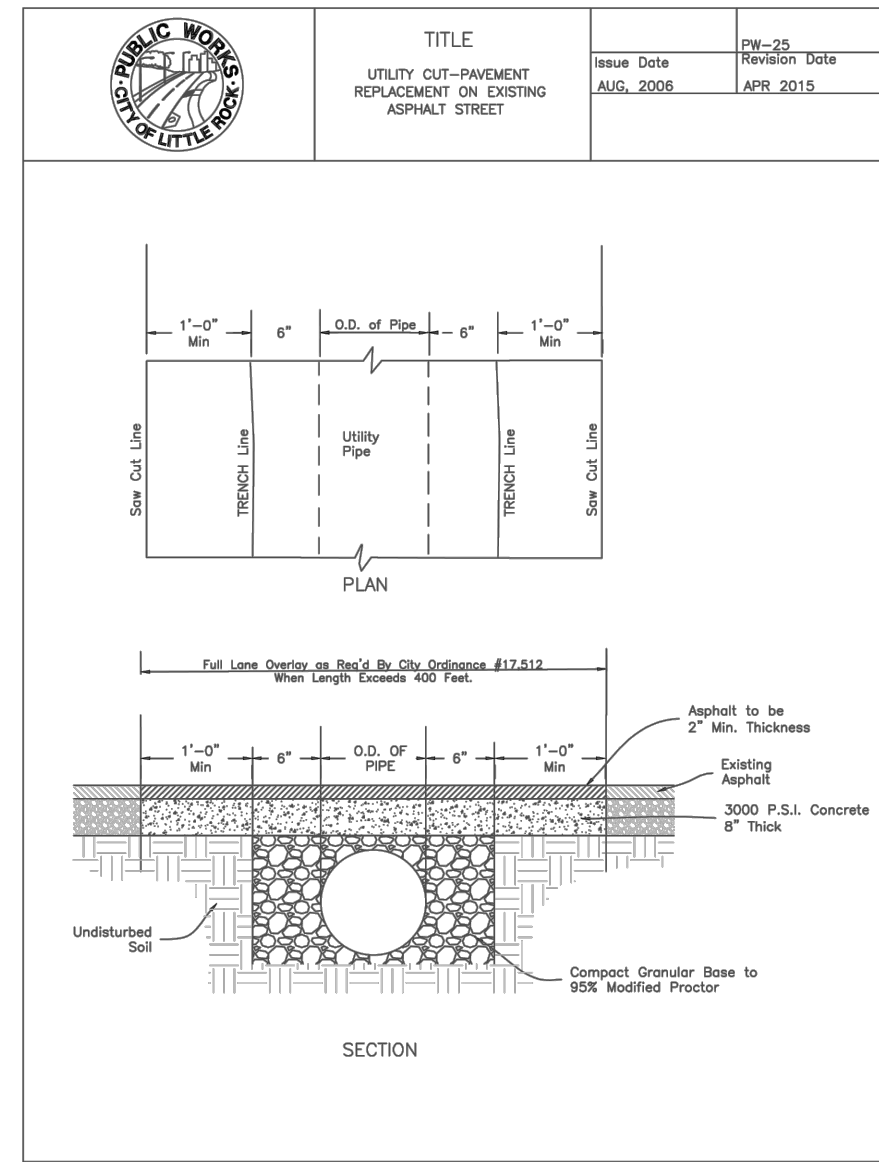
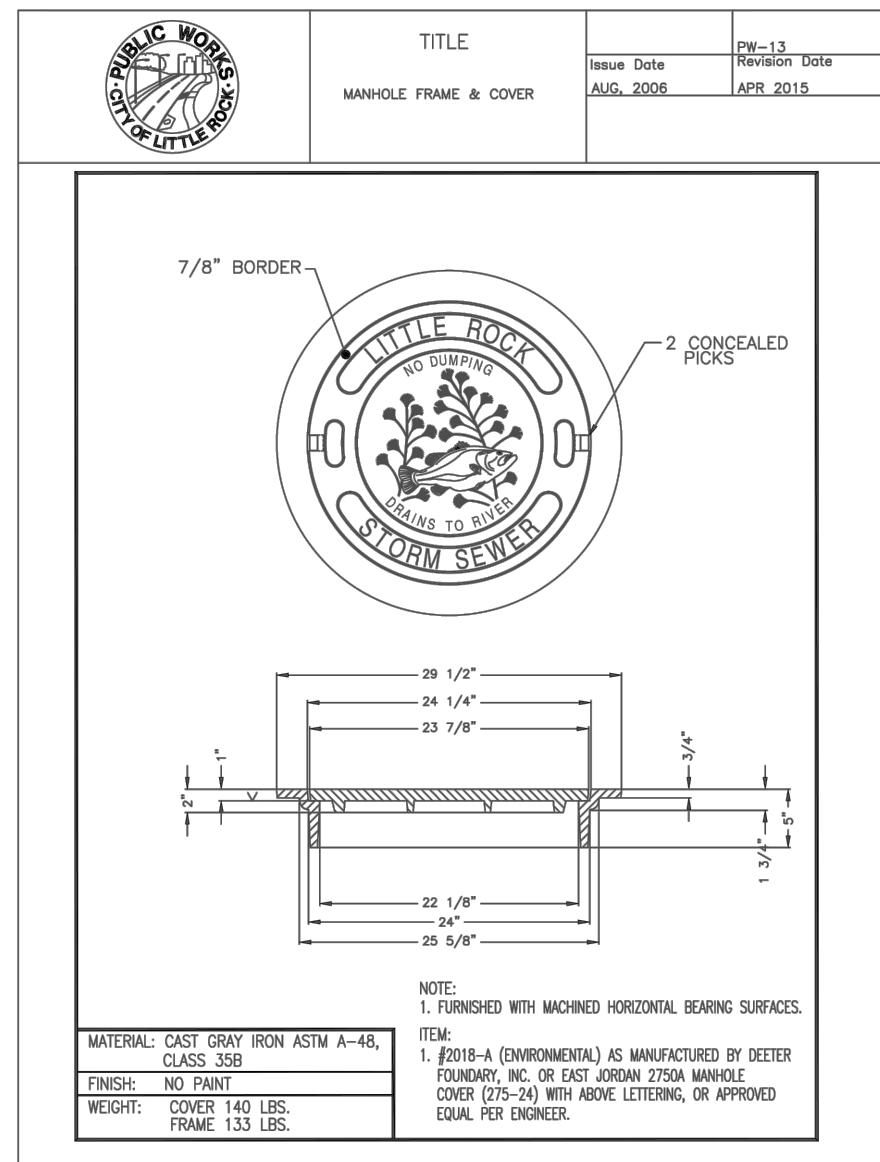
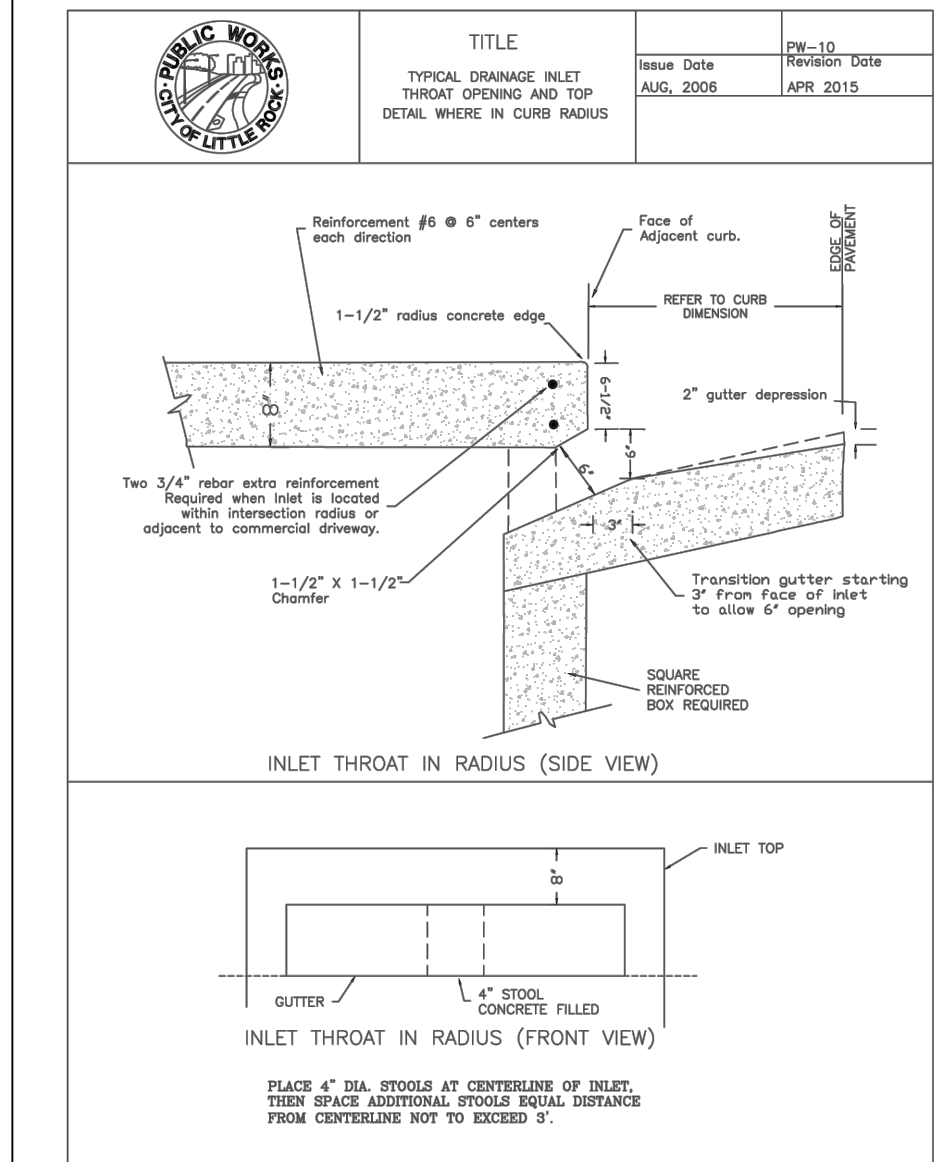
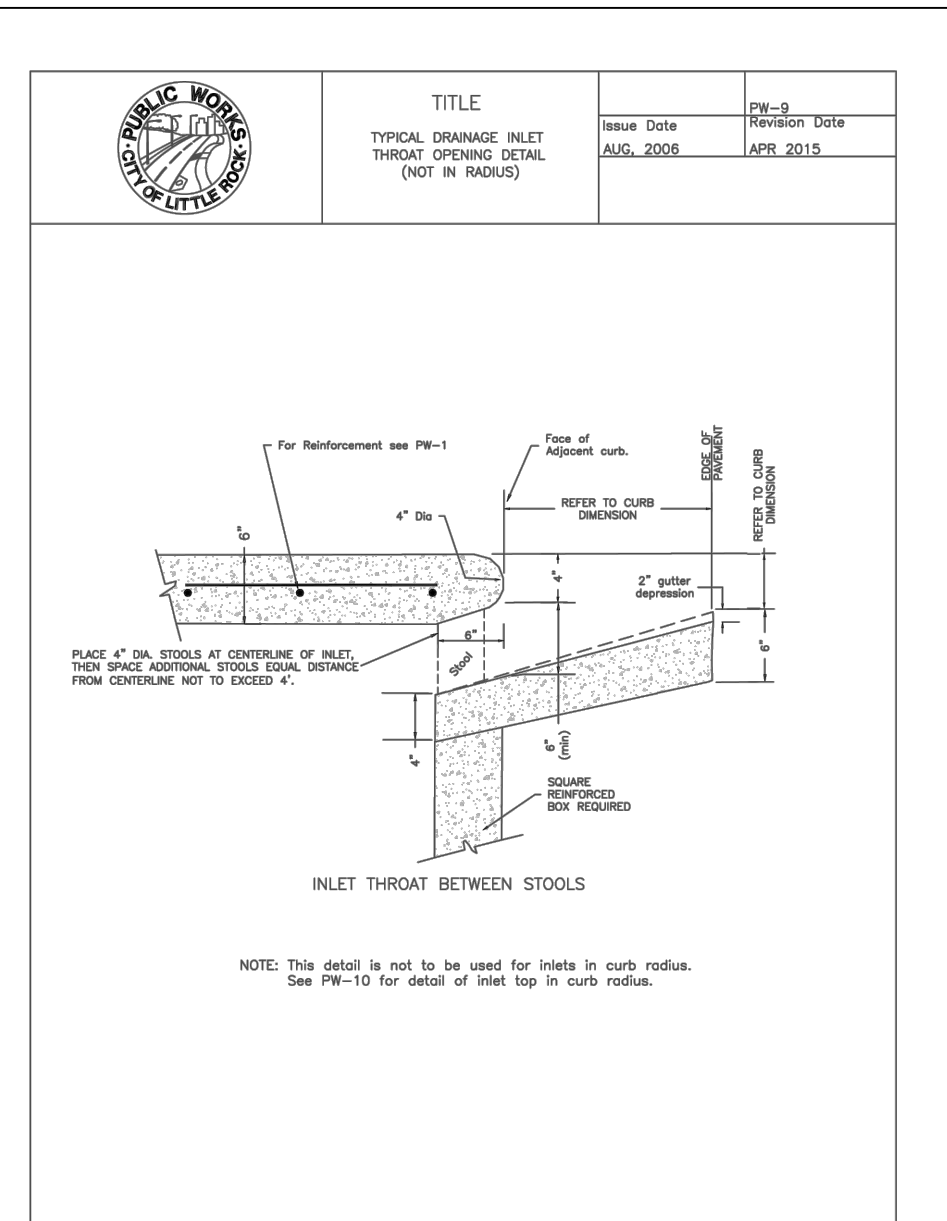
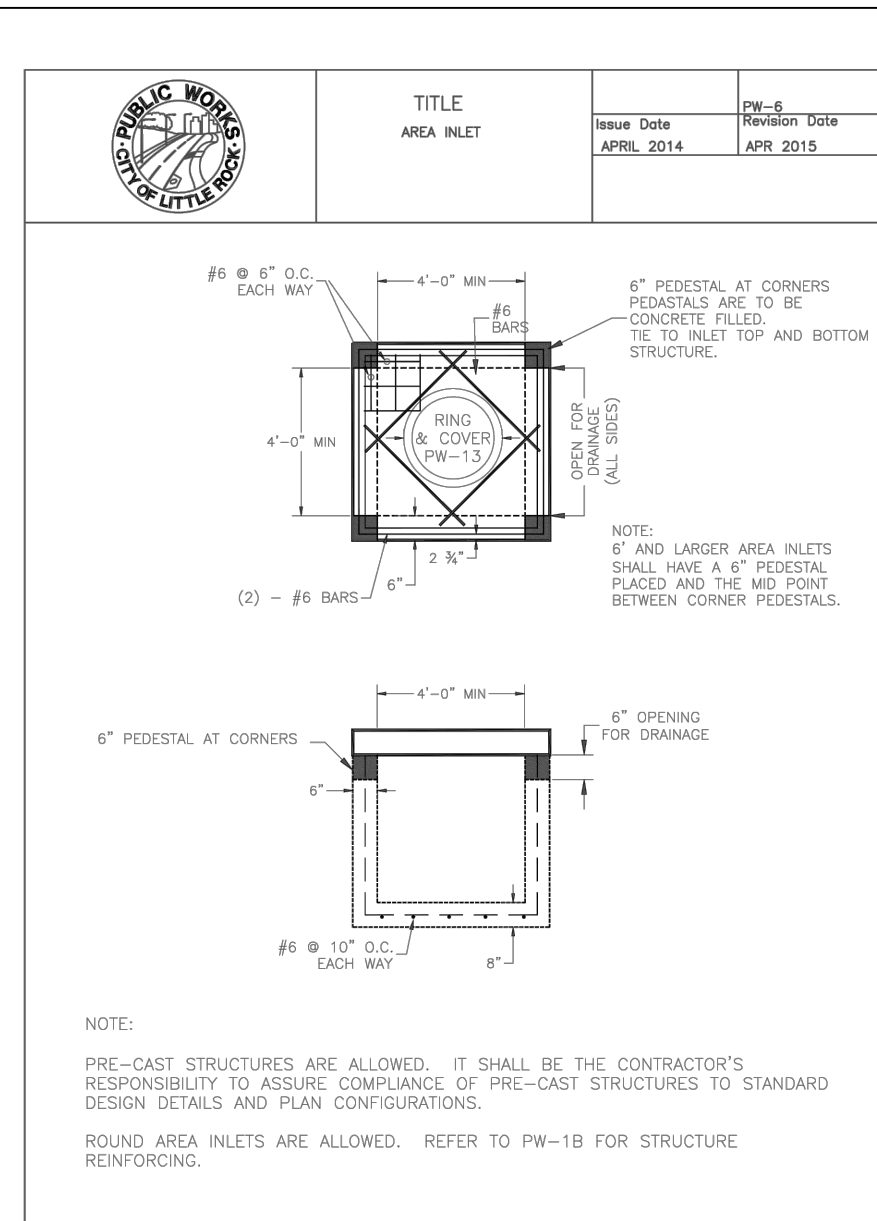
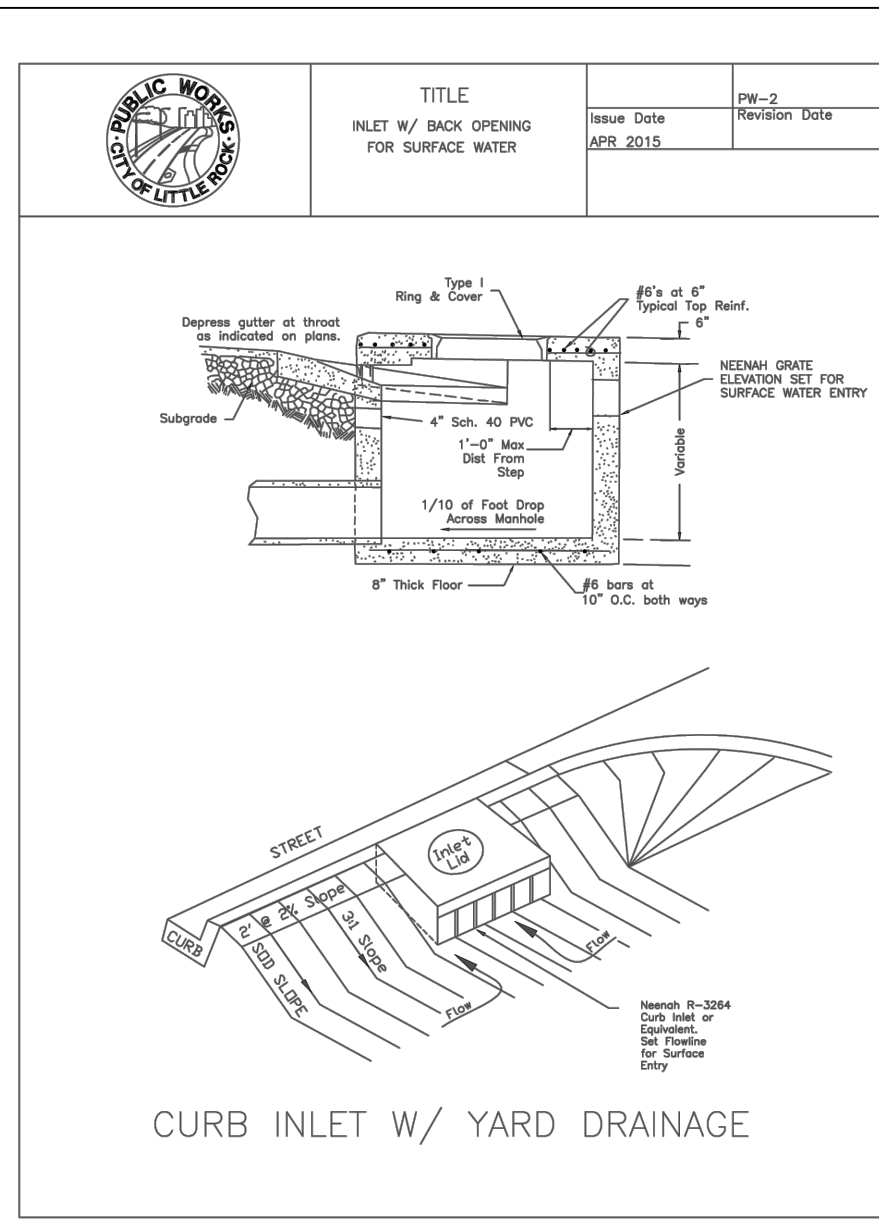
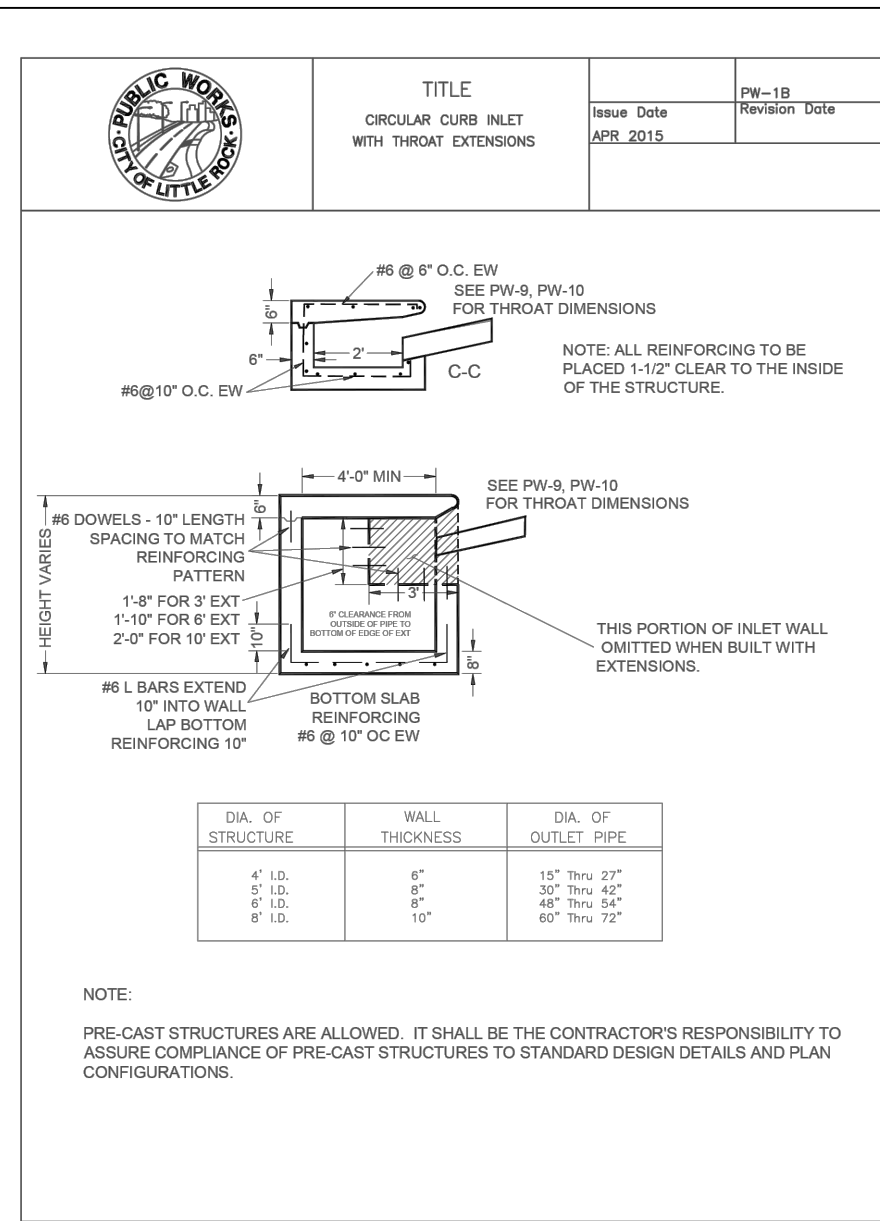
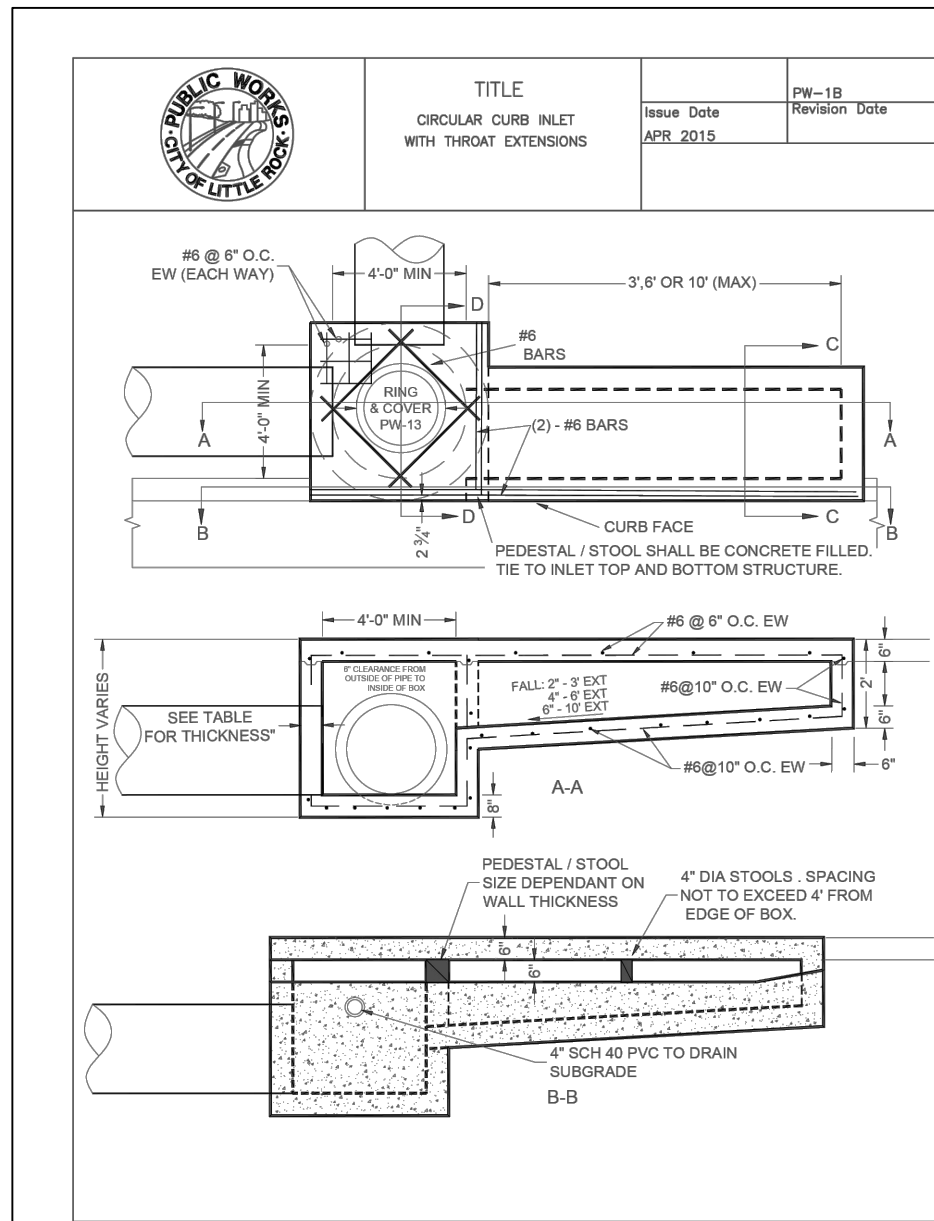
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**TE** THOMAS  
ENGINEERING  
COMPANY  
3810 LOOKOUT ROAD, N. LITTLE ROCK, AR. 72116  
TEL: 501-753-4463 FAX: 501-753-6814



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EROSION CONTROL DETAILS FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204



CONSTRUCTION DOCUMENTS

EROSION CONTROL  
DETAILS

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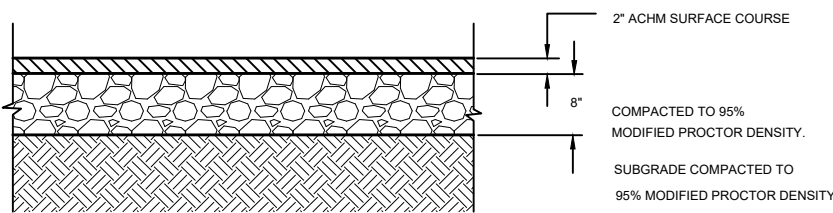
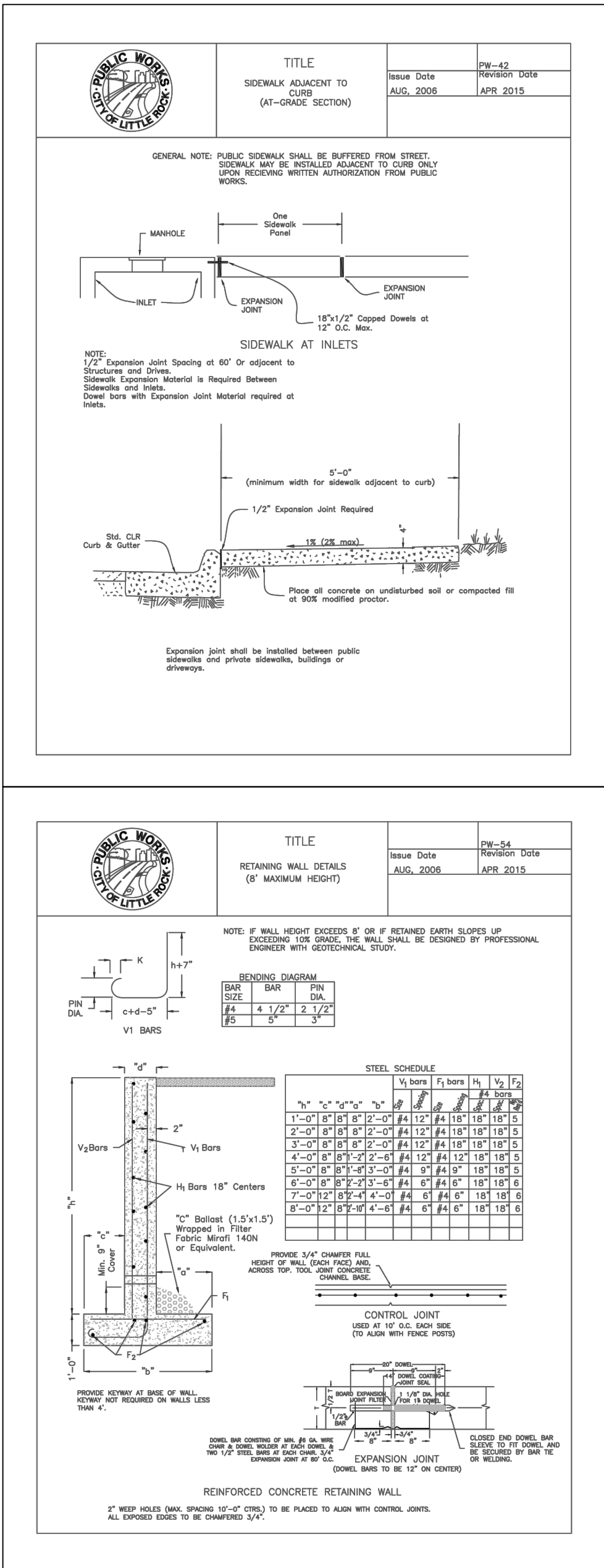
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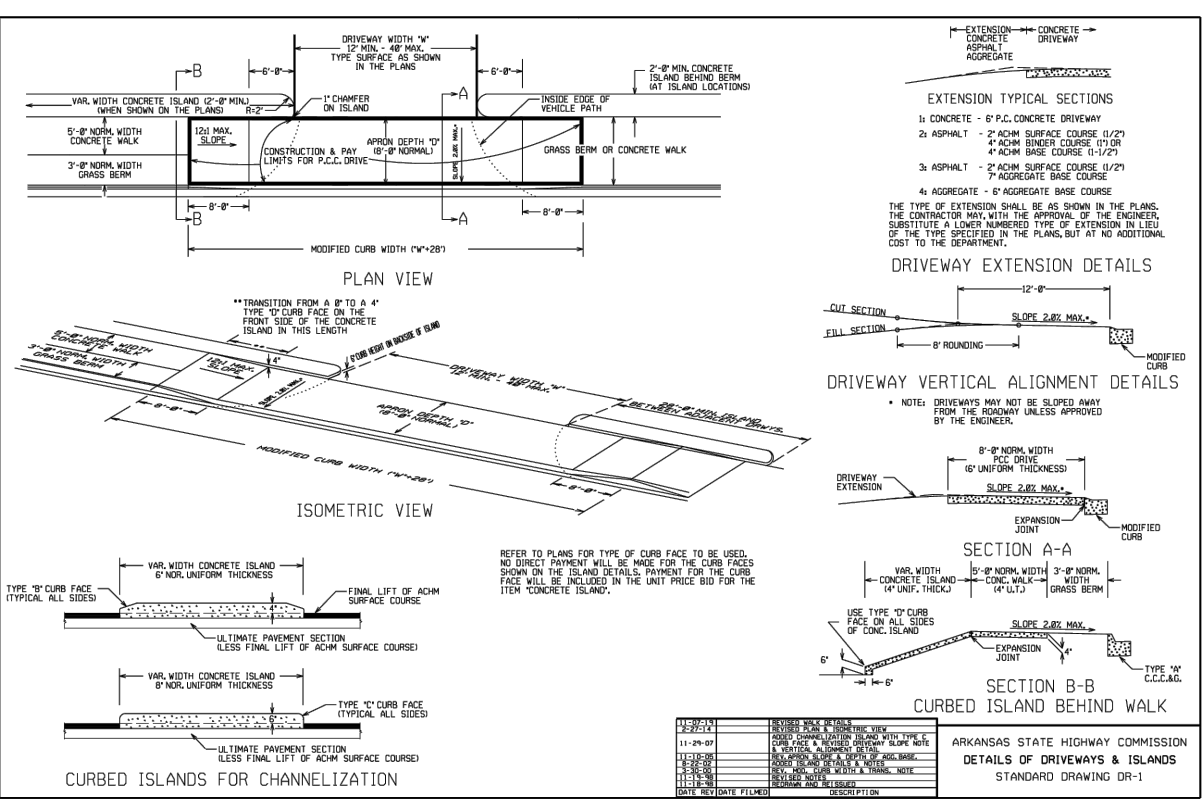
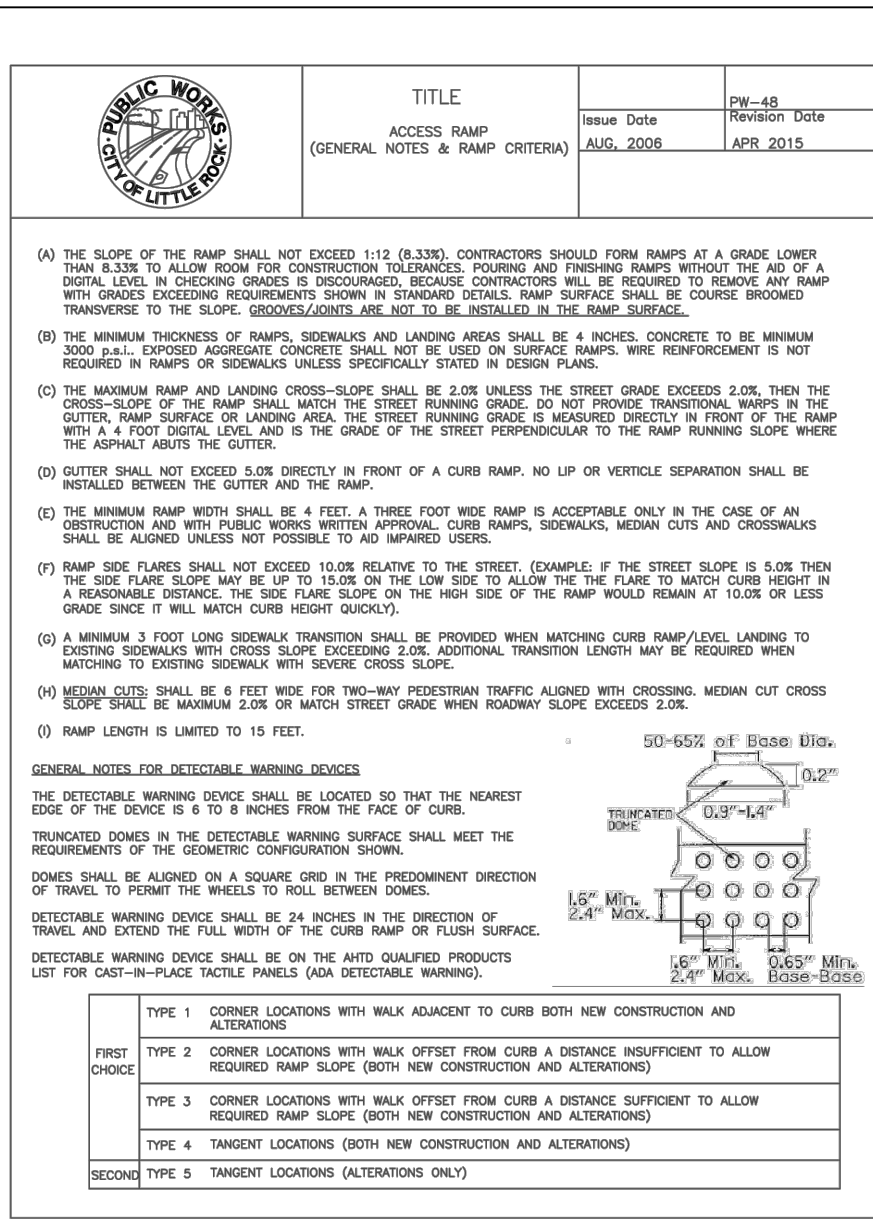
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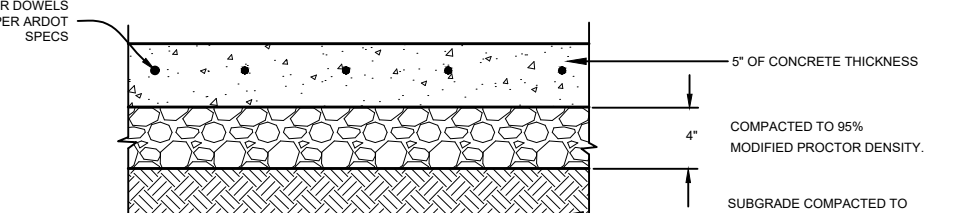
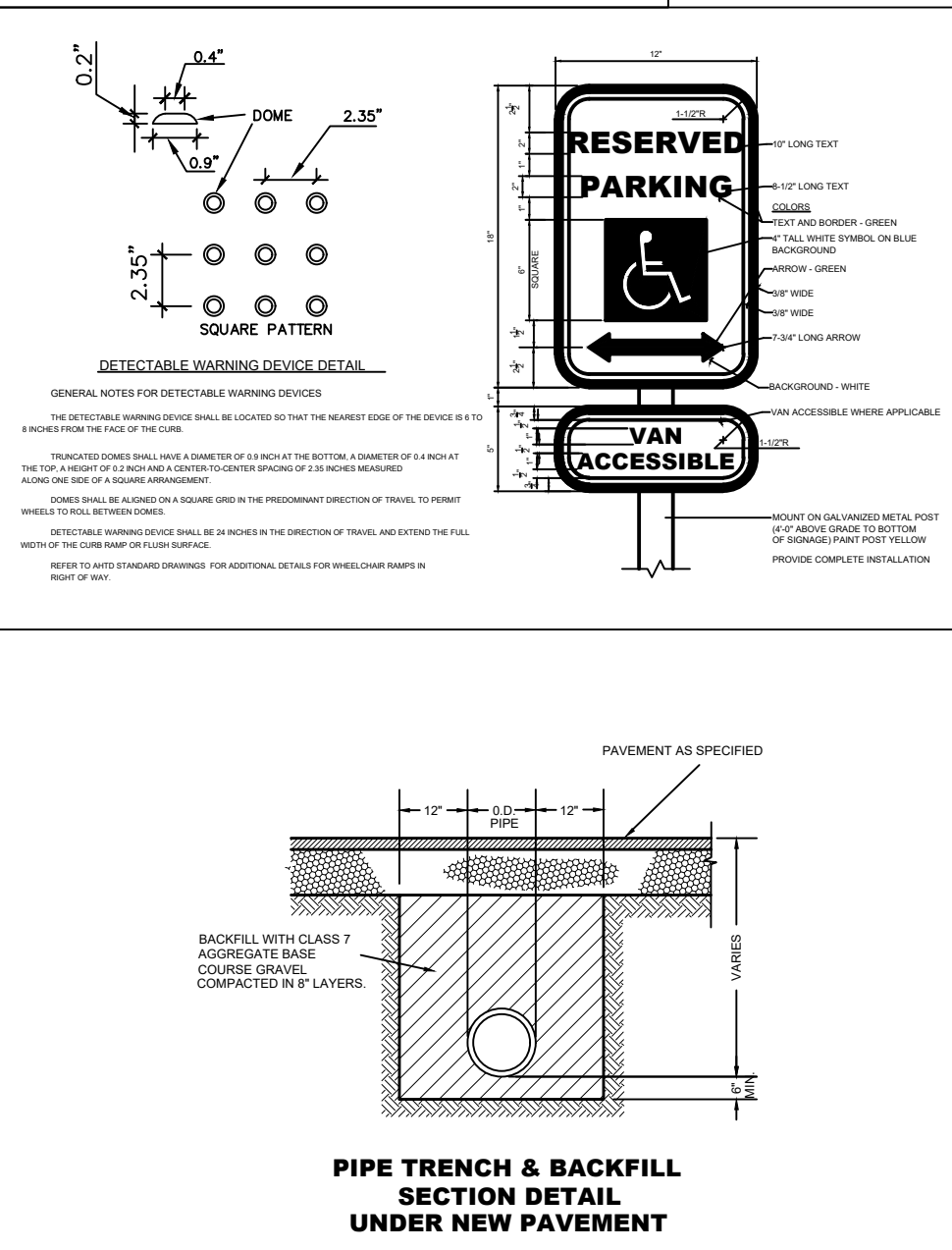
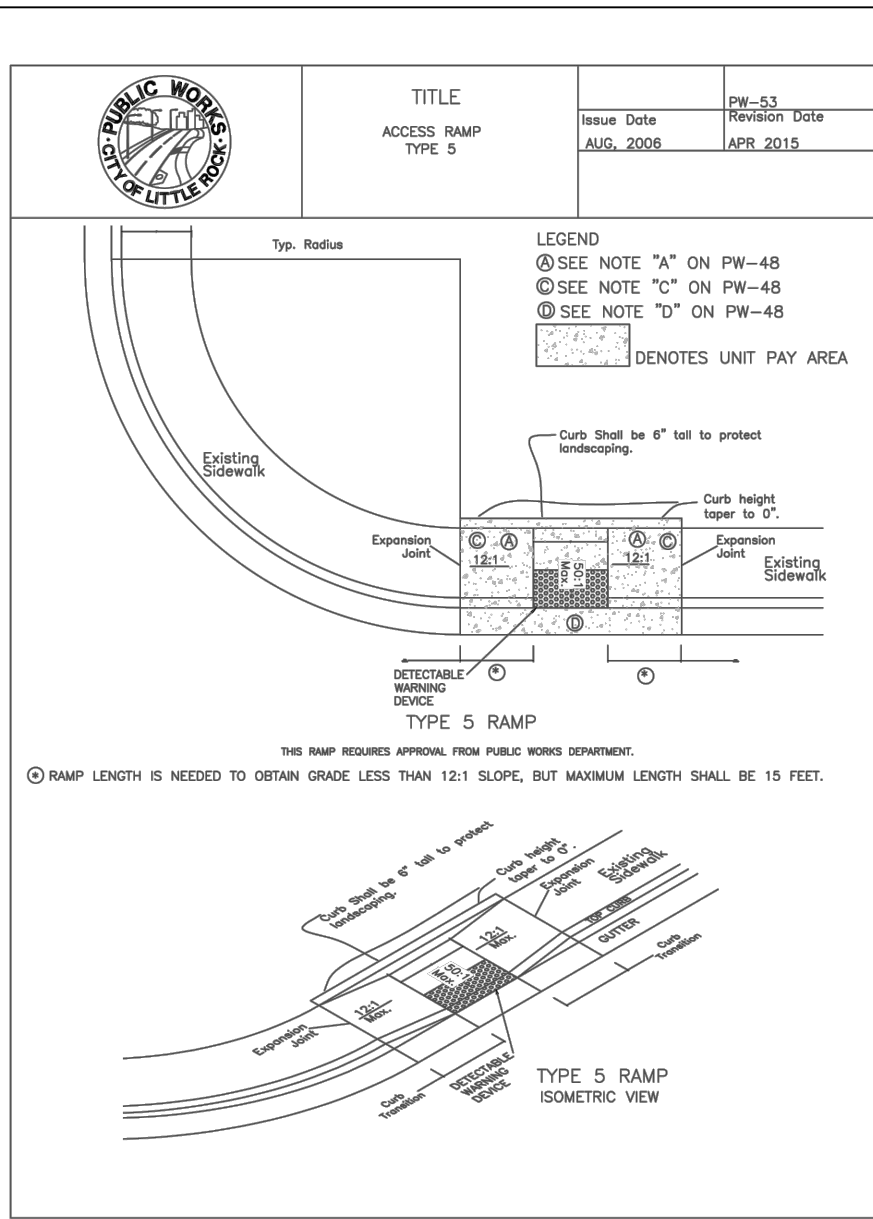


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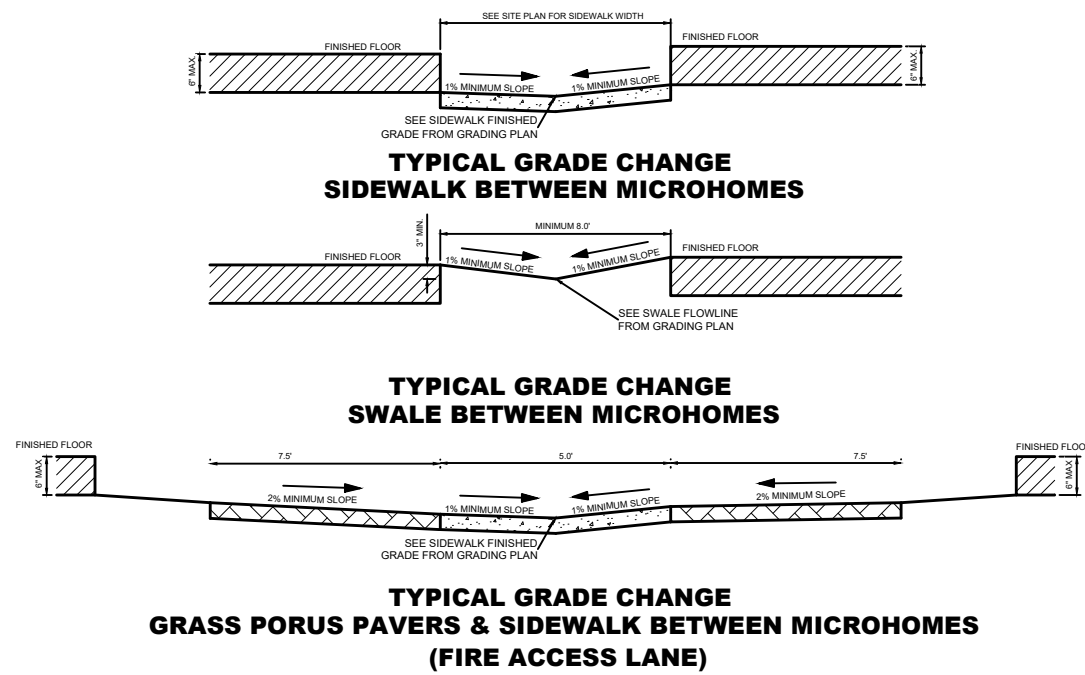
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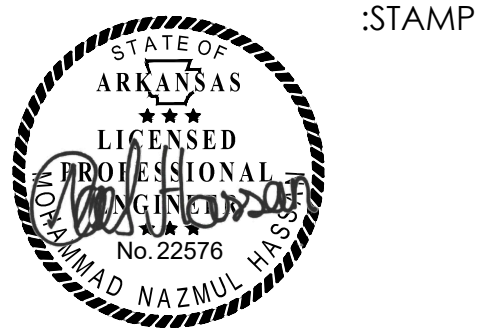
STANDARD DUTY CONCRETE PAVEMENT

VERIFY WITH GEOTECH REPORT



NOT TO SCALE

EROSION CONTROL DETAILS FOR THE  
**LITTLE ROCK MICRO HOME VILLAGE**  
LITTLE ROCK, AR 72204



CONSTRUCTION DOCUMENTS

:SHEET TITLE  
**EROSION CONTROL DETAILS**

:REVISIONS

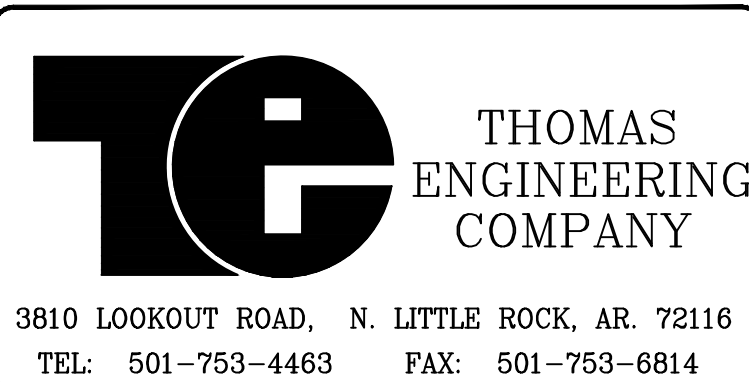
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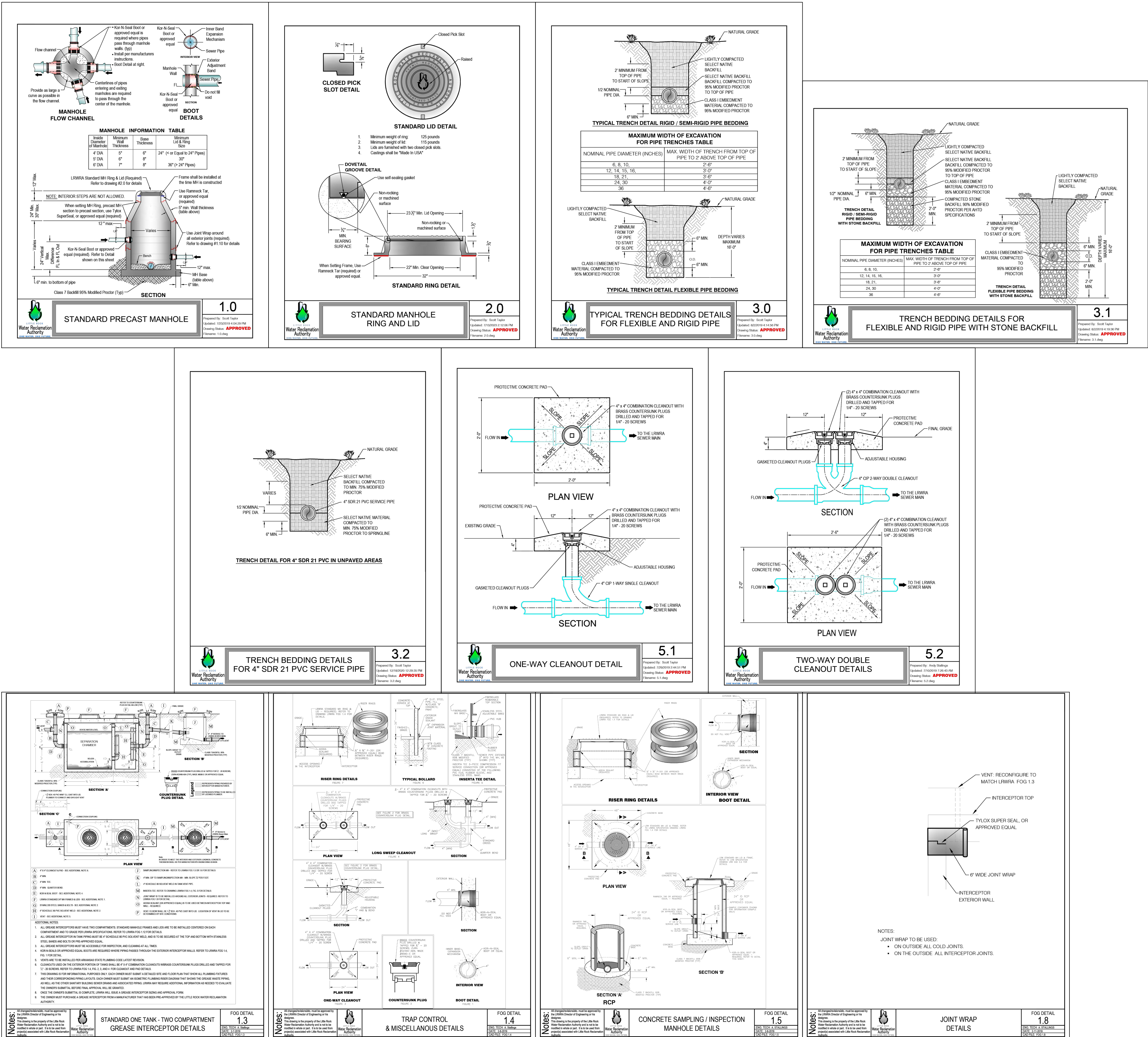
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